

SYMBOL LEGEND

1

A101

1

A101

1

A101

1t

1t

22.2

22.2

22.2

22.2

LEVEL 1

100'-0"

100'-0"

North Arrow

PROJECT NORTH

TRUE NORTH

Room Tag

ROOM NAME

101

150 SF

ROOM NUMBER

ROOM AREA

View Title

DRAWING NAME

1

1/8" = 1'-0"

DRAWING SCALE

DRAWING NUMBER

SEE SHEET A2.01.35 FOR CONTINUATION OF PLAN

View Reference

SEE SHEET A2.01.35

Elevation Symbol

SHEET NUMBER

3

A3.01

1

2

DRAWING NUMBER

Light Fixture

EQUIPMENT ID

LT - 101

Specialty Equipment

EQUIPMENT ID

BA-101

Plumbing Fixture Tag

PLUMBING FIXTURE ID

PF-101

Material/Finish Tag

MATERIAL ID

?

Furniture Tag

FURNITURE ID

GF-303

Revision Tag

REVISION NUMBER

1

MATERIAL LEGEND

BASE COURSE, COUSHIN FILL ROCK
SUB-BASE, GRAVEL, CRUSHED ROCK

SAND, MORTAR, GROUT, PLASTER
OR CONCRETE FILL

CONCRETE, CAST IN PLACE

BRICK

STONE

CONCRETE MASONRY UNITS

STEEL

ALUMINUM

WOOD

EARTH

WOOD FRAMING

WOOD BLOCKING OR SHIM

PLYWOOD

RIGID INSULATION

BATT INSULATION

GYPSUM BOARD

CEMENT PLASTER

WOOD FINISH

ABBREVIATIONS

AFF

ABOVE FINISH FLOOR (SLAB)

INT

INTERIOR

AFG

ABOVE FINISH GRADE

LAV

LAVATORY

BLK

BLOCK

MECH

MECHANICAL

B.O.

BOTTOM OF BUILDING

MISC

MISCELLANEOUS

BLDG

BUILDING

NIC

NOT IN CONTRACT

CW

COLD WATER

NTS

NOT TO SCALE

CL

CENTER LINE

OPP

OPPOSITE

CLR

CLEAR/CLEARANCE

PLBG

PLUMBING

COL

COLUMN

PLYWD

PLYWOOD

CONC

CONCRETE

RD

ROOF DRAIN

CJ

CONDENSING UNIT

RET

RETAINING

CMU

CONCRETE MASONRY UNIT

REF

REFERENCE

CONT

CONTINUOUS

REV

REVISION

CJ

CONTROL JOINT

REINF

REINFORCING

DN

DOWN

RTU

ROOF TOP UNIT (HVAC)

EA

EACH

SAN

SANITARY SEWER LINE

EIFS

EXTERIOR INSULATED FINISHING SYSTEM

SM

SIMILAR

EL

ELEVATION

SPECS

SPECIFICATIONS

ELEC

ELECTRIC/ELECTRICAL

TS

TUBE STEEL

EQV

EQUIVALENT

T.O.

TOP OF

EXIST

EXISTING

TOC

TOP OF CONCRETE

EXT

EXTERIOR

TOS

TOP OF STEEL

EXP

EXPANSION JOINT

TYP

TYPICAL

FD

FLOOR DRAIN

UNO

UNLESS NOTED OTHERWISE

FF

FINISHED FLOOR

GA

GAGE/GAUGE

FLR

FLOOR

GC

GENERAL CONTRACTOR

GA

GAGE/GAUGE

WC

WATER CLOSET

GC

GENERAL CONTRACTOR

WHP

WATER HEATER

GALV

GALVANIZED

WWF

WELDED WIRE FABRIC

GYP

GYPSUM

HVAC

HEATING VENTILATING

HVAC

HEATING VENTILATING

AC

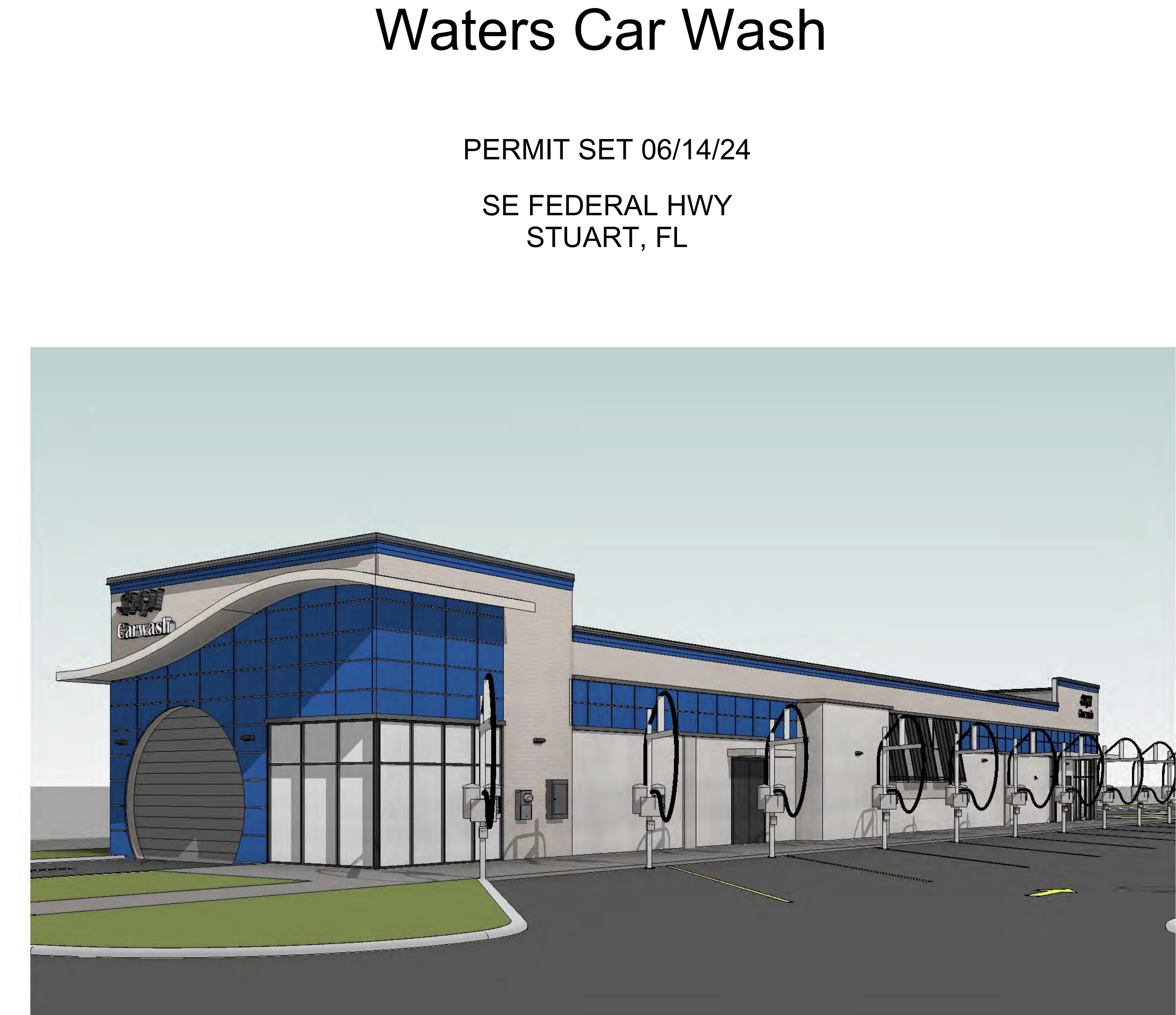
AIR CONDITIONING

HW

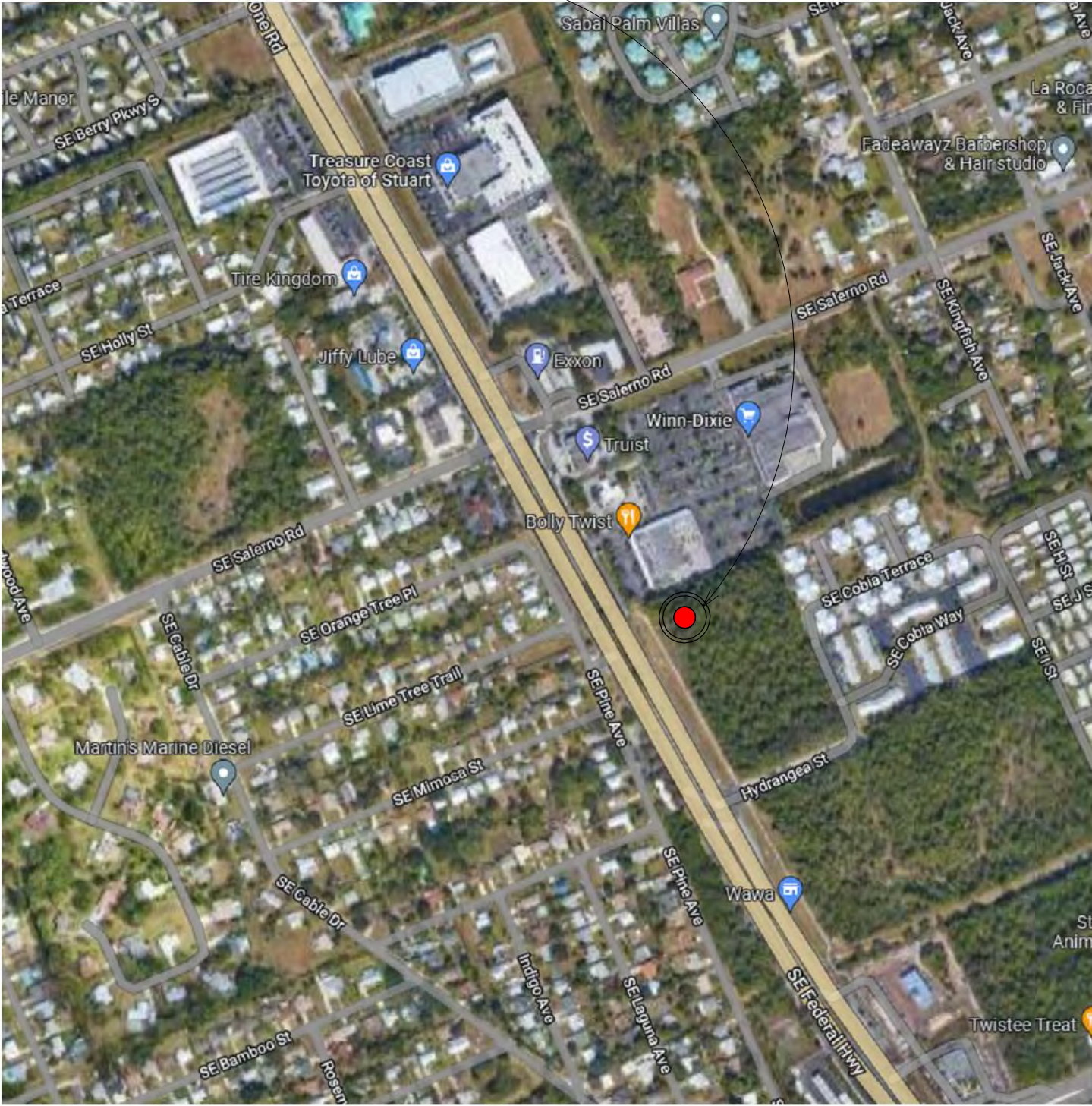
HOT WATER

HW

HOT WATER



PROJECT SITE



GENERAL NOTES

- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION - WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
- WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF FRAMING/FURRING MEMBER UNLESS OTHERWISE NOTED.
- WHERE BUILDING ELEMENTS ARE TOO LARGE TO FIT INSIDE THE CAVITY OF WALLS, WALLS ARE TO BE FURRED TO CONCEAL OR "BUILD IN" PIPING, ELECTRICAL PANELS AND OTHER RECESSED OBJECTS.
- DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING.
- IF THE CONTRACTOR DISCOVERS ANY CONFLICT BETWEEN THE DRAWINGS AND THE CONDITIONS WHERE WORK IS TO BE PERFORMED, HE SHALL PROMPTLY NOTIFY THE ARCHITECT.
- DOCUMENTS ARE FOR CORE AND SHELL STRUCTURE ONLY. BUILDOUTS OF UNITS AND PUBLIC SPACES AND ASSOCIATED FINISHES SHALL BE BY SEPARATE PERMIT DOCUMENTS.

DEFERRED SUBMITTALS

THE FOLLOWING SUBMITTALS SHALL BE PROVIDED BY THE CONTRACTOR:

ENGINEERED ROOF TRUSS DRAWINGS	CONTRACTOR TO PROVIDE DIGITALLY SEALED PLANS TO BUILDING DEPARTMENT AND ARCHITECT.
STOREFRONT DRAWINGS	CONTRACTOR TO PROVIDE DIGITALLY SEALED PLANS TO BUILDING DEPARTMENT AND ARCHITECT.
EQUIPMENT DRAWINGS	CONTRACTOR TO PROVIDE EQUIPMENT INSTALLATION DRAWINGS SUBMITTAL TO BUILDING DEPARTMENT AND ARCHITECT.

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

LEGAL DESCRIPTION:
ST LUCIE INLET FARMS TR 5 LYING E OF HWY, BLK 74

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CONSULTANT:

Issued For

PERMIT SET 06/14/24

Revisions

#	Description	Date

Seal
STATE OF FLORIDA
REGISTERED ARCHITECT
JEFF GAITHER
AR93666
Project No: 22-169
Drawn By: Jeff Gaither, AIA
AR93666

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Sheet Title

COVER

A000

GENERAL REQUIREMENTS

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS (WORKERS, GUESTS, OWNERS, STAFF, OUTSIDE CONTRACTORS, ETC.) AND PROPERTY, AS AFFECTED BY THE CONTRACTOR'S PRESENCE AND WORK DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND IS NOT LIMITED TO WORKING HOURS. WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH GOVERNING CODES AND REGULATORY AGENCIES. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CODE INSTALLATION REQUIREMENTS.

IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.

1. CONTRACT DOCUMENTS
 - A. THE CONTRACT DOCUMENTS SHALL CONSIST OF THE "AGREEMENT", WHICH IS A WRITTEN CONTRACT BETWEEN THE OWNER AND CONTRACTOR, THE GENERAL CONDITIONS AND THE CONTRACT DOCUMENTS.
 - B. THE CONTRACT DOCUMENTS SHALL INCLUDE THESE DRAWINGS AND WRITTEN NOTES AND SPECIFICATIONS, THE CONTRACTOR BID FORM, INTERIOR FINISH INDEX, ALL ADDENDUM, REQUESTS FOR INFORMATION (RFI) AND CONTRACT PROCESS DOCUMENTS.
 - C. IN THE CASE OF POSSIBLE CONFLICT OR AMBIGUITY WITHIN ANY REFERENCED DOCUMENTS, THESE DRAWINGS, WRITTEN PROJECT NOTES AND SPECIFICATION SHALL TAKE PRECEDENCE.
 - D. WORK UNDER OTHER MULTIPLE CONTRACTS SHALL BE CONDUCTED SIMULTANEOUSLY WITH THE WORK UNDER THE CONTRACT REFERENCED HEREIN. COOPERATE WITH THE SEPARATE CONTRACTOR(S), TO ALLOW THE WORK PERFORMED UNDER BOTH CONTRACT(S) TO BE CARRIED OUT WITHOUT INTERFERENCE OR DELAY.
 - E. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SEPARATE CONTRACTOR IN COMPLETE SETS, SO THAT THEY ARE FULLY AWARE OF ALL ASPECTS OF THE PROJECT AND OTHER DETAILS AFFECTING THEIR WORK.
2. GENERAL INTENT
 - A. THESE NOTES, SPECIFICATIONS, AND DRAWINGS SHOW THE GENERAL EXTENT OF THE PROJECT AND DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS, NOR DO THEY SHOW ALL OF THE CONDITIONS WHICH MAY BE ENCOUNTERED TO PROPERLY EXECUTE THE WORK, ON THE BASIS OF THE GENERAL DESIGN SCOPE INDICATED OR DESCRIBED. THE CONTRACTOR SHALL FURNISH ALL WORK ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE INTEGRATION OF THE VARIOUS COMPONENTS OF THE WORK, SO THAT NO PART SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION OWING TO ANY DISAGREEMENT BETWEEN VARIOUS SUBCONTRACTORS, OR THE SUBCONTRACTOR(S) AND THE CONTRACTOR AS TO WHERE THE WORK OF ONE BEGINS AND ENDS IN RELATION TO THE WORK OF ANOTHER.
3. VERIFICATION OF CONDITIONS
 - A. ALL EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. EACH BIDDER SHALL SCHEDULE A VISIT TO THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT / FAMILIARIZE HIMSELF / HERSELF WITH THE CONDITIONS AS THEY EXIST. THOROUGHLY EXAMINE THE DOCUMENTS PREPARED BY THE ARCHITECT, AND INCLUDE OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES, AND RESTRICTIONS IN RELATION TO THE EXECUTION OF THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID DUE TO FAILURE OF THE BIDDER TO FULLY ACQUAINT HIMSELF WITH THE SITE CONDITIONS AND THE REQUIREMENTS OF THE DOCUMENTS WILL NOT ENTITLE THE BIDDER TO ADDITIONAL CONSIDERATION, COMPENSATION OR EXTENSION OF TIME IF AWARDED THE CONTRACT FOR CONSTRUCTION. NO EXTRAS WILL BE AUTHORIZED FOR WORK, WHICH IS REQUIRED TO COMPLETE THE PROJECT SCOPE AND INTENT DUE TO CONDITIONS THAT ARE READILY OBSERVABLE AT THE PROJECT SITE.
 - B. CONDITION VERIFICATION INCLUDES VERIFYING THAT EXPOSED INTERIOR SURFACES OF WALLS, FLOORS, CEILINGS, ETC. AND DISCOLORED EXTERIOR SURFACES OF WALL SOFFITS, FASCIAS AND FLOORS ARE CLEAR OF VISIBLE MOLD. ALERT THE PROJECT MANAGER AND THE PROPERTY IF MOLD IS DETECTED ANYWHERE IN THE BUILDING. CONTRACTOR SHALL REPORT ALL DISCREPANCIES IN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
4. CONTRACTOR USE OF PREMISES
 - A. CONFINE OPERATIONS TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS, AND CONSTRUCTION DOCUMENTS TO THE EXTENT POSSIBLE SO AS NOT TO UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT. DO NOT DISTURB AREAS BEYOND CONSTRUCTION OPERATIONS AND TAKE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING BUILDING FROM DAMAGE DUE TO DEMOLITION AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS COST, ELEMENTS WHICH ARE NOT SPECIFIED TO BE DEMOLISHED DURING THE PROJECT.
 - B. THE OTHER AREAS OF THE BUILDING (OUTSIDE OF THE SUBJECT PROPERTY) WILL BE OCCUPIED DURING THE PROJECT. THE SAFETY OF BUILDING OCCUPANTS OF THE SUBJECT PROPERTY SHALL BE MAINTAINED AT ALL TIMES DURING THE PROJECT. ALL WORK SHALL BE DONE SO AS NOT TO INTERFERE WITH ACCESS TO REQUIRED EXITS FOR ANY OCCUPIED PART OF THE BUILDING AND TO CAUSE THE LEAST POSSIBLE INTERFERENCE WITH THE OPERATIONS OR EGRESS PATHS OF THE BUILDING. NOISE AND DUST SHALL BE HELD TO A MINIMUM CONSISTENT WITH REASONABLE CONSTRUCTION METHODS.
 - C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AROUND AND TEMPORARY PROTECTION OF THE EXISTING IN-PLACE SERVICES. EXISTING EQUIPMENT AND SERVICES ENTERING AND LEAVING THE BUILDING SHALL REMAIN INTACT IN THEIR EXISTING LOCATIONS. UNDISTURBED DURING THE PROJECT, THE CONTRACTOR SHALL COORDINATE THE ACTIVITIES OF HIS WORK CREW WITH THE BUILDING OWNER AND PROVIDE ANY SUPPLEMENTAL SUPPORT, BRACING AND RECONNECTION OF EXISTING PIPING, DUCTWORK, CONDUITS, ETC. AS NECESSARY TO MAINTAIN THE EXISTING SYSTEMS IN GOOD WORKING ORDER.
 - D. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, UNCRATING, SETTING IN PLACE, AND PROTECTING FROM DAMAGE ALL NEW EQUIPMENT FURNISHED BY THE CONTRACTOR. THE SAME SHALL ALSO APPLY TO ITEMS FURNISHED BY THE OWNER TO THE CONTRACTOR.
 - E. ANY WORK WHICH WILL AFFECT BUILDING OPERATIONS AND SERVICES SHALL BE COORDINATED IN A MANNER SATISFACTORY TO THE BUILDING MANAGER. PROVIDE NOT LESS THAN TWELVE (12) HOURS PRIOR NOTICE TO THE BUILDING MANAGER OF ACTIVITIES THAT WILL AFFECT THE OPERATIONS OF THE FACILITY.
 - F. THE OWNER, PROJECT MANAGER AND THE ARCHITECT AND THEIR REPRESENTATIVES SHALL HAVE COMPLETE, UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION.
 - G. THE GENERAL CONTRACTOR SHALL FOLLOW ALL BUILDING RULES AND REGULATIONS FOR CONSTRUCTION.
 - H. THE GENERAL CONTRACTOR MAY USE PROPERTY ELEVATORS TO ACCESS UPPER FLOORS, BUT SHALL, TO THE EXTENT POSSIBLE, SCHEDULE THE USE OF THE ELEVATORS DURING OFF-PEAK TIMES.
5. QUALITY ASSURANCE
 - A. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL OF THE WORK. ALL WORK IS TO BE PERFORMED IN A MANNER THAT MEETS OR EXCEEDS INDUSTRY STANDARDS FOR QUALITY.
 - B. USE ONLY NEW MATERIALS AND EQUIPMENT.
 - C. THE INSTALLER OF EACH BUILDING COMPONENT OR INDIVIDUAL SYSTEM SHALL VERIFY THAT THE CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED ARE AS REQUIRED. THE CONTRACTOR SHALL REMEDY CONDITIONS DETRIMENTAL TO PROPER AND TIMELY COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
6. PROJECT COORDINATION
 - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE WORK OF ALL TRADES. ALL TRADES SHALL BE REQUIRED TO ASSIST IN WORKING OUT FUNCTIONAL CONSIDERATIONS AND SPACE CONDITIONS TO MAKE SATISFACTORY ADJUSTMENTS AND SHALL BE PREPARED IN ACCORDANCE WITH SHOP DRAWINGS SUBMITTED FOR REVIEW AND APPROVAL.
 - B. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER WORK SCHEDULED FOR EXECUTION BY OTHER CONTRACTORS, VENDORS AND SUPPLIERS COMMISSIONED INDEPENDENTLY BY THE OWNER, THE OWNER'S PERSONNEL, AND THE PROJECT MANAGER.
 - C. THE CONTRACTOR WILL BE ASSIGNED LOCATIONS TO STAGE GANG BOXES, MATERIALS, STORAGE CONTAINERS, AND VEHICLES BY THE PROJECT MANAGER AND STAFF AT THE PRE-CONSTRUCTION MEETING AND IS RESPONSIBLE TO ENSURE THAT ALL SUB-CONTRACTORS ADHERE TO THESE ASSIGNMENTS.
 - D. THE CONTRACTOR WILL BE ASSIGNED A SCHEDULE OF HOURS OF OPERATION AND A PROJECT COMPLETION SCHEDULE AND IS RESPONSIBLE FOR ADHERING TO THESE SCHEDULES.
 - E. THE GENERAL CONTRACTOR SHALL HAVE A PROJECT FOREMAN ON SITE AT ALL TIMES OF SCHEDULED WORK. CONTRACTORS PROJECT FOREMAN SHALL ATTEND A DAILY COORDINATION MEETING WITH THE GENERAL MANAGER AND WEEKLY PROJECT MANAGER MEETINGS. ADDITIONAL MEETINGS WILL BE SCHEDULED ON AN AS-NEEDED BASIS.
 - F. WHERE BUILDING ELEMENTS ARE TOO LARGE TO FIT INSIDE THE CAVITY OF WALLS, WALLS ARE TO BE FURRED TO CONCEAL OR "BUILD IN" PIPING, ELECTRICAL PANELS AND OTHER RECESSED OBJECTS.

CLARITY OF INFORMATION

- A. IF THE CONTRACTOR DOES NOT HAVE SUFFICIENT INFORMATION TO PROCEED WITH THE WORK WITH ABSOLUTE CLARITY, OR IF THE INFORMATION PROVIDED TO THE CONTRACTOR IS VAGUE, UNCLEAR, CONFLICTING OR INCORRECT, THE CONTRACTOR HAS THE FULL RESPONSIBILITY TO IMMEDIATELY DIRECT QUESTION(S) OR REQUESTS FOR INFORMATION (RFI) TO THE PROJECT MANAGER AND THE ARCHITECT. NO WORK SHALL BE DONE UNTIL THE CONTRACTOR HAS BEEN PROVIDED WITH CLEAR, UNAMBIGUOUS INFORMATION. THE CONTRACTOR SHALL DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. DRAWINGS GOVERN OVER SPECIFICATIONS, AND LARGE-SCALE DRAWINGS GOVERN OVER SMALL SCALE DRAWINGS. ITEMS NOT SHOWN ON THE DRAWINGS OR SPECIFIED IN THE PROJECT MANUAL, BUT REASONABLY INCIDENTAL TO THE INSTALLATION, AS REQUIRED BY APPLICABLE CODES, AS PRACTICED BY THE TRADE, OR WHICH ARE STIPULATED BY THE MANUFACTURER OF EQUIPMENT BEING INSTALLED OR CONNECTED SHALL BE FURNISHED AND INSTALLED WITHOUT ADDITIONAL EXPENSE.
- C. IN THE EVENT THAT DISCREPANCIES OR AMBIGUITIES, ARE IDENTIFIED IN THE DRAWINGS OR SPECIFICATIONS, SUCH INCONSISTENCIES SHALL BE REPORTED TO THE PROJECT MANAGER AND THE ARCHITECT FOR CORRECTION DURING THE BIDDING PERIOD. OTHERWISE EXECUTE THE WORK, AS DIRECTED BY THE OWNER OR PROJECT MANAGER PER THE ARCHITECT'S RECOMMENDATIONS.
- D. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- E. PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF FRAMING/FURRING MEMBER UNLESS OTHERWISE NOTED.
8. LAYING OUT THE WORK
 - A. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES, LEVELS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY THE FIGURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCING THE WORK AND SHALL LAY OUT THE ACTUAL PARTITIONS FOR REVIEW WITH THE ARCHITECT OR PROJECT MANAGER AND THE FURNITURE INSTALLER BEFORE STUD INSTALLATION BEGINS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM HIS FAILURE TO DO SO. THE PROJECT MANAGER OR THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR LAYING OUT THE WORK.
 - B. CONTRACTOR SHALL SUPPLY, LOCATE, AND BUILD IN THE WORK ALL INSERTS, ANCHORS, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
9. SUBMITTALS
 - A. SUBMIT SHOP DRAWINGS AND SAMPLE SUBMITTALS TO THE ARCHITECT, ALLOWING A MAXIMUM OF TEN (10) BUSINESS DAYS FOR THE ARCHITECT'S REVIEW. ALLOW TIME FOR RE-SUBMITTALS FOR CLARIFICATIONS AND CORRECTIONS WHEN NECESSARY TO COMPLY WITH THE INTENT OF THE DRAWING AND VARIABLE CONDITIONS. EXTENSIONS OF TIME WILL NOT BE GRANTED BECAUSE OF FAILURE TO FURNISH SUBMITTALS IN A TIMELY MANNER.
10. SHOP DRAWINGS
 - A. SUBMISSIONS FOR ARCHITECT'S REVIEW SHALL INCLUDE DIMENSIONS, DIMENSIONS ESTABLISHED BY FIELD MEASUREMENTS, NOTATION OF COORDINATION REQUIREMENTS, IDENTIFICATION OF PRODUCT AND MATERIAL USES, MATERIAL SPECIFICATIONS, AND EQUIPMENT SPECIFICATIONS. SPECIFICATIONS ARE TO INCORPORATE REGULATORY BODY STAMPS OF APPROVAL AND / OR RATINGS (E.G. FIRE RATING, UL RATING, ETC.), IMAGES OR PHOTOGRAPHS AS REQUIRED TO CHARACTERIZE THE MATERIALS, AND EQUIPMENT PLANNED FOR INSTALLATION.
 - B. FURNISH ONE (1) NON-EDITABLE ELECTRONIC COPY OF PRODUCT DATA CUT SHEETS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 - C. DO NOT USE SHOP DRAWINGS OR PDF'S WITHOUT THE ARCHITECT'S STAMP, INDICATING ACTION TAKEN IN CONJUNCTION WITH THE SHOP DRAWINGS PREPARED IN CONJUNCTION WITH THE PROJECT.
11. SUBMITTAL REVIEWS
 - A. THE ARCHITECT WILL REVIEW AND TAKE APPROPRIATE ACTION UPON THE CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWING, PRODUCT DATA, AND SAMPLES BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR GENERAL CONFORMANCE WITH THE INFORMATION GIVEN AND THE DESIGN CONCEPT AND INTENT, AS EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS DIMENSIONS, OPERATING FUNCTIONS, AND QUANTITIES, OR TO SUBSTANTIATE INSTRUCTION FOR THE INSTALLATION OR PERFORMANCE OF EQUIPMENT OF SYSTEMS, ALL OF WHICH REMAIN THE RESPONSIBILITY OF THE CONTRACTOR, AS REQUIRED BY THE CONTRACT DOCUMENTS. THE ARCHITECT WILL TAKE RESPONSIVE ACTION TO THE FOLLOWING SUBMITTALS:
 1. "A" ACTION: THE ARCHITECT'S REVIEW OF THE SUBMITTAL IS IN COMPLIANCE WITH THE CONTRACT DOCUMENTS
 2. "B" ACTION: THE FABRICATION, MANUFACTURE, AND CONSTRUCTION OF THE ITEM IDENTIFIED IN THE SUBMITTAL MAY PROCEED AS NOTED, PROVIDED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FABRICATION, MANUFACTURE, AND CONSTRUCTION OF THE ITEM IDENTIFIED IN THE SUBMITTAL MAY BE FABRICATED, MANUFACTURED OR CONSTRUCTED.
 3. "C" ACTION: NO WORK ON THE ITEM IDENTIFIED IN THE SUBMITTAL MAY BE FABRICATED, MANUFACTURED OR CONSTRUCTED.
 4. INFORMATION: RECEIPT OF A QUALITY CONTROL SUBMITTAL IS ACKNOWLEDGED
 5. NOT REVIEWED: SUBMITTAL IS NOT PREPARED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR IS NOT A REQUIRED SUBMITTAL
12. MATERIAL SAMPLES
 - A. SUBMIT SAMPLES IDENTICAL TO PRODUCT PROPOSED FOR ARCHITECT'S REVIEW. FURNISH THREE (3) SAMPLES EACH, INCLUDING A GENERIC DESCRIPTION, SOURCE, FACTORY NAME OR MANUFACTURER COMPLIANCE, PRODUCT SPECIFICATION, AVAILABILITY, AND DELIVERY TIME.
13. CONTRACTOR'S CONSTRUCTION SCHEDULE
 - A. GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE OR THE PROJECTED LENGTH OF TIME ANTICIPATED BY THE GENERAL CONTRACTOR TO COMPLETE THE PROJECT WITH THE GENERAL CONTRACTOR'S BID.
 - B. WITHIN FOURTEEN (14) DAYS OF THE ESTABLISHED COMMENCEMENT OF THE WORK, THE GENERAL CONTRACTOR IS TO SUBMIT A DETAILED GANTT-CHART ILLUSTRATING THE COMPREHENSIVE CONSTRUCTION SCHEDULE, AS PLANNED FOR THE PROJECT, INCLUDING DETAILED SCHEDULES PREPARED FOR EACH TRADE REQUIRED FOR THE PROJECT. CONSIDER AND INCORPORATE REQUIRED MEETING SCHEDULES, COORDINATION OF INDIVIDUAL TRADES, AND OPERATIONAL REQUIREMENTS OF THE PROPERTY UNDER RENOVATION FOR THE ENTIRE DURATION OF THE PROJECT. INCLUDE THE ANTICIPATED DATES FOR SUBSTANTIAL AND FINAL COMPLETION MILESTONES, AND FOR OTHER CRITICAL MILESTONES NECESSARY TO SUCCESSFULLY COMPLETE THE WORK OUTLINED IN THE CONTRACT DOCUMENTS. PROVIDE UPDATED SCHEDULES ON A WEEKLY BASIS FOR BUILDING MANAGEMENT STAFF, AS WELL AS THE PROJECT MANAGER.
14. SUB-CONTRACTORS AND SUPPLIERS
 - A. THE CONTRACTOR SHALL SUBMIT, PRIOR TO COMMENCEMENT OF THE WORK, A SWORN STATEMENT, IDENTIFYING ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS TO BE UTILIZED ON THE PROJECT.
15. TEMPORARY FACILITIES AND PROTECTION OF THE PREMISES
 - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND PROVIDING GENERAL SERVICES AND TEMPORARY FACILITIES, AS SPECIFIED HEREIN AND AS REQUIRED FOR THE PROPER AND EXPEDITIOUS EXECUTION OF THE WORK, INCLUDING, BUT NOT LIMITED TO: TEMPORARY STORAGE, TEMPORARY ELECTRICAL POWER, AND LIGHTING, TEMPORARY MECHANICAL VENTILATION, TEMPORARY ENCLOSURES, TEMPORARY PARTITIONS, TEMPORARY OPENINGS, TEMPORARY SIGNAGE, AND TEMPORARY TELEPHONE.
 - B. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN REUSE CONTAINERS IN AN APPROPRIATE LOCATION, AS DETERMINED JOINTLY BY THE PROJECT MANAGER, OWNER / OPERATOR / MANAGER OF THE BUILDING, AND SITE SUPERINTENDENT FOR THE DISPOSAL OF DEBRIS AND REFUSE THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL REFUSE FROM THE WORK AREA AND DEPOSIT IT INTO THESE CONTAINERS. SHOULD THE OWNER / OPERATOR / MANAGER DEEM IT NECESSARY TO REMOVE TRASH DUE TO EXCESSIVE ACCUMULATION, THE CONTRACTOR SHALL BE CHARGED ACCORDINGLY.
 - C. ADEQUATE PROTECTION SHALL BE TAKEN AGAINST FIRE THROUGHOUT ALL THE CONTRACTOR'S AND SUB-CONTRACTOR'S OPERATIONS. THE INTEGRITY OF THE FIRE PROTECTION SYSTEMS MUST BE MAINTAINED, AND A FIRE WATCH BE PROVIDED BY THE CONTRACTOR, AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL AND TEMPORARY FIRE PROTECTION IN ALL AREAS AFFECTED BY THE SCOPE OF THE WORK.
 - D. THE PROJECT SITE SHALL BE LEFT IN A CLEAN AND SAFE CONDITION AT THE END OF EACH DAY.
 - E. ONLY DESIGN ENTRANCES DESIGNATED BY THE OWNER / LEASOR SHALL BE USED DURING CONSTRUCTION FOR PERSONNEL, DELIVERIES, AND REMOVAL OF MATERIALS. REMOVAL OF MATERIALS AND EQUIPMENT SHALL NOT BE MOVED THROUGH COMMON AREAS WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER / LEASOR DURING THE HOURS SET BY THE OWNER.

