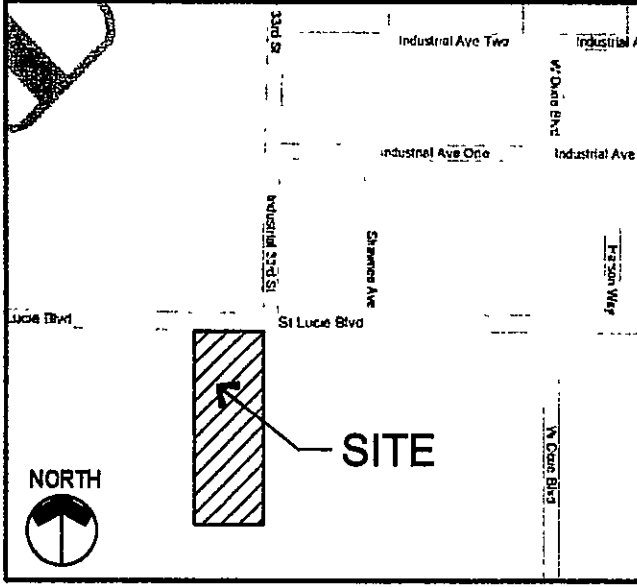


LOCATION MAP

SECTION 32 TOWNSHIP 34S
RANGE 40E

SEE SURVEY FOR COMPLETE LEGAL DESCRIPTION.



SITE DATA

NAME OF DEVELOPMENT INTERNATIONAL AIRPORT BUSINESS PARK
PROPOSED USE FLEX SPACE/ SERVICE STATION, CONVENIENCE STORE
FUTURE LAND USE DESIGNATION INDUSTRIAL

ZONING DISTRICT INDUSTRIAL LIGHT (IL)
SECTION, TOWNSHIP, RANGE 32 / 34 / 40

TOTAL GROSS ACREAGE 3.30 AC
TOTAL GROSS FLOOR AREA BLDG. 2 : 9192.80 SF
BLDG. 3 : 9192.80 SF
BLDG. 4 : 9192.80 SF

TOTAL FLEX SPACE 27578.40 SF
TOTAL SERVICE STATION/ C-STORE BLDG. 1 : 2400.00 SF
BUILDING COVER 20.72%

MAX. BUILDING COVER 50%
PERVIOUS AREA 0.94 AC (28.41%)
IMPERVIOUS AREA 2.36 AC (70.59%)

INTERIOR VEHICULAR USE COVERAGE: FLEX SPACE: 48277.83 SF (1.12 AC)
SERVICE STATION: 20520.61 SF (0.47 AC)

NO. OF STORIES
FINISH FLOOR ELEVATION 22.10'

BUILDING SETBACK
FRONT: 25 FT MIN. (REQUIRED) 171 FT MIN. (PROVIDED)
SIDE INTERIOR: 10 FT MIN. (REQUIRED) 10 FT MIN. (PROVIDED)
SIDE CORNER: 20 FT MIN. (REQUIRED) 25 FT MIN. (PROVIDED)
REAR: 20 FT MIN. (REQUIRED) 20 FT MIN. (PROVIDED)

BUFFERS
FRONT (STREET): 15 FT MIN. (REQUIRED) 15 FT MIN. (PROVIDED)
SIDE (INTERIOR): 10 FT MIN. (REQUIRED) 10 FT MIN. (PROVIDED)
SIDE (STREET): 15 FT MIN. (REQUIRED) 15 FT MIN. (PROVIDED)
REAR (INTERIOR): 10 FT MIN. (REQUIRED) 10 FT MIN. (PROVIDED)

SERVICE STATION/ CONVENIENCE STORE - PARKING DATA
2 PARKING SPACES PER PUMP = 12 SPACES
5 SPACES/ 1000 SQ.FT @ 2400 SQ.FT. = 12 SPACES
TOTAL REQUIRED = 24 SPACES
PARKING PROVIDED = 24 SPACES

FLEX SPACE - PARKING DATA (CALCULATED @ MAXIMUM USE)
1 SPACE/333 @ 27578.40 SQ.FT. = 83 SPACES
(SEE ATTACHED PARKING ANALYSIS FOR FLEX SPACE OFFICE)
TOTAL REQUIRED = 83 SPACES
PARKING PROVIDED = 146 SPACES(MAX) (INCL. 24 GARAGE & OR PARKING SPACES)

H.C. PARKING REQUIRED - 5 SPACE H.C. PARKING PROVIDED - 5 SPACES
LOADING AREA REQUIRED - 2 SPACE LOADING AREA PROVIDED - 2 SPACE

H.C. PARKING REQUIRED - 5 SPACE H.C. PARKING PROVIDED - 5 SPACES
LOADING AREA REQUIRED - 2 SPACE LOADING AREA PROVIDED - 2 SPACE

H.C. PARKING REQUIRED - 5 SPACE H.C. PARKING PROVIDED - 5 SPACES
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H.C. PARKING REQUIRED - 5 SPACE H.C. PARKING PROVIDED - 5 SPACES
LOADING AREA REQUIRED - 2 SPACE LOADING AREA PROVIDED - 2 SPACE

