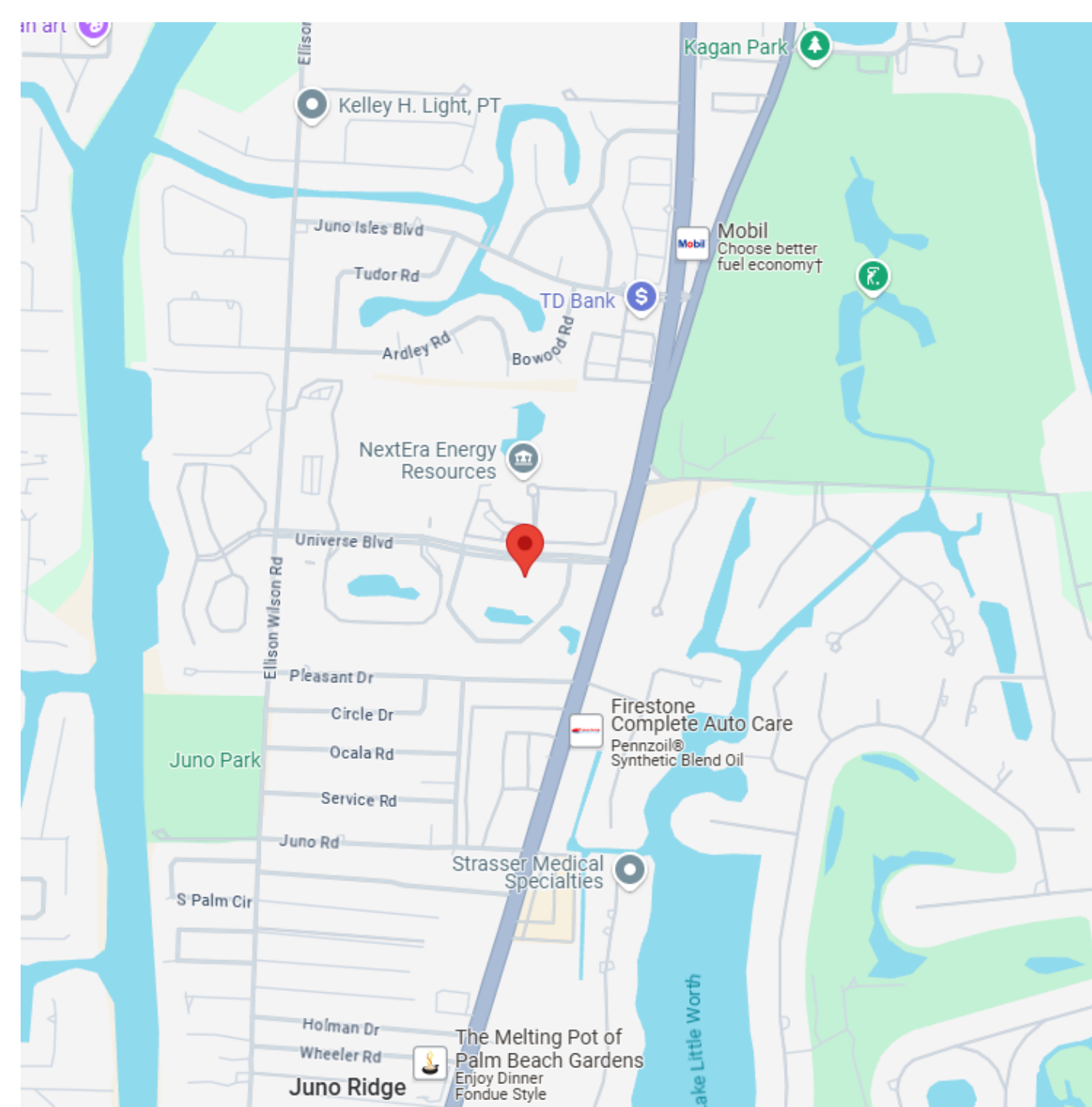
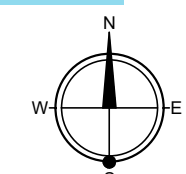
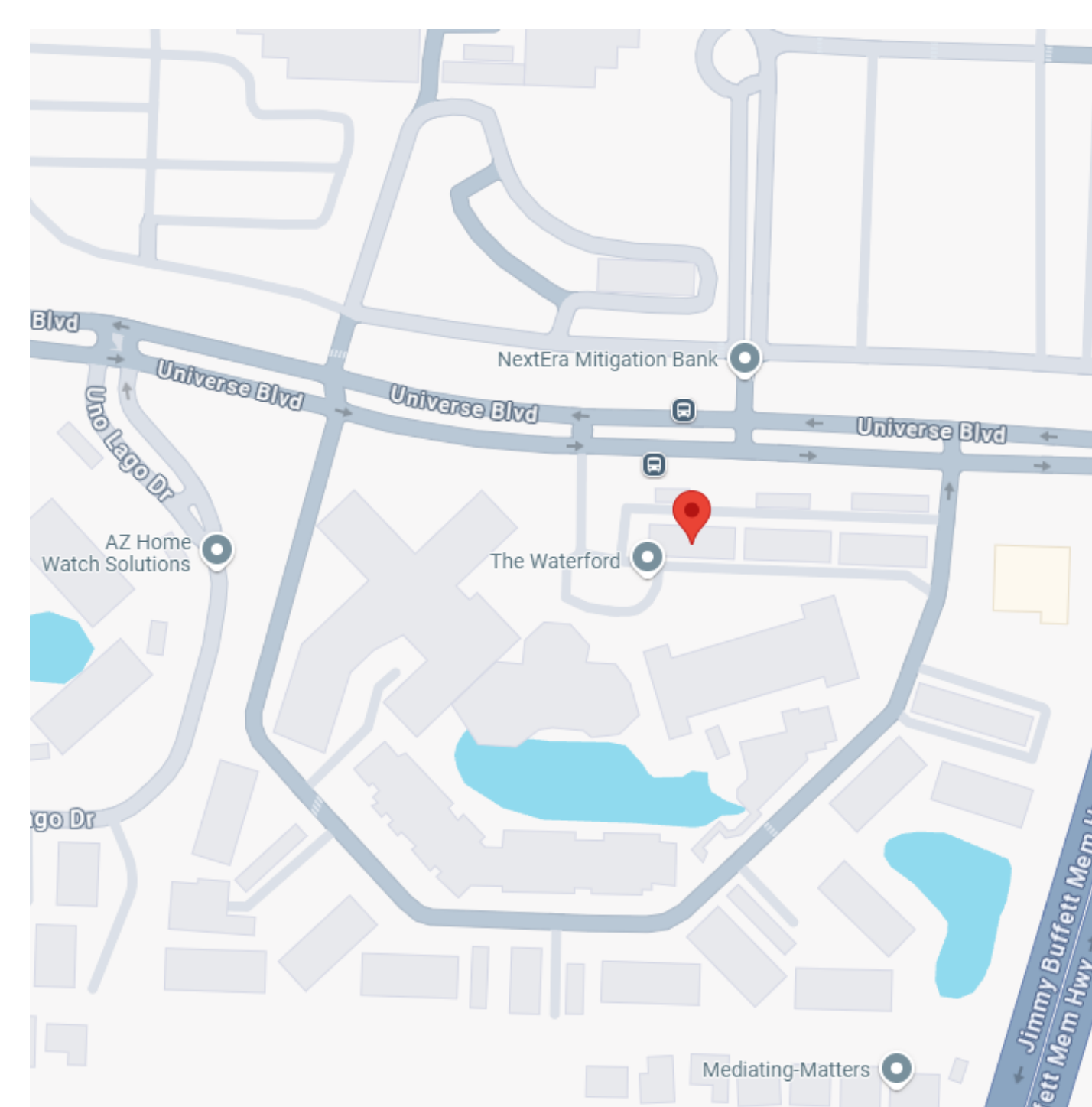
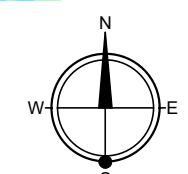


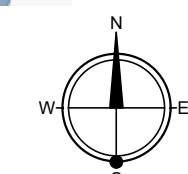
VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.



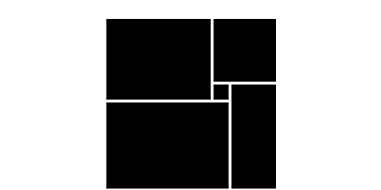
CAMPUS MAP
N.T.S.