- F. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE LOCATED IN CONFINED AREAS APPROVED BY THE OWNER. TRUCK TRAFFIC (WHEN REQUIRED) SHALL BE ROUTED TO AND FROM THE PROJECT SITE, AS COORDINATED WITH THE OWNER'S REPRESENTATIVE, AND SCHEDULED SO AS NOT TO BURDEN OTHER BUILDING OPERATORS AND USERS. PARKING FOR THE CONTRACTOR'S PERSONNEL SHALL BE LIMITED TO ONLY THOSE AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REMOVE ANY CONTRACTOR OR SUB-CONTRACTOR WHO VIOLATES THE ABOVE REQUIREMENTS TO CEASE WORK AND IMMEDIATELY REMOVE IT, ALL RELATED EQUIPMENT AND ITS EMPLOYEES FROM THE PROJECT SITE.
- G. THE GENERAL CONTRACTOR SHALL PROTECT ALL AREAS AT ALL TIMES, INCLUDING THE PARKING LOT, ENTRY PATHWAY AND STAIRS, AND SHALL ANTICIPATE INCIDENTAL WEAR AS A RESULT OF THE CONSTRUCTION PROCESS. PROJECT SCOPE SHALL INCLUDE REMEDY(S) TO REPAIR ALL SURFACES, MATERIALS AND EQUIPMENT TO PRE-CONSTRUCTION CONDITION. THESE REMEDIES SHALL BE INCLUDED IN THE SCOPE OF WORK AND UNDER NO CIRCUMSTANCE BECOME A BILLABLE EXPENSE TO THE OWNER.
- H. THE CONTRACTOR SHALL PROTECT ALL EXISTING INTERIOR UTILITIES, TAKING NECESSARY PRECAUTIONS TO PROTECT THEM FROM ANY TYPE OF DAMAGE (SUCH AS LOSS OF STRENGTH, CAPACITY, PERFORMANCE, AND AESTHETICS), IMMEDIATELY REPAIR ITEMS DAMAGED DURING CONSTRUCTION TO THE SATISFACTION OF THE OWNER AND ANY GOVERNING AUTHORITIES AT NO COST TO THE OWNER.
- B. MATERIAL SUBSTITUTIONS
 - A. THE CONTRACTOR MAY USE AN ACCEPTABLE SUBSTITUTE PRODUCT OR PROCESS WHICH FULFILLS THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ONLY UPON WRITTEN ACCEPTANCE BY THE PROJECT MANAGER AND ARCHITECT PRIOR TO PROCURING OR INSTALLING THE SUBSTITUTE ITEM. WHERE A PRODUCT IS NOT SPECIFIED, THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SUBSTITUTIONS THAT HAVE A SUBSTANTIAL IMPACT ON ADJACENT TRADE, OR THOSE THAT REQUIRE SIGNIFICANT REVISIONS TO THE CONTRACT DOCUMENTS WILL NOT BE ACCEPTED.
 - C. THE CONTRACTOR IS TO DIRECT SUBSTITUTION REQUESTS TO THE PROJECT MANAGER AND ARCHITECT. IN WRITING, USING THE FORM FURNISHED BY THE PROJECT ARCHITECT, THE CONTRACTOR MUST INDICATE THE REASON FOR THE PROPOSED SUBSTITUTION, COMPLIANCE WITH THE PERFORMANCE REQUIREMENTS, PRODUCT DATA, DRAWINGS OR DESCRIPTIONS AS NEEDED TO DESCRIBE THE SUBSTITUTED PRODUCT. INCLUDE ANY CHANGES IN THE COST OR EFFECT UPON THE CONSTRUCTION SCHEDULE.
 - C. CUTTING AND PATCHING
 - A. THE REMOVAL AND INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING, AND ARCHITECTURAL ITEMS MAY REQUIRE THE PENETRATION OR REMOVAL OF FLOORING, CEILINGS AND WALLS OR FLOORS OF ADJACENT ROOMS. DURING THIS PROCESS, VERIFY THAT NEWLY EXPOSED INTERIOR SPACES OF WALL, CEILINGS, AND FLOORS ARE CLEAR OF MOLD. ALERT THE OWNER'S REPRESENTATIVE AND THE BUILDING MANAGER IF MOLD IS DISCOVERED, SO THAT PROPER REMEDIATION CAN BE ADDED TO THE PROJECT SCOPE. PATCH AND FINISH THESE AREAS ONLY AFTER MOLD HAS BEEN FULLY REMEDIATED.
 - B. PATCH AND FINISH NEW OPENINGS, PENETRATIONS AND EXPOSED AREAS TO MATCH ADJACENT AND / OR EXISTING FINISH, WITH IDENTICAL SUBSTRUCTURE MATERIAL AND FINISH CONSTRUCTION (OR AS ACCEPTABLE TO THE OWNER'S REPRESENTATIVE), UNLESS NOTED OTHERWISE.
 - C. PATCH WITH DURABLE SEAMS THAT ARE INVISIBLE. ELIMINATING EVIDENCE OF PATCHING. USE MATERIALS THAT ARE IDENTICAL TO THE PATCH MATERIAL. DO NOT CUT AND PATCH CONSTRUCTION ELEMENTS, UNLESS SO NOTED IN THE CONTRACT DOCUMENTS. IF CUTTING OF STRUCTURAL ELEMENTS IS ANTICIPATED, SUBMIT ENGINEERING PROPOSAL FOR THE WORK TO THE OWNER'S REPRESENTATIVE AND THE ARCHITECT FOR INFORMATION.
 - D. CLEANING AND PROTECTION
 - A. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN AND SAFE CONSTRUCTION AREA AT ALL TIMES. REMOVE TRASH DAILY TO AN AREA DESIGNATED BY THE OWNER'S REPRESENTATIVE. PROTECT THE WORK SO THAT IT WILL BE FREE OF DAMAGE AT FINAL ACCEPTANCE. BEFORE FINAL ACCEPTANCE, REMOVE CONSTRUCTION MATERIALS, TEMPORARY PROTECTION AND THOROUGHLY CLEAN THE WORK TO BE READY FOR FINAL OCCUPANCY AND THE INTENDED USE OF THE SPACE.
 - E. PERMITS
 - A. THE OWNER SHALL SECURE AND PAY FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL SECURE ALL OTHER PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, PAYING FOR ALL ASSOCIATED FEES.
 - B. THE CONTRACTOR SHALL OBTAIN OCCUPANCY CERTIFICATES AS REQUIRED BY THE GOVERNING AUTHORITIES.
 - F. PROTECTION OF ADJACENT PROPERTIES
 - A. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL PROPERTIES ADJACENT TO THE EXISTING BUILDING. BEFORE THE CONTRACTOR, BEFORE COMMENCEMENT OF ANY PART OF THE WORK, SHALL GIVE ANY NOTICES REQUIRED TO BE GIVEN TO AN ADJOINING PROPERTY OWNER OR OTHER PARTY. THE REQUIREMENTS FOR "CONTRACTOR USE OF PREMISES" SHALL APPLY TO ADJACENT PROPERTIES.
 - G. EXECUTION
 - A. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED WRITTEN SPECIFICATIONS AND RECOMMENDATIONS, AND IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS.
 - H. UTILITY COORDINATION
 - A. ALL UTILITY SHUT-OFFS, AS REQUIRED BY THE CONTRACTOR FOR COMPLETION OF THEIR WORK SUCH AS ELECTRICAL, GAS, WATER, SEWER, STEAM, ETC. MUST BE SCHEDULED THROUGH THE OWNER'S REPRESENTATIVE AND PROJECT MANAGER PRIOR TO COMMENCING WITH THE WORK, AND SHALL HAVE PRIOR WRITTEN APPROVAL OF THE APPROPRIATE PUBLIC UTILITIES AND AUTHORITIES.
 - B. EXTENDING RE-ROUTE CIRCUITS TO EXISTING FIXTURES TO REMAIN WHERE EXISTING CIRCUITS ARE INTERRUPTED BY THE WORK AND WHERE FIXTURES ARE RELOCATED.
 - I. MISCELLANEOUS
 - A. THE CONTRACTOR SHALL PROTECT, CUT-OFF, CAP AND / OR REPLACE AND RELOCATE EXISTING VACATED PIPES, DUCTS, ELECTRICAL CONDUITS, ETC., WHICH INTERFERE WITH THE WORK, AS APPLICABLE AND AS NECESSARY TO MAINTAIN THE EXISTING BUILDING SYSTEMS IN A WORKABLE, FULLY FUNCTIONAL STATE.
 - J. FINISH SURFACES
 - A. ALL FINISHES ADDED DURING THIS RENOVATION ARE TO MEET OR EXCEED THE FLAME SPREAD AND SMOKE RATING PER IRC SECTION 803 AND TABLE(S) 803.9 FOR A SPRINKLERED BUILDINGS. THE CONTRACTOR SHALL CHECK PROTECTION TAGS ON ALL FLOOR, WALL AND CEILING FINISHES. ADVISE THE ARCHITECT OF ANY FINISHES THAT DO NOT COMPLY WITH THIS REQUIREMENT. DO NOT INSTALL NON-COMPLIANT MATERIALS.
 1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AREA TAKE-OFFS, COUNTS AND DIMENSIONS BY MAKING THEIR OWN FIELD MEASUREMENTS AT THE START OF THE WORK. THIS INCLUDES VERIFYING CARPET, BASE, VINYL WALL COVERINGS, WALL FABRIC AND WINDOW TREATMENT QUANTITIES.
 2. ALL FINISHED SURFACES, INCLUDING FACTORY-FINISHED AND JOB-FINISHED ITEMS SHALL BE CLEAN AND NOT MARRED UPON DELIVERY TO THE BUILDING. THE CONTRACTOR SHALL, WITHOUT EXTRA COMPENSATION, REPLACE ALL SUCH SURFACES WHERE INSUFFICIENT PROTECTIVE MEASURES HAVE BEEN TAKEN TO AVOID DAMAGE.
 3. INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - K. PRE-CONSTRUCTION MEETING
 - A. PRIOR TO THE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE AND PROJECT MANAGER TO DISCUSS THE COORDINATION AND EXECUTION OF THE WORK, WITH THE FOLLOWING DOCUMENTS:
 1. AT LEAST ONE (1) SET OF THE APPROVED PROJECT DRAWINGS AND SPECIFICATIONS
 2. A CONSTRUCTION SCHEDULE, TO BE APPROVED BY THE OWNER'S REPRESENTATIVE AND PROJECT MANAGER.
 3. THE BUILDING PERMIT
 4. CERTIFICATES OF INSURANCE (EACH TYPE REQUIRED)
 5. THE NOTIFICATION OF APPROPRIATE PUBLIC UTILITIES
 6. THE SUB-CONTRACTOR AND SUPPLIER LIST
 7. COMPLETION OF ANY REQUIRED ON-SITE PERSONNEL ORIENTATION MEETINGS
 - L. PROJECT MEETINGS
 - A. THE PROJECT MANAGER SHALL CONDUCT WEEKLY MEETINGS AT A DATE AND TIME ACCEPTABLE TO THE OWNER AND ARCHITECT. THE PROJECT MANAGER SHALL PREPARE MINUTES AND AN AGENDA, RECORDING THE REVIEW OF JOB PROGRESS, RECOMMENDATIONS, UNRESOLVED ISSUES, INCOMPLETE ITEMS AND POTENTIAL PROBLEMS WHICH MAY AFFECT THE CONSTRUCTION, THE SCHEDULE, AND / OR THE COST OF THE PROJECT.
 - M. APPLICATIONS FOR PAYMENT
 - A. THE CONTRACTOR SHALL PREPARE A DETAILED BREAKDOWN SCHEDULE OF VALUES, IN A LINE-ITEM TABULAR FORMAT, INDICATING THE GENERIC TRADE NAME, NAME OF SUBCONTRACTOR, NAME OF SUPPLIER, CHANGE ORDERS (WHERE APPLICABLE), DOLLAR VALUES, PERCENTAGE COMPLETE, AND ANY OTHER RELEVANT IDENTIFYING INFORMATION AS REQUIRED BY THE OWNER.
 - B. PROGRESS PAYMENTS SHALL BE ON A REGULAR AGREED-UPON SCHEDULE, NO LATER THAN THIRTY (30) DAYS APART IN FREQUENCY, OR AS AGREED-TO BETWEEN THE OWNER AND CONTRACTOR.

- C. CHANGES TO THE CONTRACT SUM MAY ONLY OCCUR AFTER WRITTEN APPROVAL BY THE PROJECT MANAGER AND THE OWNER. THE OWNER'S REPRESENTATIVE MAY SUBMIT CHARGES FOR CHANGES TO THE WORK ONLY AFTER THE PROJECT MANAGER'S AND OWNER'S WRITTEN APPROVAL.
- D. PAYMENT APPLICATION FORMS AIA G702 AND AIA G703, OR OWNER-FURNISHED DOCUMENTS SHALL BE USED. THREE (3) COPIES, NOTARIZED BY THE CONTRACTOR'S OWNER'S REPRESENTATIVE, SHALL BE SUBMITTED WITH THE REQUIRED LIEN-RELEASES, WAIVERS, AND AFFIDAVITS SHALL BE SUBMITTED.
- E. SUBMIT WAIVERS OF MECHANIC LIENS FOR THE FULL VALUE OF THE WORK COMPLETED, FROM THE CONTRACTOR, EACH SUB-CONTRACTOR, SUB-SUBCONTRACTOR, AND SUPPLIER. SUBMIT ALSO AFFIDAVITS OF PARTIAL PAYMENT, AS MAY BE REQUIRED BY THE OWNER. SUBMIT FINAL WAIVERS FROM EVERY CONTRACTOR, SUPPLIER, ETC., WHO COULD BE LAWFULLY ENTITLED TO A LIEN WITH THE FINAL APPLICATION FOR PAYMENT. USE STANDARD APPLICATION AND LEGALLY ACCEPTABLE FORMS OR OWNER-FURNISHED FORMS.
- F. APPLICATIONS FOR PAYMENT AT SUBSTANTIAL COMPLETION SHALL FOLLOW COMPLETION AND SUBMITTAL OF THE FOLLOWING: OCCUPANCY PERMITS (INCLUDING ALL APPROVALS REQUIRED FOR OCCUPANCY), WARRANTIES, PROJECT RECORD DOCUMENTS, MAINTENANCE AGREEMENTS / INSTRUCTIONS, FINAL CLEANING, APPLICATIONS FOR REDUCTION OF RETENTION, INSURANCE COVERAGE INFORMATION, AND A LIST OF INCOMPLETE WORK TO BE COMPLETED BY THE CONTRACTOR PRIOR TO A DATE STIPULATED BY THE OWNER. APPLICATION FOR FINAL PAYMENT SHALL FOLLOW COMPLETION AND SUBMITTAL OF THE FOLLOWING INCOMPLETE WORK AND PROJECT CLOSEOUT REQUIREMENTS, PAID TAXES AND FEES, REMOVAL OF TEMPORARY FACILITIES, REMOVAL OF SURPLUS MATERIALS AND TRASH, CHANGE OF DOOR LOCKS TO OWNER'S ACCESS, AND ASSURANCE THAT ANY UNSETTLED CLAIMS, INCOMPLETE WORK ITEMS, ETC., WILL BE RESOLVED WITHOUT DELAY.
- N. REPORTS
 - A. THE CONTRACTOR SHALL PREPARE MONTHLY PROGRESS REPORTS, INDICATING ACTUAL START AND COMPLETION TIMES FOR EACH ACTIVITY CORRELATED TO SCHEDULED COMPLETION DATES.
- O. MODIFICATION PROCEDURES
 - A. MINOR CHANGES IN THE WORK, ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS (ASI), AUTHORIZING MINOR CHANGES IN THE WORK, NOT INVOLVING AN ADJUSTMENT TO THE CONTRACT SUM OR CONTRACT TIME, WILL BE ISSUED BY THE PROJECT MANAGER OR ARCHITECT ON THE ASI FORM, SUPPLIED IN FRONT-END DOCUMENTS.
 - B. OWNER-INITIATED REQUESTS FOR PROPOSALS WILL BE ISSUED BY THE PROJECT MANAGER OR ARCHITECT. REQUESTS FOR PROPOSALS WILL BE ISSUED BY THE PROJECT MANAGER OR ARCHITECT ON THE ASI FORM, SUPPLIED IN FRONT-END DOCUMENTS. AND ARE NOT INSTRUCTIONS TO STOP ONGOING WORK OR INCORPORATE A CHANGE. CONSTRUCTION CHANGE AUTHORIZATIONS (CCAs) MUST BE ISSUED BY THE ARCHITECT. THE PROJECT MANAGER SHALL INSTRUCT THE CONTRACTOR TO PROCEED WITH THE CHANGE IN WORK, PRIOR TO ITS SCHEDULE AND COST IMPACTS BEING ESTABLISHED ON THE CCA FORM. THE CONTRACTOR SHALL KEEP DETAILED RECORDS ON A TIME-AND-MATERIAL BASIS, OF THE WORK REQUIRED. THE CONTRACTOR SHALL SUBMIT AN ITEMIZED ACCOUNT, IN ORDER TO SUBSTANTIATE THE COST OF CHANGE ADJUSTMENTS, PRIOR TO THE OWNER'S REVIEW AND APPROVAL OF A CHANGE ORDER AND REVISIONS TO THE SCHEDULE AND CONTRACT SUM.
 - D. CHANGE ORDER (CO) PROCEDURES: UPON THE PROJECT MANAGER'S APPROVAL OF A CHANGE ORDER PROPOSAL REQUEST, THE ARCHITECT WILL ISSUE A CHANGE ORDER OR SIGNATURES OF THE OWNER AND THE ARCHITECT, ON THE CO FORM, PROVIDED THE PROJECT MANAGER OR ARCHITECT IN THE FRONT-END DOCUMENTS, IN ACCORDANCE WITH THE GENERAL CONDITIONS OF THE CONTRACT.
- P. WARRANTIES
 - A. THE CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL SYSTEMS, EQUIPMENT, AND MATERIALS. WORKMANSHIP SHALL BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION UNDER THIS CONTRACT. THE CONTRACTOR SHALL REPLACE OR REPAIR THE WORK WHICH PROVES TO BE DEFECTIVE OR NOT IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS WITHOUT ADDITIONAL COST TO THE OWNER AND WITHOUT INTERFERENCE WITH THE OWNER'S OPERATIONS. THE CONTRACTOR SHALL SUBMIT THE COMPLETED WARRANTY FORM ATTACHED IN THE PROJECT MANUAL.
- Q. CONTRACT CLOSE-OUT
 - A. THE CONTRACTOR SHALL REMOVE ALL TRASH, WASTE MATERIALS, TEMPORARY PARTITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANING OF THE PROJECT SITE, AS WELL AS ADJACENT AREAS (CARPET, WALLS, GLASS, ETC. SOILED DURING CONSTRUCTION) THROUGHOUT THE DATE OF SUBSTANTIAL COMPLETION, AND AS REQUIRED BY LATER CONSTRUCTION OPERATIONS.
 - B. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED FOR THEIR PROPER OPERATION.
 - C. THE CONTRACTOR SHALL MAINTAIN A RECORD COPY OF DRAWINGS, SPECIFICATIONS AND DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO REISSUE ACTUAL AS-BUILT CONDITIONS. THE CONTRACTOR SHALL ALSO MAINTAIN A RECORD OF PROJECT SHOP DRAWINGS, DATA SUBMITTALS, AND COMPLETE MECHANICAL AND ELECTRICAL EQUIPMENT MAINTENANCE MANUALS IN HARD COVERED BINDERS. THE CONTRACTOR SHALL CERTIFY BY STAMP ON A REPRODUCIBLE OF THE RECORD DOCUMENTS, THAT EACH OF THE PROVIDED SHEETS REPRESENTS A COMPLETE AND ACCURATE RECORD OF THE WORK AS EXECUTED. THE CONTRACTOR SHALL ALSO SUBMIT A COMPLETED STATEMENT OF APPLICATION FORM PROVIDED IN THE FRONT-END DOCUMENTS.
 - D. PROVIDE THE OWNER WITH COMPLETE AS-BUILT DRAWINGS AND ELECTRONIC FILES ONLY ON CONTRACTUAL ADD RESOURCES. AS-BUILT DRAWINGS AND ELECTRONIC FILES ARE NOT IN CONTRACT (NIC).
- R. SUBMITTALS FOR CONTRACT CLOSE-OUT
 - A. IN ADDITION TO THE GENERAL WARRANTY OF THE WORK AND THE ADDITIONAL ITEMS REQUIRED BY THE GENERAL / SUPPLEMENTAL CONDITIONS, FURNISH THE FOLLOWING:
 1. FINAL WAIVER OF LIEN, AS REQUIRED.
 2. WARRANTIES OUTSTANDING
 3. RECORD DOCUMENTS
 4. OPERATING MAINTENANCE MANUALS
 5. CERTIFICATIONS
 6. CERTIFICATE OF OCCUPANCY

GENERAL SPECIFICATIONS:

- Thermal and Moisture Protection
1. PROVIDE THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES AND EXTERIOR TRANSOMS SHALL BE DOUBLE-PANED, INSULATED, AND TEMPERED.
 2. EXTERIOR CMU WALLS
 3. PROVIDE R-4.2 FI-Foil AA-2 VAPOR SHIELD
 4. REFLECTIVE INSULATION/VAPOR BARRIER IN ALL AREAS WHICH RECEIVE GYPSUM BOARD OR CMU WALLS.
 5. FILL CELLS WITH COREFILL 500 INSULATION OR EQUIVALENT PRODUCT.
 6. N/A
 7. CEILINGS
 - a. ATTIC AREAS - GLASS FIBER, BLOWN-IN: R-30
 - b. VAULTED/DRAFTER FRAMED - GLASS FIBER, BATTS: R-30
 8. WOOD FRAMED FLOORS OVER UNHEATED AREAS
 - a. GLASS FIBER BATTS: R-19
 9. PROVIDE FLASHING AND SHEET METAL REQUIRED TO PREVENT INFILTRATION OF WATER THROUGHOUT THE EXTERIOR SHELL OF THE BUILDING
 10. PROVIDE FLASHING AND DOWNSPOUTS AS REQUIRED.
 11. ALL JOINTS OF COPPER FLASHING SHALL BE FULLY SOLDERED.
 12. ALL JOINTS OF ALUMINUM FLASHING SHALL BE FULLY WELDED.
 13. ALL ALUMINUM USED WITHIN OR ON THE STRUCTURE SHALL NOT COME IN DIRECT OR INDIRECT CONTACT WITH ANY ZINC COATED (GALVANIZED) METALS OF ANY TYPE.
 14. PROVIDE A CONTINUOUS VAPOR BARRIER AT ALL EXPOSED EXTERIOR WALLS WITH THE BARRIER LOCATED PER THE PRODUCT MFR'S SPECIFICATIONS PURSUANT TO THE LOCAL PREVAILING CLIMATIC CONDITIONS.
- DOORS AND WINDOWS
1. DOORS: SEE PLANS AND EXTERIOR ELEVATIONS FOR SIZE AND TYPE. GLAZING IN DOOR SIDELITES AND EXTERIOR TRANSOMS SHALL BE DOUBLE-PANED, INSULATED, AND TEMPERED.
 2. WINDOWS: SEE PLANS AND EXTERIOR ELEVATIONS FOR SIZE AND TYPE. GLAZING SHALL BE DOUBLE-PANED, INSULATED, AND TEMPERED AS REQUIRED BY THE FLORIDA BUILDING CODE, LATEST EDITION.
- FINISHES
1. GYPSUM WALL PANEL USAGE SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 2. WALLS: ½" GYPSUM WALLBOARD AT ALL APPLICABLE FACES
 3. CEILINGS: 5/8" GYPSUM CEILING BOARD AT ALL APPLICABLE FACES
 4. PROVIDE METAL CORNER BEAD AS REQUIRED BY THE DESIGN AND INSTALLED PER THE USG CONSTRUCTION HANDBOOK
 5. TAPE, FLAT AND SAND JOINTS AND OTHER REQUIRED AREAS AT ALL WALLS, CEILINGS, BEAMS, SOFFITS, COLUMNS AND ALL OTHER GYPSUM BOARD COVERED AREAS AS REQUIRED TO OBTAIN A UNIFORMLY SMOOTH, CLEAR SURFACE, UNLESS NOTED OTHERWISE.
 6. CEMENT BOARD SHALL BE INSTALLED AT ALL WALLS AND CEILINGS THAT ARE ADJACENT TO OR SURROUND TUBS, SHOWERS AND ALL "WET" AREAS AS REQ'D.
- EQUIPMENT/SPECIALTIES
1. APPLIANCES: ALL APPLIANCES SHALL BE INSTALLED PER THE MFRS. SPECIFICATIONS.



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Waters Car Wash

STUART, FL

CONSULTANT:

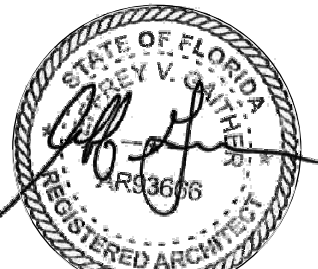
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PERMIT SET	06/14/24

Revisions

#	Description	Date

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This item has been electronically signed and sealed by: Jeff Gaither, AIA on the Date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

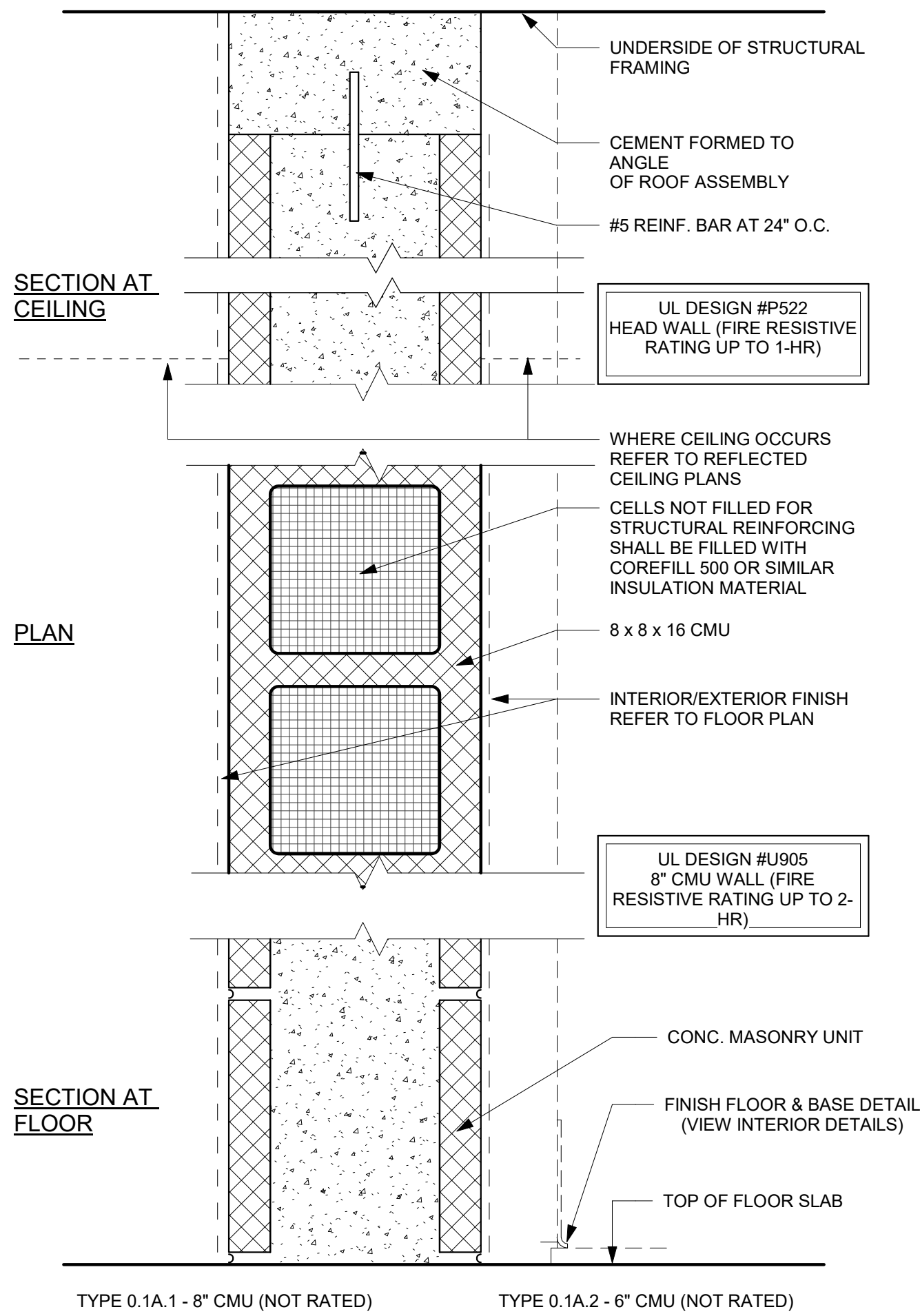
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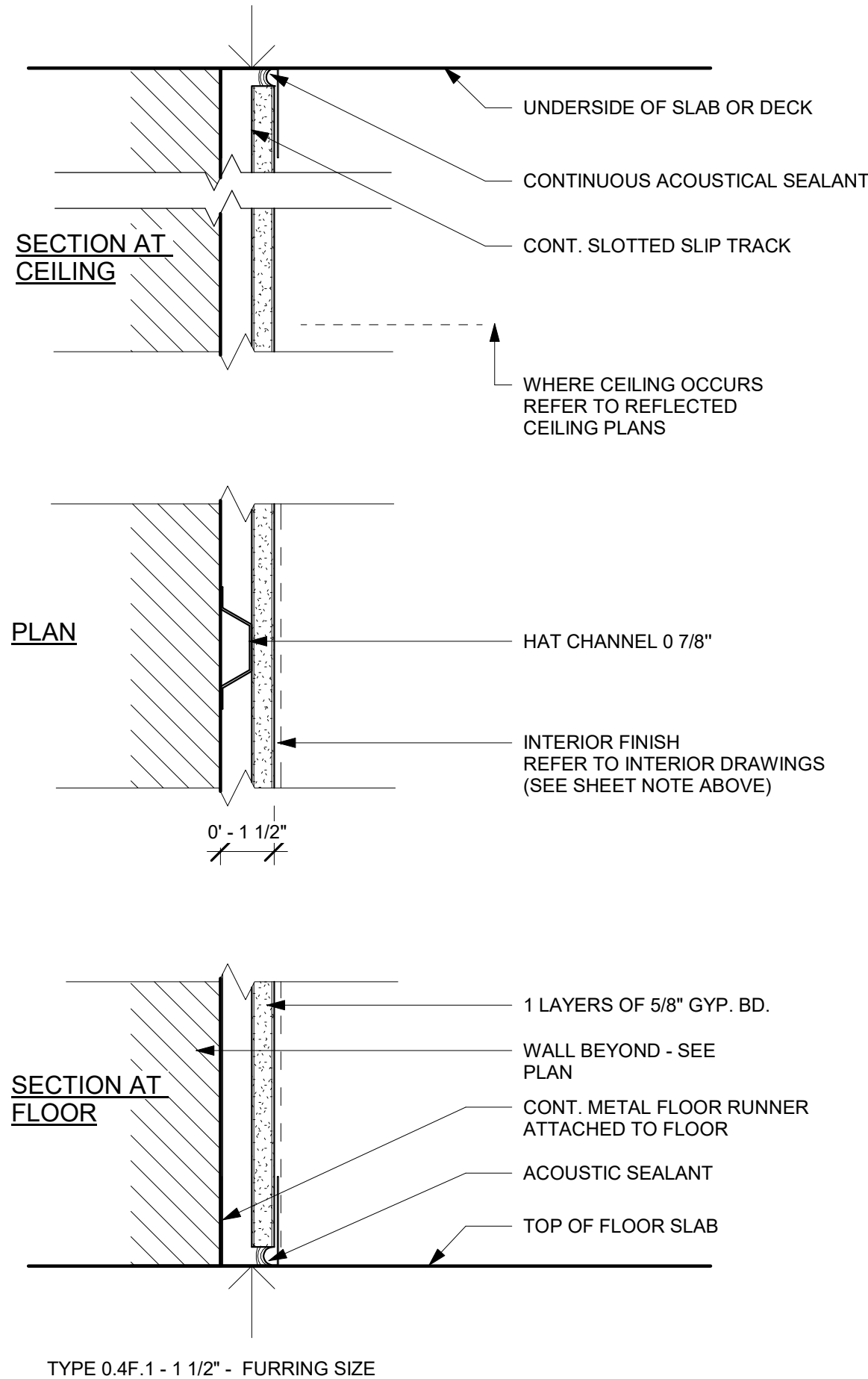
Sheet Title

GENERAL
REQUIREMENT / SPECS

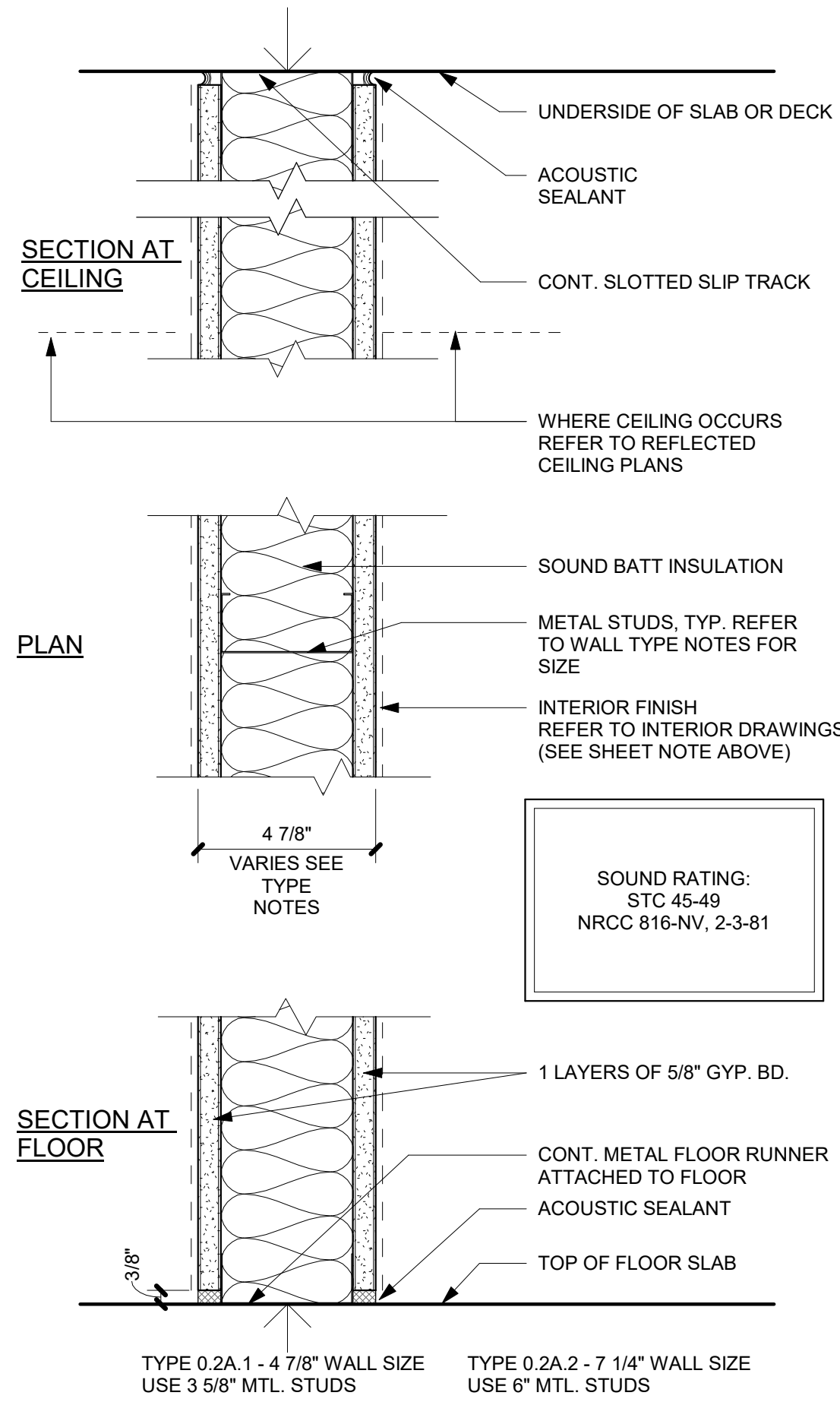
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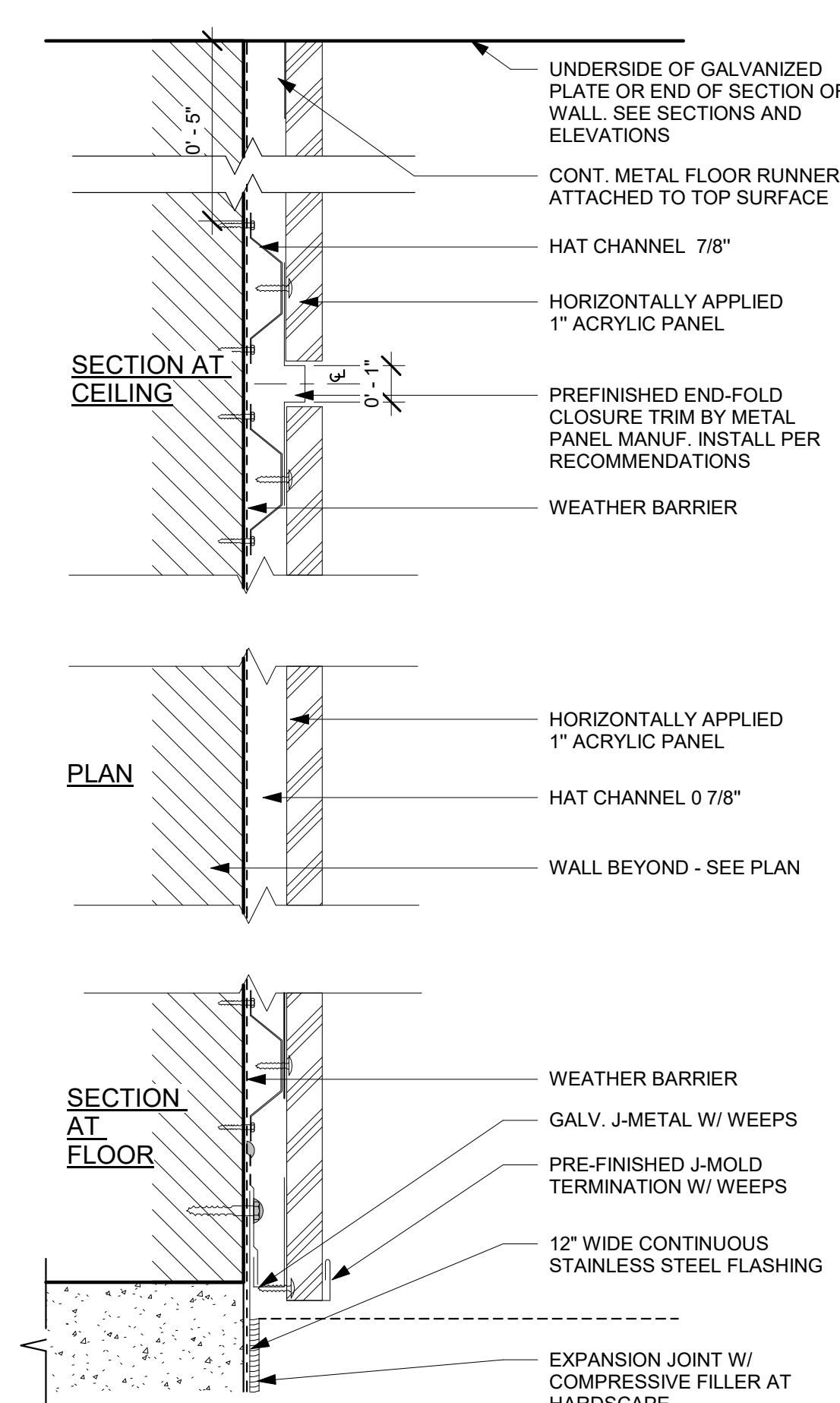
1 (TYPE 1A) CMU WALL
3" = 1'-0"