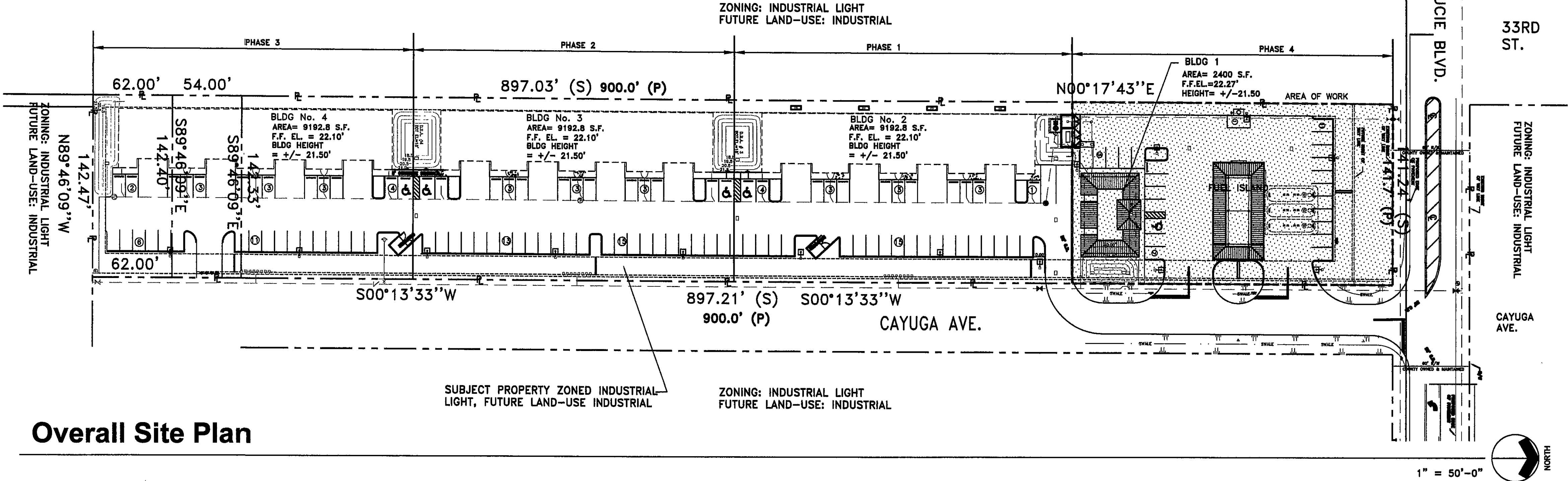
DRAWING INDEX

- SP-1 SITE PLAN
A-1 FLOOR PLAN
A-1A CANOPY PLAN
A-2 REFLECTED CEILING PLAN
A-3 EXTERIOR ELEVATIONS
A-4 EXTERIOR ELEVATIONS
A-5 CANOPY ELEVATIONS
A-6 ROOF PLAN / DETAILS
A-7 DETAILS
A-8 SCHEDULES, INTERIOR ELEVATIONS & DETAILS
A-9 1/2" SECTIONS & DETAILS
A-10 1/2" SECTIONS & DETAILS
A-11 EXHAUST HOOD DETAILS
S-1 FOUNDATION PLAN
S-2 ROOF FRAMING PLAN
P-1 PLUMBING PLAN
P-2 PLUMBING RISERS
P-3 PLUMBING SPECIFICATIONS
M-1 AIR CONDITIONING PLAN
M-2 MECHANICAL SPECIFICATIONS

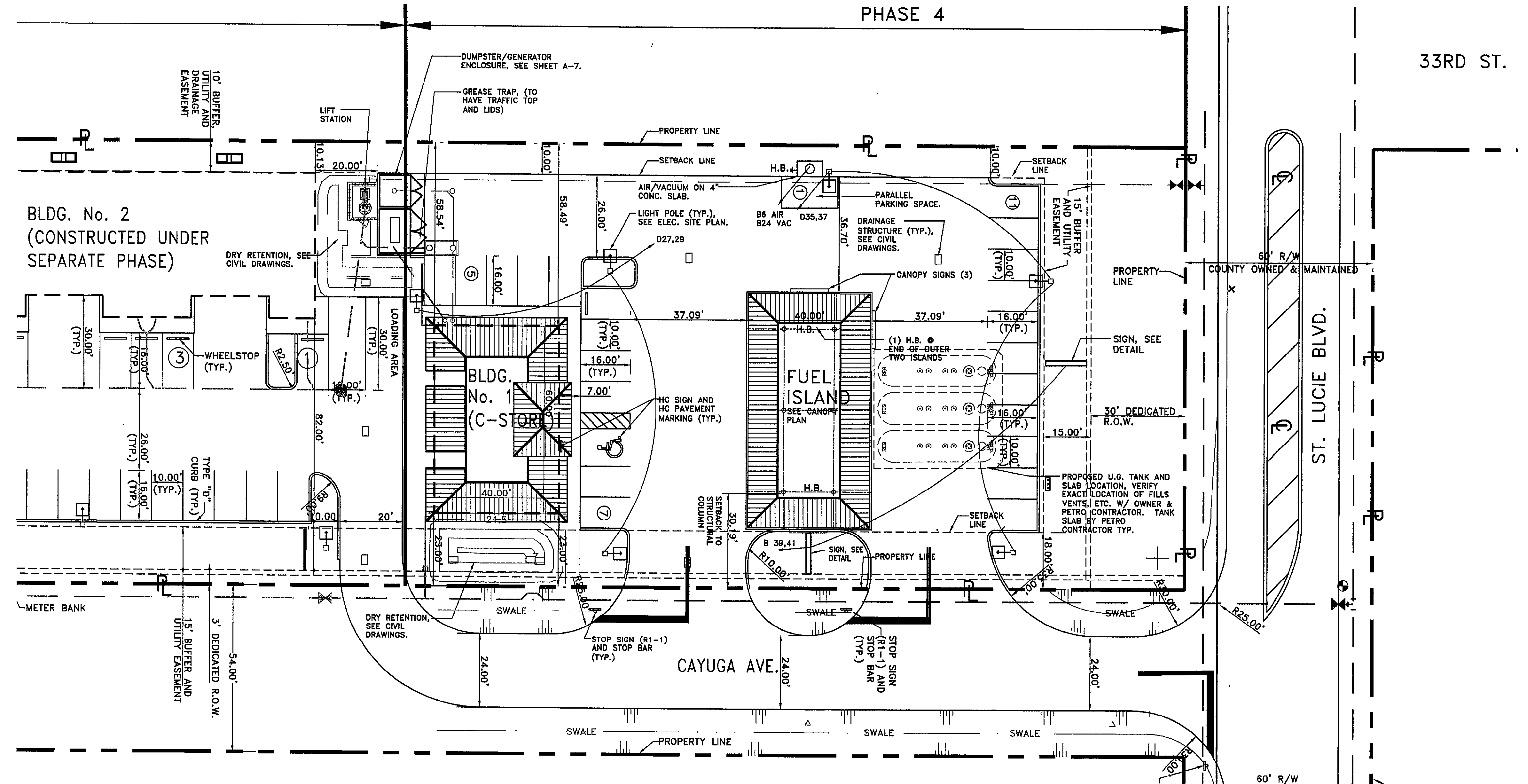
- E-1 ELECTRICAL PLAN & SCHEDULES
E-2 ELECTRICAL PANEL SCHEDULES & RISER
E-3 ELECTRICAL SPECIFICATIONS