PROJECT TEAM

OWNER	
<p>OWNER LIFESPACE COMMUNITIES 4201 CORPORATE DRIVE WEST DES MONINES, IA 50266 PH: 925-321-2495 CONTACT: RUSSELL MAUK, Vice President of Development, Design & Construction EMAIL: russell.mauk@lifespacecommunities.com</p>	
<p>PH: 561-627-3800 CONTACT: SCOTT NIELD, Executive Director EMAIL: scott.nield@lifespacecommunities.com</p>	
CONSULTANTS UNDER DIRECT CONTRACT WITH OWNER	
<p>PROGRAM MANAGEMENT GREENBRIER DEVELOPMENT 3232 MCKINNEY STE. 1160 DALLAS, TX 75204 PH: 214-979-2700 CONTACT: MICHAEL KORNS, VP-Development EMAIL: mkorns@greenbrierdevelopment.com</p>	<p>CIVIL AND LANDSCAPE ARCHITECTURE WGI 2035 VISTA PARKWAY WEST PALM BEACH, FL 33411 PH: 561-537-4542 CONTACT: YOAN MACHADO, Project Manager EMAIL: yoan.machado@wginc.com</p>
<p>CIVIL / STRUCTURAL WGI 2035 VISTA PARKWAY WEST PALM BEACH, FL 33411 PH: 561-678-2220 CONTACT: JEFFREY BERGMANN, PE Civil-Structural Specialist EMAIL: jeffrey.bergmann@wginc.com</p>	<p>INTERIOR DESIGN IDA 618 CHURCH STREET, SUITE 400 NASHVILLE, TN 37219 PH: 615-320-7550 CONTACT: CAMERON FORT, DIRECTOR OF DESIGN EMAIL: cfort@idassociates.com</p>
DESIGN TEAM	
<p>ARCHITECT THW DESIGN 2100 RIVEREDGE PKWY, SUITE 900 ATLANTA, GEORGIA 30328 PH: 770-916-2220 CONTACT: IAN FRALICK, PROJECT MANAGER EMAIL: ianfralick@thw.com</p>	<p>MECH / ELEC / PLUM / FIRE PROTECTION SALAS O'BRIEN 1255 COLLIER ROAD ATLANTA, GA 30318 PH: 404-881-5300 CONTACT: SCOTT BECRAFT, Electrical and Project Coordinator EMAIL: scott.becraft@salasobrien.com</p>
<p>STRUCTURAL JAZERINCA GROUP 480 HIBISCUS STREET, SUITE 107 WEST PALM BEACH, FL 33401 PH: 561-473-9439 CONTACT: GRAM BRASIC EMAIL: gbrasic@jazerinagroup.com</p>	<p>CONTACT: JESSE NAUGHTON, Mechanical EMAIL: jesse.naughton@salasobrien.com</p> <p>CONTACT: MATT BERRY, Plumbing EMAIL: matt.berry@salasobrien.com</p>
<p>FOOD SERVICE SCOPOS HOSPITALITY 300 WEST CHESTNUT STREET, STE.201 EPHRATA, PA 17522 PH: 717-733-5810 CONTACT: KRISTA RILEY, Project Manager EMAIL: kriley@scoposhg.com</p>	<p>LOW VOLATAGE SALAS O'BRIEN 1255 COLLIER ROAD ATLANTA, GA 30318 PH: 404-881-5300 CONTACT: KEN HOWARD EMAIL: ken.howard@salasobrien.com</p>
CONTRACTOR	
<p>CONTRACTOR WEITZ CONSTRUCTION ADDRESS: 5850 T G LEE BLVD #135 ORLANDO, FL 32822 PH: 407-458-5555 CONTACT: LARRY GRAEVE EMAIL: larry.graev@weitz.com</p>	

**WATERFORD CAMPUS - ASSISTED LIVING
 MEMORY CARE BUILDING**
 601 UNIVERSE BLVD JUNO BEACH, FL 33048



**THW
DESIGN**

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**ISSUED FOR
CONSTRUCTION**

Project No.: 2021009
Date: 12/01/2025

COVER

G-001

WATERFORD CAMPUS - ASSISTED LIVING MEMORY CARE BUILDING

2021009

ISSUED FOR CONSTRUCTION

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NO.	DATE	DESCRIPTION
12/01/25		CONSTRUCTION DOCUMENTS
08/22/25		DESIGN DEVELOPMENT
04/07/25		SCHEMATIC DESIGN

**WATERFORD CAMPUS - ASSISTED LIVING
MEMORY CARE BUILDING**
601 UNIVERSE BLVD JUNO BEACH, FL 33048



THW
DESIGN

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THOMPSON HANCOCK WITTE &
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**ISSUED FOR
CONSTRUCTION**

Project No.: 2021009
Date: 12/01/2025

**INDEX OF
DRAWINGS**

G-002

PROJECT CODE ANALYSIS

Name of Project: WATERFORD CAMPUS REDEVELOPMENT - STAGE 2 - MC / AL BUILDING
 Project Number: 2021009
 Address: 601 UNIVERSE BOULEVARD, JUNO BEACH, FLORIDA, 33408
 Owner / Client: LIFESPACE COMMUNITIES

SCOPE OF WORK

New construction of a three story building of Type II-A construction. The 40 unit home for memory care and assisted living is to be located on a 15.97 acre site and be of concrete and metal framed non-combustible construction. Exterior cladding materials include direct applied stucco and concrete tile roof.

LEAD PROFESSIONALS

THW Architect of Record: James Hudgins, Jr.
 THW Project Manager: Ken Kite / Ian Fralick
 THW Project Architect: Bing Penry

Structural Engineer: Jezerinac Group, PLLC
 MEP & FP Engineer: Salas O'Brien
 Civil Engineer: WGI
 Low Voltage: Salas O'Brien
 Food Service: SCOPOS Hospitality
 Door Hardware: Phillips - Langley & Assoc

THW Consultant: YES
 THW Consultant: YES
 THW Consultant: NO
 THW Consultant: YES
 THW Consultant: YES
 THW Consultant: YES

APPLICABLE CODES

2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - BUILDING
 2021 - EIGHTH EDITION: FLORIDA FIRE PREVENTION CODE - NFPA 101
 2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - MECHANICAL
 2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - PLUMBING
 2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - FUEL & GAS
 2020 - EIGHTH EDITION: FLORIDA ELECTRICAL CODE - NFPA 70
 2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - ENERGY CONSERVATION
 2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - ACCESSIBILITY
 2023 - EIGHTH EDITION: FLORIDA BUILDING CODE - TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONE

ZONING

Property Address: SECTION 33 / TOWNSHIP 41...
 EAST PALM... EAST PALM BEACH COUNTY, FLORIDA
 GPIN: 28-43-33-11-001-0000 (22281 / 1268 Records...)

Property is Zoned: CO / PUD
 Current Land Use: HDR
 Proposed Use: HC
 Proposed Use Permitted: YES
 Conditional Use Required? NO*

*Board Approval is required for Site Modifications but not for Condition Use

Site Acreage: 15.97 ACRES

Required Parking: 353 SPACES
 Required Accessible Parking: 8 SPACES
 Required Loading Spaces: 4 SPACES

Proposed Parking: 380 SPACES
 Proposed Accessible Parking: 8 SPACES
 Proposed Loading Spaces: 4 SPACES

Setbacks:
 Front: 30 FEET * Proposed Setback Exceeds Minimum
 Side: 10 FEET
 Rear: 15 FEET

Right-of-Way: 100 FEET * Universe Boulevard No Changes
 Buffer: 5 FEET * Varies Exceeds Minimums

Building Height Maximum: 90 / 6 FEET / STORIES
 Required Finish Floor Elevation: SEE CIVIL
 Is Project (or portion) in 100-Year Floodplain? NO - ZONE X
 Is Project (or portion) in Wetlands Area? NO
 Impervious Surface Requirement? NO

BUILDING DATA IBC

Occupancy Classification: I-1 CONDITION 2
 Accessory Use Classification: B
 Separated or Non-Separated? NON-SEPARATED (508.3.3)
 Occupancy Use? MEMORY CARE / ASSISTED LIVING
 Accessory Use? BUSINESS
 Special Use (Section 407)? NONE
 Special Provisions (IBC 510)? NONE

BUILDING LIMITATIONS

Allowed Building Height: 65 FEET 4 FLOORS
 Sprinkler Increase IBC: 20 FEET 1 FLOORS
 Total Allowed Height IBC: 85 FEET 5 FLOORS
Actual Building Height: 38'-4 FEET 3 FLOORS

Allowable Area: I-1 57,000

Actual Building Area:

Floor	Existing (SF)	New (SF)	Sub-Total (SF)
FIRST LEVEL	0 SF	14845 SF	14845 SF
SECOND FLOOR	0 SF	14980 SF	14980 SF
THIRD FLOOR	0 SF	14133 SF	14133 SF
TOTAL			43,958 SF

CONSTRUCTION TYPE

FBC 2023 (Table 601) Type of Construction: II-A

FIRE RESISTANCE RATINGS - FBC TABLE 601

	REQUIRED	PROVIDED
Structural Frame:	1 HOUR	1 HOUR
Bearing Walls Exterior:	1 HOUR	1 HOUR
Bearing Walls Interior:	1 HOUR	1 HOUR
Non-Bearing Walls Exterior:	0 HOUR	0 HOUR
Non-Bearing Walls Interior:	0 HOUR	0 HOUR
Floor Construction:	1 HOUR	1 HOUR
Roof Construction:	1 HOUR	1 HOUR
Corridor Walls:	0.5 HOUR	1 HOUR
Resident Room Demising Walls:	0.5 HOUR	1 HOUR
Smoke Barriers:	1 HOUR	1 HOUR
Shaft Enclosures: (FBC 713.4)	1 HOUR	1 HOUR

FIRE RESISTANCE RATINGS - FBC TABLE 601 (CONT.)