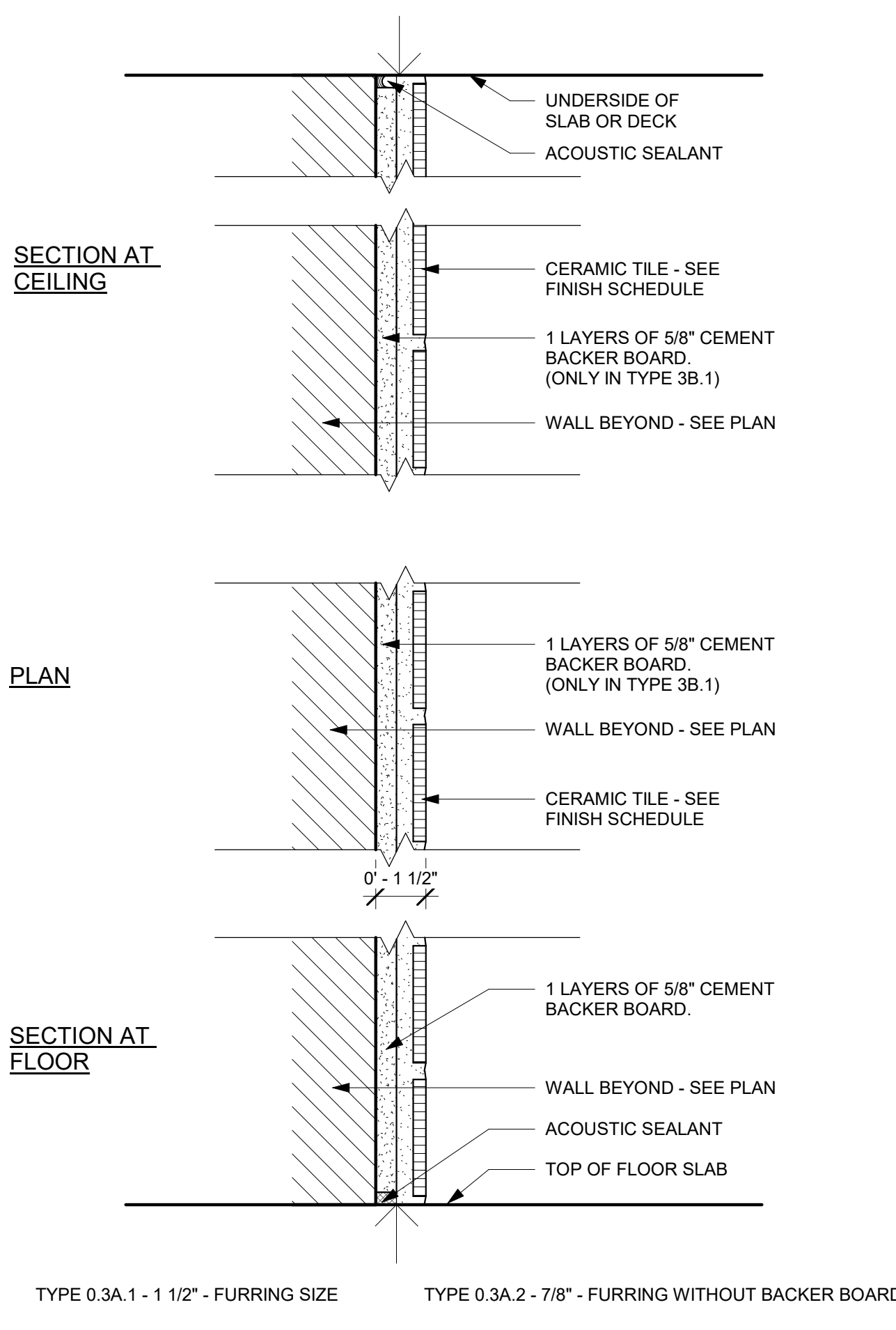
4 (TYPE 4F) INTERIOR FURRING WALL
3" = 1'-0"



2 (TYPE 2A) NR PARTITION
3" = 1'-0"



5 EXTERIOR PANELS
3" = 1'-0"



3 (TYPE 3A) INTERIOR TILING
3" = 1'-0"

GENERAL NOTES - PARTITIONS

- NOTES ARE CONSIDERED TO BE TYPICAL AND APPLY TO ALL DETAILS
- METAL STUD FRAMING:
 - SPACING: 16" ON CENTER, MAXIMUM.
 - DEFLECTION: L/240 MINIMUM
 - GAUGE: 22 GAUGE MINIMUM COMPLYING WITH ASTM C645
 - FRAMING SIZES: IN ACCORDANCE WITH ASTM C754
 - STUD FRAMING AT DOOR FRAMES TO BE 16 GAGE MIN. REFER TO DOOR DETAIL SHEET.
- ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED.
- INTERIOR PARTITIONS - GYPSUM BOARD CONSTRUCTION TO INCLUDE AND HAVE INSTALLED ALL GALVANIZED METAL EDGE TRIMS, CORNER BEADS AT ALL EXPOSED EDGES, AND GYPSUM BOARD ACCESSORIES REQUIRED FOR GYPSUM BOARD PARTITION CONSTRUCTION.
- PARTITION PENETRATIONS: COMPLY WITH TESTED ASSEMBLIES INDICATED.
- COORDINATE ALL FINISHES WITH FINISH NOTES.
- FRAME PARTITIONS AROUND ALL STRUCTURAL STEEL MEMBERS INCLUDING FIRE PROTECTION MEMBRANE TO ALLOW PROPER FIRE AND SMOKE PARTITION DESIGNED PROTECTION.
- FRAME PARTITIONS AROUND ALL MECHANICAL, PLUMBING AND ELECTRICAL MEMBERS. FRAME AND SEAL PENETRATIONS TO ALLOW PROPER AIR INFILTRATION, FIRE AND SMOKE PARTITION DESIGNED PROTECTION.
- FRAME AND SEAL AROUND ALL PENETRATIONS WITH APPROVED SEALANT. FIELD COORDINATE CONDITIONS AND ADJUST AS REQUIRED TO MATCH RATED CONDITION.
- THE CONSTRUCTION OF ALL HOURLY RATED WALLS SHALL CONFORM TO THE REFERENCED UNDERWRITERS LABORATORIES, INC (U.L.) OR GYPSUM ASSOCIATION (G.A.) TESTED ASSEMBLY NUMBERS INDICATED IN THE DRAWINGS. THE REFERENCED U.L. OR G.A. TEST ASSEMBLY MAY CONTAIN PROPRIETARY PRODUCTS AND/OR MATERIALS WHICH MUST BE FURNISHED.
- GYPSUM BOARD SHALL TERMINATE 6" ABOVE FINISH CEILING ON NON FIRE RATED PARTITIONS UNLESS NOTED AS "FH" FOR FULL HEIGHT.
- STC RATINGS ARE TAKEN FROM GA - 600 - 2003 FIRE RESISTANCE DESIGN MANUAL AS PUBLISHED BY THE GYPSUM ASSOCIATION. PARTITIONS DESIGNATED WITH STC RATINGS SHALL BE CONSTRUCTED TO MEET STC LEVELS AS GIVEN.
- WALL SUBSTRATES TO BE GYPSUM BOARD AS INDICATED IN WALL TYPES EXCEPT AS NOTED HEREIN:

WATER-RESISTANT WALLS ARE REQUIRED BEHIND ALL PLUMBING FIXTURES. PROVIDE WATER-RESISTANT GYPSUM BOARD EXCEPT PROVIDE TILE BACKER BOARD AT WET AREAS SUCH AS SHOWERS WITH SHOWER INSERTS OR TILE. IN ADDITION, PROVIDE TILE BACKER BOARD AT WALLS BEHIND COOKLINES IN KITCHENS.

PARTITION TYPE TAG

FIRE RATING
NOMINAL CORE SIZE

MODIFIER(IF APPLICABLE)
PARTITION TYPE

ACOUSTICAL INSULATION

ALL PARTITIONS TO RECEIVE SOUND ATTENUATION ACOUSTICAL BATT INSULATION (U.N.O. BY "N" MODIFIER IN PARTITION TYPE). THICKNESS AS APPROPRIATE FOR STUD DEPTH AND S.T.C. RATING.

FIRE RATING CRITERIA

LETTERS DESIGNATE ADDITIONAL FIRE-RATING CRITERIA.

S = SMOKE WALL

P = SMOKE PARTITION (SMOKE RESISTANT)

ADDITIONAL WALL MODIFIERS

W = INDICATES MOISTURE RESISTANT GYPSUM BOARD. WHERE INDICATED - TO BE USED ON PLUMBING FIXTURE/SHOWER SIDE OF WALL

A = INDICATES ABUSE RESISTANT GYSUM BOARD

SUBSCRIPTS INDICATE SPECIFIC VARIATIONS FROM BASIC PARTITION TYPE, AS DESCRIBED ABOVE. COMBINATIONS OF MODIFIERS ARE SEPARATED WITH A COMMA. SOUND TRANSMISSION CLASSIFICATION RATINGS, WHERE KNOWN ARE INDICATED ON EACH PARTITION TYPE.

CONSULTANT:

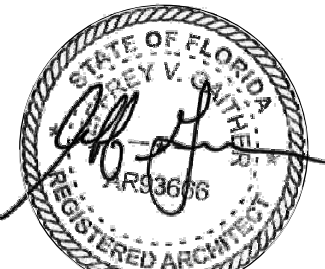
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Project No: 22-169

Drawn By:

Jeff Gaither, AIA
AR93666

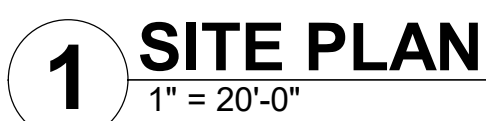
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Sheet Title

PARTITION TYPES

A003

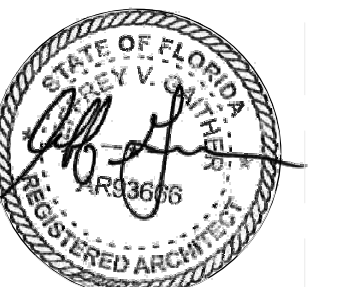
Federal Hwy

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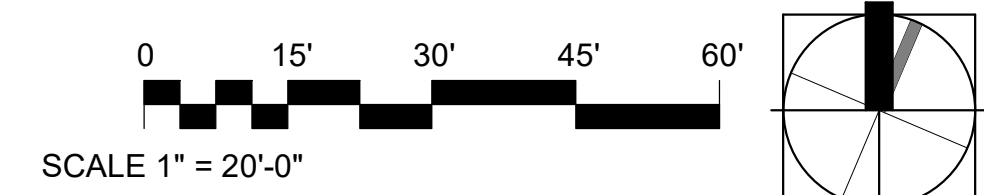
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Sheet Title

SITE PLAN

A100



	CLASSIFICATION	WATER CLOSETS	LAVATORIES	BATHTUBS/S HOWERS	DRINKING FOUNTAIN	OTHER
R E Q U I R E D	BUSINESS	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	--	1 PER 100	1 SERVICE SINK
PROVIDED		1	1	--	1	1

LOAD CALCULATIONS													
ROOM NAME	AREA	Occupancy Type	OLF	Occupant Load	Required Exits	Water Closets				Egress Width Factor	Egress Width (Inches)	Egress Width Factor Stairs	Egress Width Stairs (Inches)
						WC Factor Male	WC Required Male	WC Factor Female	WC Required Female				
RR	39 SF	(none)											
TUNNEL	2911 SF	(none)											
EQUIPMENT	1436 SF	Accessory Storage Areas, Mechanical Equipment Room	300 SF	5	1					0.15	1	0.2	1
MAT WASHER ROOM	166 SF	Business Areas	150 SF	2	1	25	0.03	25	0.03	0.15	0	0.2	0
OFFICE	103 SF	Business Areas	150 SF	1	1	25	0.02	25	0.02	0.15	0	0.2	0
5	4654 SF			8			0.06		0.06		1		2
	4654 SF			8			0.06		0.06		1		2

Client:

KSA Equities Holdings, Inc.
PO Box 1416
Port Salerno, FL 34992

Code Information

JURISDICTION AUTHORITY

JURISDICTION (COUNTY OR CITY) City of Stuart, Florida
JURISDICTION ADDRESS 121 SW Flagler Avenue
CITY, STATE ZIP Stuart, FL 34994

ADOPTED CODES

BUILDING: FLORIDA BUILDING CODE - 2023 8th Edition

FIRE: FLORIDA FIRE PREVENTION CODE - 8th EDITION

PLUMBING: FLORIDA BUILDING CODE PLUMBING - 2023
MECHANICAL: FLORIDA BUILDING CODE MECHANICAL - 2023
ELECTRICAL: NATIONAL ELECTRIC CODE - 2017
(NFPA 70, NATIONAL ELECTRIC CODE)

FUEL/GAS: FLORIDA BUILDING CODE FUEL/GAS - 2023
ACCESSIBILITY: FLORIDA BUILDING CODE ACCESSIBILITY - 2023
ENERGY: FLORIDA BUILDING CODE ENERGY - 2023

OCCUPANCY CLASSIFICATION BUSINESS GROUP B
CONSTRUCTION UNPROTECTED, NON-SPRINKLED

BUILDING DATA SUMMARY

BUILDING CONSTRUCTION TYPE: VB
PER FLORIDA BUILDING CODE 2023

OCCUPANCY TYPE : B-BUSINESS PER FBC CH 3 (304)

OCCUPANCY SUMMARY:
FIRE RESISTANT RATING REQUIREMENTS: TYPE VB
PER FBC CH 5 TABLE 503
MAX AREA = 9000 SF, MAX HEIGHT = 40'
ACTUAL AREA: 4,654 NET USEABLE SF,
5,033 GROSS FOOTPRINT.

0 HOUR RATING REQUIRED FOR WALLS/FRAME ROOF
PER TABLE 601

PER TABLE 602 (EXTERIOR WALL RATING BASED ON
SEPARATION DISTANCE)
0 - 10' - 1 HR.
10' - + - 0 HR

EXIT WIDTH REQUIRED:
.2 INCHES PER PERSON

LIFE SAFETY AND FINISH NOTES
OCCUPANCY SUMMARY
NUMBER OF EXITS - 1 REQUIRED, 1
PROVIDED

MEANS OF EGRESS -
TRAVEL DISTANCE - 200'
COMMON PATH OF TRAVEL
DEAD-END CORRIDOR - 20'
MIN. CORRIDOR WIDTH - 44" REQUIRED

LEGEND

- EXIT SIGN
- TRAVEL DISTANCE
- FIRE EXTINGUISHER CABINET
- EGRESS PATH
- EMERGENCY LIGHT
- RATED EXTERIOR BEARING WALL- (1) Hr
- FIRE EXTINGUISHER
- EGRESS

STUDIO
407

STUDIO 407 LLC

1222 Woodward Street #103

Orlando, Florida 32803

(407) 392-3150

jeff@407studio.com | www.407studio.com

Federal Hwy

Waters Car Wash

STUART, FL

CONSULTANT:

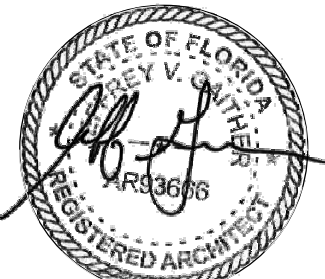
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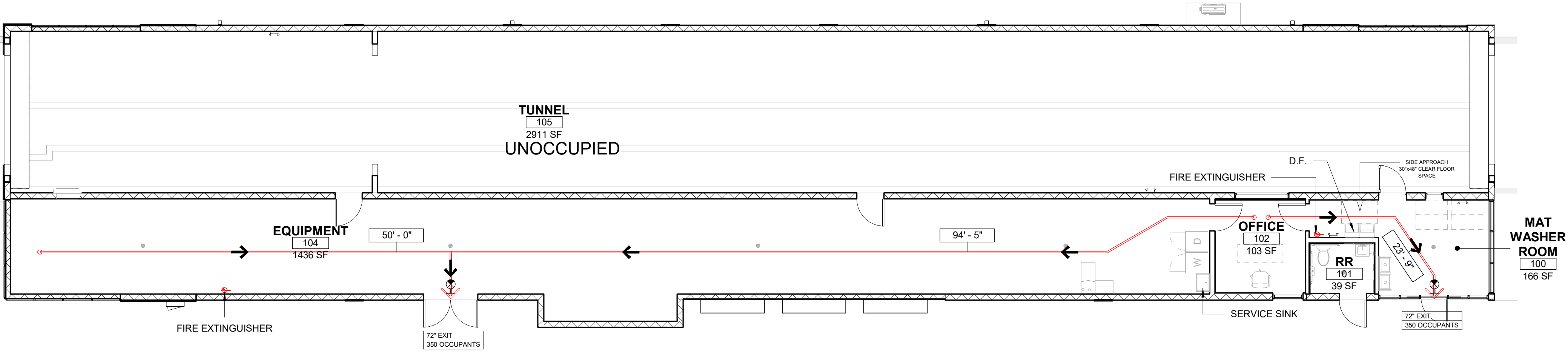
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Sheet Title

LIFE SAFETY PLAN

A101



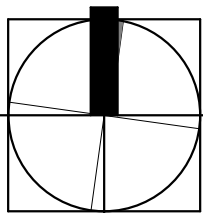
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GROUND LEVEL LIFE SAFETY

1/8" = 1'-0"

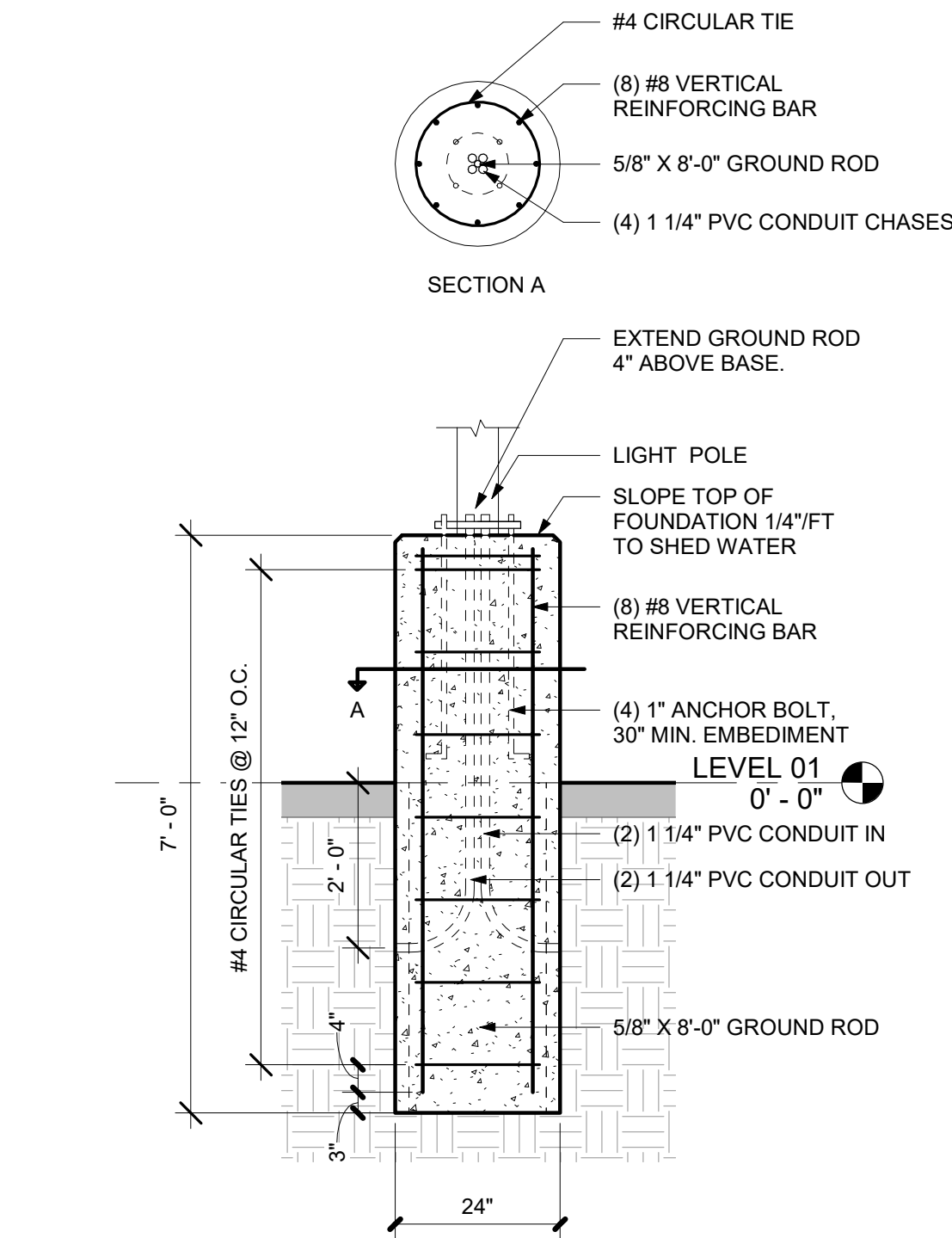
0 4' 8' 12' 16'

SCALE 3/16" = 1'-0"

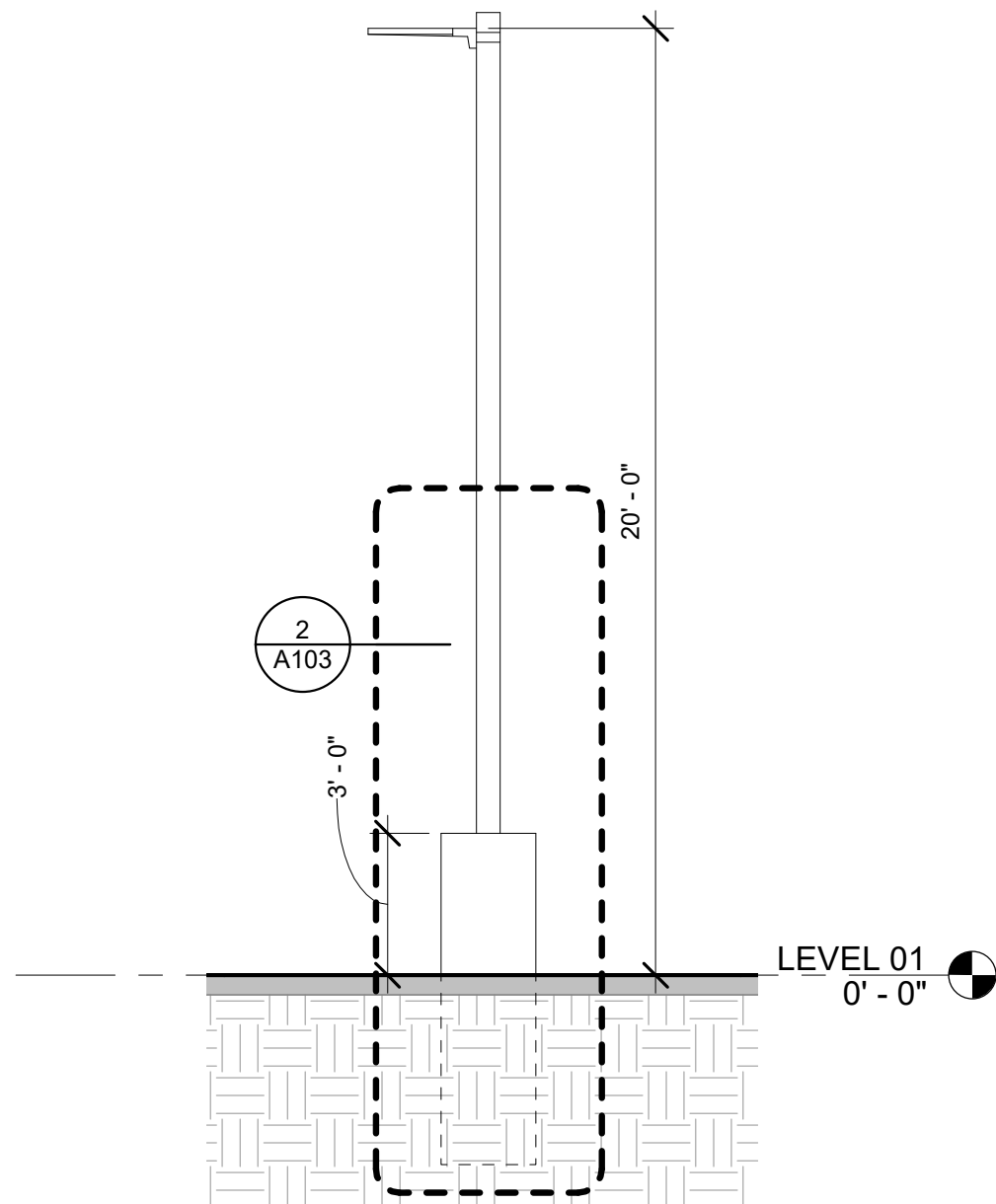


6/13/2024 1:12:57 AM

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Waters Car Wash
STUART, FL



2 LIGHT POLE FOUNDATION DETAIL
1/2" = 1'-0"



1 LIGHT FIXTURE DIAGRAM
1/4" = 1'-0"

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AR33666

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Sheet Title

SITE DETAILS

A103

SHEET NOTES

- A.5 - DOWNSPOUT
A.6 - VERIFY LOCATION OF WINDOW ON PLAN
ALONG WITH MANUFACTURER
REQUIREMENTS FOR OPENING SIZES, PRIOR
TO CONSTRUCTION.
A.7 - FRP BARRIER DRYER WALL
A.9 - DOOR 16" x 12"
A.11 - PLUMBING WALL
A.13 - METAL AWNING

GENERAL NOTES:

1. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION.
2. ALL WORK SHALL BE COMPLETED IN A NEAT AND CRAFTS MANLIKE MANNER AND UPON COMPLETION SHALL BE INSPECTED BY THE GENERAL CONTRACTOR AND OWNER PRIOR TO FINAL PAYMENT BEING ISSUED.
3. ALL SB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISPOSAL OF THEIR RELATED REFUSE.
4. ALL CONDITINS, DRAWINGS, DIMENSIONS, ETC SHALL BE FIRST VERIFIED BY THE GENERAL BLDGS CONTRACTOR AND SUB-CONTRACTORS AND OWNER PRIOR TO THE ORDERING OF MATERIALS AND CONSTRUCTION FOR DELETIONS, ERRORS, AND/OR OMISSIONS FAILURE TO NOTIFY ARCHITECT DESIGN SHALL RELIEVE ARCHITECT DESIGN FOR FUTURE RESPONSIBILITY OR FUTURE COSTS.
5. THESE PLANS CONTAIN SUGGESTED FLOORING AND ROOFING LAYOUTS WHICH SHALL BE REVIEWED BY A CERTIFIED TRUSS ENGINEER OR PROFESSIONAL ENGINEER OF RECORD AND SHALL HAVE PROVISIONS MADE FOR HVCA, ELECTRICAL AND PLUMBING INSTALLATION.
6. ANY ALTERATION OR DEVIATION FROM THIS PLAN SHALL BE MADE WITH THE COMBINED APPROVAL OF THE OWNER, ARCHITECT DESIGN AND THE PROFESSIONAL ENGINEER OF RECORD. ITEMS NOT APPROVED SHALL RELIEVE THE OWNER, ARCHITECT DESIGN AND THE PROFESSIONAL ENGINEER OF RECORD OF RESPONSIBILITY, AND ANY FUTURE COSTS TO CORRECT THE ALTERATION OR DEVIATION.
7. ALL 2" X WOOD SPECIFIED SHALL BE PINE, NO 2 GRADE UNLESS SPECIFIED ELSEWHERE AND PRESSURE TREATED WHERE REQUIRED.
8. ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE THE 2023 FLORIDA BUILDING CODE, 8TH EDITION.
9. ALL PREFABRICATED BRACKETS AND CONNECTORS TO BE SIMPSON AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
10. ALL CONCRETE TO BE 300 PSI, DESIGN MIX SLUMP 3/8" AGGREGATE UNLESS NOTED OTHERWISE.
11. ALL REBAR STEEL TO BE ASTM GRADE 40 EXCEPT GRADE 60 SHALL BE USED IN LINTELS AND COLUMNS UNLESS OTHERWISE NOTED.
12. ALL WINDOWS AND DOORS TO BE INSTALLED PER MFR INSTRUCTIONS. SPECIFICATION AND MUST BE RATED TO SATISFY DESIGN WIND PRESSURES AND IMPACT RESISTANCE IF REQUIRED.
13. FOUNDATION AND SLAB TO BR INSTALLED ON UNDISTURBED CLEAN SOIL OR WELL COMPACTED FILL, TERMITE TREATED.
14. UNLESS OTHERWISE NOTED AND IN ABSENCE OF SITE SPECIFIC SOILS INFORMATION, THE PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY IS 2000 PSF (POUNDS PER SQ FT)
15. ALL WALL SHEATING BUTT JOINTS TO BE BLOCK WITH 2" LUMBER AND FASTENED PER EDGE FASTENING SCHEDULE.
16. THE DESIGNER AND THE PROFESSIONAL ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR MEANS, METHODS AND SCHEDULE.
17. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
18. THESE PLANS DO NOT CONTAIN ALL CODE REQUIREMENT INFORMATION. INDIVIDUAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MAINTAINING CODE COMPLIANCE RELATED TO THE PERFORMANCE OF THEIR INDIVIDUAL TASKS. IE ELECTRICAL, MECHANICAL, PLUMBING, STUCCO, ETC.

INSULATION NOTES:

- FOR OFFICE, RESTROOM AND LOUNGE AREAS:
Ceiling: R-30 W/Heat foil.
Exterior masonry: Core fill 500 CMU At furred walls add 2 1/4" polyiso board.
- Per wall type details
Frame walls R-15
All openings and penetrations to be foam insulated
- FOR EQUIPMENT ROOM AND TUNNEL:
Exterior masonry: core fill 500 CMU
Exterior studs: 6" batt insulation
- ROOFS INSULATION AS PER ROOFING ASSEMBLY IDENTIFIED.

PLAN NOTES:

- Provide wood blocking in walls for mirrors and other wall mounted work as required to accomodate installation.
Fire extinguishers shall be Larsen's model No. MP-10, multipurpose ABC, complete with mounting bracket or approved similar.
Top of fire extinguishers shall be less than 5' - 0" aff. botton shall be no less than 4" aff.
Per section 1005.2 door encroachment shall not reduce the required width to less than 1/2 during door swing.
- FINISH NOTES:**
- FLOOR:
OFFICE/ MAT WASHER ROOM/ RESTROOM
TILE: COLOR TO BE SELECTED BY OWNER.
RUBBER/VINYL BASE. COLOR TO BE SELECTED BY OWNER.
EQUIPMENT ROOM/TUNNEL:
SEALED CONCRETE (CLEAR)

- WALLS:
OFFICE:
PAINTED. COLORS TO BE SELECTED BY OWNER.
MAT WASHER ROOM:
FRP SMOOTH WALL PANELS
RESTROOM:
WET WALL AND ADJ. TO TOILET:
TILE TO 40" A.F.F PAINTED ABOVE OTHERS WALLS/ PAINTED COLORS TO BE SELECTED BY OWNER.
EQUIPMENT ROOM:
PAINTED CMU/ CEMENT PLASTER/GYP STANDARD WHITE
TUNNEL:
PVC LINER PANELS
- CEILING:
OFFICE/ MAT WASHER ROOM:
2X2 LAY IN ACCUSTICAL CEILING.
ARMSTRONG OR EQUIV.
RESTROOM:
PAINTED GYP.BD
STANDARD WHITE
EQUIPMENT ROOM:
OPEN TO ROOF STRUCTURE
TUNNEL:
PVC LINER PANELS

CONSULTANT:

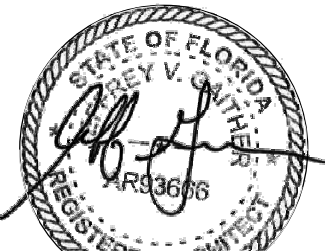
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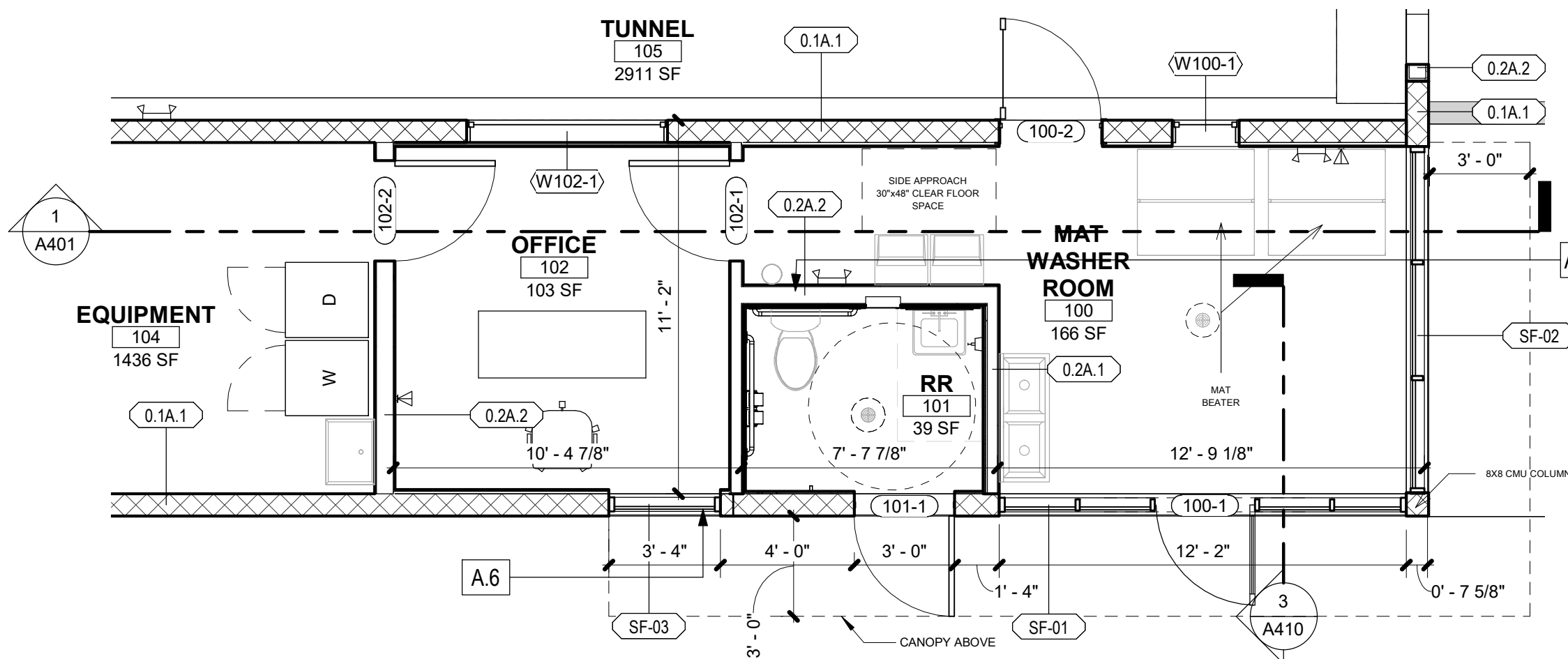
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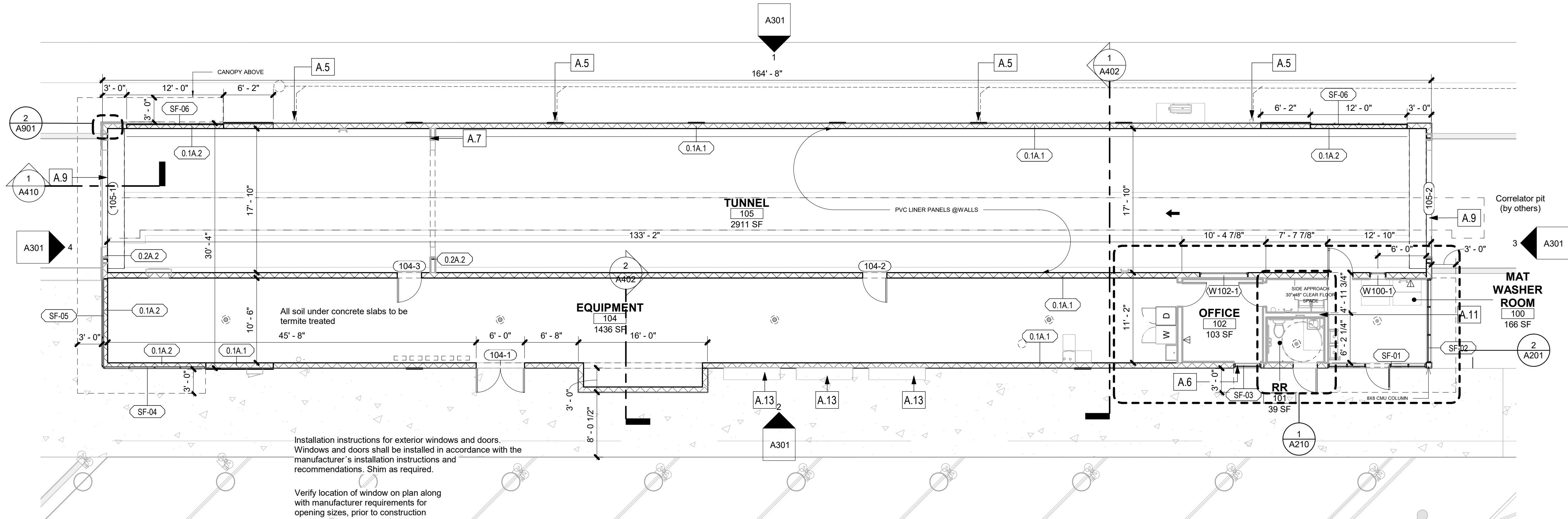
GROUND FLOOR PLAN

A201



2 ENLARGED GROUND FLOOR PLAN

1/4" = 1'-0"

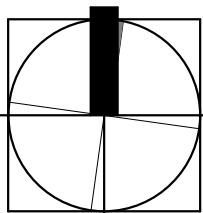


1 GROUND FLOOR PLAN

1/8" = 1'-0"

0 6' 12' 18' 24'

SCALE 1/8" = 1'-0"



SHEET NOTES

- A.1 - METAL CAP FLASHING
- A.2 - SCUPPER
- A.3 - METAL ROOF
- A.4 - MODIFIED BITUMEN ROOF
- A.13 - METAL AWNING



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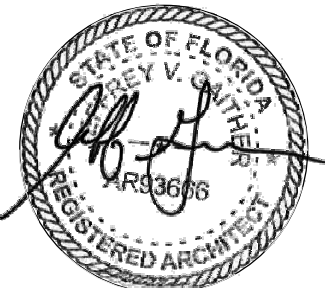
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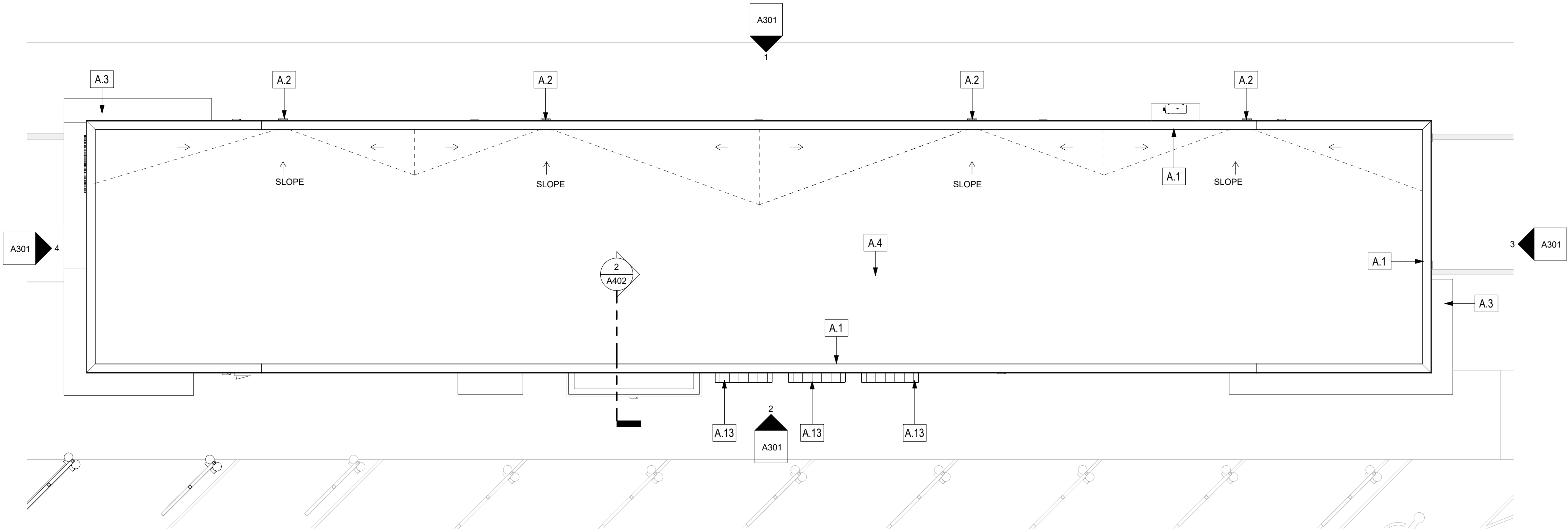
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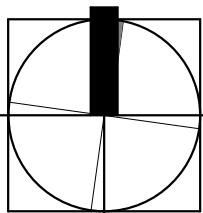
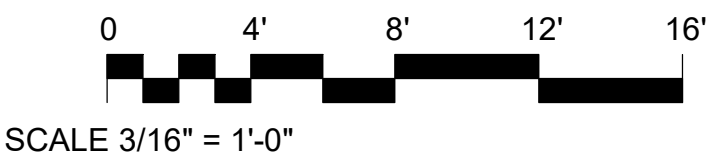
Sheet Title

ROOF PLAN

A202



1 ROOF PLAN
1/8" = 1'-0"



NOTE:

PROVIDE WOOD BLOCKING IN THE PARTITION WALLS AS REQ'D TO MOUNT THE ACCESSORIES SHOWN. INSTALL ACOUSTIC BATT INSUL. BEHIND ALL RECESSED OR SEMI-RECESSED ACCESSORIES.