SEE APPROVED SITE PLAN BY RALPH D. DENUZZIO P.E.
ALSO SEE CONDITIONS OF APPROVAL PROVIDED BY OWNER
SEE CIVIL DRAWINGS BY OTHERS
SEE LANDSCAPE DRAWINGS BY OTHERS

W:\2004\2004-SP1.DWG (C:\2004\2004-SP1.DWG) 3/25/2004 2:15:58 PM RDC



Overall Site Plan



Architectural Site Plan - Phase 4

RICHARD WENSING
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201 VISTA PARKWAY, SUITE 108
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AR0006296

INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4
CONVENIENCE STORE
FLORIDA 34946
3051 ST. LUCIE BOULEVARD
FORT PIERCE

ARCHITECTURAL SITE PLAN
2004-SP1
REVISIONS
DRAWN RJC
DATE 05-21-2008
SHEET
SP-1
COMM. NO.
28004

06-02-08

B.O. = BY OWNER		
NO.	CONVENIENCE STORE EQUIPMENT	B.O.
1A	WALK-IN COOLER - KYSOR/NEEDHAM OR EQUAL WITH 4" POLYURETHANE AND 8'-0" CEILING HEIGHT.	o
1B	CONDENSING UNITS - HUSSMAN #GH0H0502VK OR EQUAL	o
1C	COIL FANS - HUSSMAN #HC6E-094 OR EQUAL	o
1D	COOLER DOORS / FRZ DOORS - (13 TOTAL) ANTHONY #101 30-1/4" WIDE x 75" HIGH	o
2A	NOT USED	
2B	NOT USED	
2C	NOT USED	
2D	NOT USED	
3	NIGHT DRAWER - SHURESAFE MODEL 672300 DRAWER	o
3A	NOT USED	
4	STORAGE SHELVING - AMCO II WITH POLYGUARD FINISH	o
5	SHELVING - LOZIER OR EQUAL	o
6	COUNTERS - MICA	
7	NOT USED	o
8	CASH REGISTER/GAS CONSOLES	o
9	SCRATCH LOTTERY - TAKE A TICKET #412 IN COUNTER	o
10	LOTTERY COMPUTER	o
11	SAFE - TIDELL #TACC II	o
12	NOT USED	o
13	HEATED DISPLAY CASE	o
14	RANGE	o
15	TRASH BINS - PLYMOLD #F-92101	o
16	LOTTO STAND - BY OWNER	o
17	1 DOOR LOW TEMP	o
17A	1 DOOR MED TEMP	o
18	MICROWAVE - AMANA #RCS820LW	o
19	CONDIMENT ORGANIZER	o
20	FROZEN CARBONATED BEVERAGE - TAYLOR #355	o
21	CUP DISPENSERS	o
22	ICE/BEVERAGE DISP - SERVED MDH-302 W/ TOP ICE CUBER	o
23	BAG-IN-BOX	o
24	ICE MERCHANDISER	o
25	PASTRY CASE	o
26	CAPPUCCINO	o
27	COFFEE BREWER	o
28	IN-CABINET TRASH	o
29	HAND SINK	o
30	3 COMPARTMENT SINK	o
31	2 COMP JUICE DISPENSER	o
32	MOP SINK	o
33	ICE MAKER	o
34	FRYER	o
35	WATER HEATER - 30 GAL	o
36	ATM MACHINE	o
37	7' HOOD	o
38	HOLDING STATION ON STAND	o
39	SANDWICH / SALAD PREP TABLE	o
40	BUN WARMER	o
41	HOT DOG UNIT	o
42	EXPRESSO COFFEE	o
43	KOALA BABY CHANGING STATION	o
44	SEMI-RECESSED HAND DRYER - AMERICAN DRYER MODEL GX1-C	o

1 KOALA BABY CHANGING STATION DETAIL

SCALE 1" = 1'-0"

INSTALLATION:

TO INSURE PROPER INSTALLATION AND COMPLIANCE TO BUILDING CODES, IT IS RECOMMENDED THAT A QUALIFIED PERSON OR CARPENTER PERFORM THE INSTALLATION OF THE UNIT. THE UNIT MUST BE PROPERLY INSTALLED ONTO A PERMANENT WALL THAT IS CAPABLE OF SUPPORTING SIGNIFICANT WEIGHT, AND CAN ACCOMMODATE THE SUPPLIED INSTALLATION HARDWARE. THE KOALA BEAR MARK BABY CHANGING STATION MEETS ADA REGULATIONS WHEN PROPERLY INSTALLED.