Fire Wall(s) Required? NO
 Fire Wall Rating: N/A HOUR

Fire Barrier(s) Required? Y
 Where Required? SHAFT ENCLOSURES (2 HOUR)
 LINEN COLLECTION > 100 SF
 TRASH COLLECTION > 100 SF
 LAUNDRY > 100SF
 CORRIDOR WALLS
 UNIT DEMISING WALLS

Fire Barrier Rating: 1 HOUR

Minimum Interior Finish Classification for Sprinklered Bldg:

Exit Enclosures: FBC 803.11: I-1 A
 Corridors: FBC 803.11: I-1 B
 Rooms and Enclosed Spaces: FBC 803.11: I-1 B

FIRE PROTECTIVE SYSTEMS

Sprinklers: YES
 Standpipes: YES
 NFPA 13: YES
 Fire Alarm: YES

MEANS OF EGRESS - OCCUPANT LOAD 2023 FBC (1004.5)

FIRST FLOOR:	OCCUPANTS
INSTITUTIONAL (I-1 CONDITION 2)	7790 SF x 120 Gross SF/Person = 65
ASSEMBLY (A-3) - UNCONCENTRATED	5260 SF x 15 Net SF/Person = 350
ASSEMBLY (F-1) - KITCHEN	548 SF x 100 Gross SF/Person = 6
Occupant Total	421

SECOND FLOOR:	OCCUP...
INSTITUTIONAL (I-1 CONDITION 2)	9,964 SF x 120 Gross SF/Person = 84
ASSEMBLY (A-3) - UNCONCENTRATED	3,073 SF x 15 Gross SF/Person = 205
BUSINESS (B)	715 SF x 150 Gross SF/Person = 8
ASSEMBLY (F-1) - KITCHEN	531 SF x 100 Gross SF/Person = 6
Occupant Total	303

THIRD FLOOR:	OCCUPANTS
INSTITUTIONAL (I-1 CONDITION 2)	9,746 SF x 120 Gross SF/Pers... = 82
ASSEMBLY (A-3) - UNCONCENTRATED	4,281 SF x 15 Gross SF/Person = 286
BUSINESS (B) - OFFICES	
Occupant Total	368

Building Occupant Load Total: 1092

MEANS OF EGRESS - EGRESS WIDTH

FIRST FLOOR
 Corridor/Door Width Required: 421 Occupants x 0.2 Inch/Person = **84.2 INCHES**

Actual Egress Provided: 6 Doors x 33.5 Inches/Door = 201 INCHES
 0 Doors x 67 Inches/Door = 0 INCHES
Total: 201 INCHES

Stair Width Required: 421 Occupants x 0.3 Inch/Person = **126.3 INCHES**
 Stair Width Provided: 2 Stair x 48 Inches/Stair = **96 INCHES**

SECOND FLOOR
 Corridor/Door Width Required: 303 Occupants x 0.2 Inch/Person = **60.6 INCHES**

Actual Egress Provided: 2 Doors x 33.5 Inches/Door = 67 INCHES
 0 Doors x 67 Inches/Door = 0 INCHES
Total: 67 INCHES

Stair Width Required: 303 Occupants x 0.3 Inch/Person = **90.9 INCHES**
 Stair Width Provided: 2 Stair x 48 Inches/Stair = **96 INCHES**

THIRD FLOOR:
 Corridor/Door Width Required: 368 Occupants x 0.2 Inch/Person = **73.6 INCHES**

Actual Egress Provided: 2 Doors x 33.5 Inches/Door = 67 INCHES
 0 Doors x 67 Inches/Door = 0 INCHES
Total: 67 INCHES

Stair Width Required: 368 Occupants x 0.3 Inch/Person = **110.4 INCHES**
 Stair Width Provided: 2 Stair x 48 Inches/Stair = **96 INCHES**

MEANS OF EGRESS - CAPACITY

Distance Limitations
 Max Dead-End Corridor (1020.4): I-1 30 FEET
 Max Travel Distance to Exit (1017.2): I-1 250 FEET
 Common Path of Egress Travel...: I-1 75 FEET

Exit Doors
 Minimum Dimension (1010.1.1): 32"x80"
 Maximum Leaf Width (1010.1.1): 48"
 Minimum Clear Opening (1010.1.1): 32"

Corridors
 Minimum Corridor Width (1020.2): 72"
 Occupant Load of Less than 50 people (1020.2): 72"

ACCESSIBILITY

Number of Accessible Means of Egress: 2
 Identify Accessible Means of Egress: Elevator YES, Horizontal Exit NO, Stairs YES

ENERGY CODE NOTES

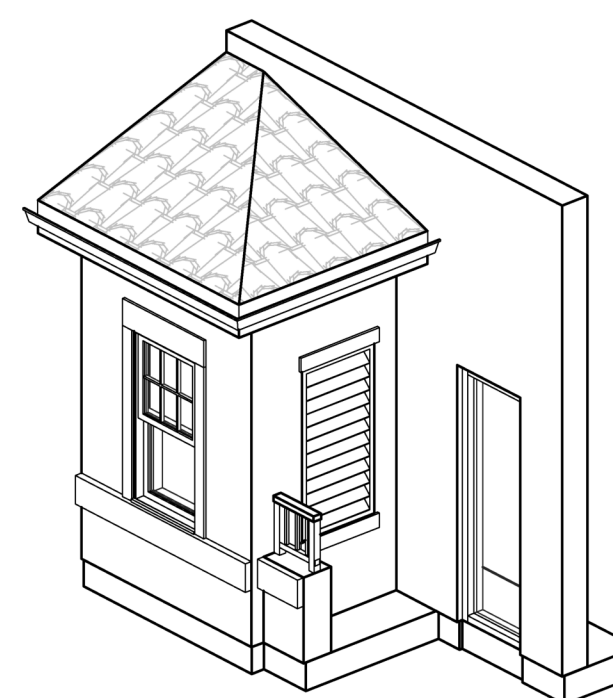
- METHOD OF INTERNATIONAL ENERGY CONSERVATION CODE COMPLIANCE: ASHRAE 90.1 PRESCRIPTIVE
- ROOF INSULATION ABOVE DECK TO BE R-25 G.I.
- ROOF INSULATION AT ATTIC TO BE R-38.
- ABOVE GRADE MASS WALLS TO BE R-5, 7 G.I.
- FENESTRATION VALUES TO BE AS FOLLOWS:
 A. INSULATED HOLLOW METAL SWINGING DOORS: U-0.61
 B. FIXED ALUMINUM WINDOWS: U-0.50 / SHGC 0.25
 C. OPERABLE ALUMINUM WINDOWS: U-0.65 / SHGC 0.25
 D. STOREFRONT ENTRY DOORS: U-1.10 / SHGC 0.25

PLUMBING FIXTURE COUNT SUMMARY

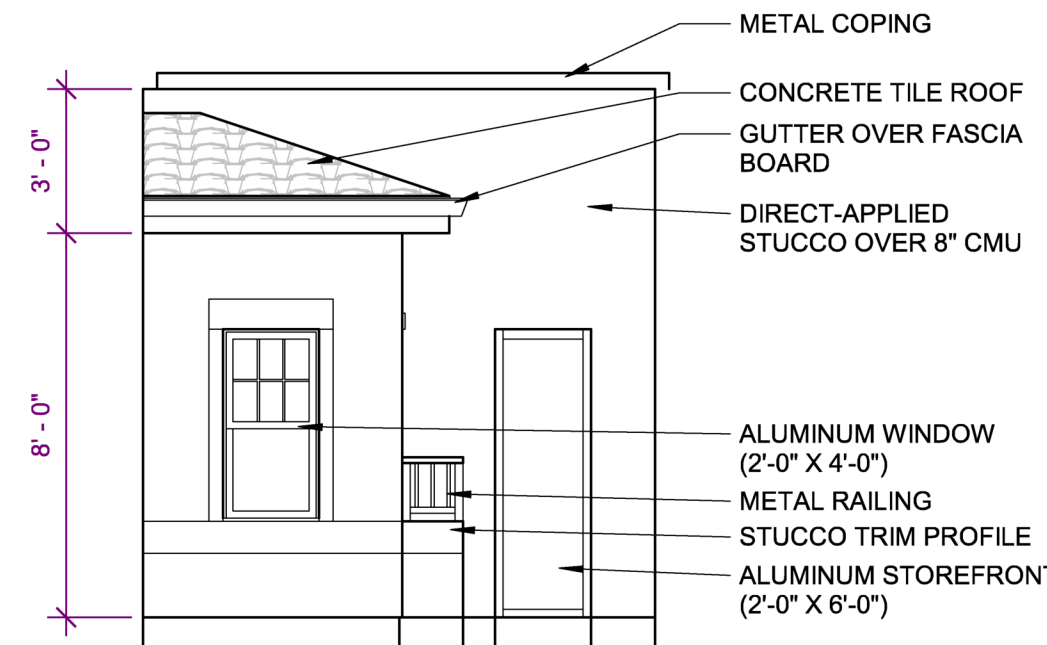
BLDG LEVEL	AREA (S.F.)	NO. UNITS	PLUMBING FIXTURES PROVIDED		WATER CLOSETS - FEMALE		WATER CLOSETS - MALE		LAVATORY - FEMALE		LAVATORY - MALE		BATH/SHOWERS		SINKS		WASHER CONNECTION	
			NO.	MALE	NO.	MALE	NO.	MALE	NO.	MALE	NO.	MALE	NO.	MALE	NO.	MALE	NO.	MALE
1			10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
	16,344	16	424	212	212	8	7	6	6	6	6	12	2	2	1	0	1	2
2			7	7	7	7	7	7	7	13	0	0	0	0	0	0	0	2
	18,126	12	336	168	168	8	7	7	7	14	2	2	1	0	0	0	0	
3			7	7	7	7	7	7	7	13	0	0	0	0	0	0	0	2
	16,036	12	327	164	164	8	7	6	6	14	2	2	1	0	0	0	0	