TOILET ACCESSORIES

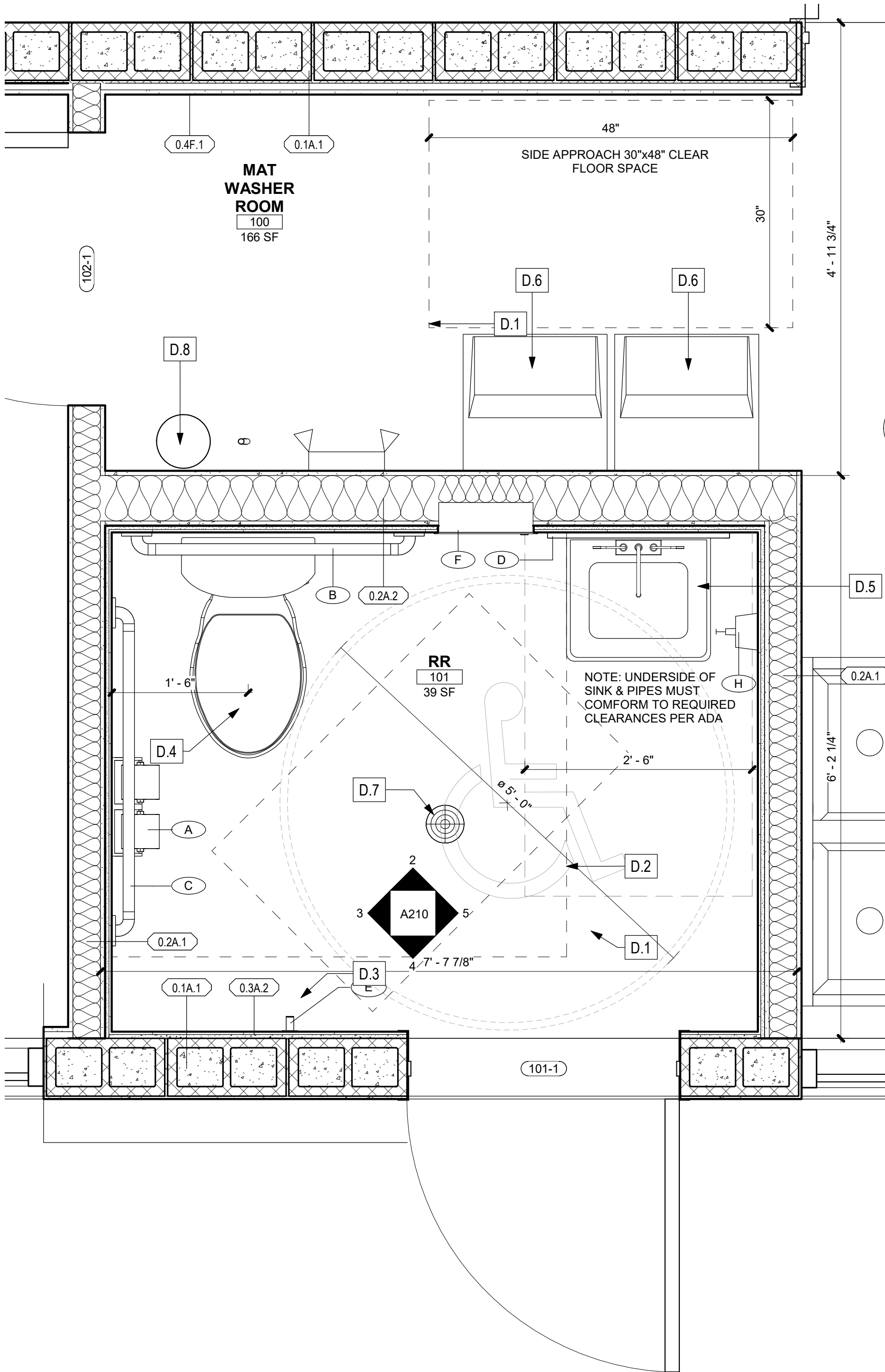
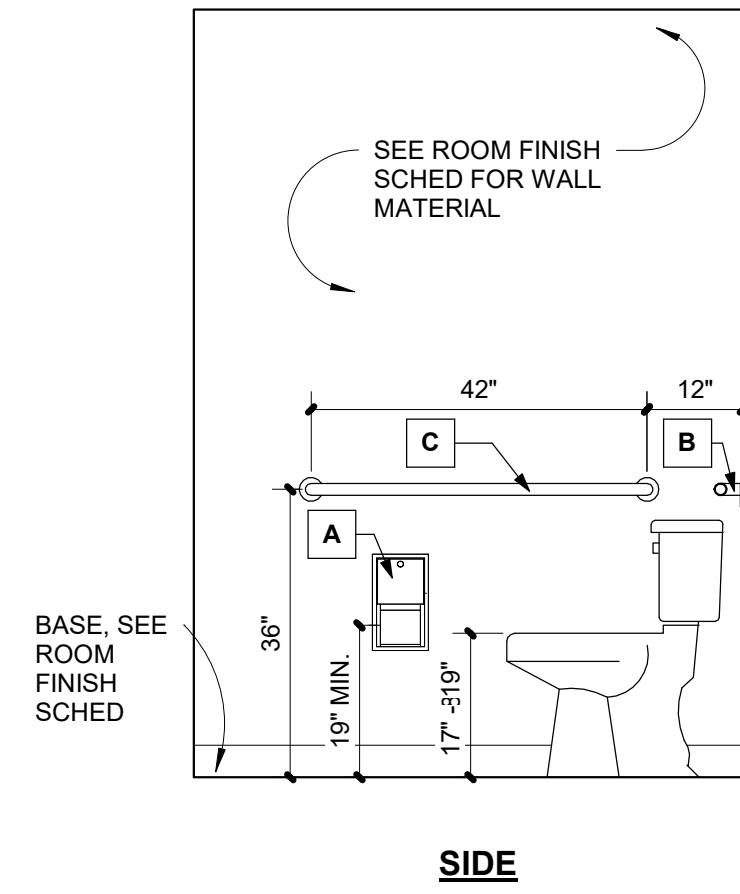
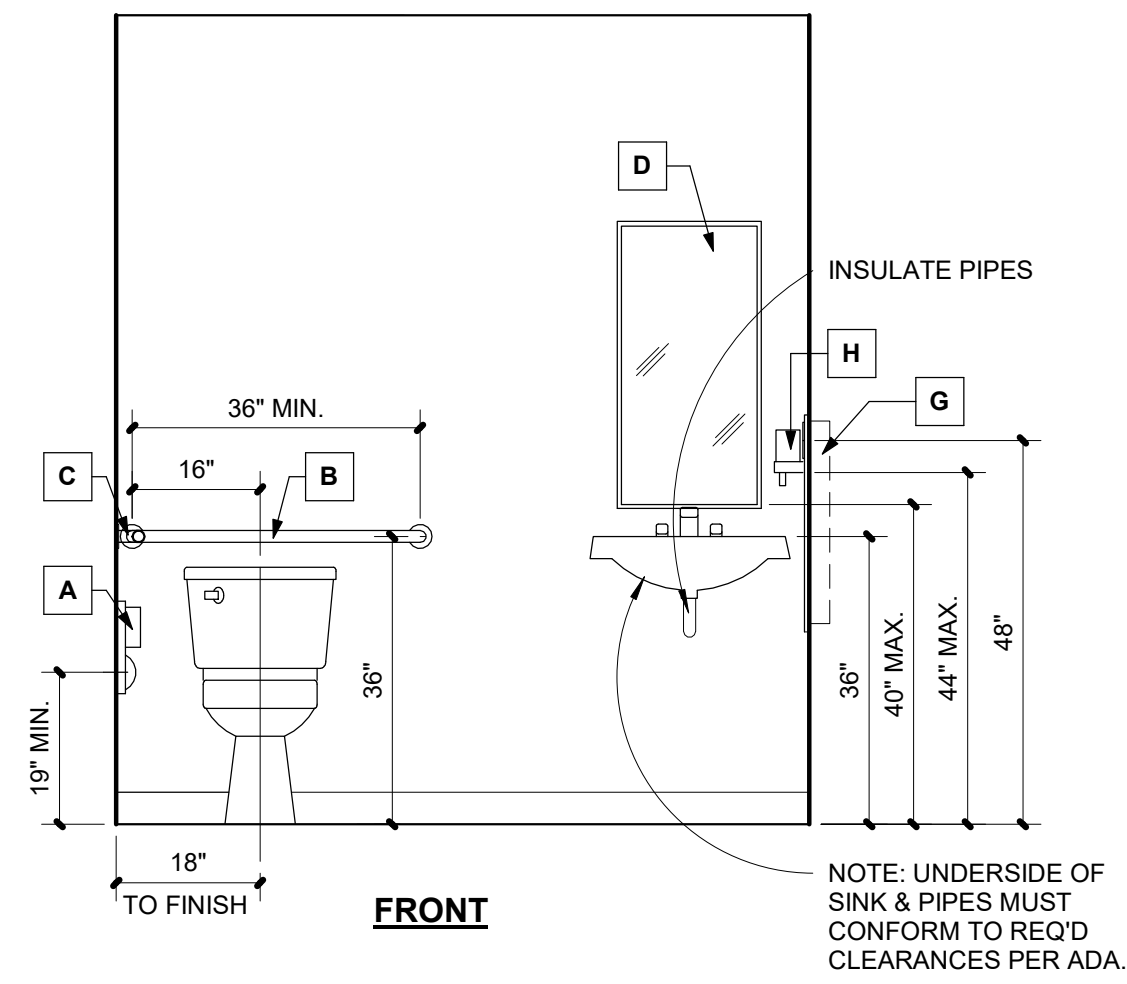
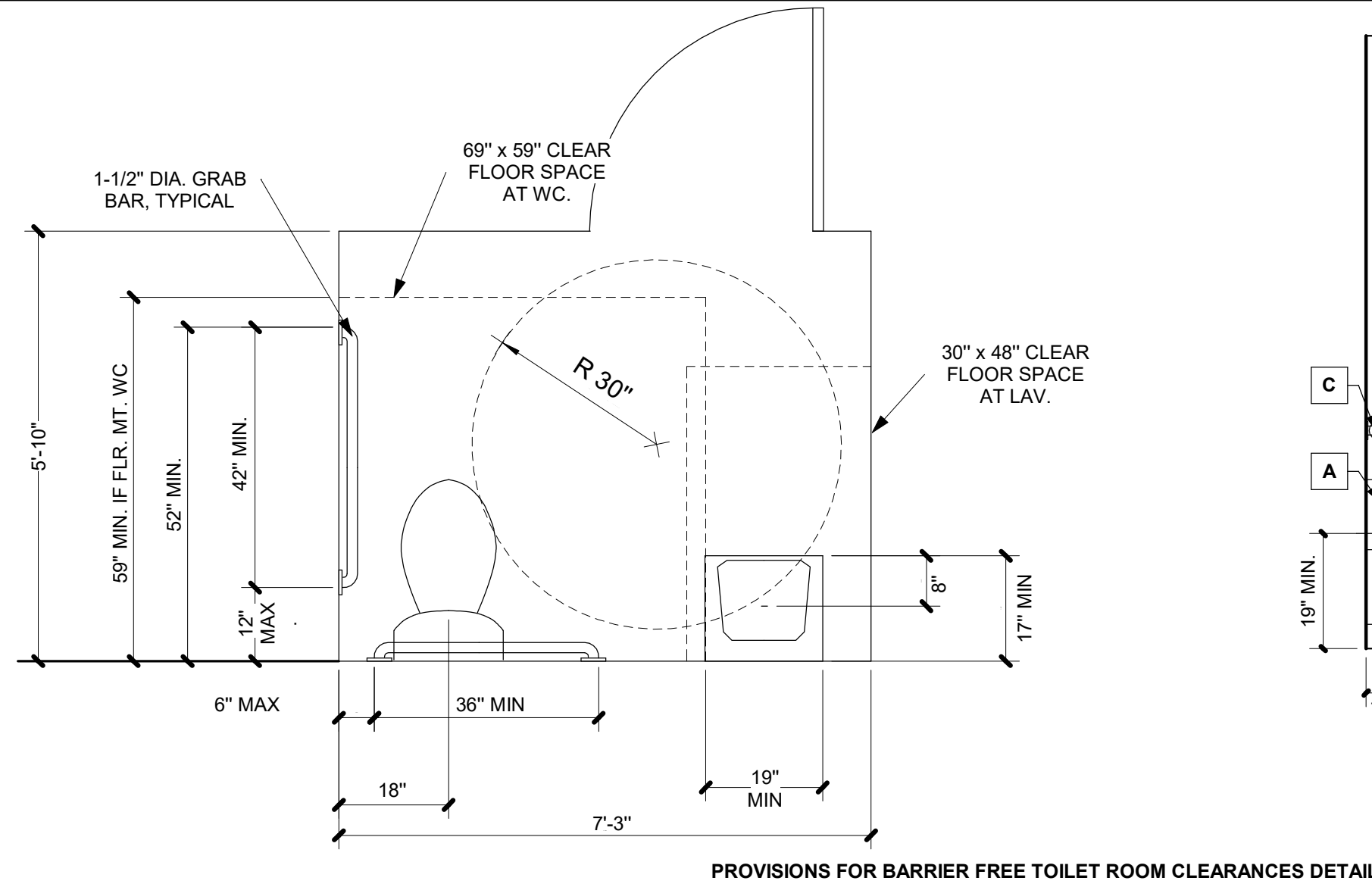
MARK	ITEM	BOBRICK MODEL NUMBER
A	TOILET PAPER DISPENSER RECESSED, DOUBLE ROLL	B-4388
B	GRAB BAR - 1 1/2" DIA., S/S PREENED GRIP, SNAP FLANGE	B-6806.99 36" L.
C	GRAB BAR - 1 1/2" DIA., S/S PREENED GRIP, SNAP FLANGE	B-6806.99 42" L.
D	MIRROR - S/S ANGLE FRAME	B-290 1836
E	COAT HOOK	B-682
G	PAPER TOWEL DISP/RECEP. RECESSED	B-369
H	SOAP DISPENSER	B-155
J	MOP HOLDER @ EQUIPMENT ROOM	B-223 X 24

HANDICAP RESTROOM NOTES

1. ALL RESTROOM VESTIBULE DOORS SHALL HAVE A CLEAR SPACE OF 12" AT LATCH SIDE OF DOOR.
2. HANDICAP STALL DOORS SHALL BE A MIN 32" WIDE.
3. HANDICAP SINKS ARE TO BE INSTALLED WITH THE RIM NO HIGHTER THAN 34" AFF AND NO LOWER THAN 28" AFF.
4. HANDICAP SINKS SHALL HAVE KNEE AND TOE CLEARANCES AS REQUIRED BY THE FLORIDA H.C CODE
5. ALL PIPES UNDER SINKS SHALL BE INSULATED AND/OR PROTECTED AS TO HAVE NO SHARP OR ABRASIVE SURFACES.
6. HANDICAP MIRRORS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF MIRROR AT 40" AFF MAX.
7. HANDICAP WATER CLOSETS SHALL HAVE A SEAT HEIGHT OF LESS THAN 17" AFF AND NO MORE THAN 19" AFF.
8. HANDICAP WAIHER CLOSET IS TO BE 18" MIN. FROM CENTERLINE OF FIXTURE TO WALL.
9. HANDICAP LAVATORY SHALL BE AT LEAST 19" WIDE AND 19" DEEP.
10. THE GRASS BAR IS TO BE LOCATED AT 33" AFF (TO TOP OF BAR) AND IS TO BE CENTERED AT LEADING EDGE OF WATER CLOSET)
11. ALL ACESORIES (TOILET PAPER DISPENSERS, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, ETC) AND INSTALLATION SHALL COMPLY WITH HC CODE.

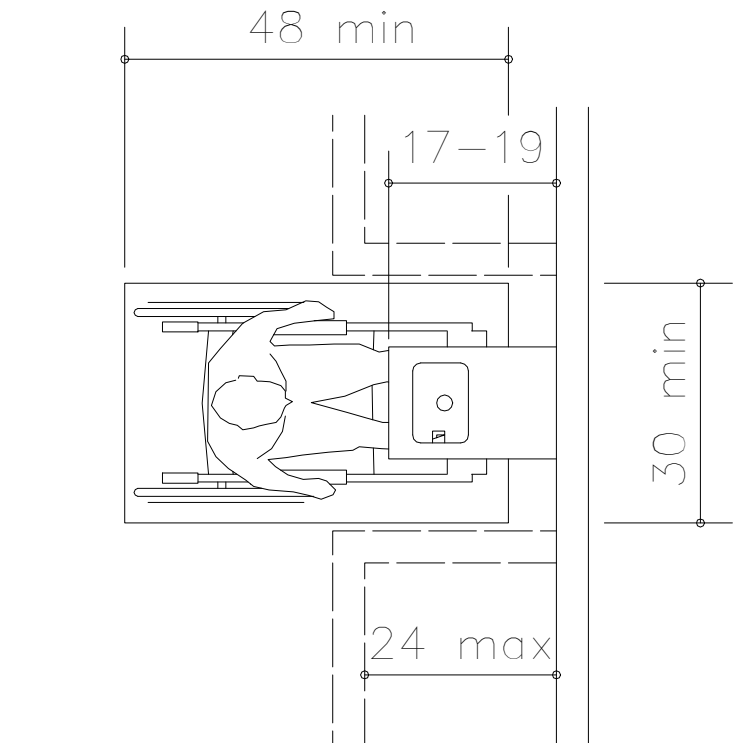
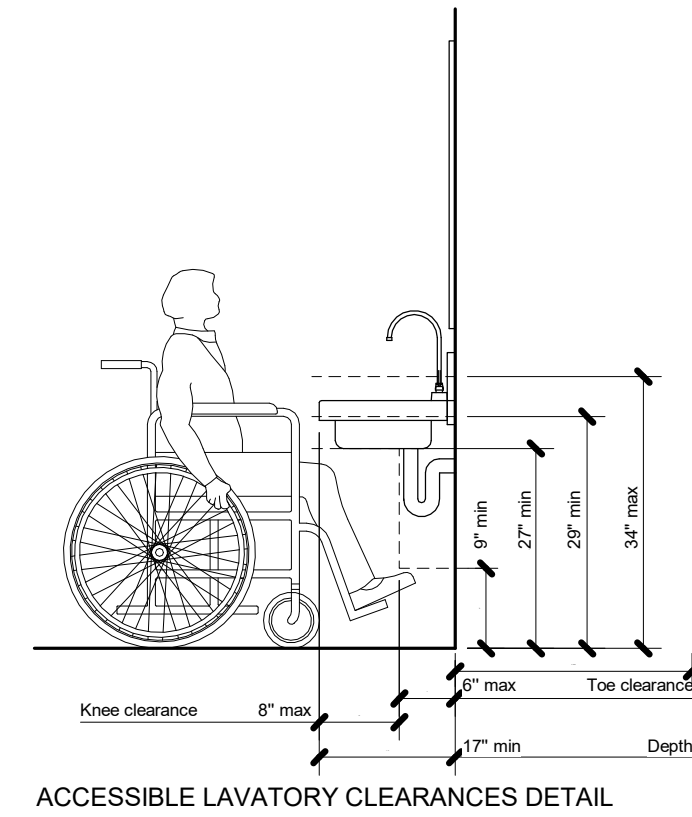
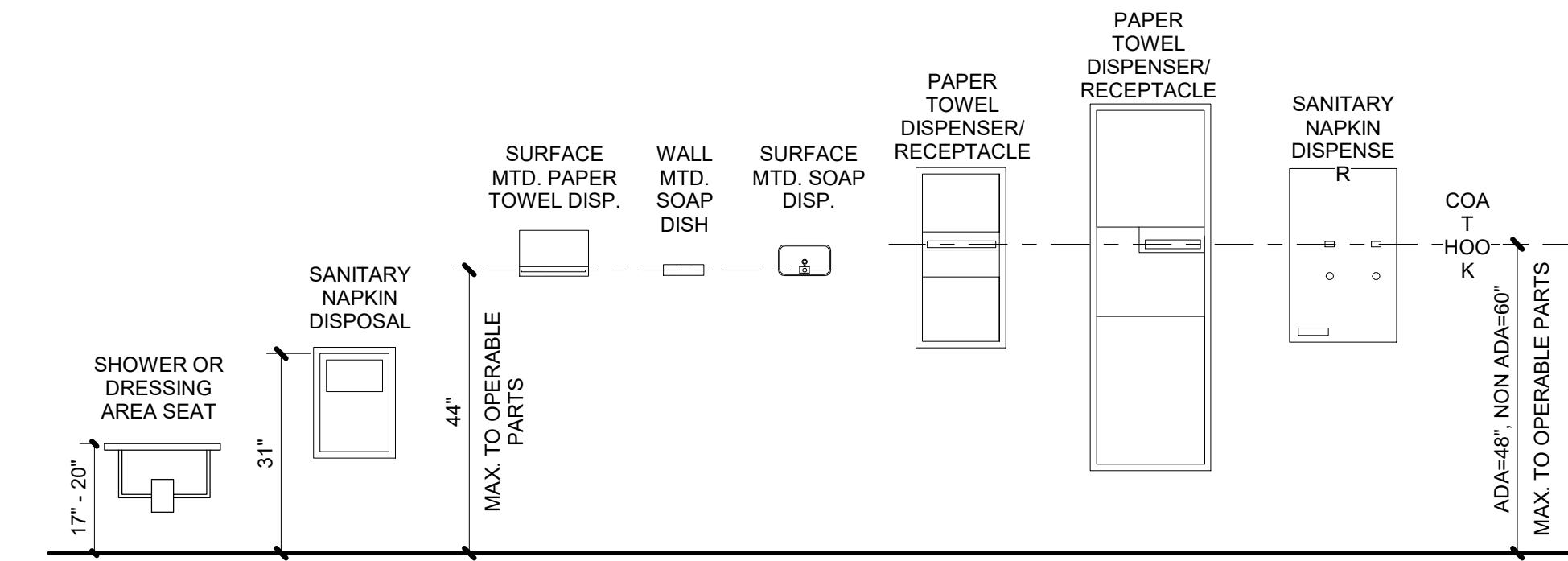
SHEET NOTES

- D.1 - 30" X 48" CLEAR FLOOR SPACE
D.2 - 56" X 60" CLEAR FLOOR SPACE
D.3 - 60" TURNING SPACE
D.4 - TOILET
D.5 - WALL HUNG SINK
D.6 - DRINKING FOUNTAINS
D.7 - FLOOR DRAIN
D.8 - FIRE EXTINGUISHER



MISC. TOILET ACCESSORIES MOUNTING HTS

1/2" = 1'-0"



1 RESTROOM ENLARGED PLAN

1" = 1'-0"

4 RR ELEV.

1/2" = 1'-0"

3 RR ELEV.

1/2" = 1'-0"

2 RR ELEV.

1/2" = 1'-0"

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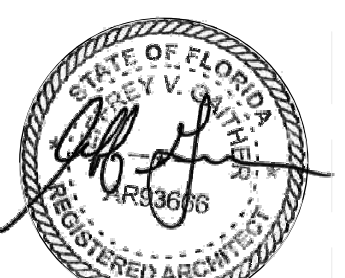
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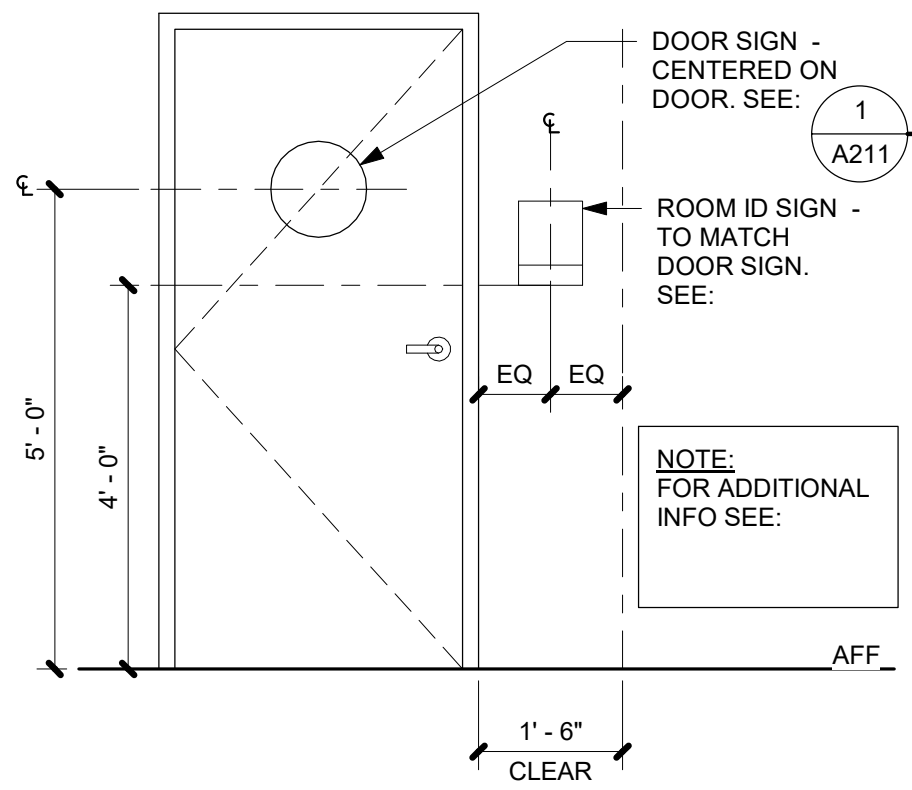
ENLARGED FLOOR PLANS

A210

Seal

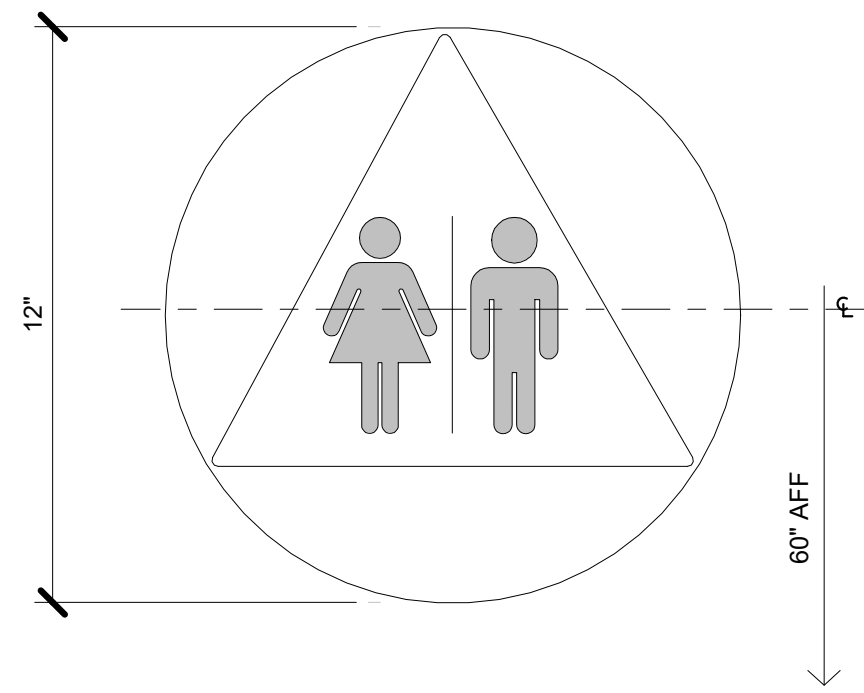


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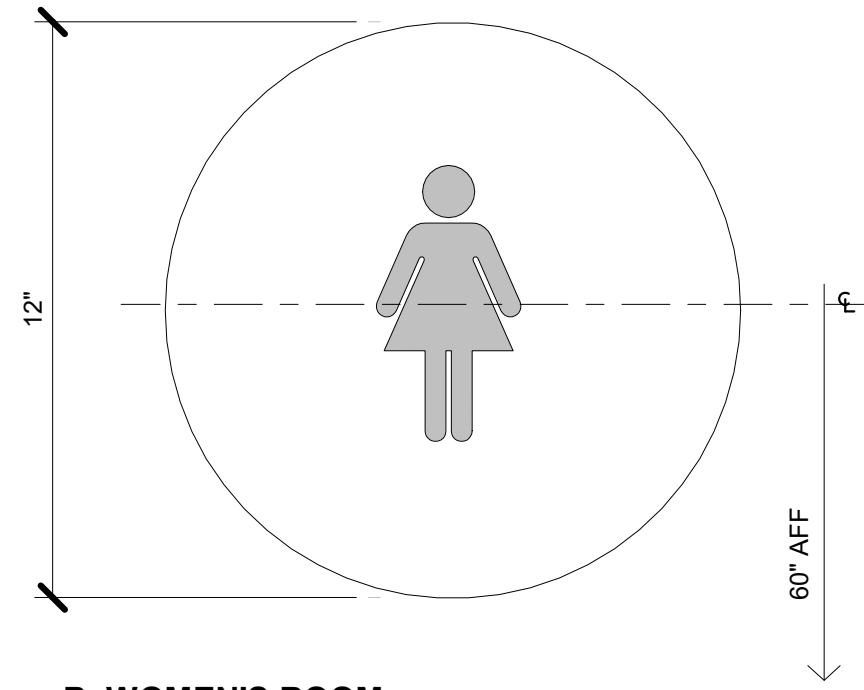


2 BATHROOM SIGNAGE

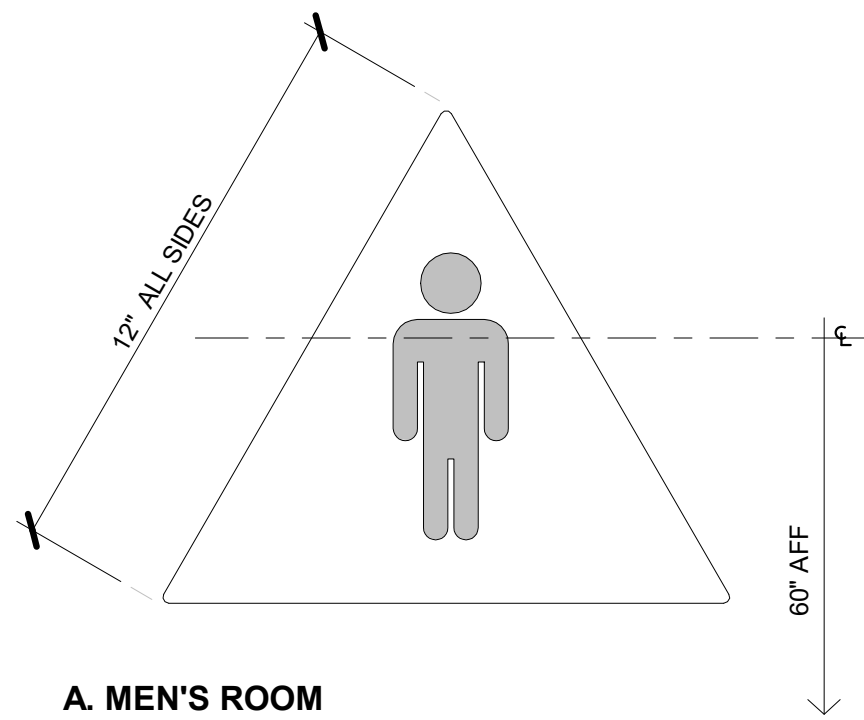
1/2" = 1'-0"



C. UNISEX ROOM



B. WOMEN'S ROOM



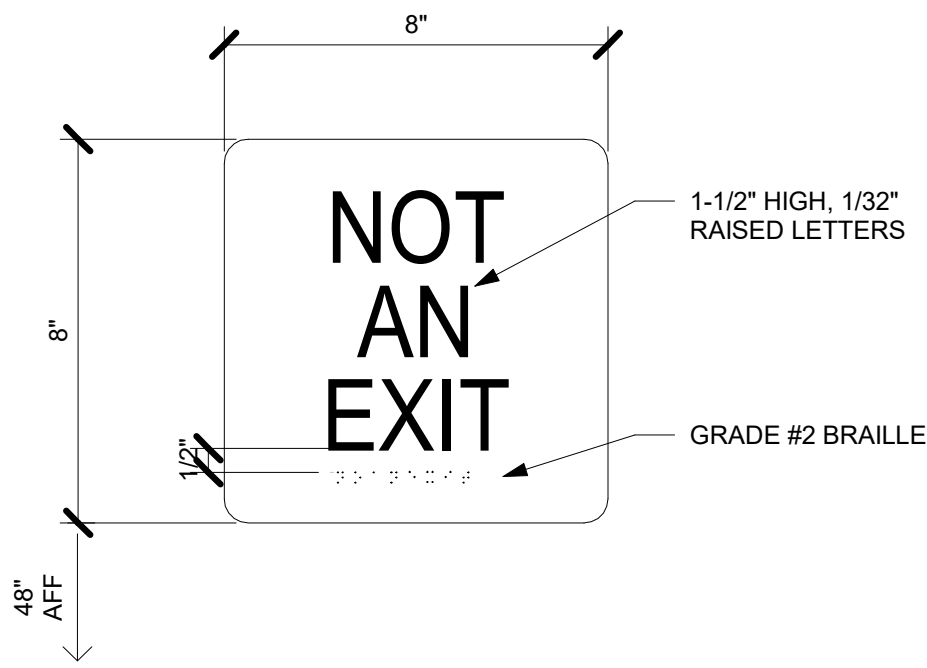
A. MEN'S ROOM

NOTES:

- SIGNS TO BE 1/4" THICK.
- ALL EDGES & CORNERS TO HAVE MIN. 1/8" RADIUS
- BACKGROUND COLOR SHALL CONTRAST WITH DOOR COLOR
- FOR SIGN PLACEMENT SEE:
- SEE FOR ADDITIONAL INFO

1 RESTROOM DOOR SIGNS

3" = 1'-0"

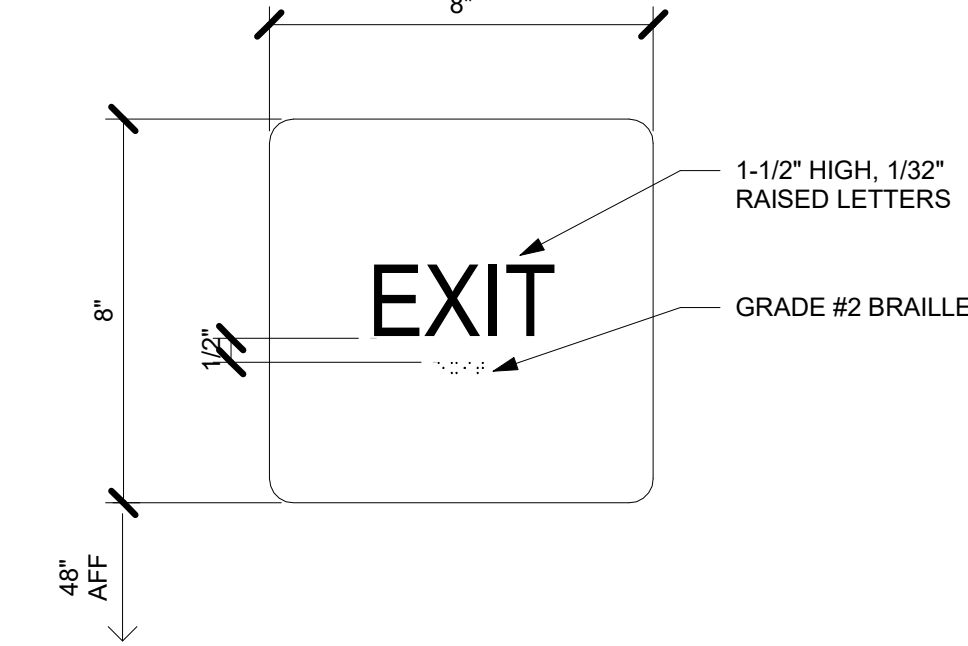


5 NOT AN EXIT SIGN

3" = 1'-0"

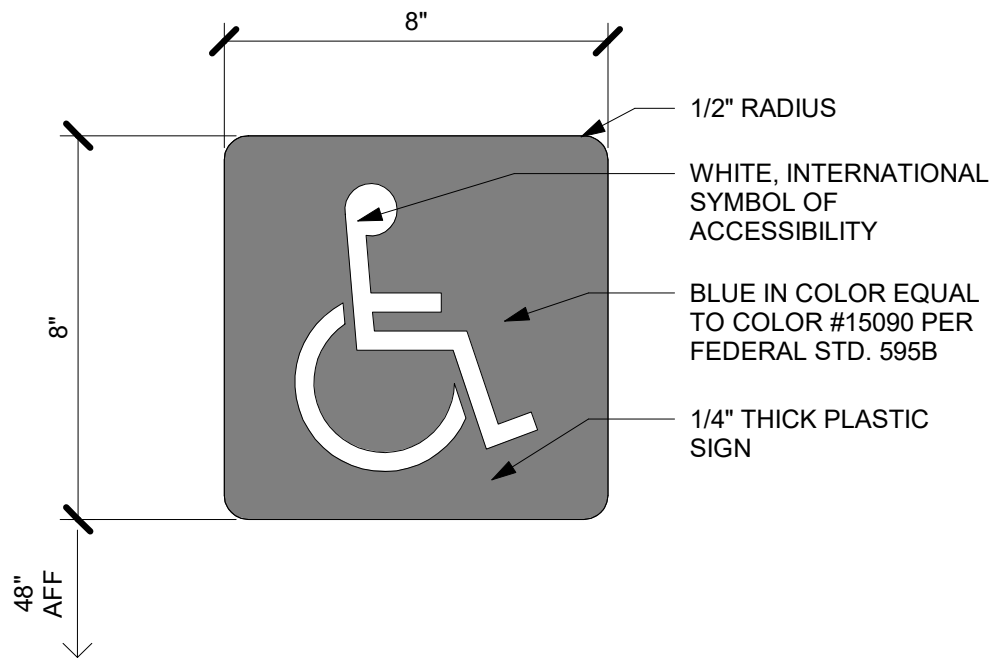
TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:

- PRIMARY ENTRANCES AND DIRECTIONAL SIGNS ON AN ACCESSIBLE ROUTE AND PATH OF TRAVEL.
- EACH GRADE LEVEL EXTERIOR DOOR
- EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM TO A CORRIDOR THAT IS REQUIRED TO HAVE AN EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE".
- EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH WORDS AS APPROPRIATE.