DRILLING HOLES AND MOUNTING THE STATION:

1. REMOVE THE STATION FROM THE SHIPPING CONTAINER AND CHECK FOR FREIGHT DAMAGE. IDENTIFY THE BEST LOCATION FOR INSTALLING THE BABY CHANGING STATION. HOLD THE UNIT IN PLACE, OPEN THE BED, AND MAKE SURE THERE IS ADEQUATE OPERATING CLEARANCE.

2. BASED UPON THE TYPE OF WALL WHICH THE UNIT WILL BE MOUNTED, DETERMINE THE BEST METHOD OF MOUNTING. NOT ALL OF INCLUDED HARDWARE MAY BE REQUIRED FOR PROPER INSTALLATION.

3. THE HORIZONTAL UNIT HAS FOUR MOUNTING HOLES PROVIDED IN THE BACK WALL OF THE UNIT, WHICH ARE POSITIONED ON A 16" STUD CENTER. IF POSSIBLE, LOCATE THE WOOD OR METAL WALL STUDS FOR FASTENING THE CHANGING STATION IN THE DESIRED LOCATION. IF THE WALLS DO NOT HAVE STUDS ON THE CENTER AS OUTLINED, MAKE SURE AT LEAST ONE SIDE OF THE UNIT IS INSTALLED INTO THE STUD. USE TOGGLES (SUPPLIED) FOR HOLES ON THE OTHER SIDE.

4. FIND THE STUD WHERE YOU WILL BE ATTACHING THE LEFT SIDE OF THE CHANGING STATION TO THE WALL. MEASURE 46" UP FROM THE FLOOR, AT THE CENTER OF THE STUD, AND MARK THE WALL. LINE UP THE TOP LEFT MOUNTING HOLE WITH THIS MARK, THEN USE A MEASURING TAPE AND LEVEL TO MARK THE REMAINING THREE MOUNTING HOLES. THIS WILL LOCATE THE BOTTOM OF THE STATION 29" FROM THE FLOOR.

USING WOOD SCREWS:

IF THE WALL HAS WOOD STUDS ON 16" CENTERS, DRILL 1/8" PILOT HOLES AT THE MARKS AND USE THE FOUR 1/4"x3" PANHEAD TAPPING SCREWS WITH SUPPLIED WASHERS. IF THE WALL IS MASONRY OR TILE OVER WOOD STUDS, USE A 7/32" MASONRY DRILL UNTILL YOU HIT THE STUD, THEN PROCEED TO DRILL 1/8" PILOT HOLES INTO THE STUDS AND USE FOUR 1/4"x3" PHILLIPS PANHEAD MACHINE SCREWS WITH SUPPLIED WASHERS.