GENERAL MOCK-UP WALL NOTES

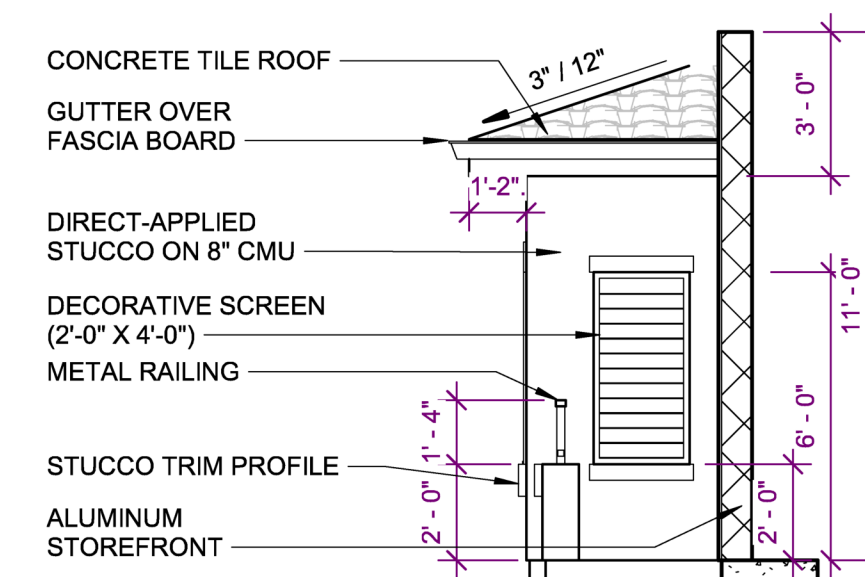
- LOCATION OF MOCK-UP TO BE COORDINATED BETWEEN THE ARCHITECT AND THE CONTRACTOR.
- CONTRACTOR TO COORDINATE THE DETAILS WITH CONSTRUCTION DOCUMENTS AND NOTIFY ARCHITECT WHERE THERE ARE DISCREPANCIES.
- MOCK-UP SHALL BE CONSTRUCTED IN TWO STAGES:
 A. STAGE 1 - CONSTRUCT WALLS, FLASHING AND VAPOR BARRIERS, TO BE REVIEWED FOR PERFORMANCE BY ARCHITECT.
 B. STAGE 2 - APPLY WINDOWS AND FINISH MATERIALS, TO BE REVIEWED BY ARCHITECT.
- IF A WATER-PROOFING CONSULTANT IS CONTRACTED ON THE PROJECT, CONTRACTOR SHALL COORDINATE WITH CONSULTANT FOR WINDOW TESTING.



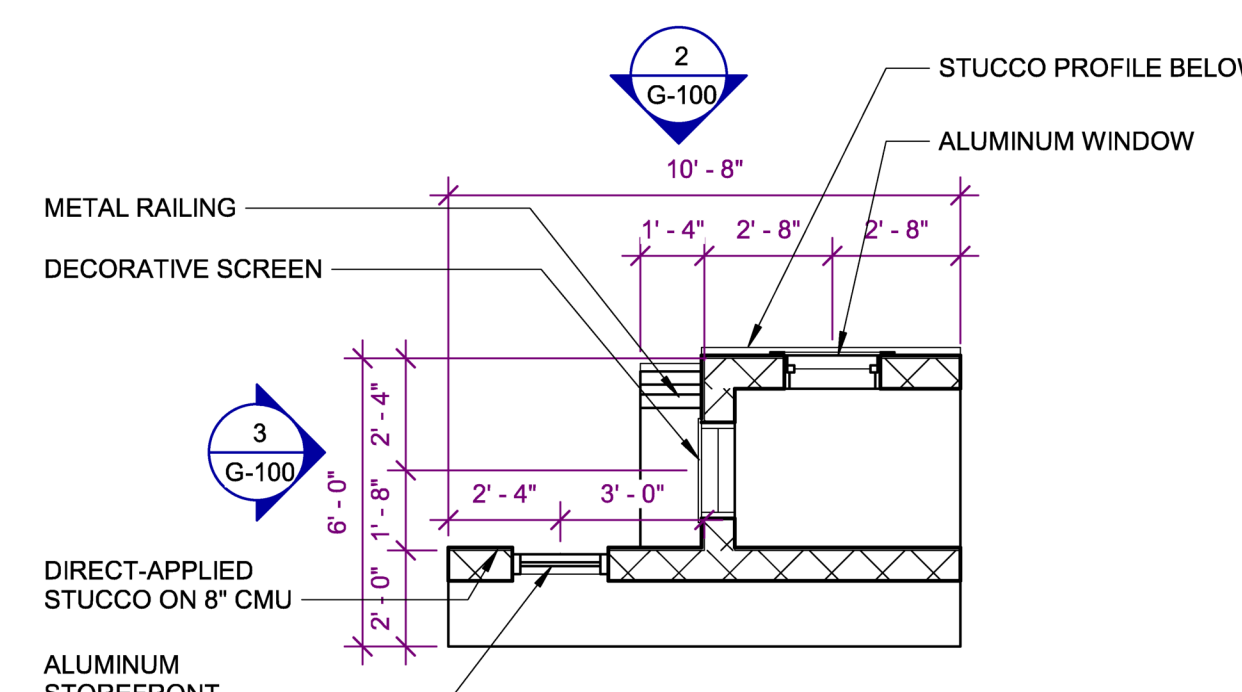
4 MOCK-UP PERSPECTIVE



2 MOCK-UP WALL - FRONT ELEVATION
 1/4" = 1'-0"



3 MOCK-UP WALL - SIDE ELEVATION
 1/4" = 1'-0"



1 MOCK-UP PLAN
 1/4" = 1'-0"

WATERFORD CAMPUS - ASSISTED LIVING
MEMORY CARE BUILDING
 601 UNIVERSE BLVD JUNO BEACH, FL 33048

THW DESIGN

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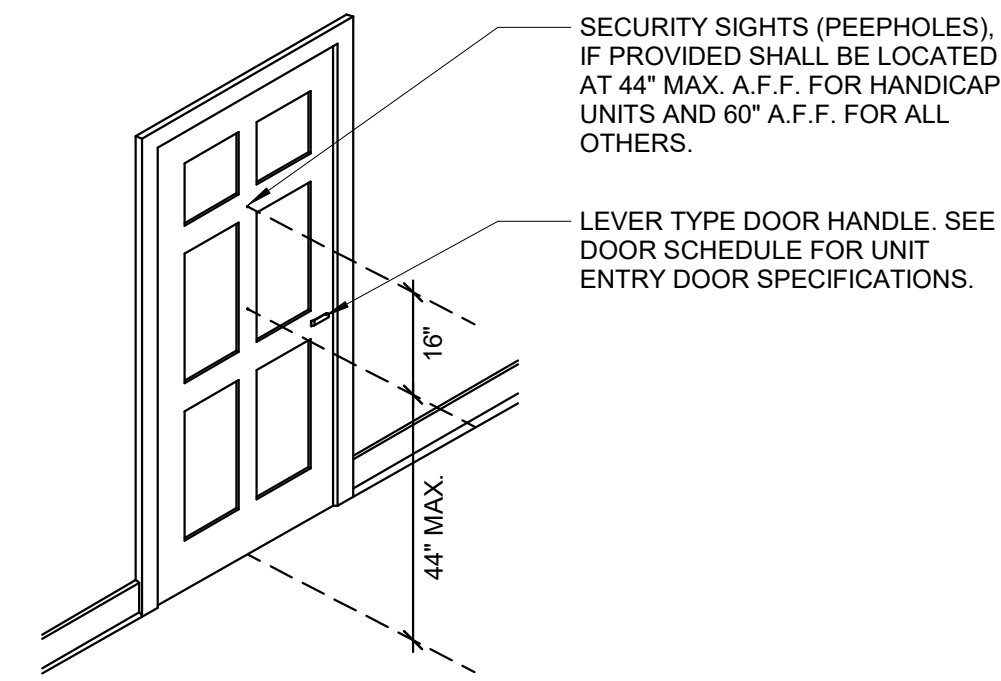
Project No.: 2021009
 Date: 12/01/2025