4 EXIT SIGN

3" = 1'-0"



INTERNATIONAL SYMBOL OF ACCESSIBILITY

3 ACCESSIBILITY SIGN

3" = 1'-0"

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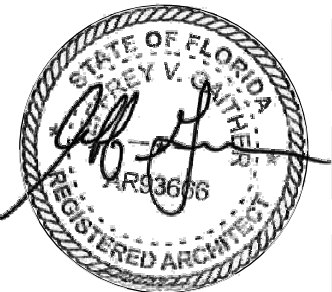
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AR93666

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Sheet Title

SIGNAGE COMPLIANCE DETAILS

A211

Federal Hwy
Stuart, FL
Waters Car Wash

CONSULTANT:

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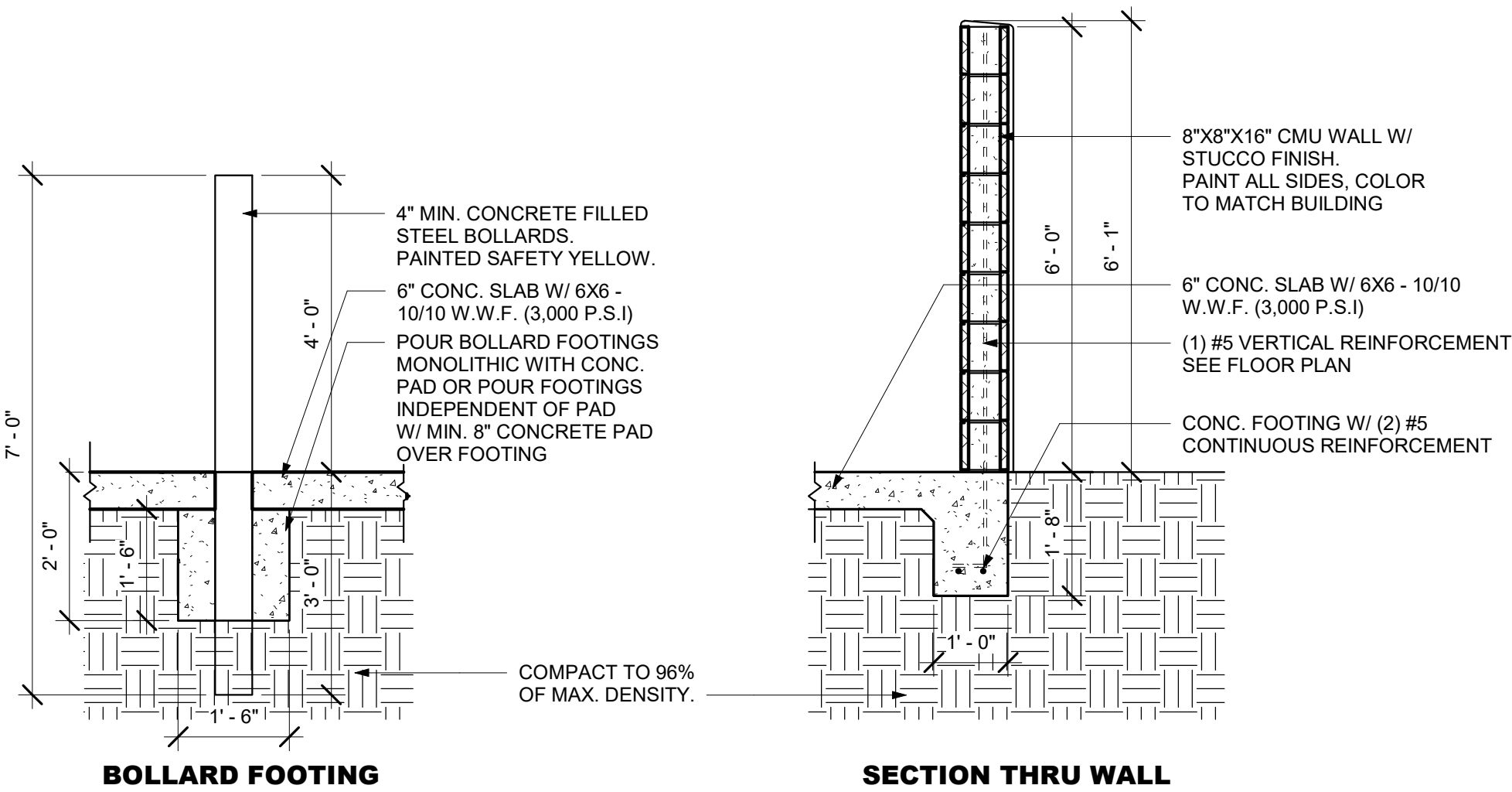
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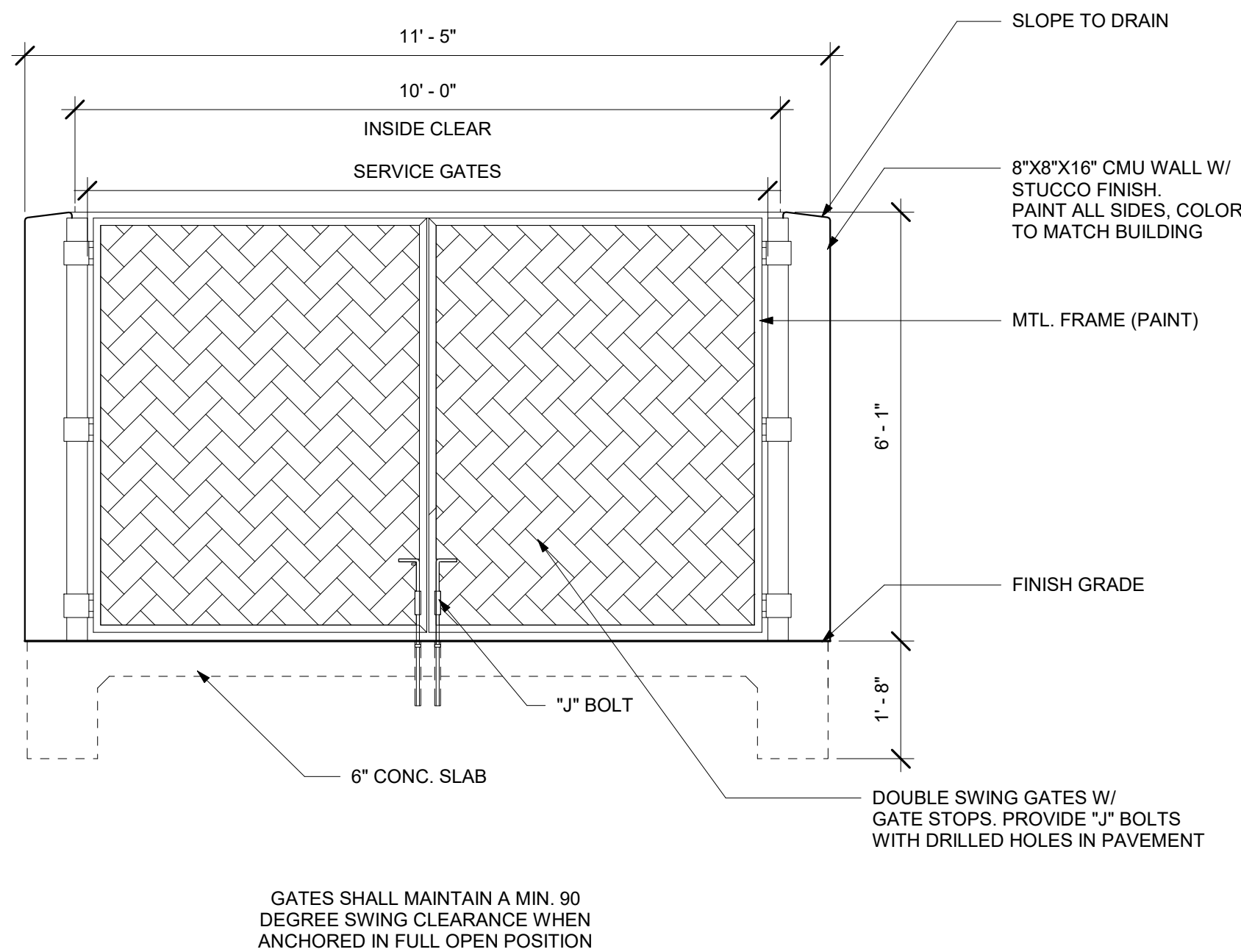
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DUMPSTER

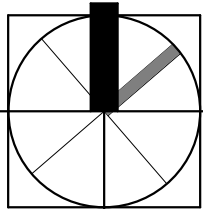
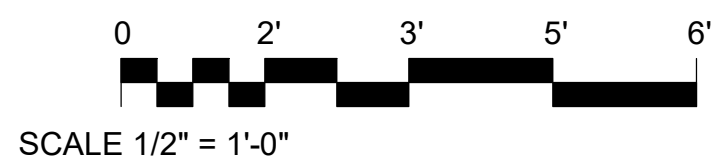
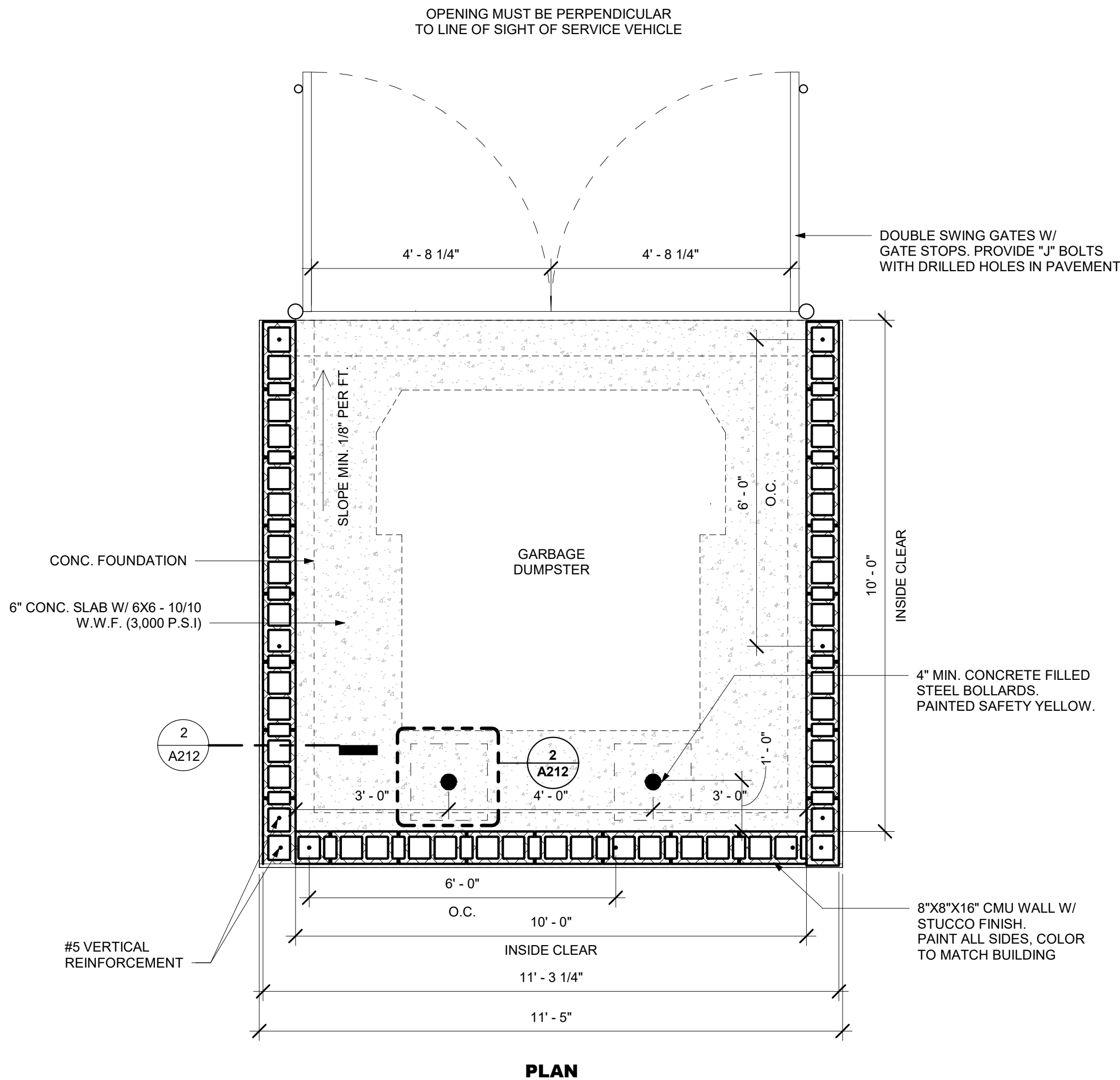
A212



2 DUMPSTER DETAIL SECTIONS
1/2" = 1'-0"



1 DUMPSTER PLAN/ELEVATION
1/2" = 1'-0"



PRIMARY FACADES MINIMUM DESIGN ELEMENTS.

- 1.AWNINGS, LOCATED OVER WINDOWS OR DOORS.
- 2.OVERHANGING EAVES, EXTENDING OUT FROM THE WALL AT LEAST THREE FEET, WITH A MINIMUM EIGHT-INCH FACIA.
3. RAISED PARAPET OVER A CUSTOMER ENTRANCE.
- 4.WINDOWS.
- 5.DECORATIVE LIGHT FIXTURES.

FLASHING NOTES:

Exterior walls shall provide the building with a weather-resistant exterior wall envelope. The exterior wall envelope shall include flashing as described below.

One layer of No. 15 asphalt felt, free from holes and breaks, complying with **ASTM D 226** for Type 1 felt or other approved water-resistive barrier shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm). Where joints occur, felt shall be lapped not less than 6 inches (152 mm). The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope.

Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:

1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage.
Flashing at exterior window and door openings shall be installed in accordance with one or more of the following or other approved method:
1.1 In accordance with FMA/AAMA 100, FMA/AAMA 200, or FMA/WDMA 250.
1.2 In accordance with the flashing details provided herein.
2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
3. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.

SHEET NOTES

- 1.1 - TILE FINISH
- 1.2 - METAL PANELS
- 1.3 - CEMENTITIOUS FINISH
- 1.4 - METAL ROOF
- 1.5 - METAL AWNING
- 1.6 - SPANDRELL GLASS
- 1.7 - CLEAR GLASS
- 1.8 - METAL COPING
- 1.9 - SCUPPER
- 1.10 - SCUPPER OVERFLOW
- 1.11 - DOWNSPOUT

WALLS

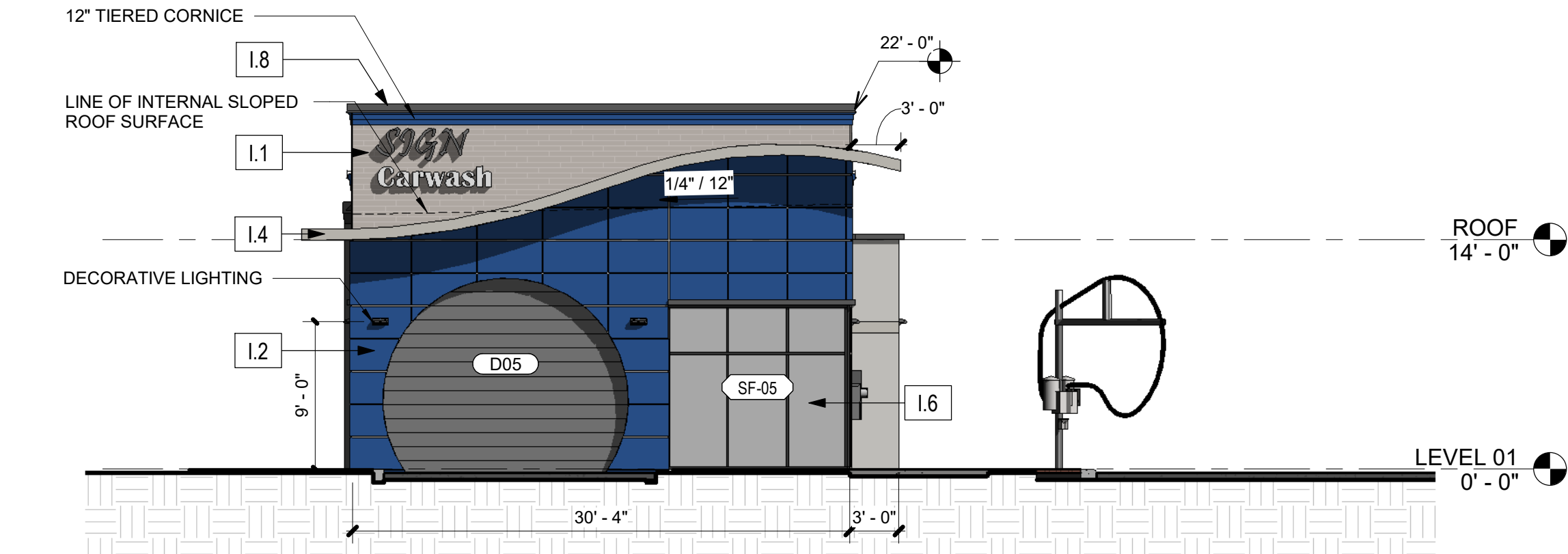
- 1.1 EXTERIOR TILE: VALLEY RIDGE LUMBER GREY WOOD PLANK
- 1.2 METAL PANELS: CVB BLUE LRV 13.79
- 1.3 EXTERIOR PAINT: SHERWIN WILLIAMS MODERN GRAY 7632 LRV 62

DOORS AND STOREFRONTS

- STOREFRONT: CLEAR ANODIZED FINISH
- STOREFRONT: LOW-E GREY GLASS
- 1.5 METAL AWNINGS: POWDER COATED BLACK
- 1.8 METAL TRIM, COPING AND DOWNSPOUTS: GALVALUME
- 1.9 GALVALUME
- 1.10
- 1.11
- ROLL UP DOORS: ALUMINUM GRILLE W/ CHAIN HOIST

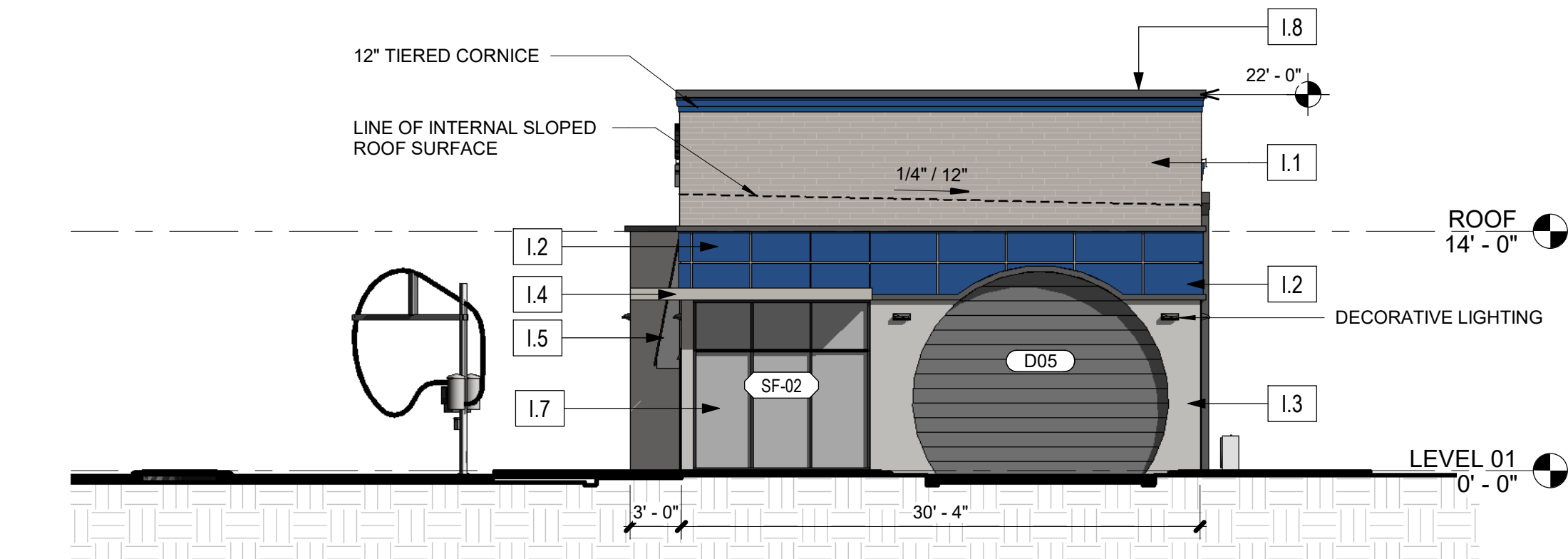
ROOF

- 1.4 METAL ROOF: BSX SILVER LRV 30.94/SRI 71-COOL



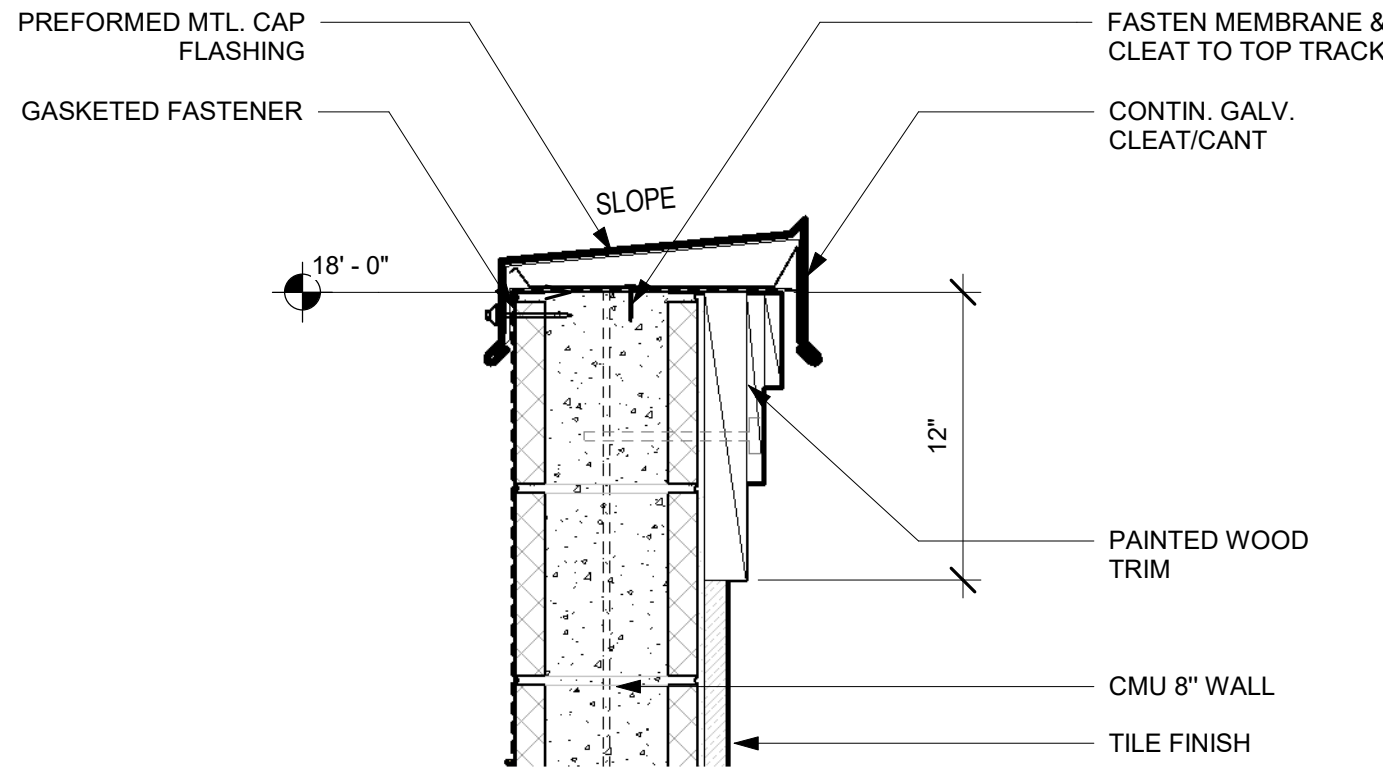
4 WEST ELEVATION_PRIMARY

1/8" = 1'-0"



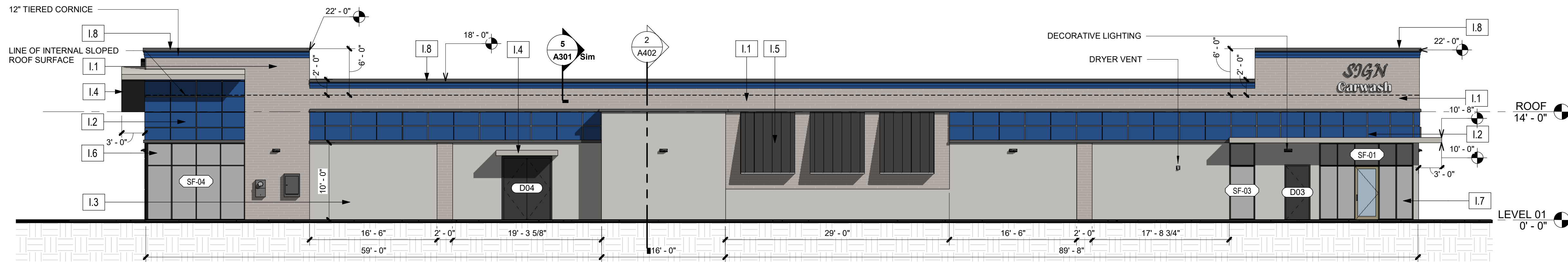
3 EAST ELEVATION_SECONDARY

1/8" = 1'-0"



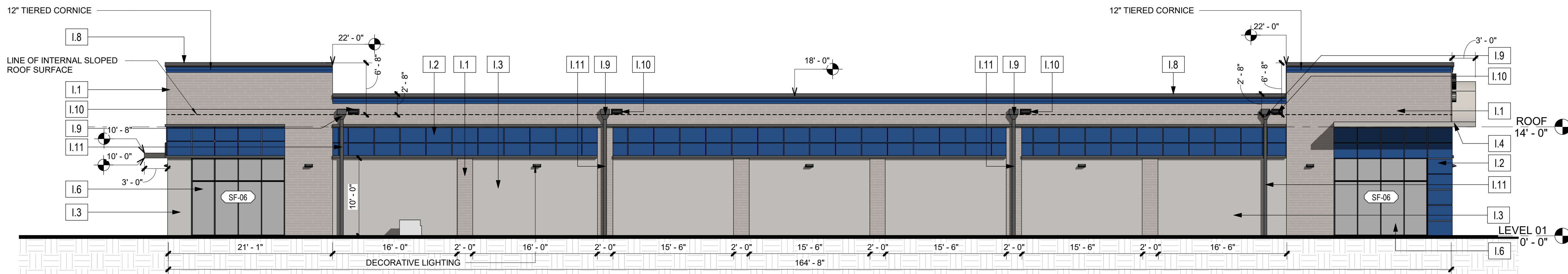
5 CORNICE DETAIL

1 1/2" = 1'-0"



2 SOUTH ELEVATION_PRIMARY

1/8" = 1'-0"



1 NORTH ELEVATION_SECONDARY

1/8" = 1'-0"



SCALE 1/8" = 1'-0"

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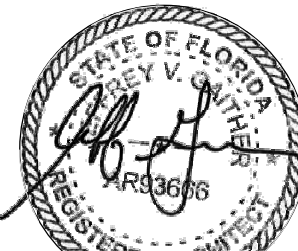
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AR3666

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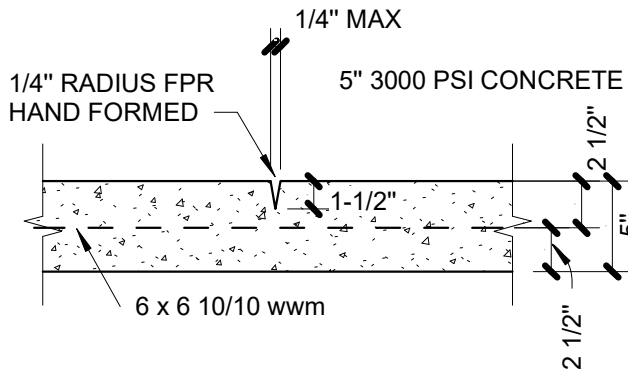
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BUILDING ELEVATIONS

A301

SHEET NOTES

A.4 - MODIFIED BITUMEN ROOF
J.19 - R30 INSULATION



CONTROL JOINT DETAIL

NOTE: CONTROL JOINTS MAY BE EITHER HAND FORMED, SAWED OR CONSTRUCTED WITH 1/4" PRE MOLDED FILLER JOINT. JOINTS MUST BE SAWED BETWEEN 4 AND 18 HOURS AFTER CONCRETE IS POURED.

NO HVAC	
DESIGN DATA	
WIND SPEED	175 MPH (3 SEC. GUST)
EXPOSURE	"C"
IMPORTANCE FACTOR	1.0
RISK CATEGORY	II
SOIL	2000 PRF
CONSTRUCTION TYPE	VI
ENCLOSURE TYPE	ENCLOSURE

FLORIDA PRODUCT APPROVAL

Exterior Doors	Manufacturer Model Number / Series	FL Product Approval Number	Miami Dade NOA Number	Miami Dade NOA Expiration
Swinging	Kawneer Glass (K350-500 HW LHM DUT SW	FL15850.1		
Swinging	Mosier Door, Inc N Series	FL11278.1		
Section/Rollup	Overhead Door Corporation Series 610	FL15960.1		
Wall Panels	Manufacturer Model Number / Series	FL Product Approval Number	Miami Dade NOA Number	Miami Dade NOA Expiration
Metal Siding	Bridger Steel Sides 22" Corr.	FL2334.1		
Soilts	Hardie Soilts	FL13265.1		
Storefront	Kawneer Tri Fab 450	FL7237.1		
Roofing Products	Manufacturer Model Number / Series	FL Product Approval Number	Miami Dade NOA Number	Miami Dade NOA Expiration
Single Ply Roof	GAF Everguard	FL3443.1		
Non-Structural Metal	Berridge Zinc Lock Double Lock	FL15871.1		
Roofing Underlayment	Dowens Corning Weatherlock Metal	FL9777.5		

GENERAL NOTES:

1. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO THE ADDITION OF WHATEVER TEMPORARY BRACING, GUY WIRES OR TIEDOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
2. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
3. ALL WORK TO BE IN STRICT ACCORDANCE WITH "FLORIDA BUILDING CODE" AND LOCAL ORDINANCES.
4. MASONS/ FRAMERS TO COORDINATE WITH BUILDER / CONTRACTOR FOR ROUGH OPENINGS AND MANUFACTURES SPECS ON DOORS AND WINDOW.
5. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
6. ALL DIMENSIONS ARE APPROXIMATE AND MAY VARY DUE TO BUILDING TOLERANCES.

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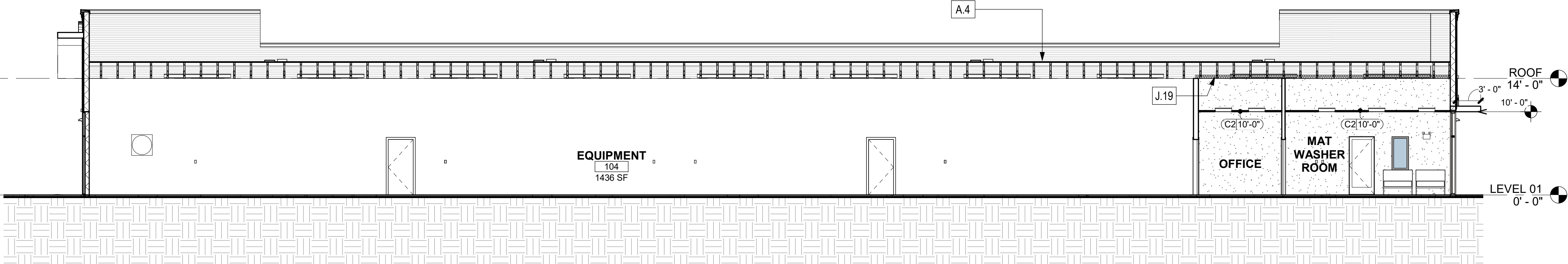
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BUILDING SECTIONS

A401



1 LONGITUDINAL SECTION
1/8" = 1'-0"



SCALE 3/16" = 1'-0"

TERMITE TREATMENT NOTES:

A PERMANENT SIGN WHICH IDENTIFIES THR TERMITR TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATHER HEATER OR ELECTRICAL PANEL. CONDENSATE LINES AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS. IRRIGATION SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'- 0" THE BUILDING SIDE WALLS. TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, SPACE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES. EXCEPTION: PAINT OR DECORATIVE CEMENTITIOUS FINISH LE56 THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL. INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL ARE COMPLETE. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.

BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. MINIMUM 6MIL VAPOR RETARDER WST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RE-TREATMENT IS REQUIRED.

CONCRETE OVERPOUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'- 0" OFF THE STRUCTURE SIDE WALLS. AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED. ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY LULI WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENICION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'- 0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL. NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC. SHALL BE BURIED WITHIN 15'- 0" OF ANY BUILDING OR PROPOSED BUILDING.

CAST IN PLACE REINFORCED CONCRETE

- 3.1 ALL CONCRETE WORK SHALL CONFORM WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)" AND "ESPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)".
- 3.2 COMPRESSIVE STRENGHT: CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGHTS AT 28 DAYS: FOOTINGS _____ 3000 PSI
- 3.3 CONCRETE QUALITY: PROVIDE READY MIX CONCRETE IN ACCORDANCE WITH ASTM C94 UNLESSS OTHERWISE INDICATED. A. PORTLAND CEMENT: ASTM C150, TYPE I OR II FROM ONE SOURCE B. FINE AND COARSE AGGREGATES: ASTM C33
- 3.4 SLUM: SHALL BE 4" FOR PUMPED CONCRETE , SLUMP TESTS SHALL BE TAKEN AT THE POINT OF DISCHARGE (END OF HOSE)
- 3.5 REINFORCING STEEL: PROVIDE REINFORCING STEEL OF TYPE, STRENGHT AND GRADE INDICATED BELOW. REINFORCED BARS: ASTM A615- 60, FY= 60,000PSI A. WELDED WIRE FABRIC: ASTM A185 B. OPTION: 3000PSI CONCRETE W/FIBER MESH AND (1) ONE WIDTH OF 6 X 6 1010 WWM AROUND PERIMETER.
- 3.6 ANCHOR BOLTS: ASTM A307 IN ANGLE.
- 3.7 CONCRETE COVER: MINIMUM CONCRETE CLEAR COVER FOR REINFORCEMENT SHALL BE AS INDICATED BELOW OR AS OTHERWISE INDICATED: SIDES AND BOTTOM OF FOOTINGS / FOUNDATIONS _____ 3" TOPS OF FOOTINGS/ FOUNDATIONS _____ 2" TOPS AND BOTTOM OF STRUCTURAL SLAB _____ 1-1/2"
- 3.8 CONCRETE MIX DESIGNS: MIX DESIGNS BE IN ACCORDANCE WITH ACI 301-05 AND ACI 318, CHAPTER 53.
- 3.9 SLABS: POUR SLAB IN ACCORDANCE WITH ACI 302 (LATEST EDITION) PROVIDE, AS INDICATED, THE REINFORCING IN SLAB, UNLESS OTHERWISE INDICATED, SUPPORT SLAB REINFORCING AT THE PROPER ELEVATION. JOINTS: LOCATE AND INSTALL JOINTS AS INDICATED IN THE DRAWINGS AND AS INDICATED BELOW: 1. CONTROL JOINTS: PROVIDE SAW-CUT OR PREFORMED CONTROL JOINT STRIPS. DEPTH OFF THE JOINTS SHALL NOT BE LESS THAN ¼ OF BUT NO GREATER THAN 1/3 OF THE SLAB THICKNESS. SAWCUTTING OFF JOINTS SHALL BEGIN AS SOON AS THE CONCRETE HAS SUFFICIENTLY CURED SO REVELLING OF THE AGGREGATES DOES NOT OCCUR INSTALL PRE-FORMED CONTROL JOINT STRIPS IN STRICT COMPLIANCE WITH THE MAUFACTURER'S METHODS AND PROCEEDITURES. 2. CONSTRUCTION JOINTS: WHEN CONCRETING OPERATIONS ARE INTERRUPTED IN A CONTINUOUS SLAB, CONSTRUCTION JOINTS SHALL BE FORMED WITH BURKE KEYED KOLD JOINT FORM (OR EQUAL) UNLESS OTHERWISE INDICATED.
- 3.10 CONCRETE PLACEMENT AND QUALITY: PLACE CONCRETE IN ACCORDANCE WITH "ACI FIELD REFERENCE MANUAL (SP-15, 2005)". A COPY SHOULD BE AVAILABLE AT THE JOB-SITE DURING CONSTRUCTION.
- 3.11 REINFORCING DETAILS: SHALL CONFORM TO ACI 315 (LATEST EDITION) AND "CRSI MANUAL OF STANDARD PRACTICE" UNLESS OTHERWISE DETAILED IN THE STRUCTURAL DRAWINGS.