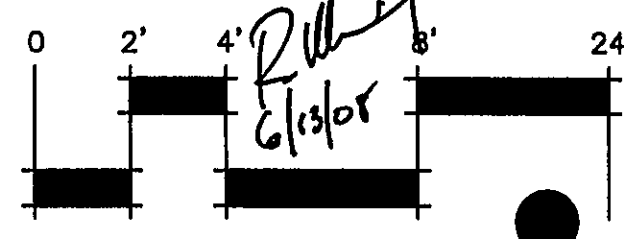
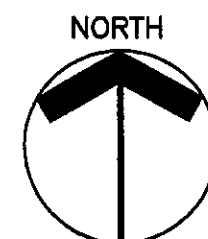
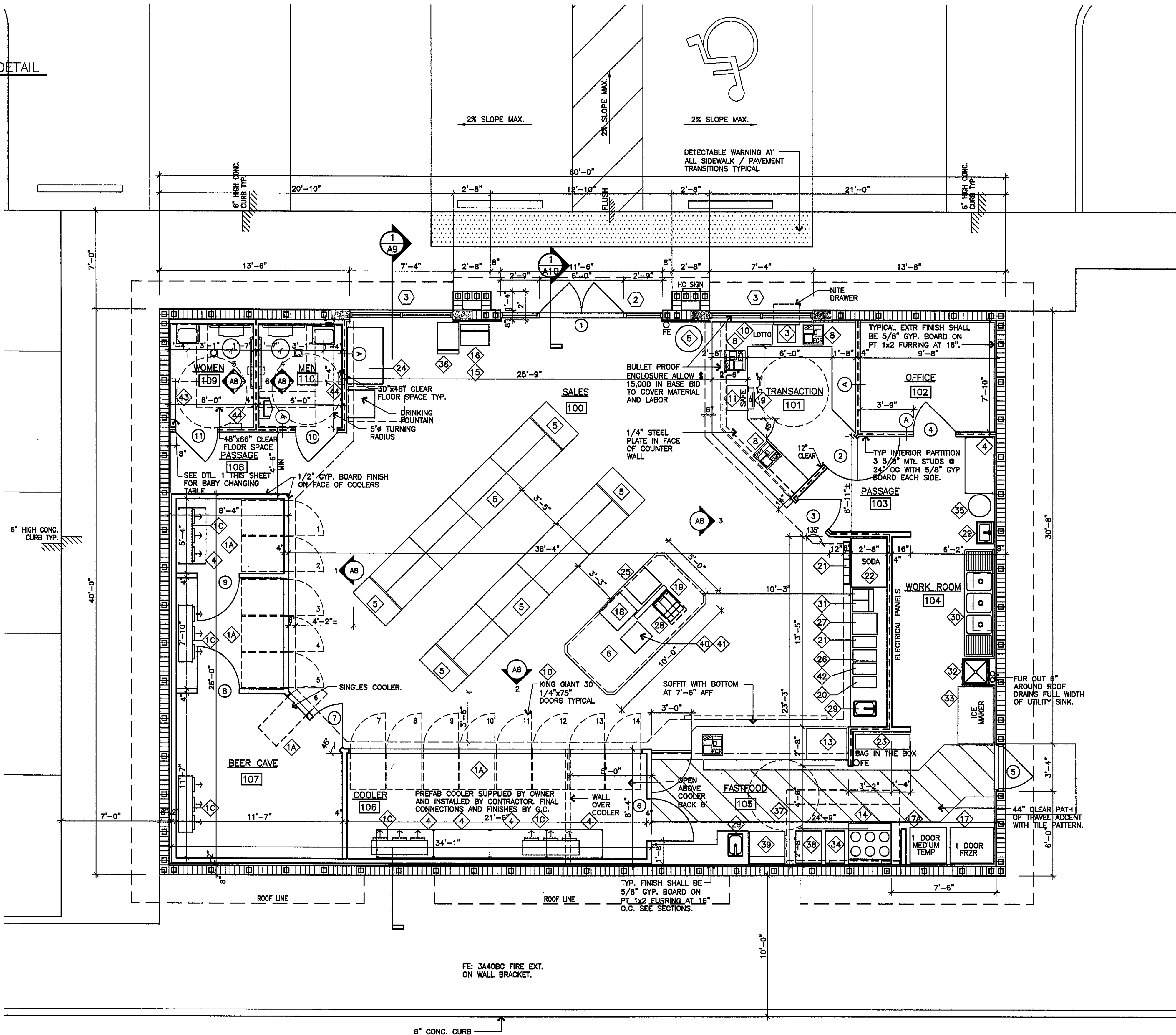
USING TOGGLE FASTENERS:

IF THE WALL HAS WOOD STUDS THAT ARE NOT ON 16" CENTERS, HAS METAL STUDS, OR AN UNDERLYING SURFACE OF CONCRETE BLOCK, DRILL WITH A 1/2" MASONRY BIT. A MINIMUM OF 2-1/2" OF INSIDE WALL SPACE IS REQUIRED FOR TOGGLES TO TURN. INSERT SUPPLIED TOGGLES AND TIGHTEN, LOCATE STATION OVER TOGGLES, THEN USE SUPPLIED 1/4"x3" PHILLIPS PANHEAD MACHINES SCREWS WITH SUPPLIED WASHERS.

PAINT SPECIFICATIONS: (WHERE APPLICABLE)

EXTERIOR WOOD PAINTED	1 COAT MOORWHITE PRIMER (100) AND 2 COATS MOORGLO LATEX HOUSE & TRIM PAINT (096)
EXTERIOR GALVANIZED IRON	1 COAT IRON CLAD GALVANIZED METAL PRIMER (155) AND 2 COATS MOORGLO LATEX HOUSE & TRIM PAINT (096)
EXTERIOR FERROUS METAL	1 COAT IRONCLAD RETARDO RUST INHIBITIVE PAINT (163) AND 2 COATS MOORGLO LATEX HOUSE & TRIM PAINT (096)
EXTERIOR MASONRY	1 COAT MOORWHITE PRIMER (100) AND 2 COATS MOORGARD LATEX HOUSE PAINT (103)
INTERIOR WOOD TRIM	1 COAT MOORE'S ALKYD ENAMEL UNDERBODY (217) AND 2 COATS REGAL AQUAGLO (333)
PLASTER & DRYWALL	1 COAT LATEX QUICK DRY PRIME SEAL (201) AND 2 COATS REGAL AQUAVELVET (319)
EXTERIOR WOOD STAINED	2 COATS MOORWOOD VINYL ACRYLIC LATEX STAIN (089)
INTERIOR WOOD STAINED	1 COAT BENWOOD PASTE WOOD FILLER, TINTED TO SHADE OF THE STAINES WITH UNIVERSAL TINTING COLORS. (OMIT FOR CLOSE-GRAINED WOOD) 1 COAT MOORE'S INTERIOR WOOD FINISHES PENETRATING STAIN (241) (OMIT IF TO BE NATURAL), AND 2 COATS OF BENWOOD POLYURETHANE FINISH LOW LUSTRE (435).

Floor Plan



INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4

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CONVENIENCE STORE
FLORIDA 34946

3251 ST. LUCIE BOULEVARD
FORT PIERCE

FLOOR PLAN
28004-A1

REVISIONS

SHEET

A-1

COMM. NO.
28004

06.02.08

CANOPY MANUFACTURER SHALL PREPARE COMPLETE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. PRIOR TO PREPARING DRAWINGS MFG. SHALL VERIFY ALL ARCHITECTURAL DETAILS, DIMENSIONS, DRAINAGE ETC. WITH BOTH ARCHITECTS AND ENGINEERS DRAWINGS AND OWNERS INSTRUCTIONS. SHOP DRAWINGS SHALL INCLUDE ALL NECESSARY ITEMS FOR A COMPLETE INSTALLATION AND SHALL NOT BE LIMITED TO JUST THE CANOPY.