BASIS OF DESIGN

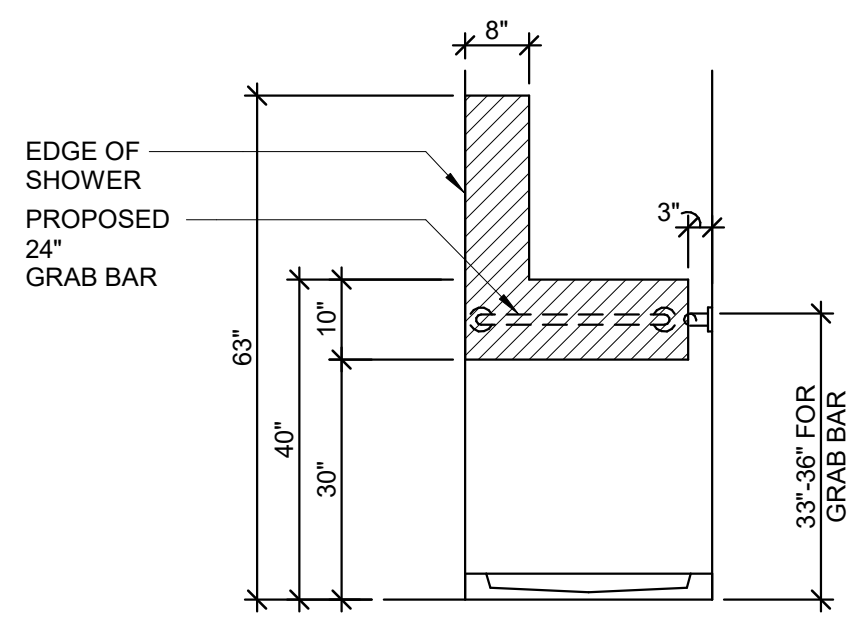
G-100

NO.	DATE	DESCRIPTION
12/01/25		CONSTRUCTION DOCUMENTS

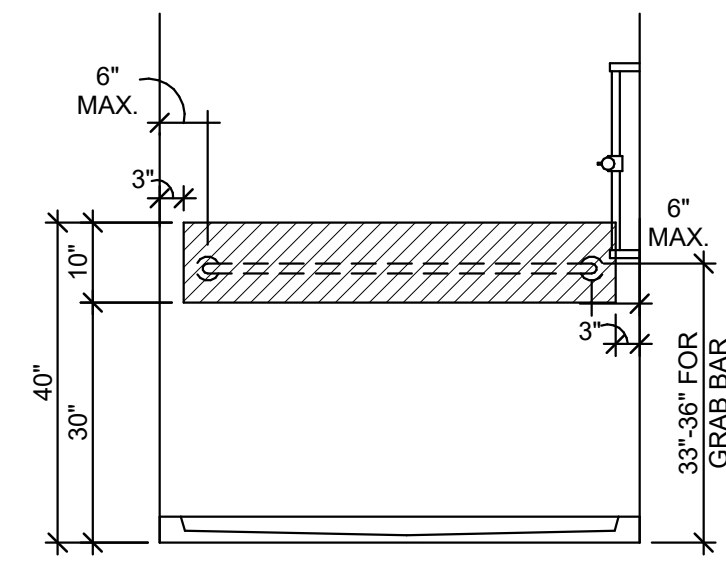
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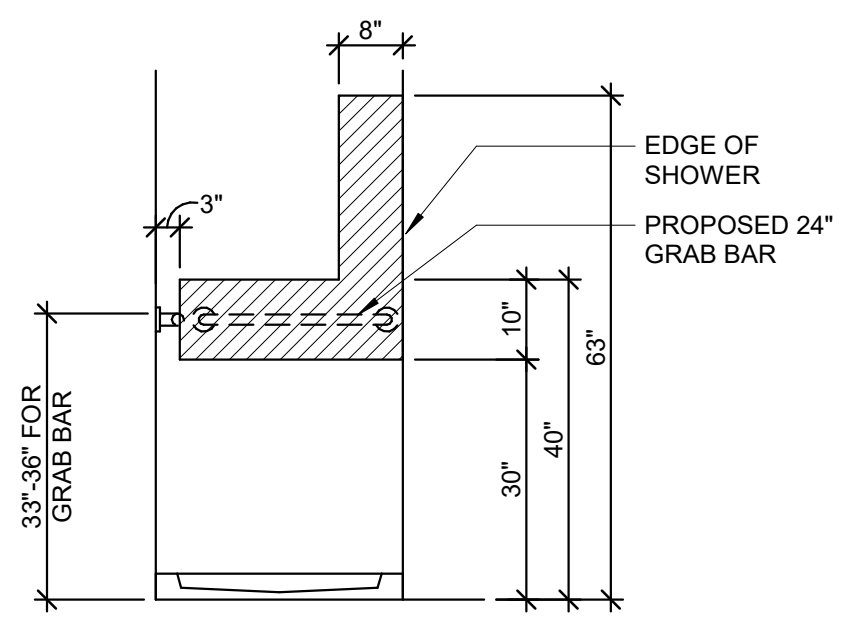
ENTRY DOOR VIEWER MOUNTING HEIGHTS
1/2"=1'-0"



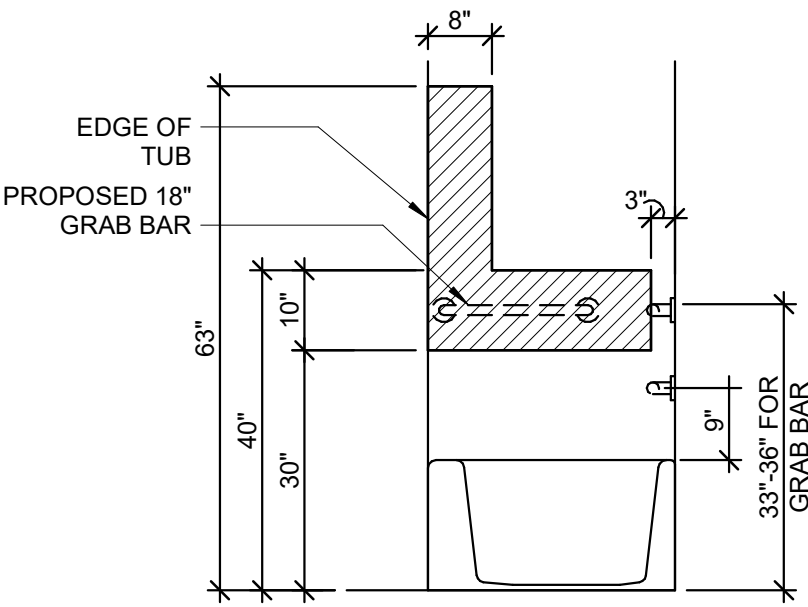
SHOWER GRAB BAR BLOCKING (HEAD)
1/2"=1'-0" (ROLL-IN SHOWER WITHOUT SEAT)



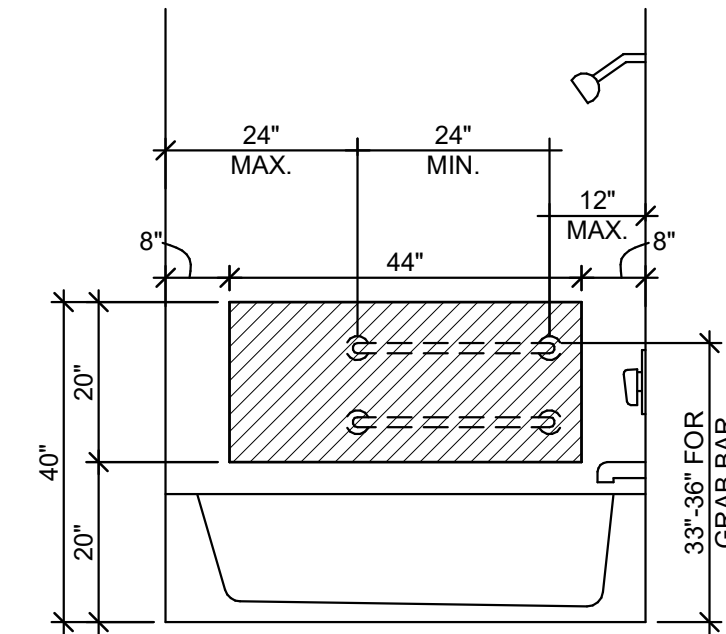
SHOWER GRAB BAR BLOCKING
1/2"=1'-0" (ROLL-IN SHOWER WITHOUT SEAT)



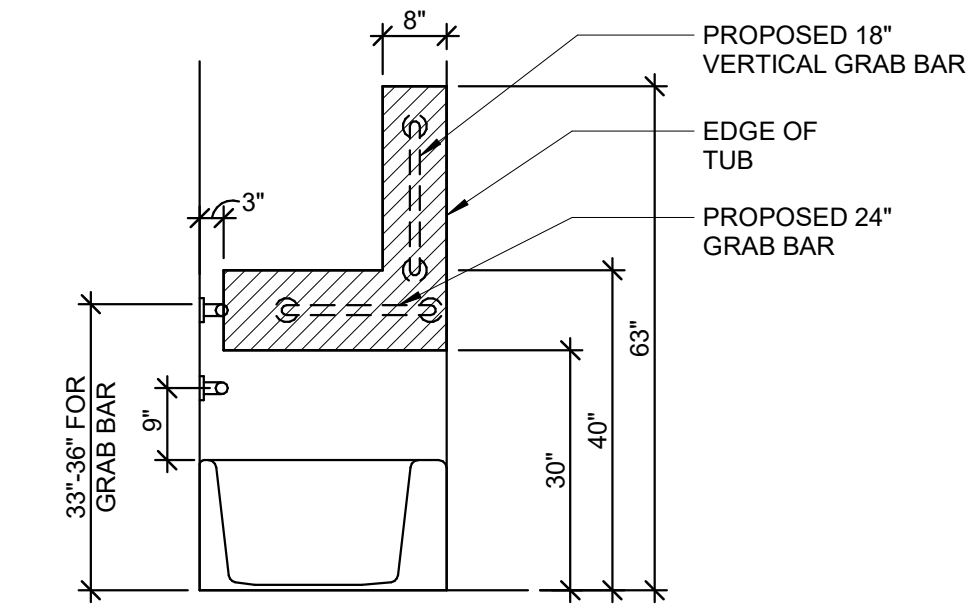
SHOWER GRAB BAR BLOCKING (CONTROL)
1/2"=1'-0" (ROLL-IN SHOWER WITHOUT SEAT)