STRUCTURAL STEEL

STRUCTURAL STEEL SHALL CONFORM TO THE AISC LATEST SPECICICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. LATEST EDITION. WELDING SHALL CONFORM TO ASTM A325N AND ASTM MAO.

MASONRY

MASONRY CONCRETE UNITS SHALL BE HOLLOW BEARING UNITS ASTM C90 NORMAL WEIGHT. MINIMUN NET COMPRESSIVE UNIT STRENGHT = 2000 PSI. NET AREA COMPRESSIVE OF PM =1500 PSI. MORTAR SHALL BE TYPE "M" AND SHALL CONFORM TO ASTM C270. GROUT SHALL CONFORM TO ASTM C476, 3000 PSI AT 28 DAYS, 1/4" MAX. AGGREGATE SIZE AND SLUM SHALL BE BETWEEN 8" AND 11" GROUT SHALL BE PLACED IN 5'-0" MAXIMUN LIFTS.

SHEET NOTES

- J.1 - METAL COPING
J.2 - METAL PANELS SEE SHEET
J.3 - CEMENTITIOUS FINISH
J.4 - PAINTED WALLS
J.5 - 8" CONC. BLOCK WALL W/ #5 REBAR AS SHOWN ON PLAN AN @48" O.C LAP STEEL 25" MIN.
J.6 - SHOE BLOCK W/5" REBAR CONT.
J.7 - 36" X 12" TK 3000 PSI CONCRETE FTG. W. 4- #5 REBAR AS SHOWN AND 1- #5 REBAR @48" O.C.
J.8 - STEP DOWN FTG W/2 - #5 REBAR CONTINUOUS
J.9 - CLEAN COMPACT TERMITE TREATED SOIL UNDER FLOOR SLAB
J.10 - 8X8 THICKENED EDGE W/5# REBAR
J.12 - #5 REBAR @ 24" O.C.
J.14 - DOUBLE K.O BLOCK TOP COURSE W/ #5 REBARS CONT.
J.15 - SIMPSON METAL16 EMBEDDED STRAP EACH TRUSS END FASTEN PER MANUFACTURERS SPECS.
J.17 - PVC LINER PANEL
J.18 - 2 x 2 x 4

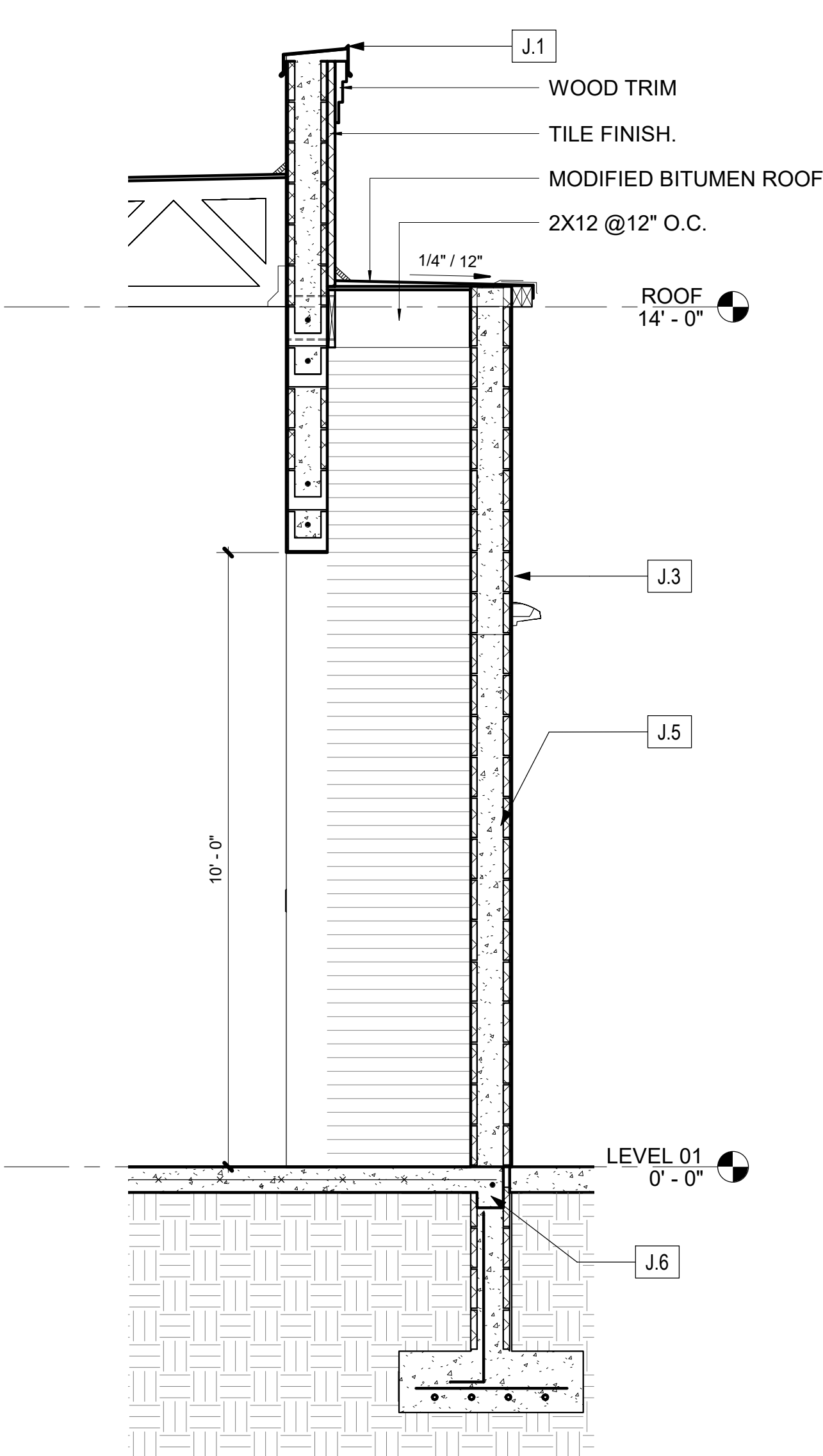
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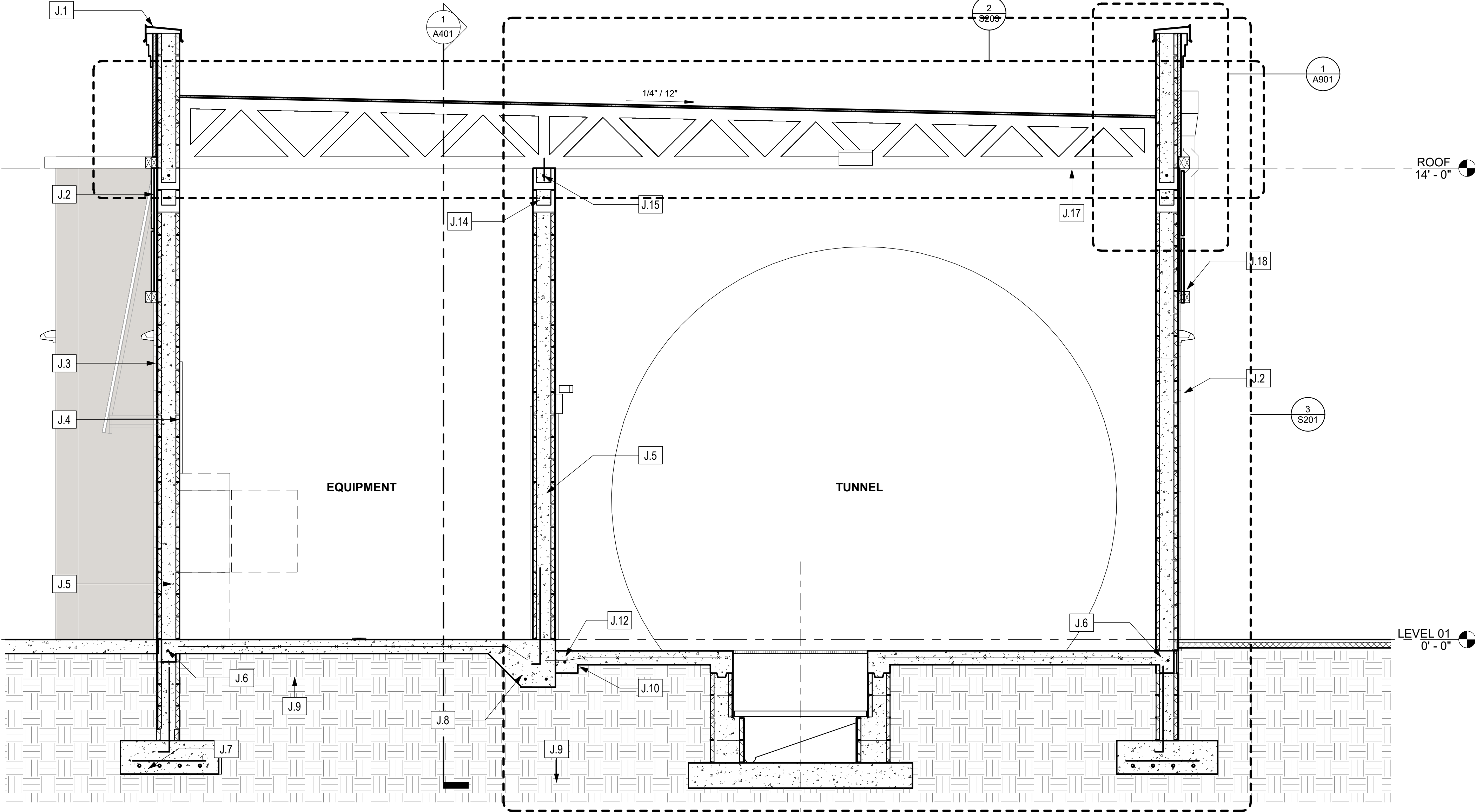
Federal Hwy

Waters Car Wash

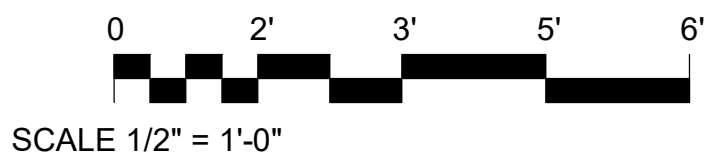
STUART, FL



2 WALL SECTION
1/2" = 1'-0"



1 CROSS SECTION
1/2" = 1'-0"



SCALE 1/2" = 1'-0"

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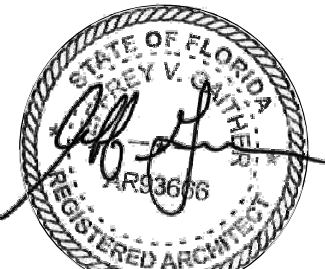
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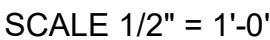
BUILDING SECTIONS

A402

STUART, FL

- G.1 - METAL COPING
- G.2 - METAL ROOF
- G.3 - BEAM
- G.4 - FASCIA
- G.5 - LINTEL BLOCK
- G.6 - PVC LINER PANEL
- G.7 - PRE-ENGINEERED WOOD ROOF TRUSSES
- G.8 - MODIFIED BITUMEN ROOF
- G.9 - METAL CAP
- G.10 - 2x4
- G.11 - TILE FINISH

G.12 - METAL AWNING
G.13 - 6" CONC. BLOCK WALL
G.14 - 8" CONC. BLOCK WALL
G.15 - SHOE BLOCK W/5" REBAR CONT.
G.16 - R30 INSULATION
G.17 - METAL PANELS
G.19 - 36" X 12' TK 3000 PSI CONCRETE FTG. W.4-
#5 REBAR AS SHOWN AND 1- #5 REBAR @48"
O.C.
G.20 - CEMENTITIOUS FINISH
G.22 - CLEAR GLASS



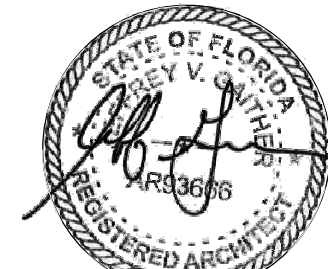
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WALL SECTIONS

A410

SHEET NOTES

REFLECTED CEILING SYMBOL LEGEND

- 4 x 4 SUSPENDED ACOUSTIC CEILING TILE
- 2 x 2 SUSPENDED ACOUSTIC CEILING TILE
- 2 x 2 SUSPENDED ACOUSTIC CEILING TILE - VINYL COATED
- GYPSUM WALL BOARD
- SUPPLY DIFFUSERS
- EXHAUST GRILL
- RETURN GRILL
- SPRINKLERS
- SMOKE DETECTOR
- CEILING TYPE WITH HEIGHT A.F.F.
- EXIT SIGN - WALL MOUNTED
- EXIT SIGN - CEILING MOUNTED
- WALL SCONCE
- RECESSED DOWNLIGHT
- RECESSED WALL WASHER
- ACCESS HATCH
- 2X2 LAY-IN LIGHT FIXTURE
- 2X4 LAY-IN LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE



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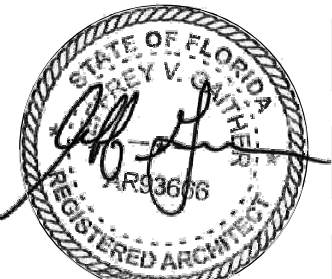
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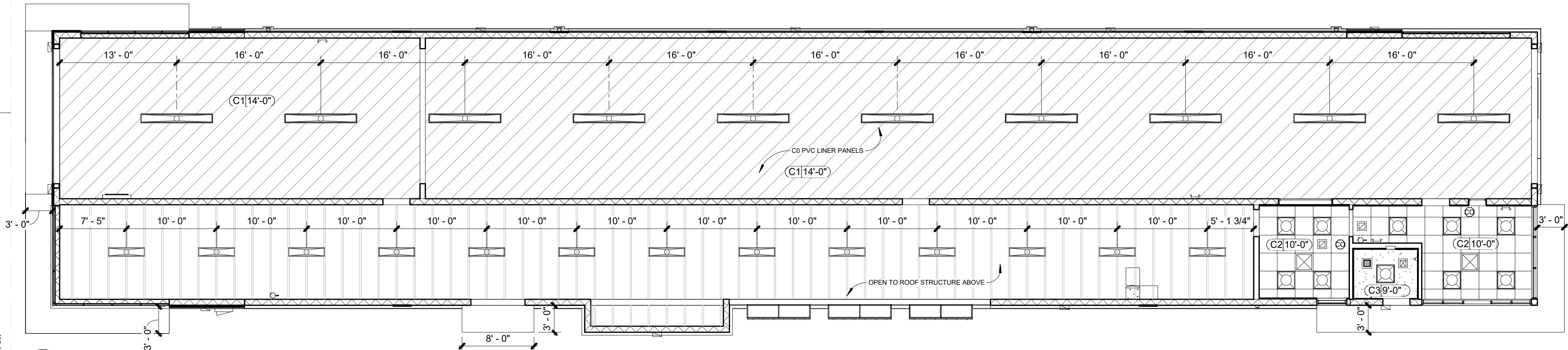
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Drawn By: Jeff Gaither, AIA, AR93666

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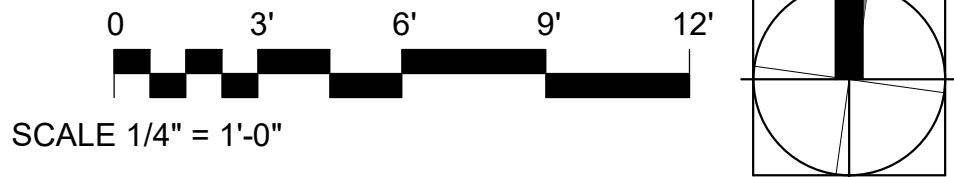
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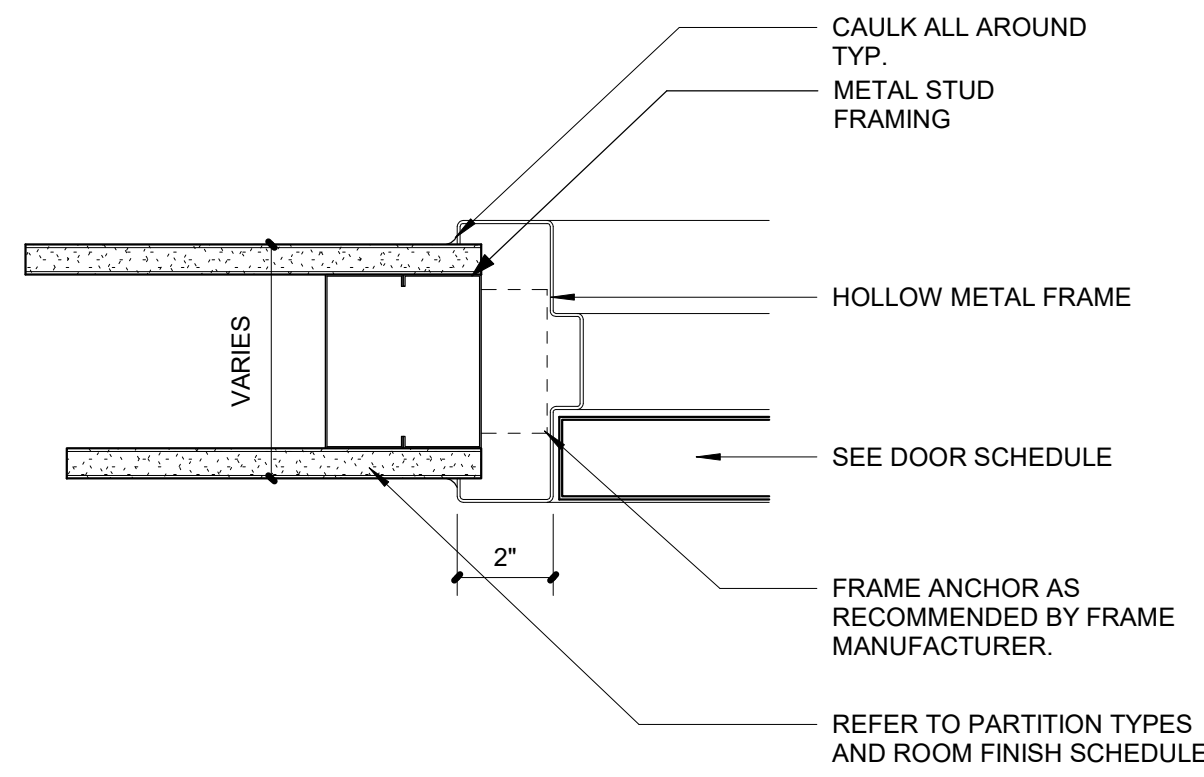
CEILING PLANS

A501



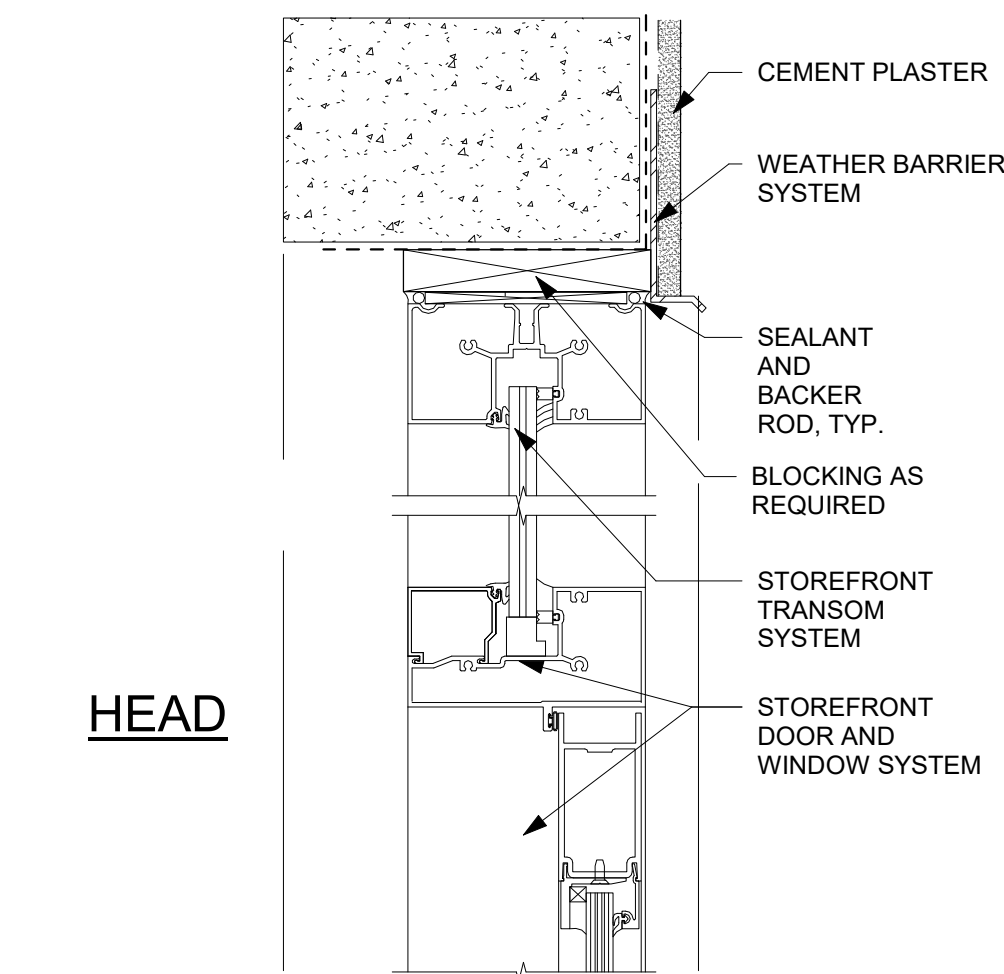
1 LEVEL 01
1/8" = 1'-0"



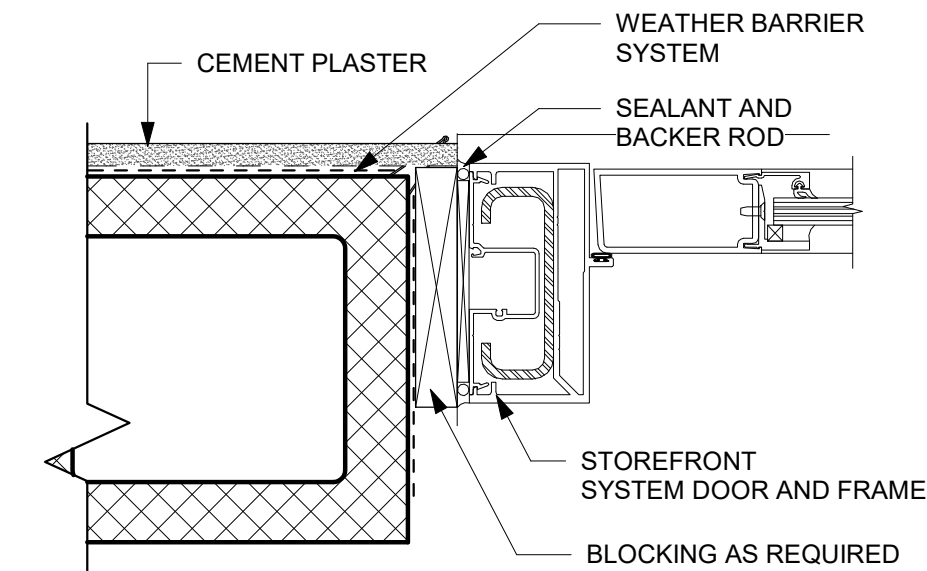


7 INTERIOR DOOR HEAD/JAMB
3" = 1'-0"

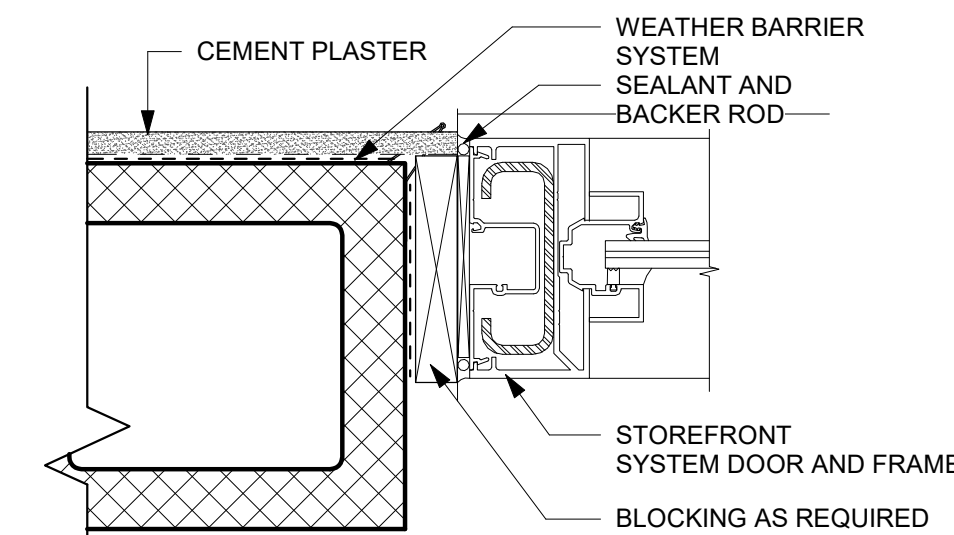
HEAD



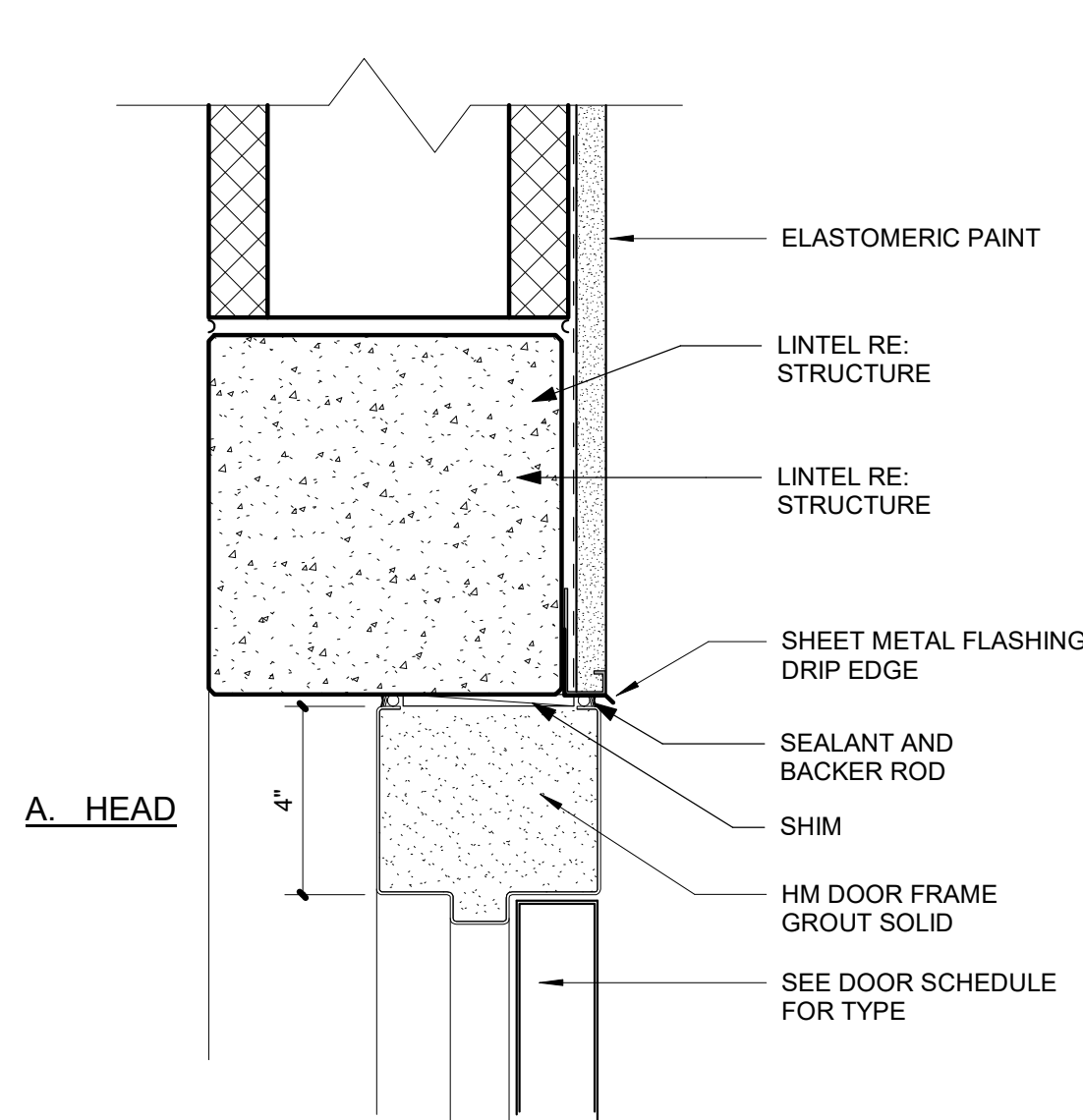
JAMB AT DOOR



JAMB AT TRANSOM



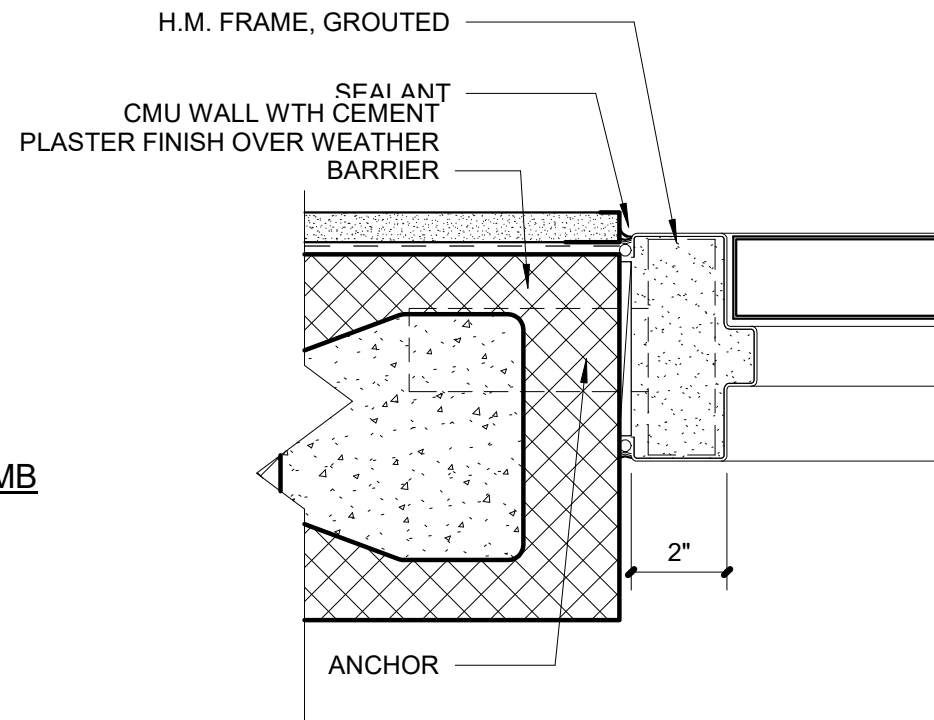
6 HEAD/JAMB - STOREFRONT ENTRY AT STUCCO ON CMU
3" = 1'-0"



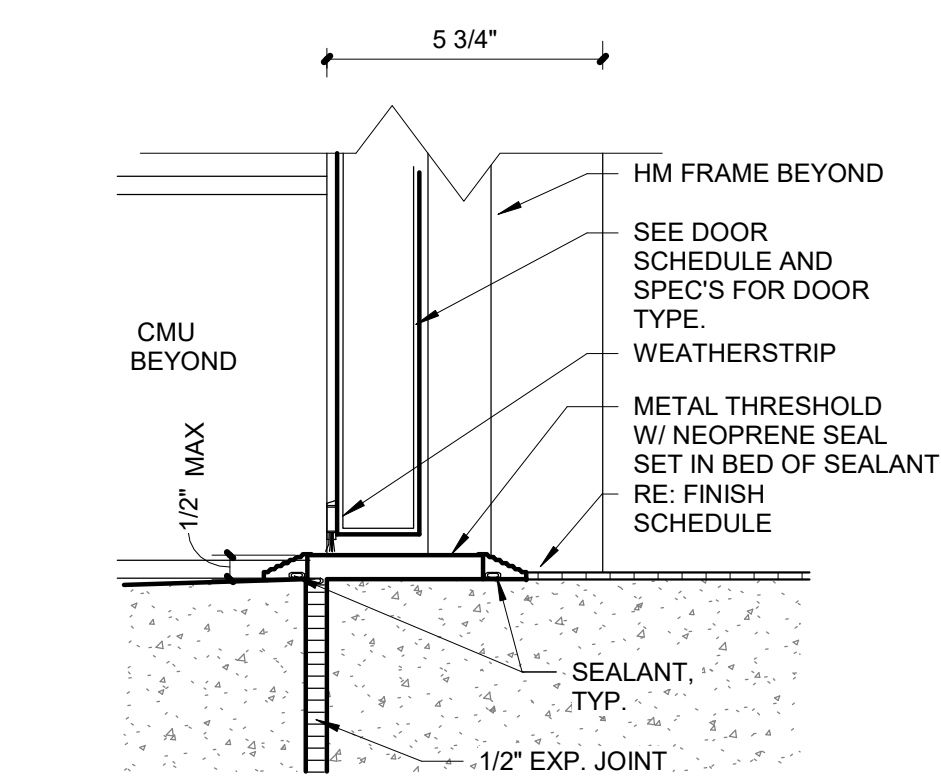
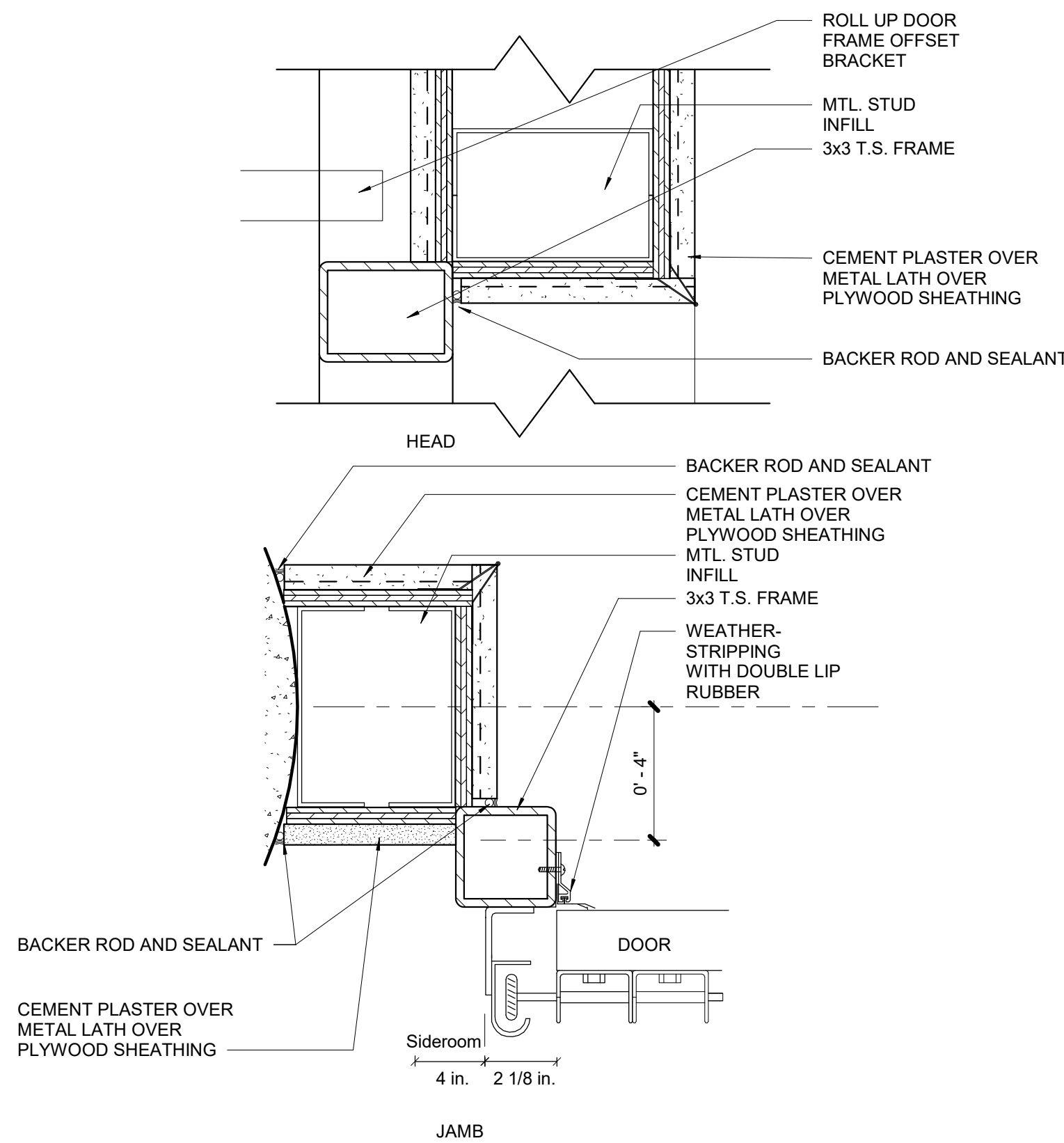
A. HEAD

B. JAMB

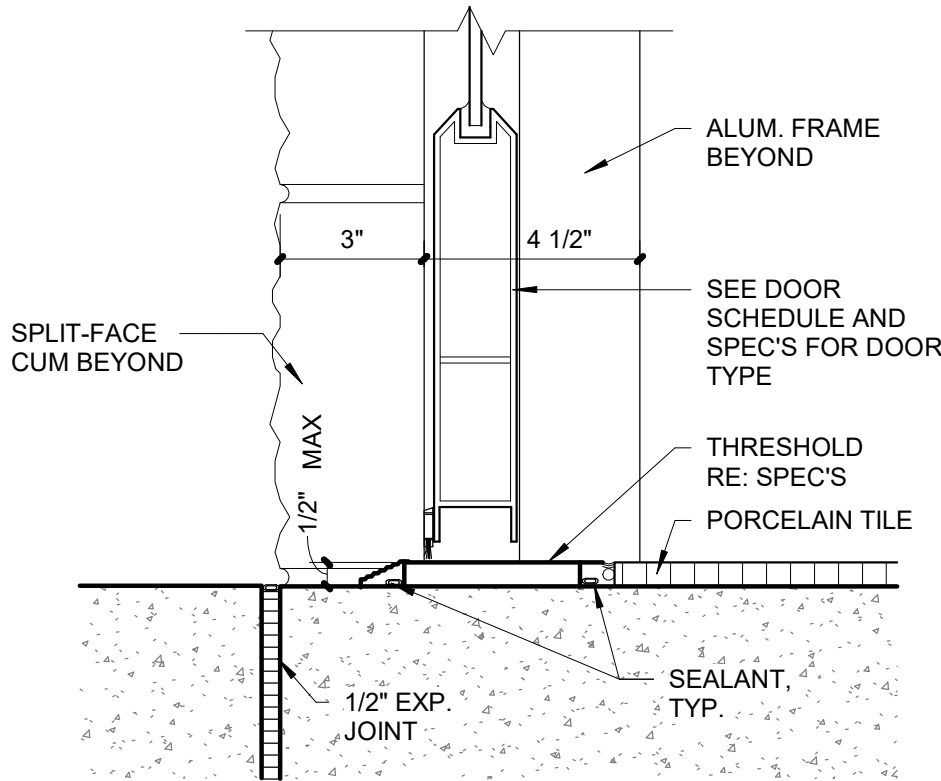
5 DOOR DETAILS - CMU
3" = 1'-0"



2 VERTICAL ROLL UP DOOR
3" = 1'-0"



4 HM DOOR THRESHOLD
3" = 1'-0"



3 ALUM DOOR THRESHOLD
3" = 1'-0"

HARDWARE SET DESCRIPTIONS:

SET #	DESCRIPTION
1	PRIVACY SET
2	STOCKROOM SET - LOCKABLE

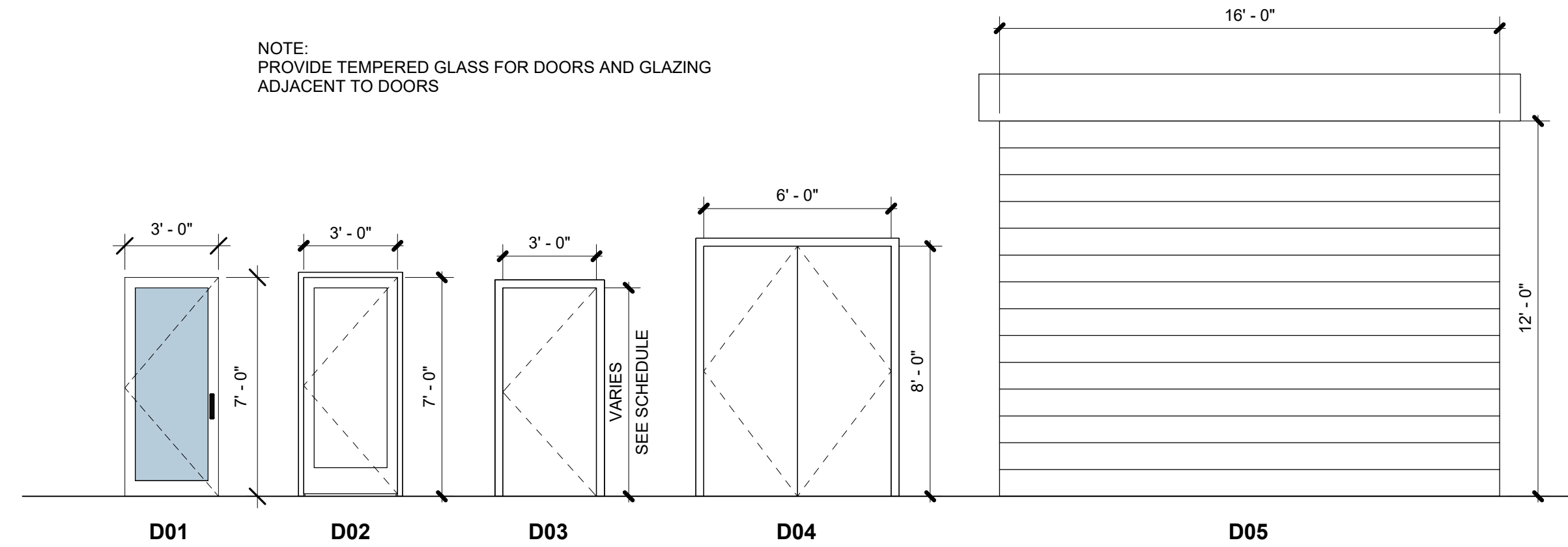
EXTERIOR DOORS SHALL HAVE SINGLE CYLINDER THUMBTURN LOCKSETS. NOT KEYED FROM EGRESS SIDE.