IN ADDITION CANOPY MFG. SHALL VERIFY LIGHTING TYPE AND NUMBERS, SPANDREL TYPES AND SIZES, CANOPY SIGNAGE AND ALL OTHER ITEMS INCLUDED IN THEIR CONTRACT WITH ALL PARTIES INVOLVED, INCLUDING BUT NOT LIMITED TO; OWNER, PETROLEUM CONTRACTOR, ARCHITECT, PETROLEUM SUPPLY REPRESENTATIVE.

CANOPY CONTRACTOR SHALL STATE CLEARLY IN THEIR PROPOSAL TO THE OWNER ANY REQUIRED ELECTRICAL HOOK-UPS REQUIRED BY THE OWNER'S OR GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR. THIS SHALL INCLUDE NUMBER OF CONNECTIONS FOR STRIP LIGHTING, SPANDREL LIGHTING ETC. SO THE OWNER WILL KNOW WHAT THEIR RESPONSIBILITY WILL BE.

ALL "TEE" CANOPIES (IF APPLICABLE) SHALL DRAIN BACK TO THE MAIN CANOPY. ALL "TEE" CANOPY ELEVATIONS SHALL BE COORDINATED WITH ARCHITECTURAL AND CIVIL DRAWINGS FOR CORRECT BUILDING / SITE CONNECTIONS. MANUFACTURER SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PREPARING SHOP DRAWINGS.

ALL CANOPY DRAINAGE SHALL BE THRU THE ISLANDS (VERIFY PRIOR TO FABRICATION). SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.

CANOPY "MANSARD": FRAMES AND PLYWOOD SHEATHING TO BE SUPPLIED AND INSTALLED BY CANOPY MFG., ROOFING TO BE SUPPLIED AND INSTALLED BY G.C.

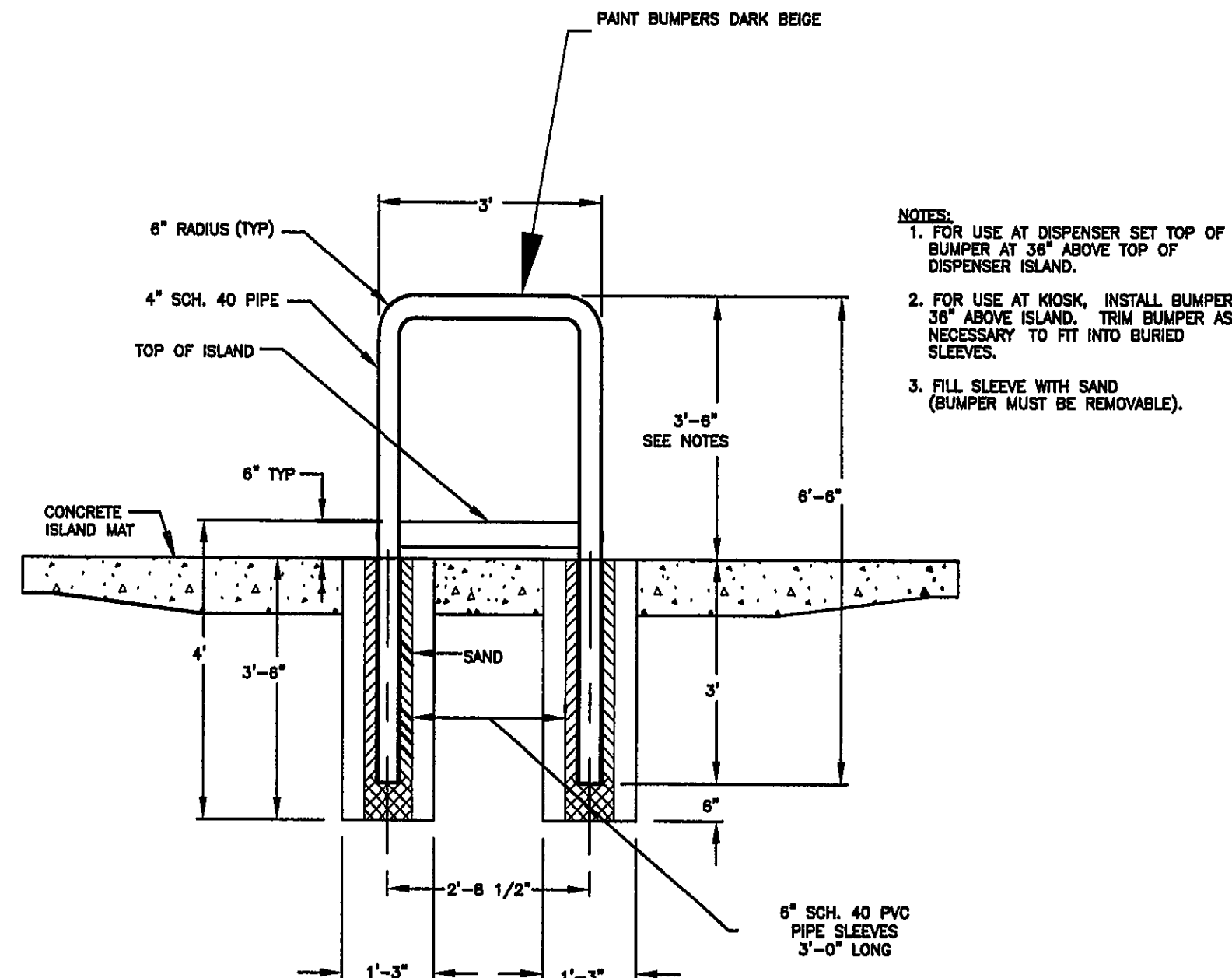
CANOPY CONTRACTOR TO PROVIDE ACCESS PANELS AT CANOPY SOFFIT AS REQUIRED FOR REQUIRED ACCESS / MAINTENANCE DUE TO PITCHED ROOF STRUCTURE.