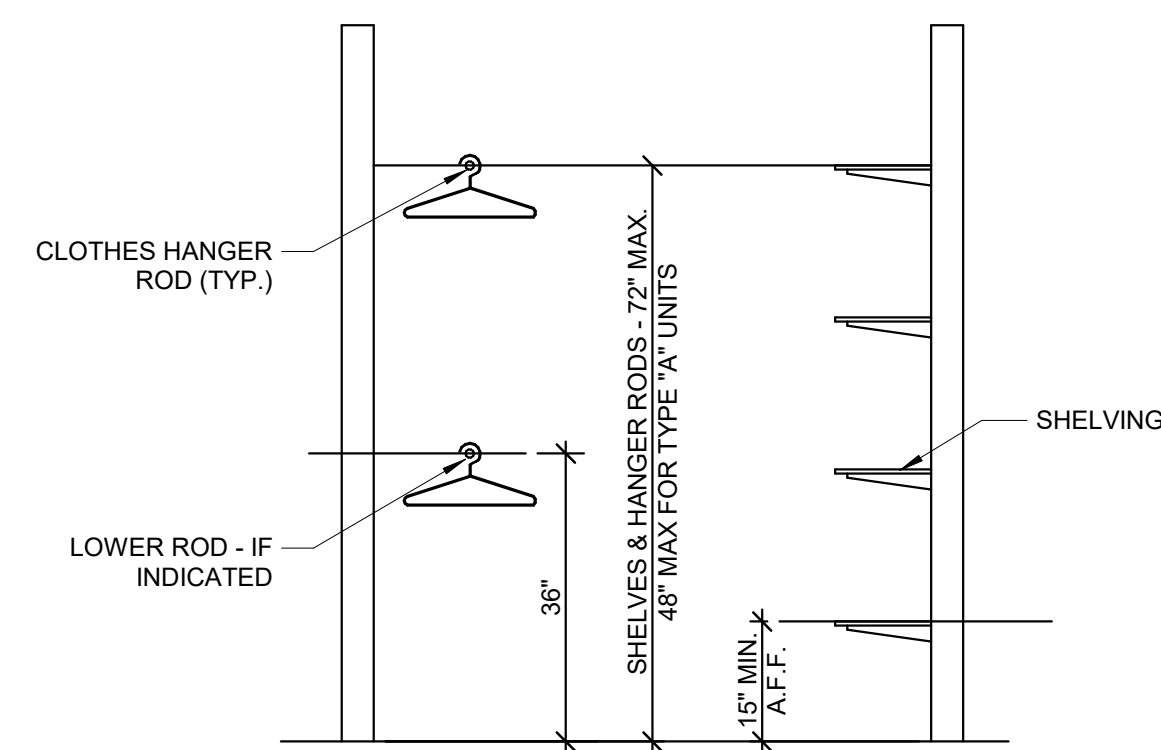
TUB GRAB BAR BLOCKING (HEAD)
1/2"=1'-0" (WITHOUT PERMANENT SEAT)



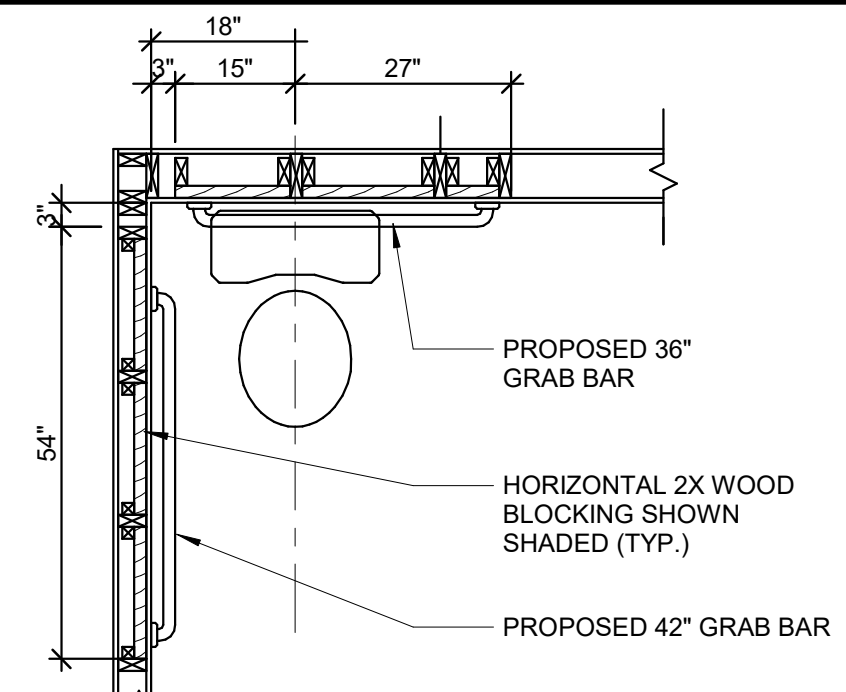
TUB GRAB BAR BLOCKING
1/2"=1'-0" (WITHOUT PERMANENT SEAT)



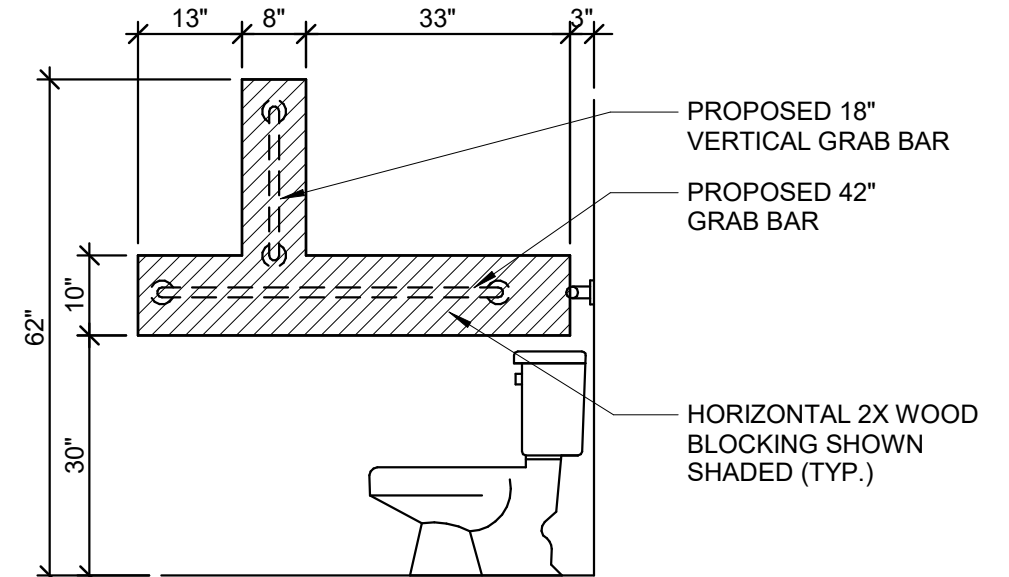
TUB GRAB BAR BLOCKING (CONTROL)
1/2"=1'-0" (WITHOUT PERMANENT SEAT)



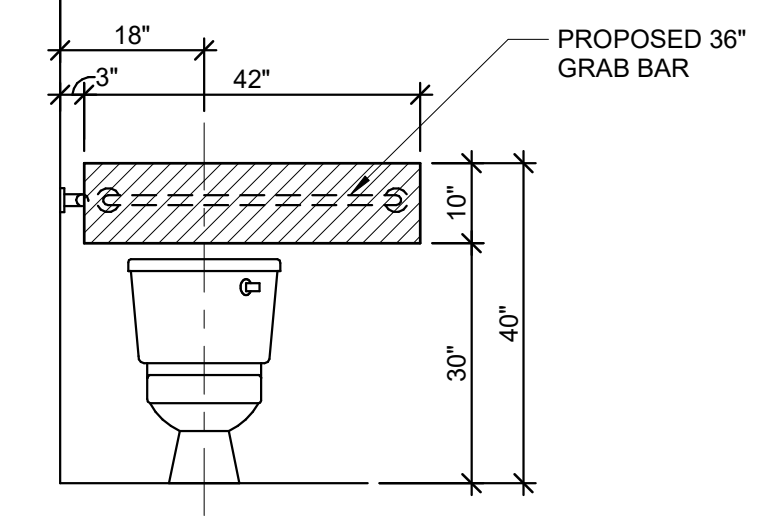
CLOSET SHELF/ROD MOUNTING HEIGHTS
1/2"=1'-0"