Door Hardware Notes:

DOOR HARDWARE, HANDLES, PULLS LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.

LOCKSETS SHALL BE KEYED TO BUILDING MASTER.

NOTE: PROVIDE TEMPERED GLASS FOR DOORS AND GLAZING ADJACENT TO DOORS



DOOR SCHEDULE- SHELL/CORE											
Mark	Location		Type	Door			Comments	Detail			Description
	Room Name	Room Number		Width	Height	Material		Head	Jamb	Sill	
100-1	MAT WASHER ROOM	100	D01	3' - 0"	6' - 11 1/4"	ALUMINUM, GLASS		A801/6	A801/6	A801/3	STOREFRONT SINGLE DOOR
100-2	MAT WASHER ROOM	100	D02	3' - 0"	7' - 0"	FIBERGLASS		A801/7	A801/7	A801/3	SINGLE GLASS DOOR
101-1	RR	101	D03	3' - 0"	7' - 0"	HM		A801/5	A801/5	A801/4	SINGLE DOOR
102-1	OFFICE	102	D03	3' - 0"	6' - 8"	HM		A801/7	A801/7	A801/4	SINGLE DOOR
102-2	OFFICE	102	D03	3' - 0"	6' - 8"	HM		A801/7	A801/7	A801/4	SINGLE DOOR
104-1	EQUIPMENT	104	D04	6' - 0"	8' - 0"	HM		A801/5	A801/5	A801/4	DOUBLE HOLLOW METAL DOOR
104-2	EQUIPMENT	104	D03	3' - 0"	6' - 8"	FIBERGLASS		A801/5	A801/5	A801/4	SINGLE DOOR
104-3	EQUIPMENT	104	D03	3' - 0"	6' - 8"	FIBERGLASS		A801/5	A801/5	A801/4	SINGLE DOOR
105-1	TUNNEL	105	D05	16' - 0"	12' - 0"	METAL		A801/2	A801/2		OVERHEAD DOOR
105-2	TUNNEL	105	D05	16' - 0"	12' - 0"	METAL		A801/2	A801/2		OVERHEAD DOOR

CONSULTANT:

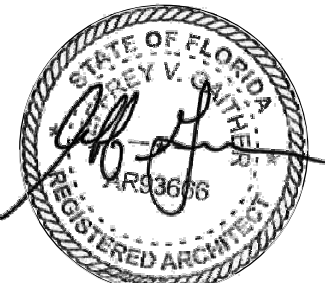
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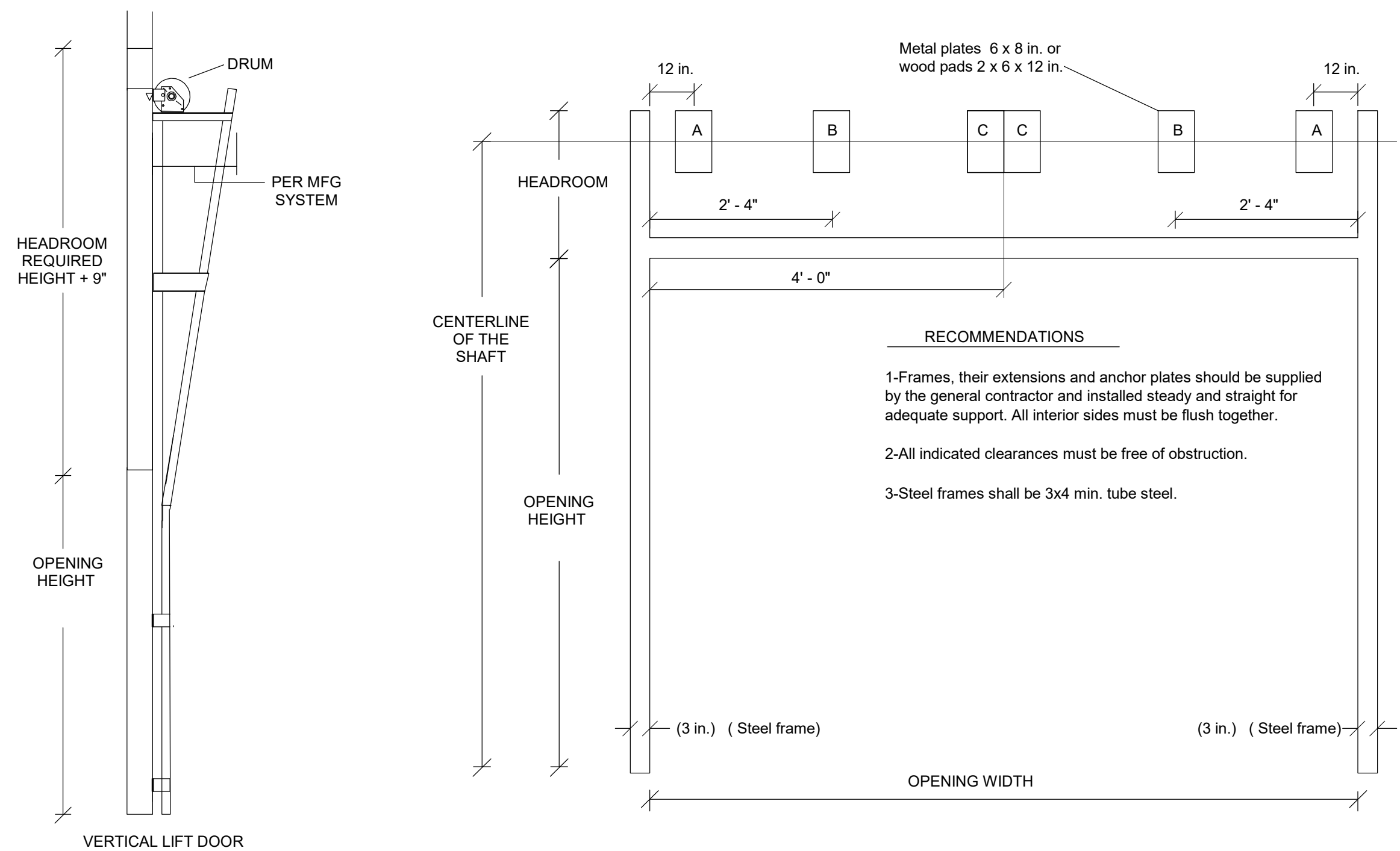
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AR93666

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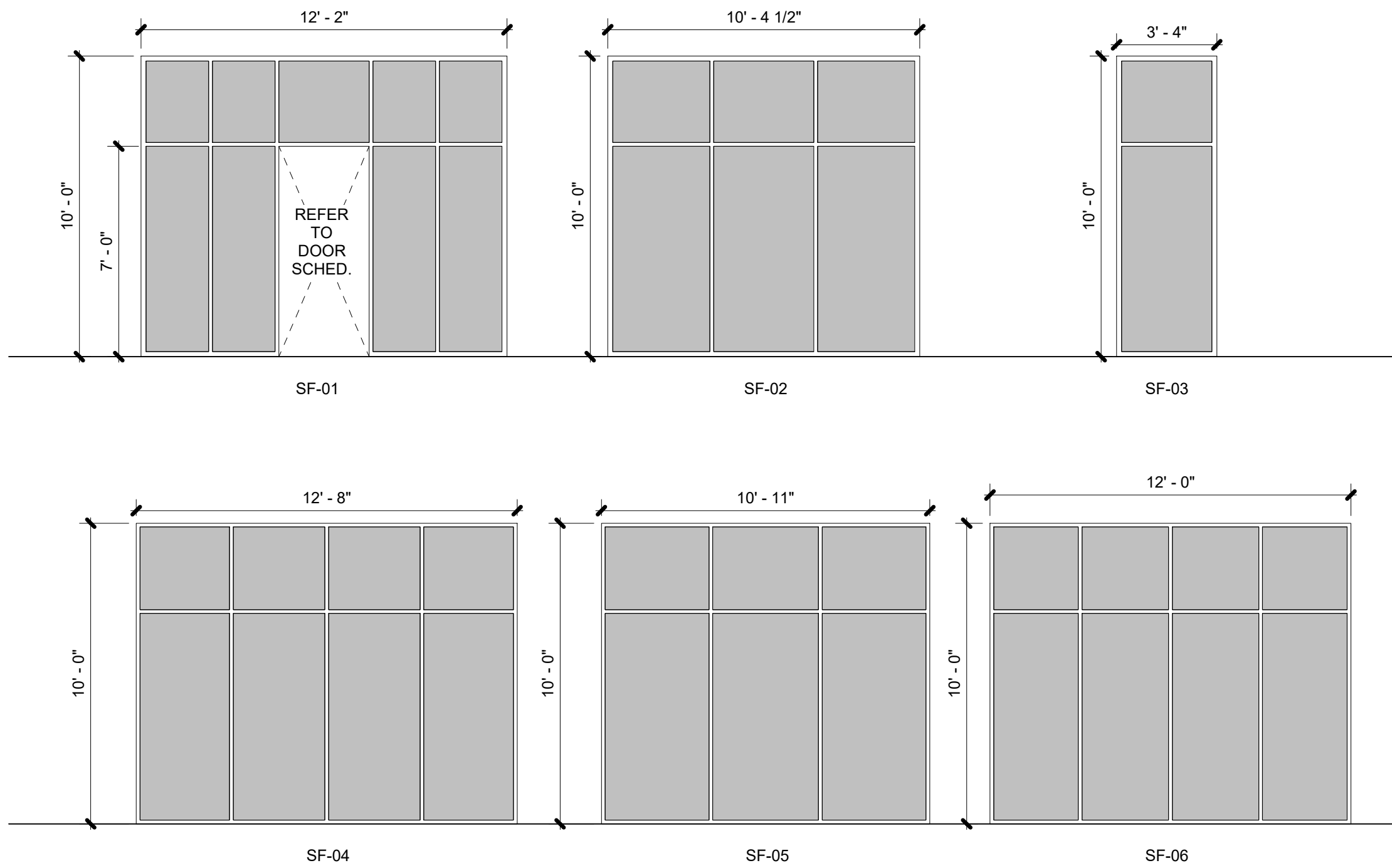
Sheet Title

DOOR SCHEDULE &
DETAILS

A801



1 VERTICAL ROLL UP DOOR SEC/ELEV.
1/4" = 1'-0"



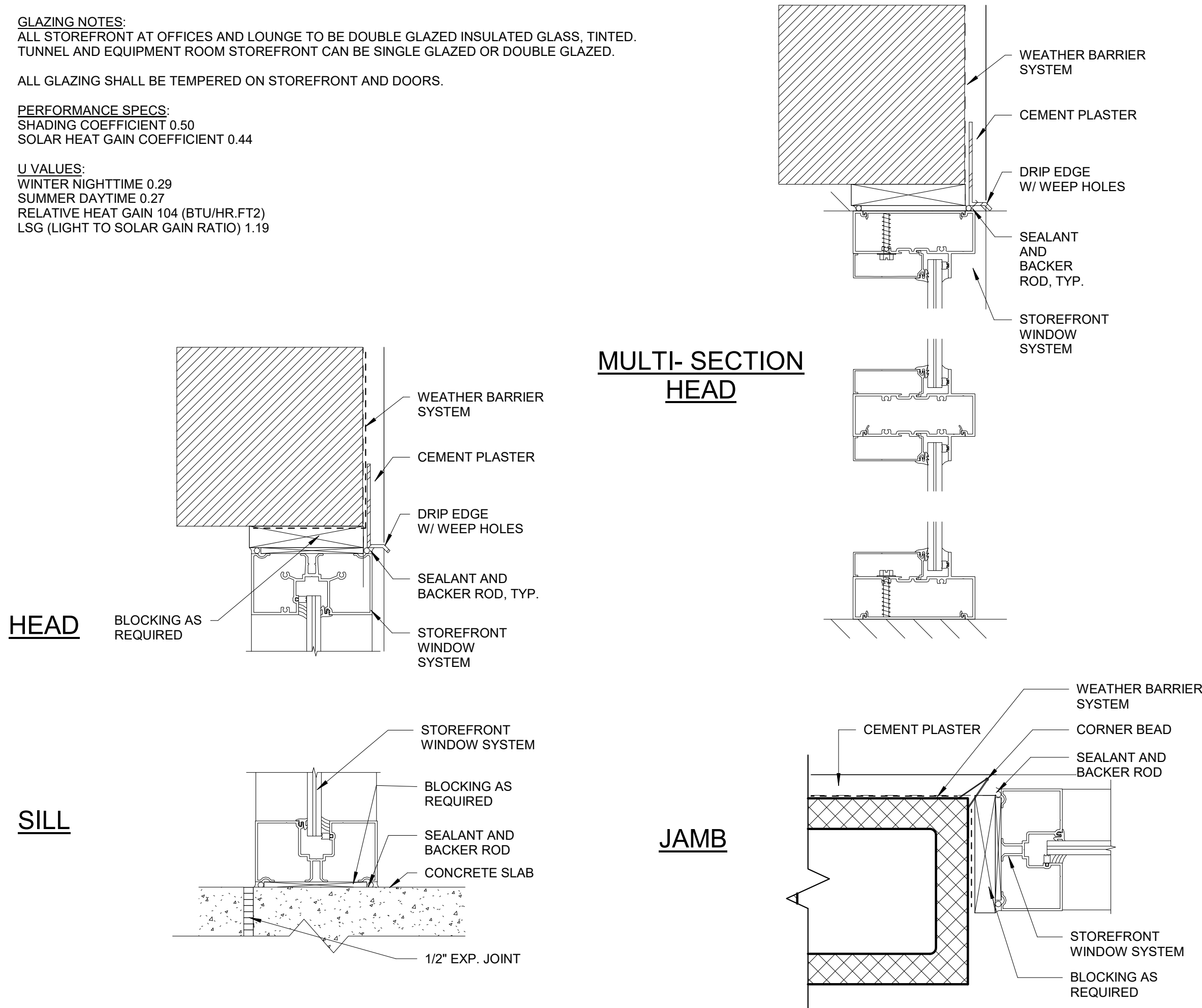
_STOREFRONT SCHEDULE									
Mark	Location		TYPE MARK	LENGTH	HEIGHT	Detail			DESCRIPTION
	Room Name	Room Number				Head	Jamb	Sill	
SF100-1	LOBBY	100	SF-01	12' - 2"	10' - 0"	A802/2	A802/2	A802/2	
SF100-2	LOBBY	100	SF-02	10' - 4 1/2"	10' - 0"	A802/2	A802/2	A802/2	
SF102	OFFICE	102	SF-03	3' - 4"	10' - 0"	A802/2	A802/2	A802/2	
SF104-1	EQUIPMENT	104	SF-04	12' - 8"	10' - 0"	A802/2	A802/2	A802/2	
SF104-2	EQUIPMENT	104	SF-05	10' - 11"	10' - 0"	A802/2	A802/2	A802/2	
	TUNNEL	105	SF-06	12' - 0"	10' - 0"	A802/2	A802/2	A802/2	TWO LOCATIONS. SEE ELEVATIONS

GLAZING NOTES:
ALL STOREFRONT AT OFFICES AND LOUNGE TO BE DOUBLE GLAZED INSULATED GLASS, TINTED.
TUNNEL AND EQUIPMENT ROOM STOREFRONT CAN BE SINGLE GLAZED OR DOUBLE GLAZED.

ALL GLAZING SHALL BE TEMPERED ON STOREFRONT AND DOORS.

PERFORMANCE SPECS:
SHADING COEFFICIENT 0.50
SOLAR HEAT GAIN COEFFICIENT 0.44

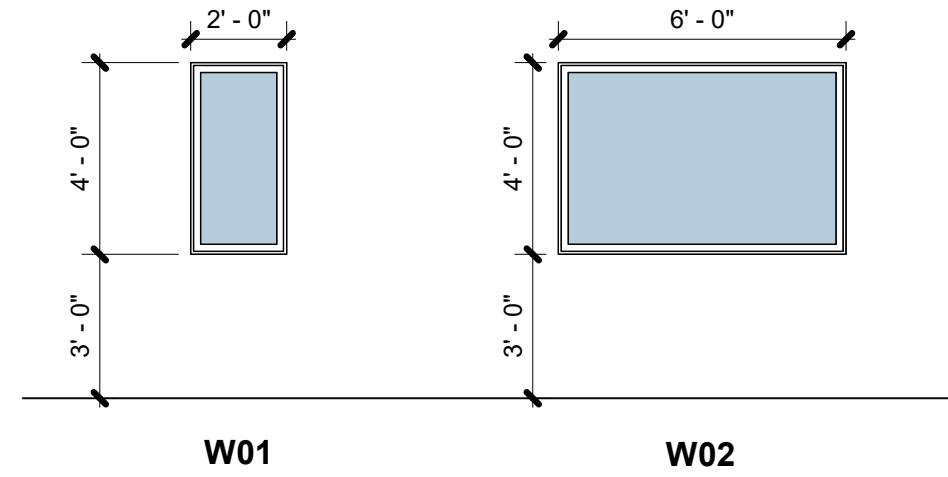
U VALUES:
WINTER NIGHTTIME 0.29
SUMMER DAYTIME 0.27
RELATIVE HEAT GAIN 104 (BTU/HR.FT2)
LSG (LIGHT TO SOLAR GAIN RATIO) 1.19



2 STOREFRONT HEAD/JAMB/SILL

3" = 1'-0"

WINDOWS FLORIDA PRODUCT APPROVAL: FL243.2



WINDOW SCHEDULE									
Mark	Location		Type Mark	Nominal Size		Detail			Description
	Room Name	Room Number		Width	Height	Head	Jamb	Sill	
W100-1	MAT WASHER ROOM	100	W01	2' - 0"	4' - 0"	A801/1	A801/1	A801/1	FIXED WINDOW
W102-1	OFFICE	102	W02	6' - 0"	4' - 0"	A801/1	A801/1	A801/1	FIXED WINDOW

FLASHING NOTES:

Exterior walls shall provide the building with a weather-resistant exterior wall envelope. The exterior wall envelope shall include flashing as described below.

One layer of No. 15 asphalt felt, free from holes and breaks, complying with ASTM D 228 for Type 1 felt or other approved water-resistive barrier shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm). Where joints occur, felt shall be lapped not less than 6 inches (152 mm). The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope.

Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:

- Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following or other approved method:
 - In accordance with FMA/AAMA 100, FMA/AAMA 200, or FMA/WDMA 250.
 - In accordance with the flashing details provided herein.
- At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
- Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.

GLAZING NOTES:

ALL STOREFRONT AT OFFICES AND LOUNGE TO BE DOUBLE GLAZED INSULATED GLASS, TINTED.
TUNNEL AND EQUIPMENT ROOM STOREFRONT CAN BE SINGLE GLAZED OR DOUBLE GLAZED.

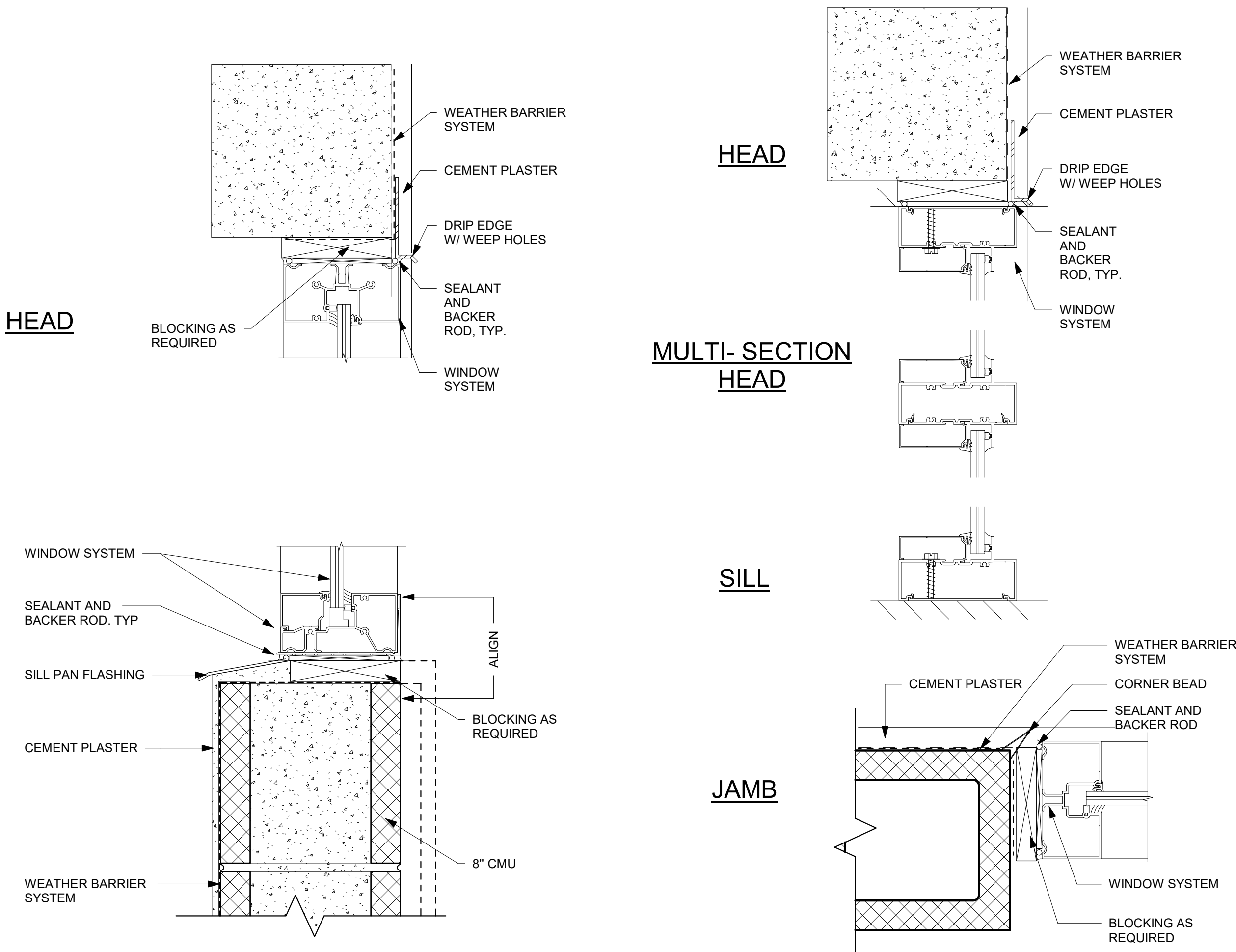
ALL GLAZING SHALL BE TEMPERED ON STOREFRONT AND DOORS.

PERFORMANCE SPECS:

SHADING COEFFICIENT 0.50
SOLAR HEAT GAIN COEFFICIENT 0.44

U VALUES:

WINTER NIGHTTIME 0.29
SUMMER DAYTIME 0.27
RELATIVE HEAT GAIN 104 (BTU/HR.FT2)
LSG (LIGHT TO SOLAR GAIN RATIO) 1.19



1 HEAD/JAMB/SILL DETAILS

3" = 1'-0"

STUDIO 407

STUDIO 407 LLC
1222 Woodward Street #103
Orlando, Florida 32803
(407) 392-3150
jeff@407studio.com | www.407studio.com

Federal Hwy

Waters Car Wash

STUART, FL

CONSULTANT:

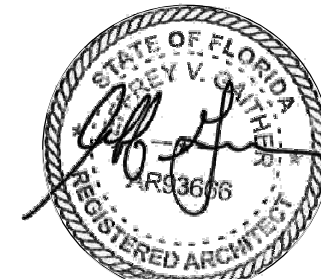
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Sheet Title

WINDOW SCHEDULE &
DETAILS

A802

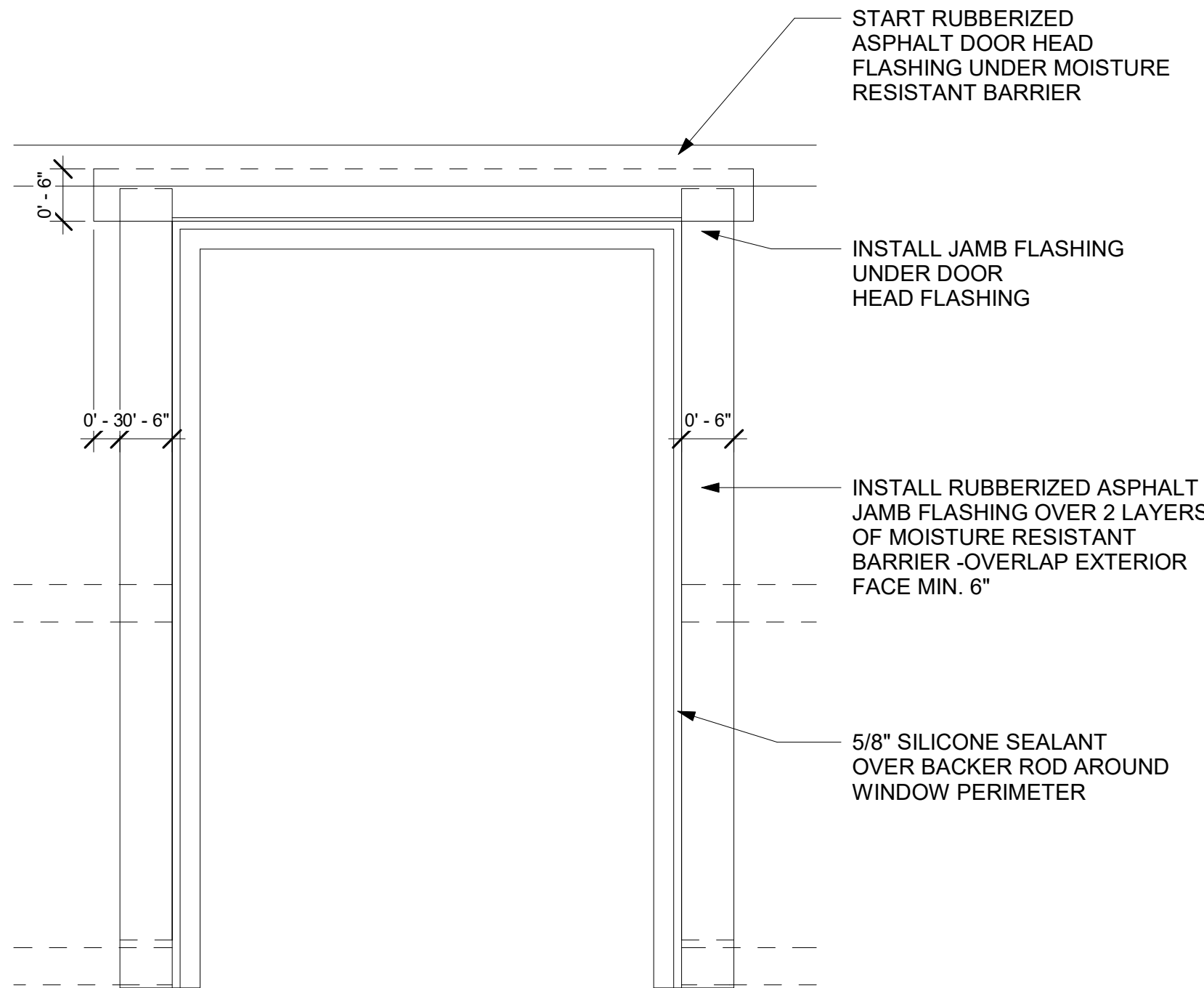
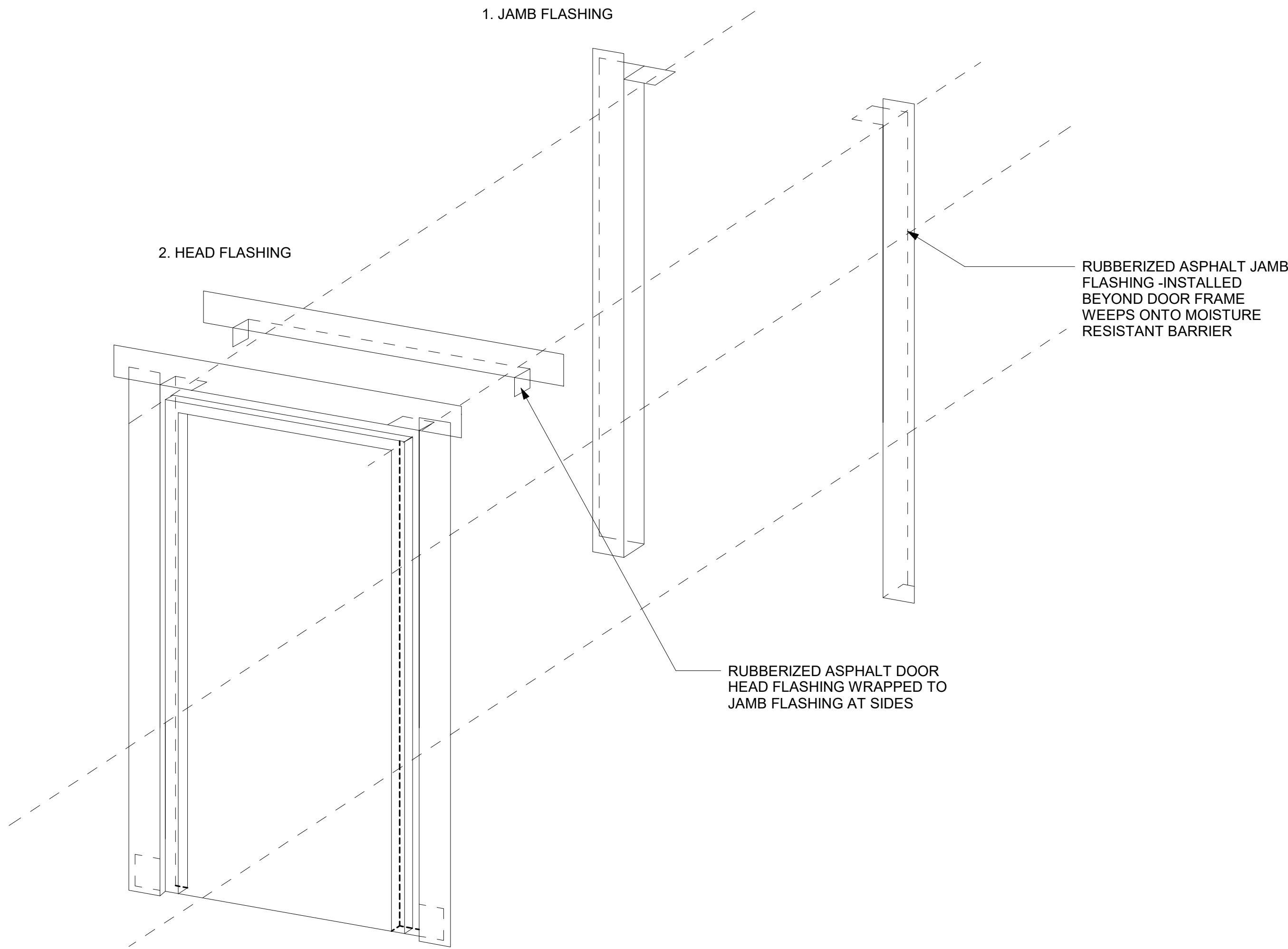
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NOTE:
INSTALL RUBBERIZED ASPHALT FLASHING
OVER SHEATHING, BLOCKING AND MOISTURE
RESISTANT BARRIER, EXCEPT AT START OF
FLASHING AT DOOR HEAD.

FLASHING NOTES:

Exterior walls shall provide the building with a weather-resistant exterior wall envelope. The exterior wall envelope shall include flashing as described below.

One layer of No. 15 asphalt felt, free from holes and breaks, complying with ASTM D 226 for Type 1 felt or other approved water-resistive barrier shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm). Where joints occur, felt shall be lapped not less than 6 inches (152 mm). The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope.

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 - In accordance with the flashing details provided herein.
- At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
- Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.