CANOPY FOOTINGS:

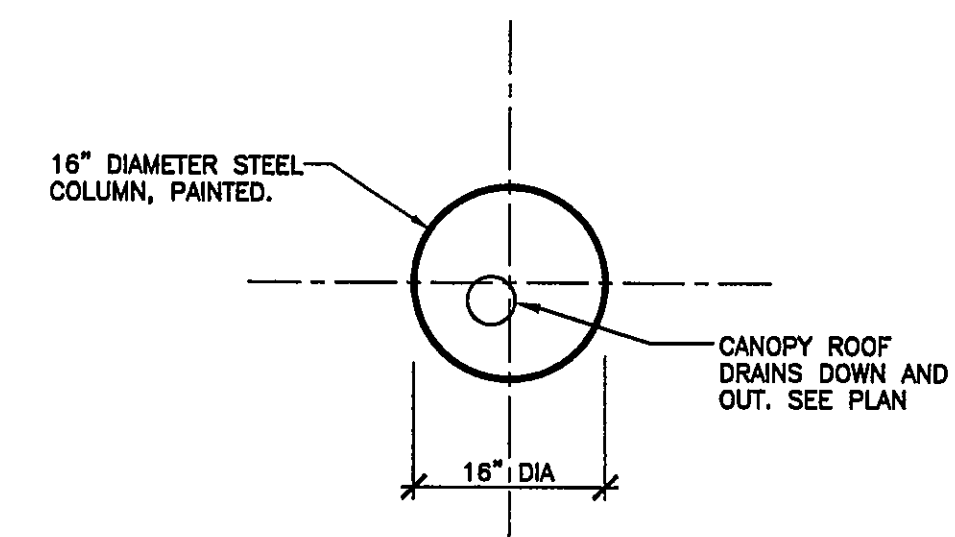
FOOTINGS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR ACCORDING TO THE ENGINEERED DRAWINGS PREPARED BY THE CANOPY MFG. G.C. TO INCLUDE IN HIS BID CONCRETE FOOTINGS BASED ON THE FOLLOWING SIZE:

INCLUDE ALLOW OF 8'x8'x5' CONCRETE FOOTING W/ #5# BARS AT 6" O.C. EA. WAY BOTT. AND TOP. AND (8) #5# VERT. EA. FACE IN BASE BID*. BOLTS AND TEMPLATES TO BE SUPPLIED BY CANOPY CONTRACTOR.

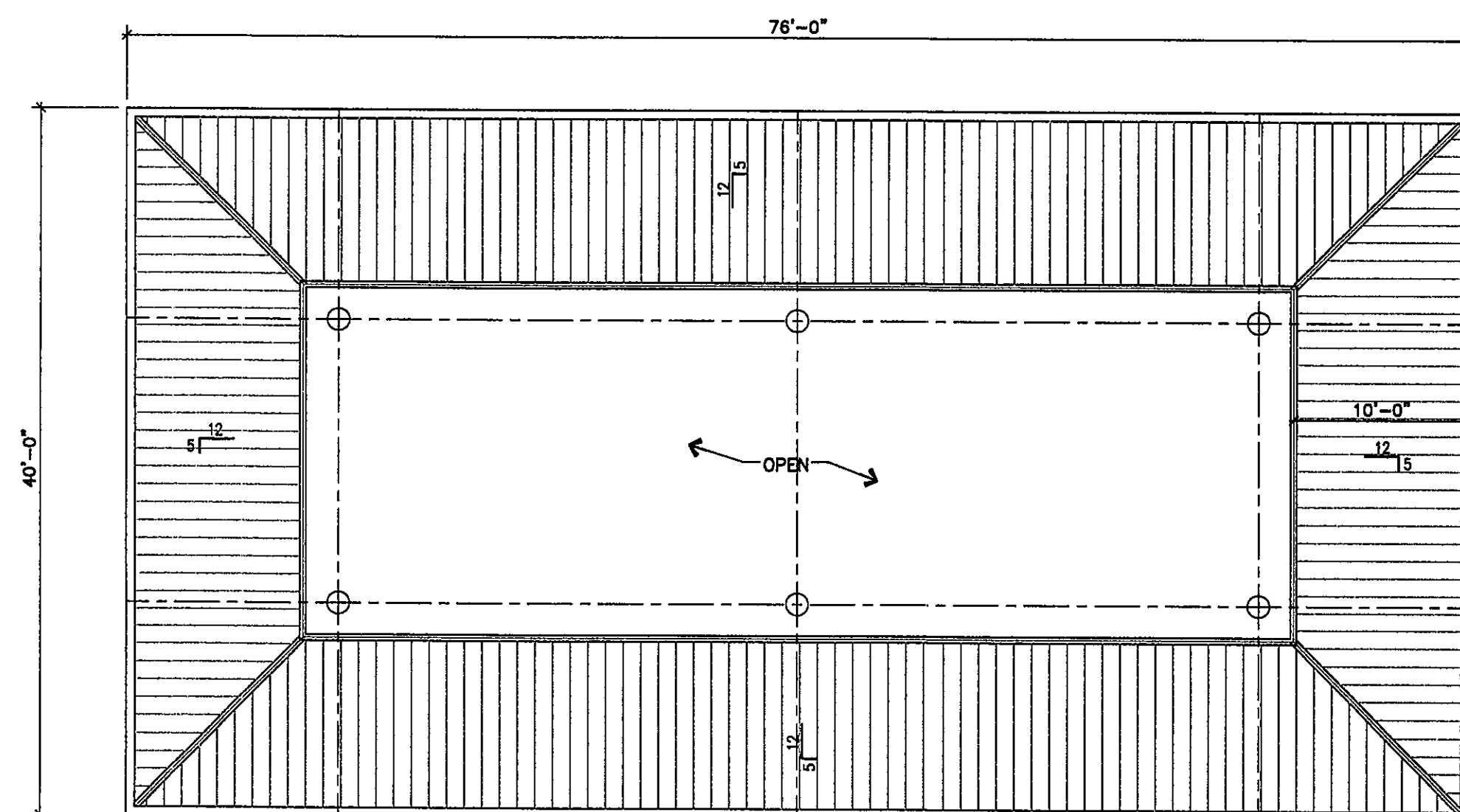
*ADD OR DEDUCT IN PRICE WILL BE BASED ON FINAL ENGINEERED DRAWINGS.