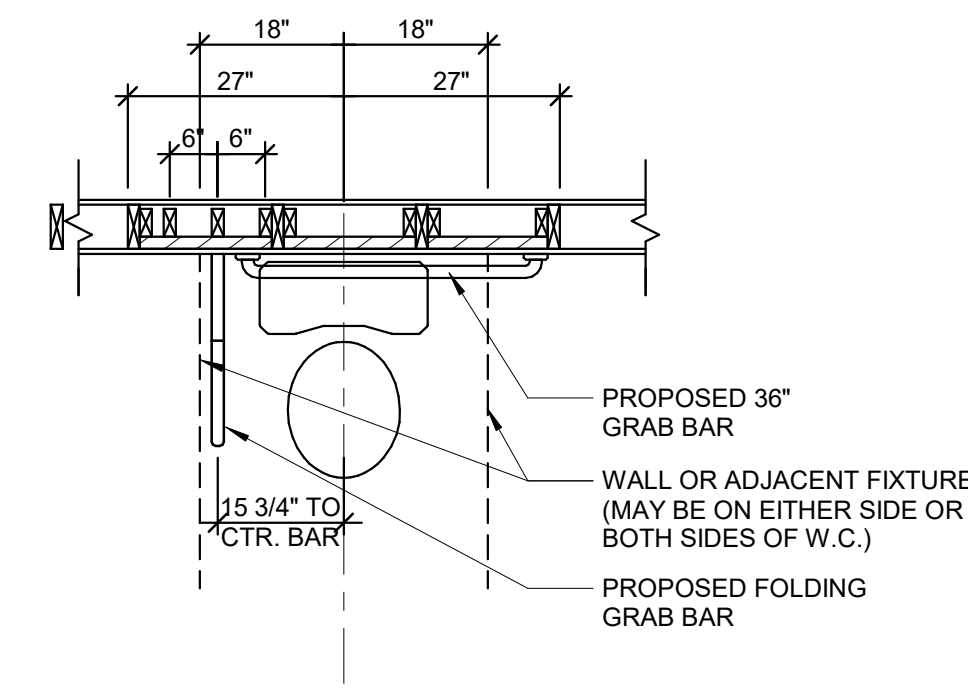
GRAB BAR BLOCKING (STANDARD)
1/2"=1'-0"



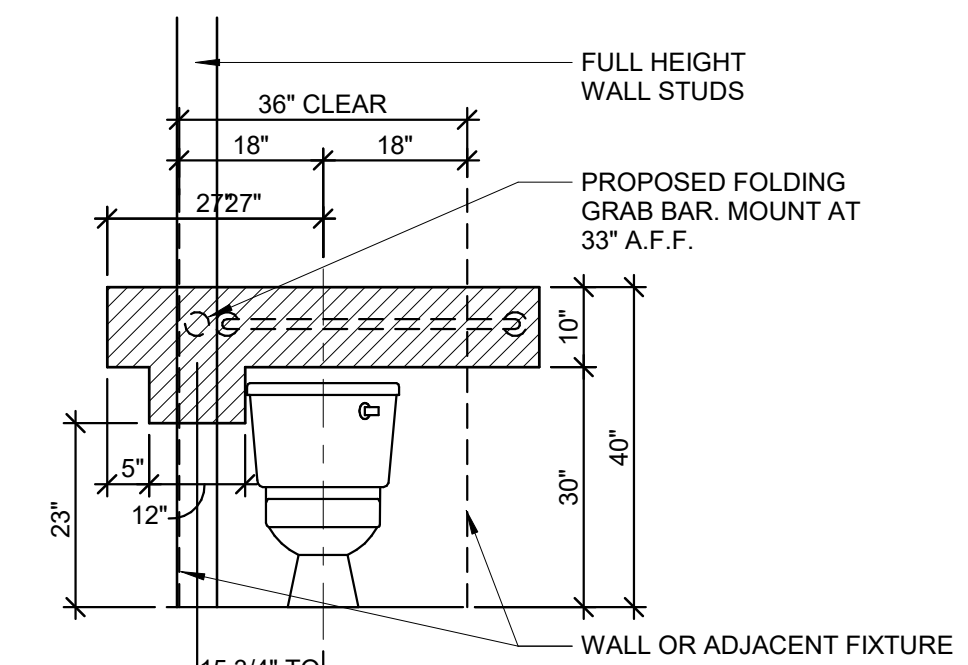
GRAB BAR BLOCKING (STANDARD)
1/2"=1'-0"



GRAB BAR BLOCKING (STANDARD)
1/2"=1'-0"



GRAB BAR BLOCKING (ALTERNATE)
1/2"=1'-0"



GRAB BAR BLOCKING (ALTERNATE)
1/2"=1'-0"



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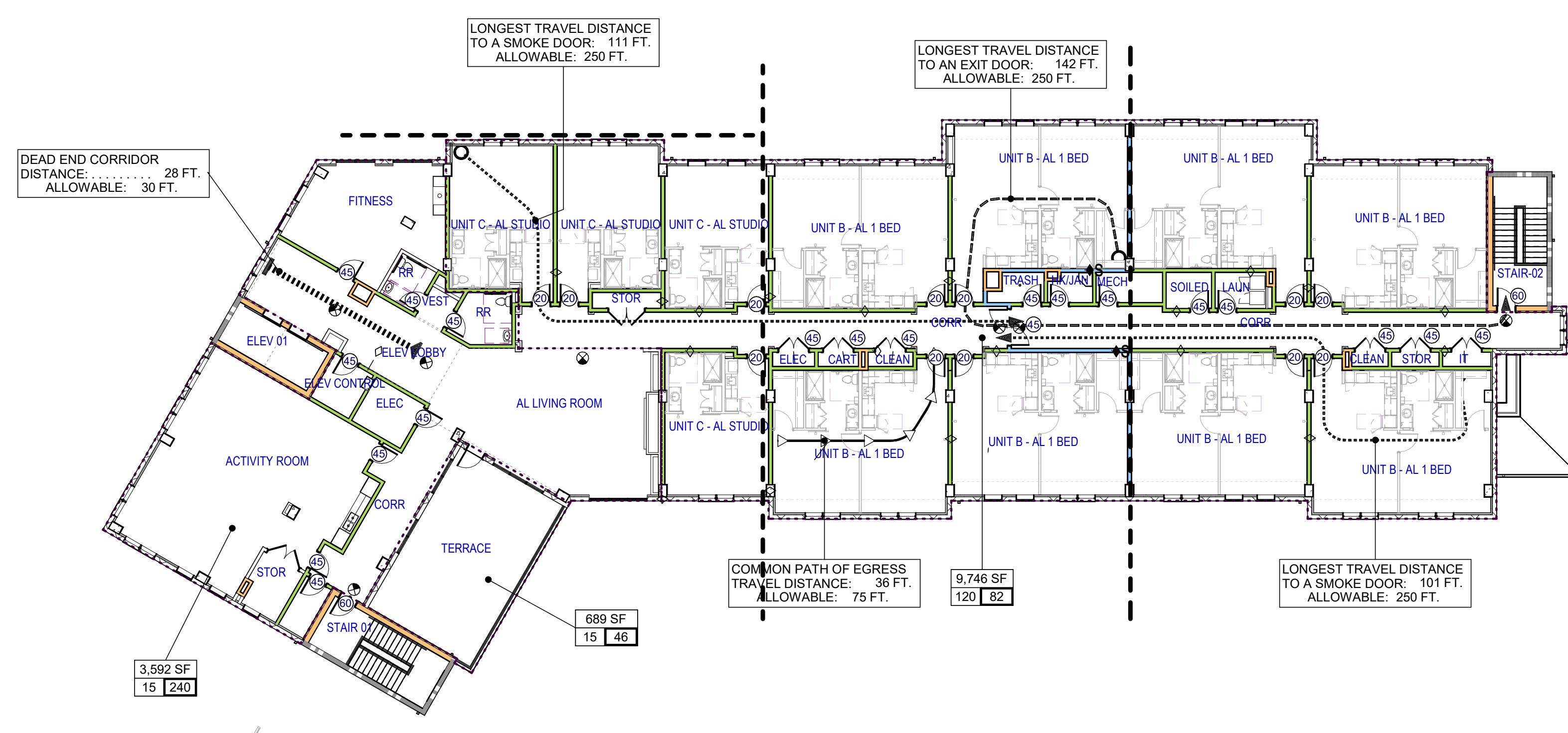