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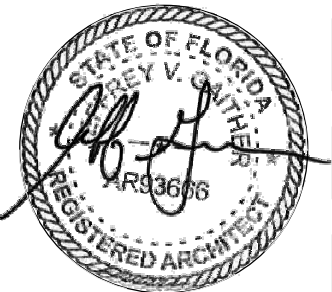
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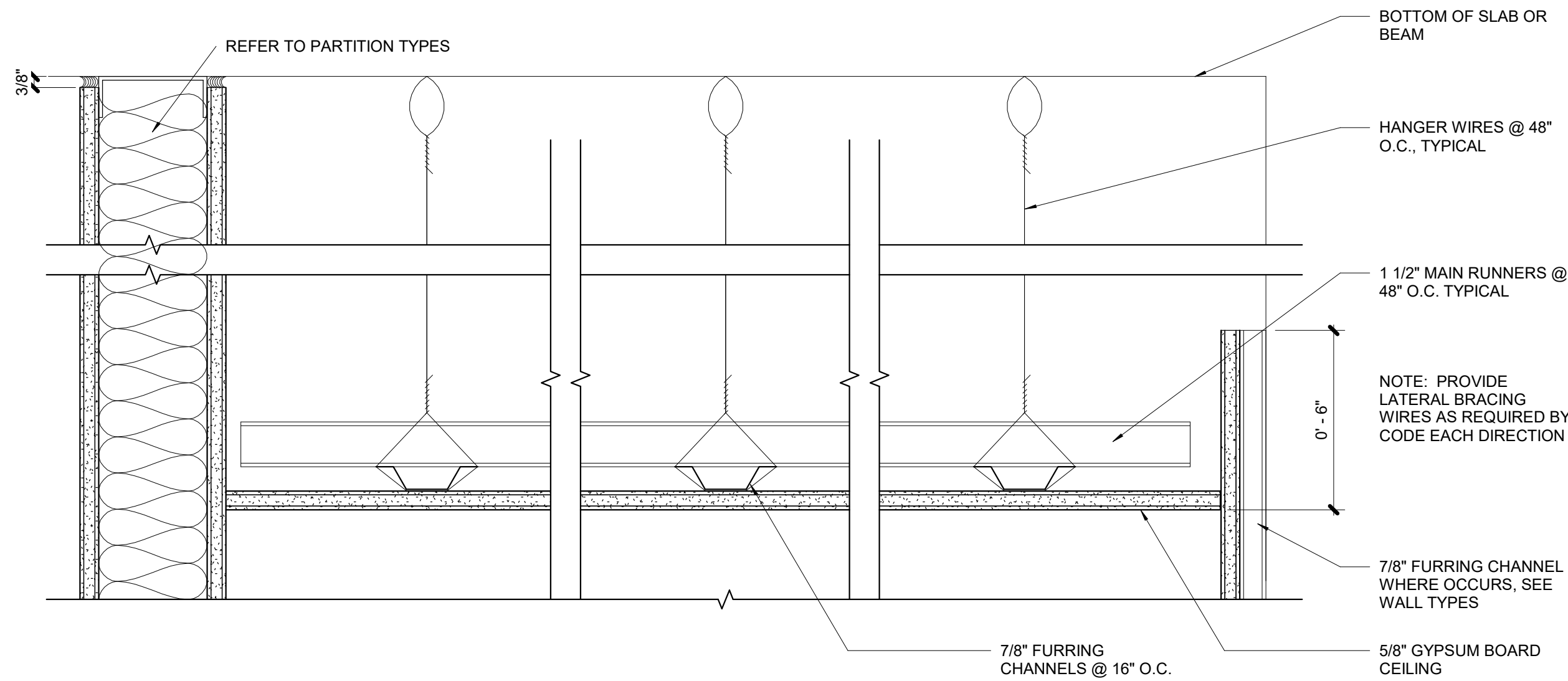
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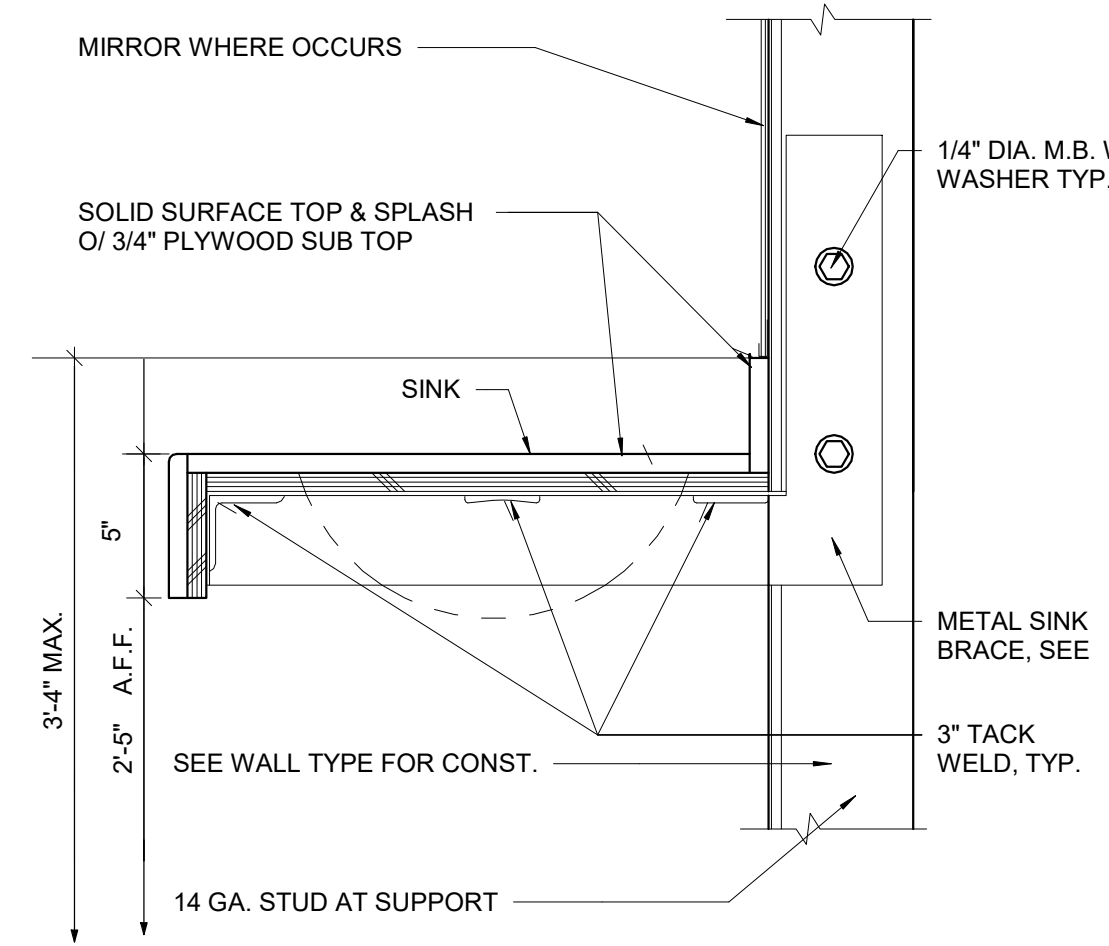
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OPENING FLASHING
DETAILS

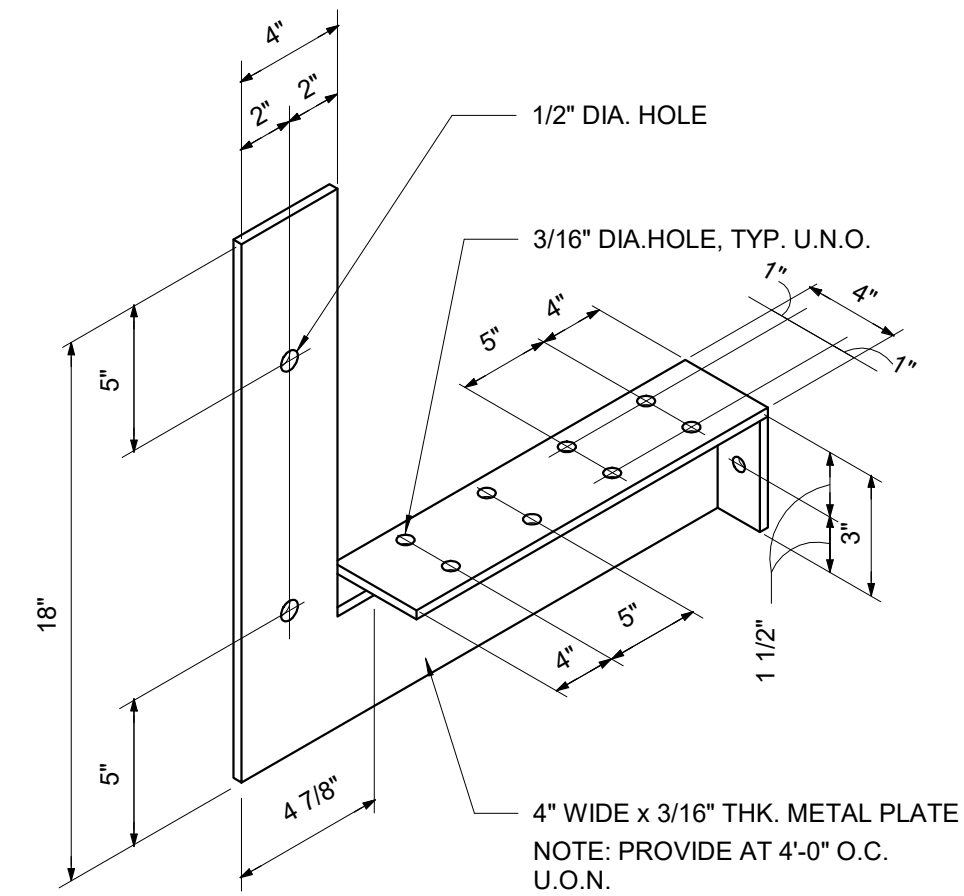
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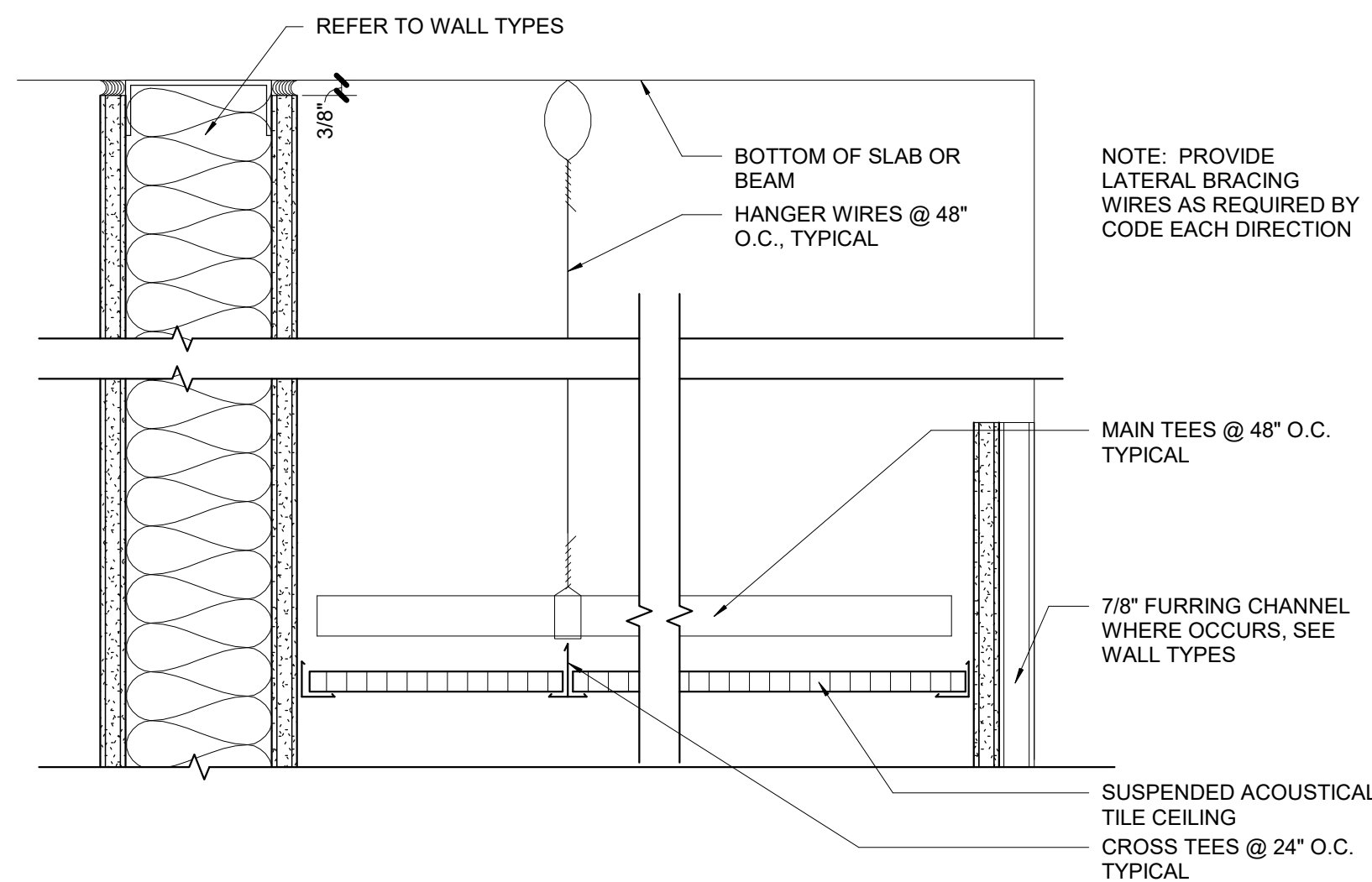
7 SUSPENDED GYPSUM BOARD CEILING
3" = 1'-0"



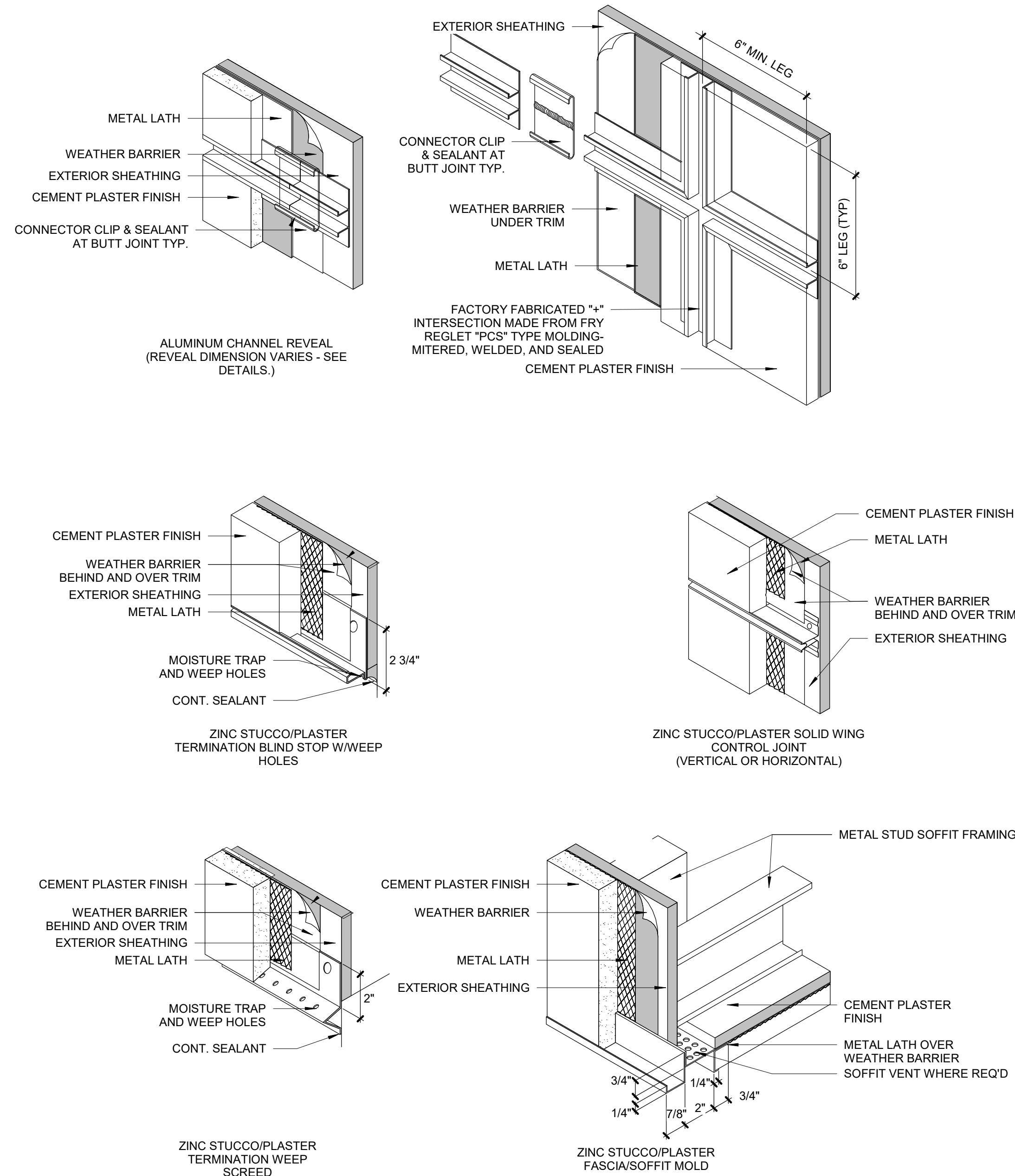
4 COUNTERTOP ADA
1 1/2" = 1'-0"



3 SINK BRACE DETAIL
1" = 1'-0"

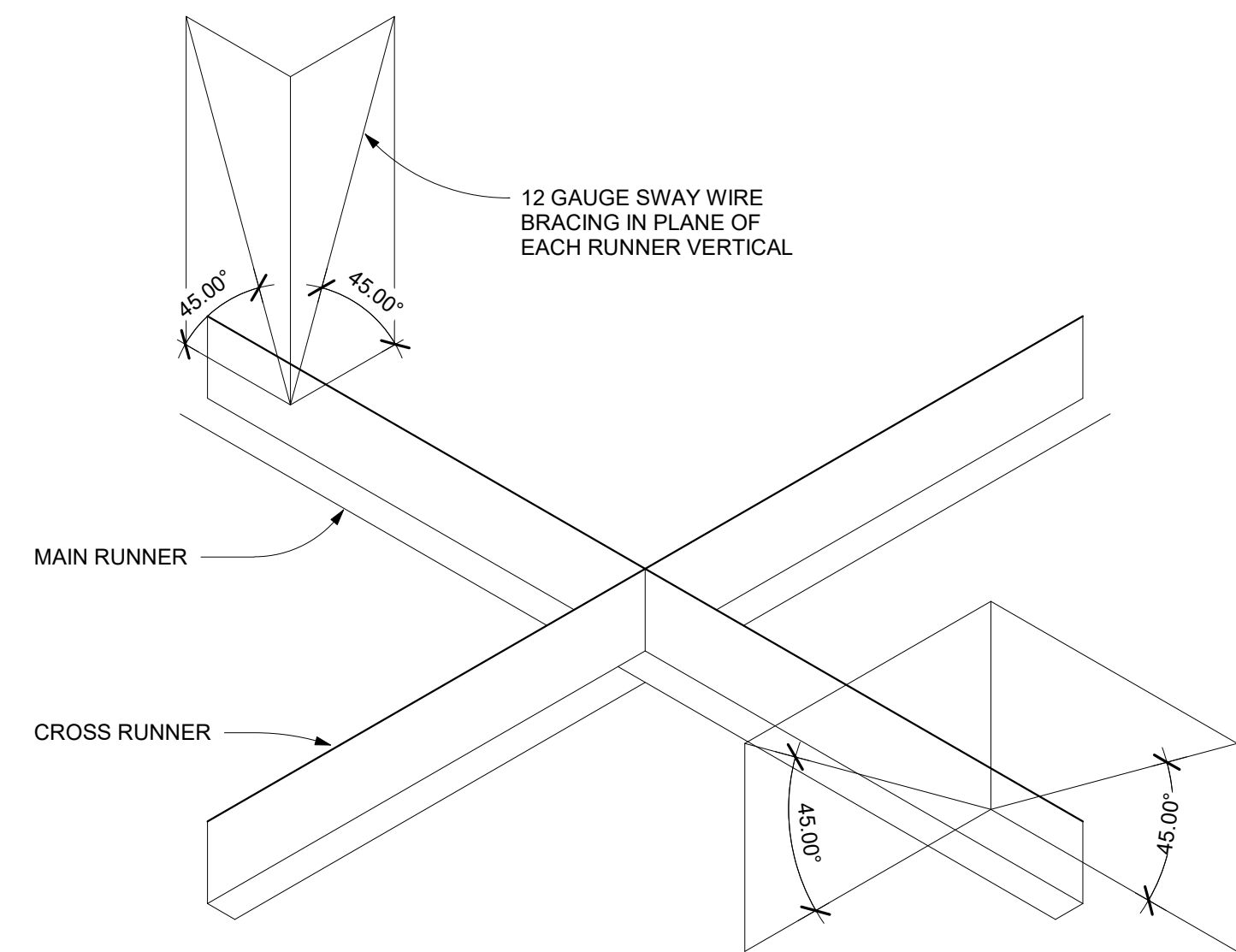


6 SUSPENDED ACOUSTICAL TILE CEILING DETAIL
3" = 1'-0"



2 CEMENT PLASTER JOINTS
3" = 1'-0"

PANEL BY ARMSTRONG FIRE GARD							
GRID FACE	EDGE PROFILE	ITEM NUMBER	DIMENSIONS	ACOUSTIC NRC	CAC	FIRE RESIST	DURABILITY
DUNE	SQUARE LAY-IN	1850 1850M	24x24x5/8\" 600x600x15 mm	050	35%	CLASS	0.83 SCRATCH RESISTANT



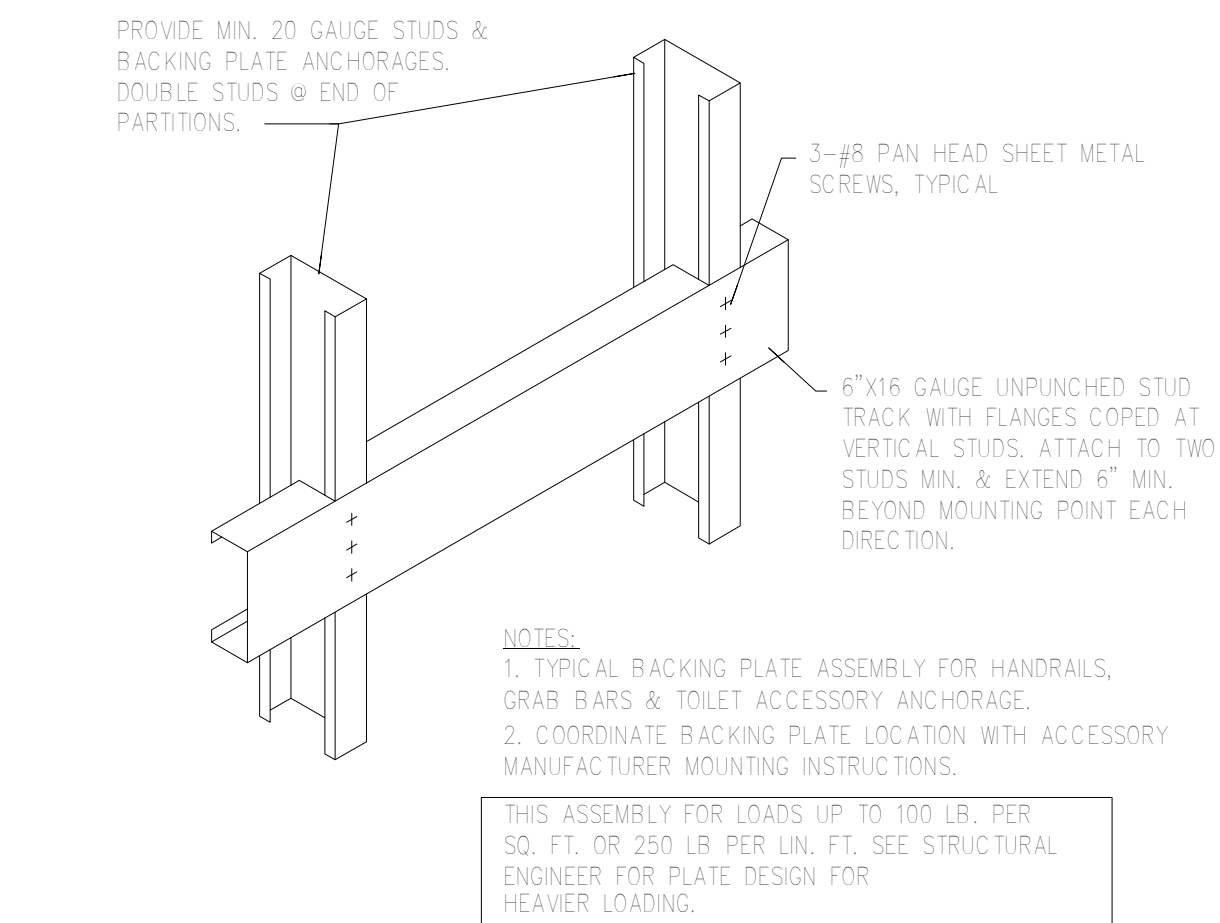
NOTE:
BRACING AS DETAILED SHALL BE PROVIDED WHERE LAY - IN CEILING OCCURS FOR 96 SQ. FT. OR A PORTION THERE OF OCCURRING WITHIN A SINGLE SPACE.

ACOUSTIC CEILING

PROVIDE ALL MATERIALS AND ACOUSTICAL ACCESORIES FOR A COMPLETE INSTALLATION IN ACCORDANCE WITH THE DRAWINGS AND THE MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDSTIONS. INSTALL UNITS TO SUBSURFACE FROM SET OUT POINTS TO PATTERNS SHOWN ON THE DRAWINGS. VERIFY LOCATION OF WORK OF OTHERS SO THEIR ITEMS OCCUR IN A WHOLE UNIT OR AT JOINTS AS SHOWN. INSTALL UNITS IN PLACE, FITTING SNUGLY. PROVIDE SPACERS OR HOLD - DOWN CLIPS WHERE SHOWN OR WHERE REQUIRED.

CEILING TYPES AND MATERIALS

ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS SECTION SHALL BE GUARANTEED BY THE ACOUSTICAL CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE COMPLETION DATE, AND UPON WRITTEN DEMAND FROM THE CONTRACTOR OR OWNER SHALL REPLACE ANY DEFECTIVE MATERIALS OR WORKMANSHIP.
1. ARMSTRONG - "TUNDRA" DESIGN OR EQUAL FIRE GUARD 24" x 24" x 3/4" REGULAR LAY - IN PANELS WITH WHITE SQUARE LAY IN SUSPENDED GRID, AS CALLED FOR ON THE DRAWINGS.
2. ARMSTRONG - "DUNE" DESIGN OR EQUAL FIRE GUARD 24" x 24" x 5/8" REGULAR LAY - IN PANELS WITH WHITE SQUARE LAY IN SUSPENDED GRID, AS CALLED FOR ON THE DRAWINGS.
3. ARMSTRONG - "CORTEGA" DESIGN OR EQUAL FIRE GUARD 24" x 24" x 5/8" REGULAR LAY - IN PANELS WITH WHITE SQUARE LAY IN SUSPENDED GRID, AS CALLED FOR ON THE DRAWINGS.



5 WALL BLOCKING DETAIL
1 1/2" = 1'-0"

CONSULTANT:

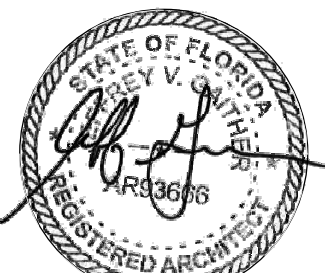
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Sheet Title

DETAILS

A900

Federal Hwy
Stuart, FL
Waters Car Wash

5
A301

CONSULTANT:

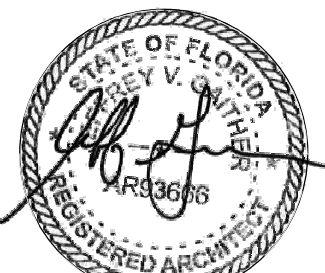
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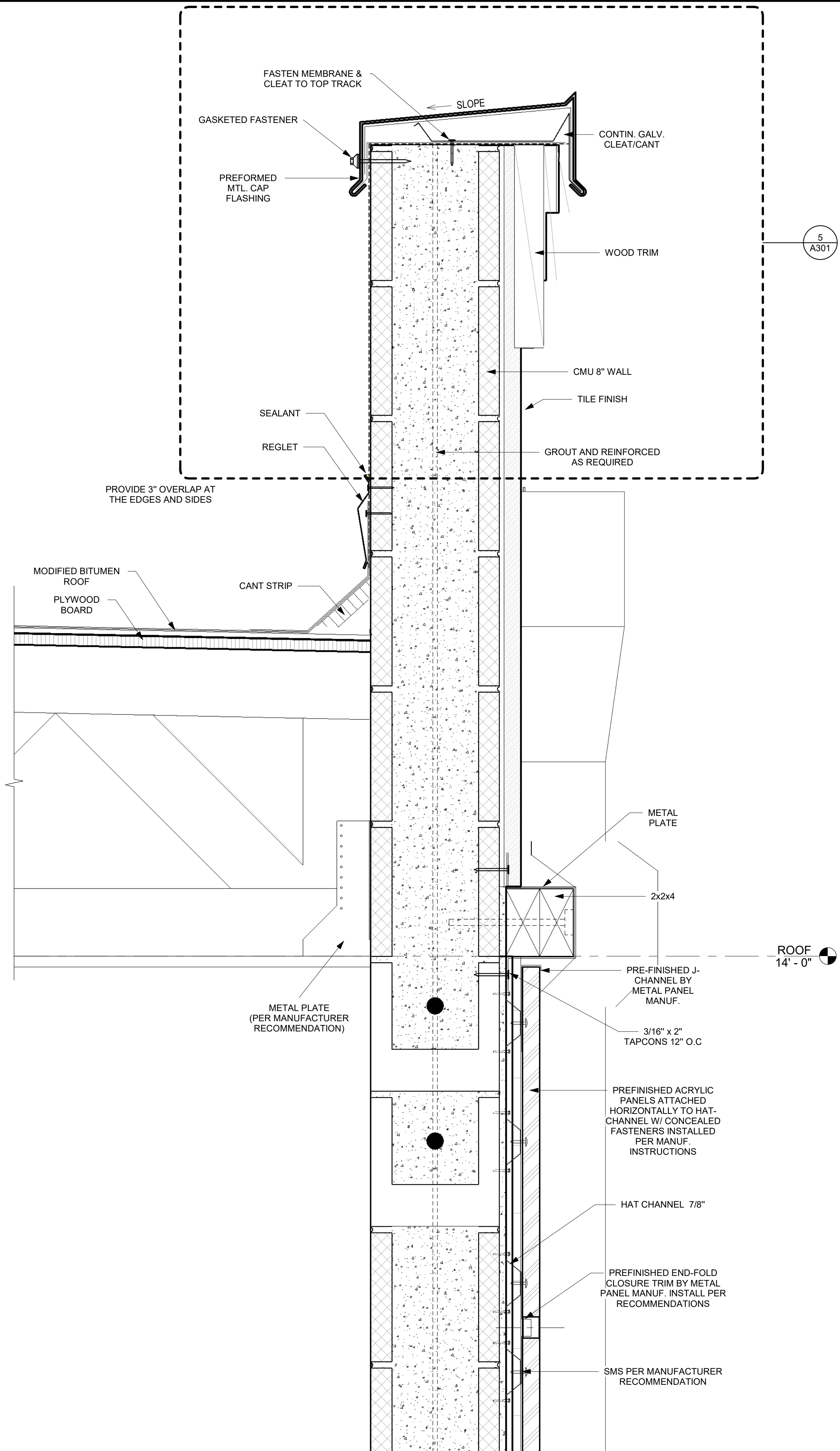
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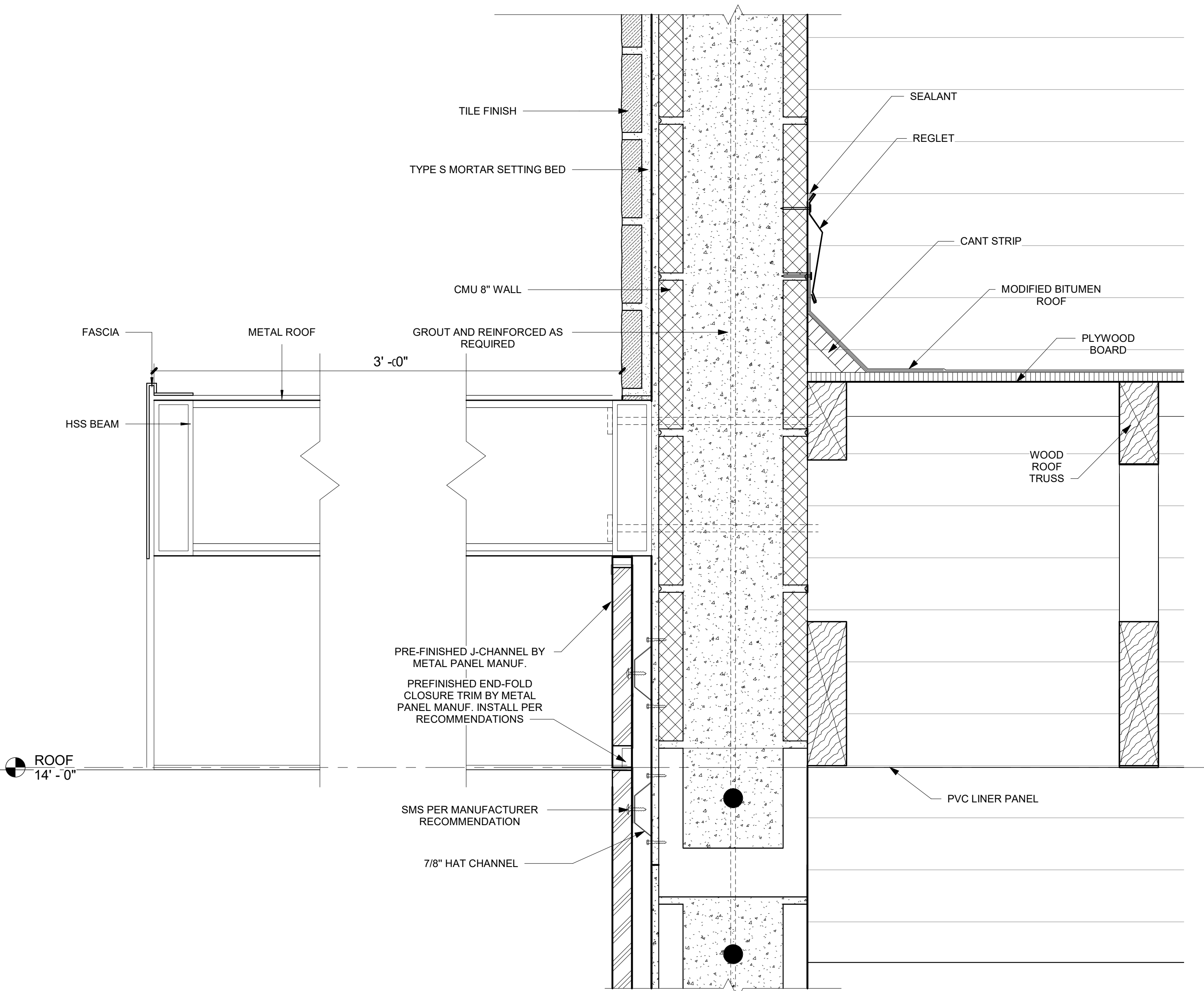
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DETAILS

A901

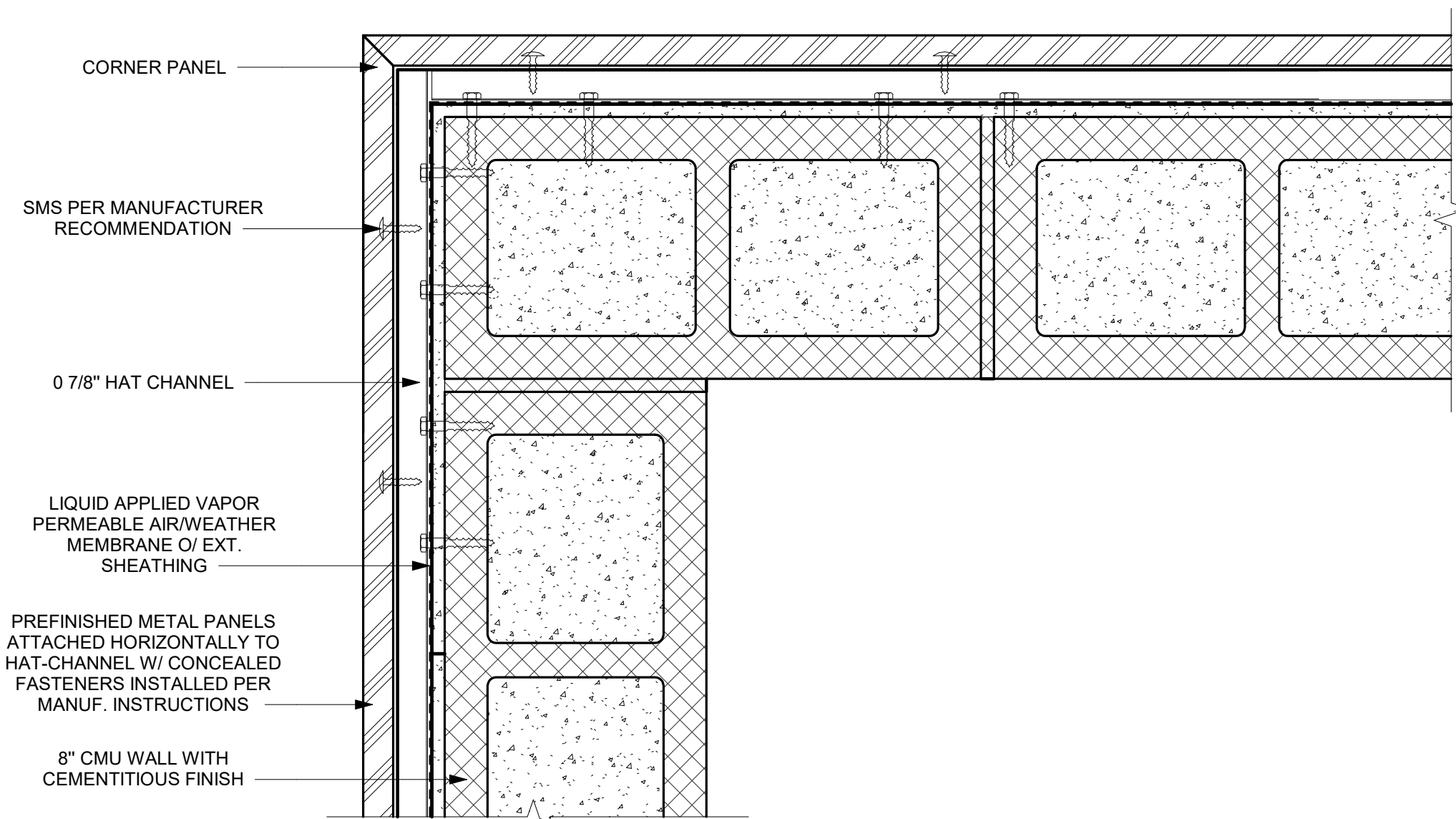


1 FACADE WALL DETAIL 1
3" = 1'-0"



3 FACADE WALL DETAIL 2
3" = 1'-0"

OUTSIDE CORNER



2 CORNER DETAIL- PLAN VIEW
3" = 1'-0"

Federal Hwy
STUART, FL
Waters Car Wash



4 3D View 4



2 3D View 2



3 3D View 3



1 3D View 1

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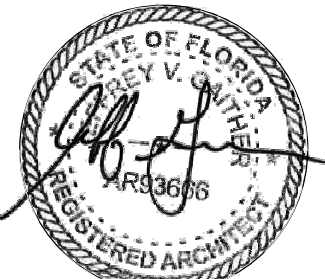
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3D VIEWS

A990