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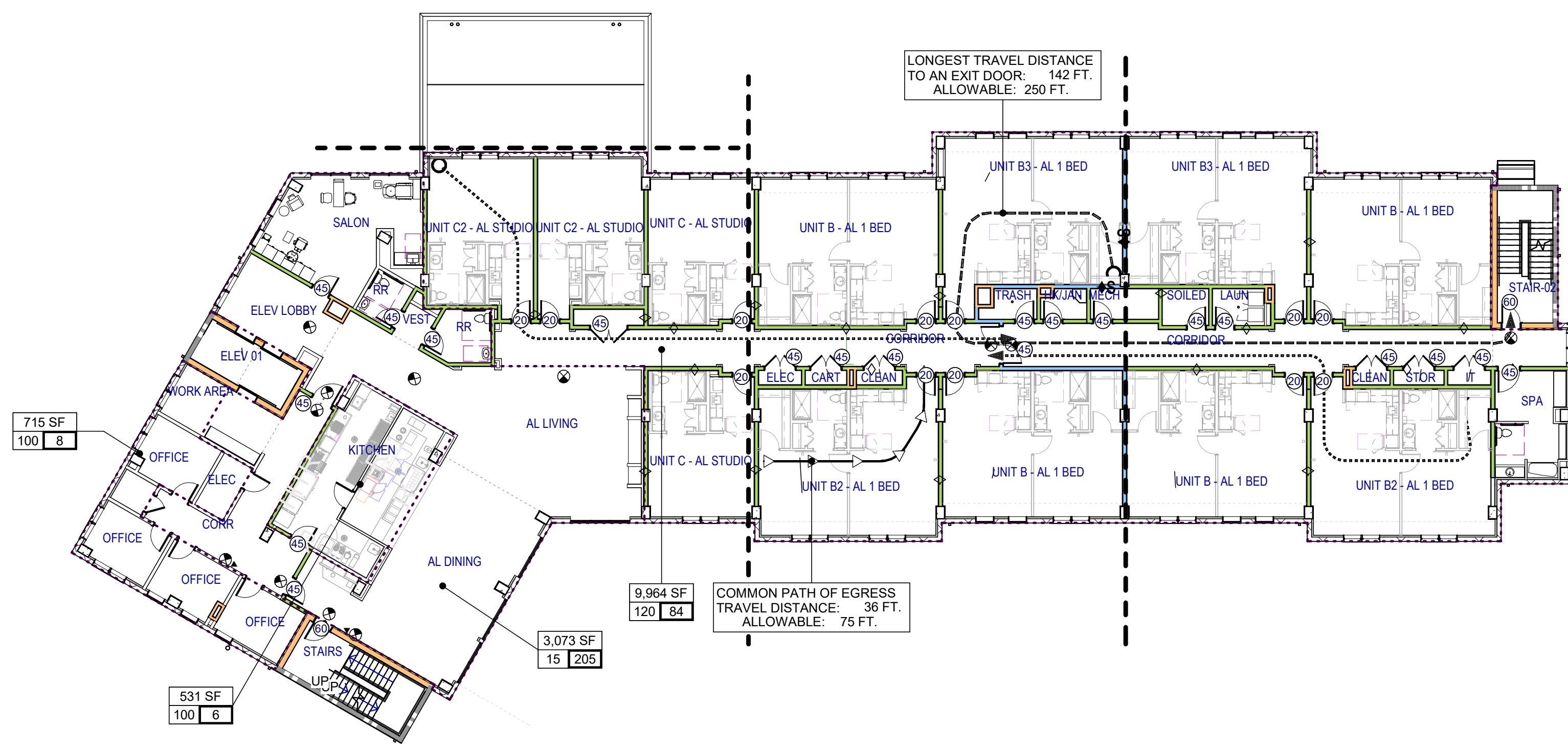
Project No.: 2021009
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AHJ
SUPPLEMENTAL
INFORMATION

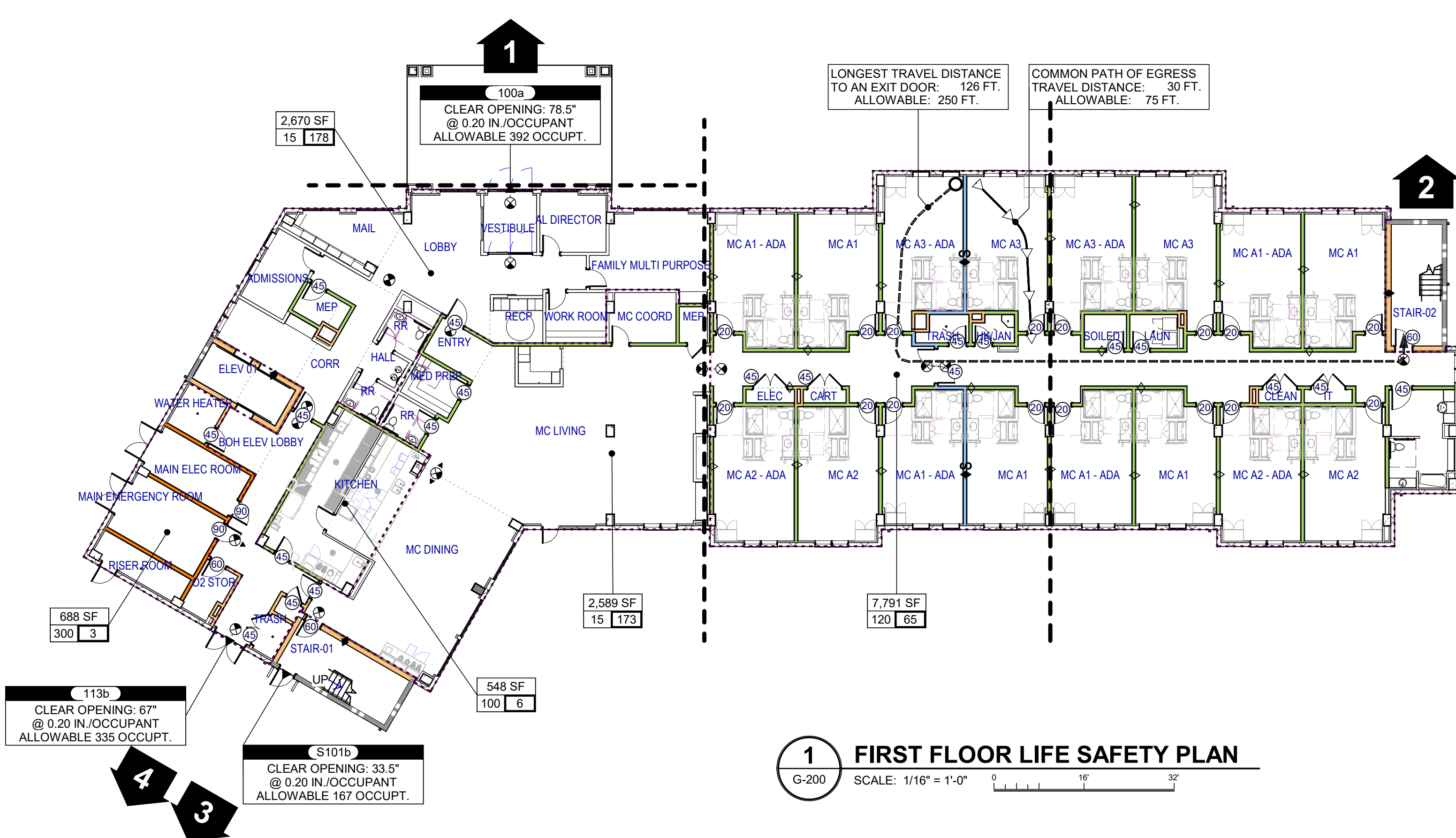
Autodesk Docs://MCR - Stage 2 - MC_AL_LL2021009_WCR_MC-AL-BLDG_ARCH_R24.rvt



3 THIRD FLOOR LIFE SAFETY PLAN
G-200 SCALE: 1/16" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
G-200 SCALE: 1/16" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN
G-200 SCALE: 1/16" = 1'-0"

LIFE SAFETY LEGEND WALL RATINGS
* THESE SHEETS ARE TO BE VIEWED IN COLOR ONLY *

- PARTITIONS - NON-RATED
- FIRE PARTITION - 1 HOUR
- FIRE WALL - 3 HOUR
- SMOKE BARRIER - 2 HOUR
- FIRE WALL - 2 HOUR
- SMOKE BARRIER - 1 HOUR
- FIRE BARRIER - 2 HOUR
- SMOKE PARTITION - 1 HOUR
- FIRE BARRIER - 1 HOUR
- SMOKE PARTITION - 0 HOUR

LIFE SAFETY SYMBOLS & TAGS

AREA CALCULATION TAG

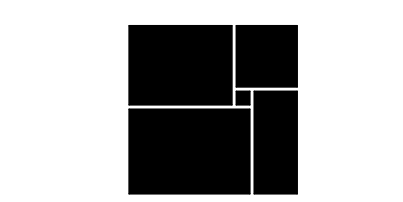
- AREA
- TOTAL OCCUPANTS LOAD (SF/PERSON)
- EXIT SIGN
- FIRE EXTINGUISHER & CABINET
- DOOR RATING (IN MIN.)
- OCCUPANT LOAD CERTIFICATION SIGNAGE PER FBC 2017, SECTION 1004.3
- FIRE ALARM CONTROL PANEL
- KNOX BOX EMERGENCY KEY ACCESS
- EGRESS DISCHARGE (EGRESS ID #)
- FIRE DEPARTMENT CONNECTION

START & END POINTS

- DEAD END CORRIDOR DISTANCE: XXX FT. ALLOWABLE: XXX FT.
- LONGEST TRAVEL DISTANCE TO AN EXIT DOOR: XXX FT. ALLOWABLE: XXX FT.
- LONGEST TRAVEL DISTANCE TO A SMOKE DOOR: XXX FT. ALLOWABLE: XXX FT.
- COMMON PATH OF EGRESS TRAVEL DISTANCE: XXX FT. ALLOWABLE: XXX FT.
- LONGEST TRAVEL DISTANCE TO A SINGLE EXIT: XXX FT. ALLOWABLE: XXX FT.

NO.	DATE	DESCRIPTION
12/01/25		CONSTRUCTION DOCUMENTS
08/22/25		DESIGN DEVELOPMENT
04/07/25		SCHEMATIC DESIGN

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LIFE SAFETY PLANS

G-200