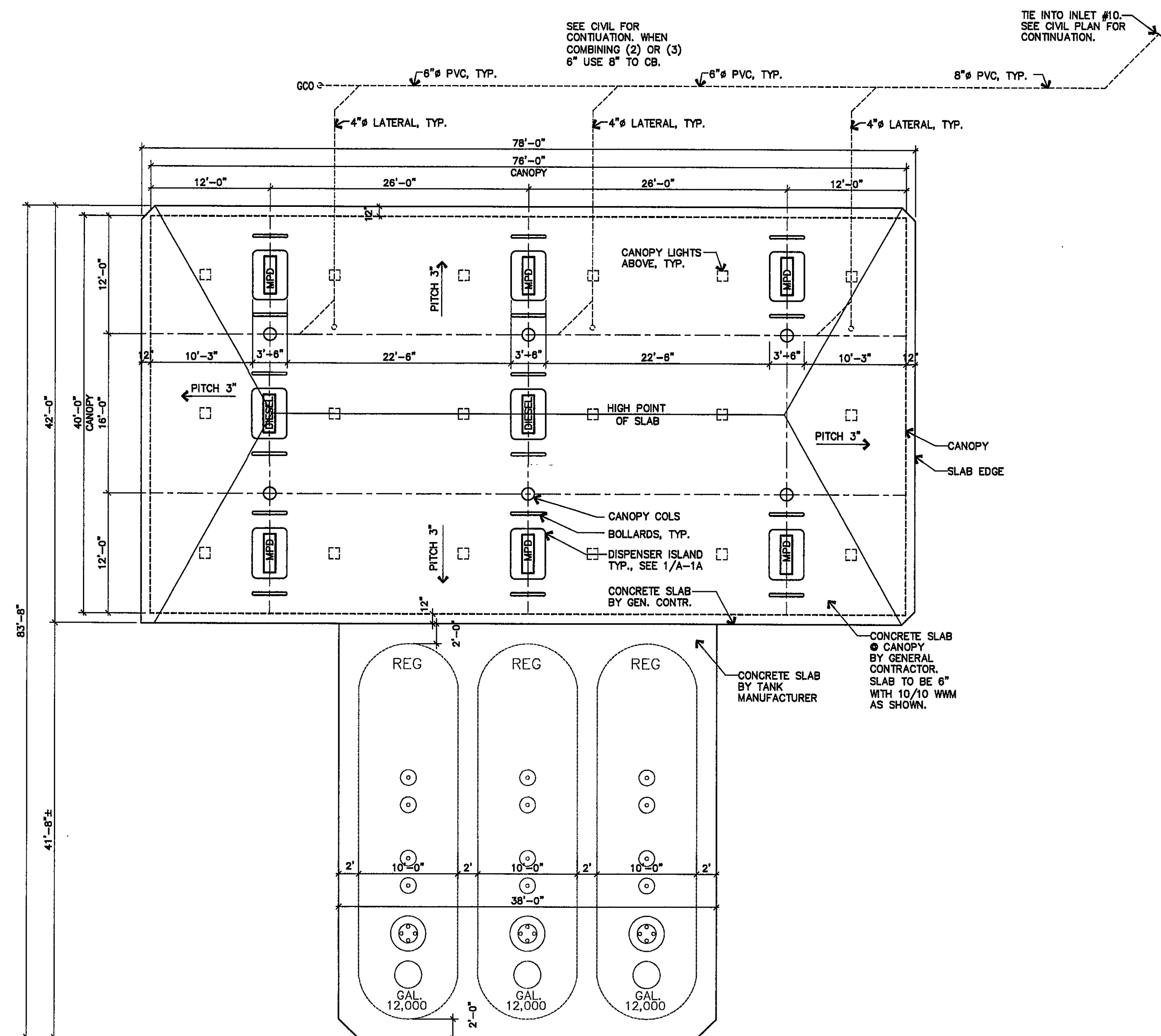
1 Bumper Post Detail
A-1A 1/2" = 1'-0"



2 Canopy Column Shroud Detail
A-1A 3/4" = 1'-0"

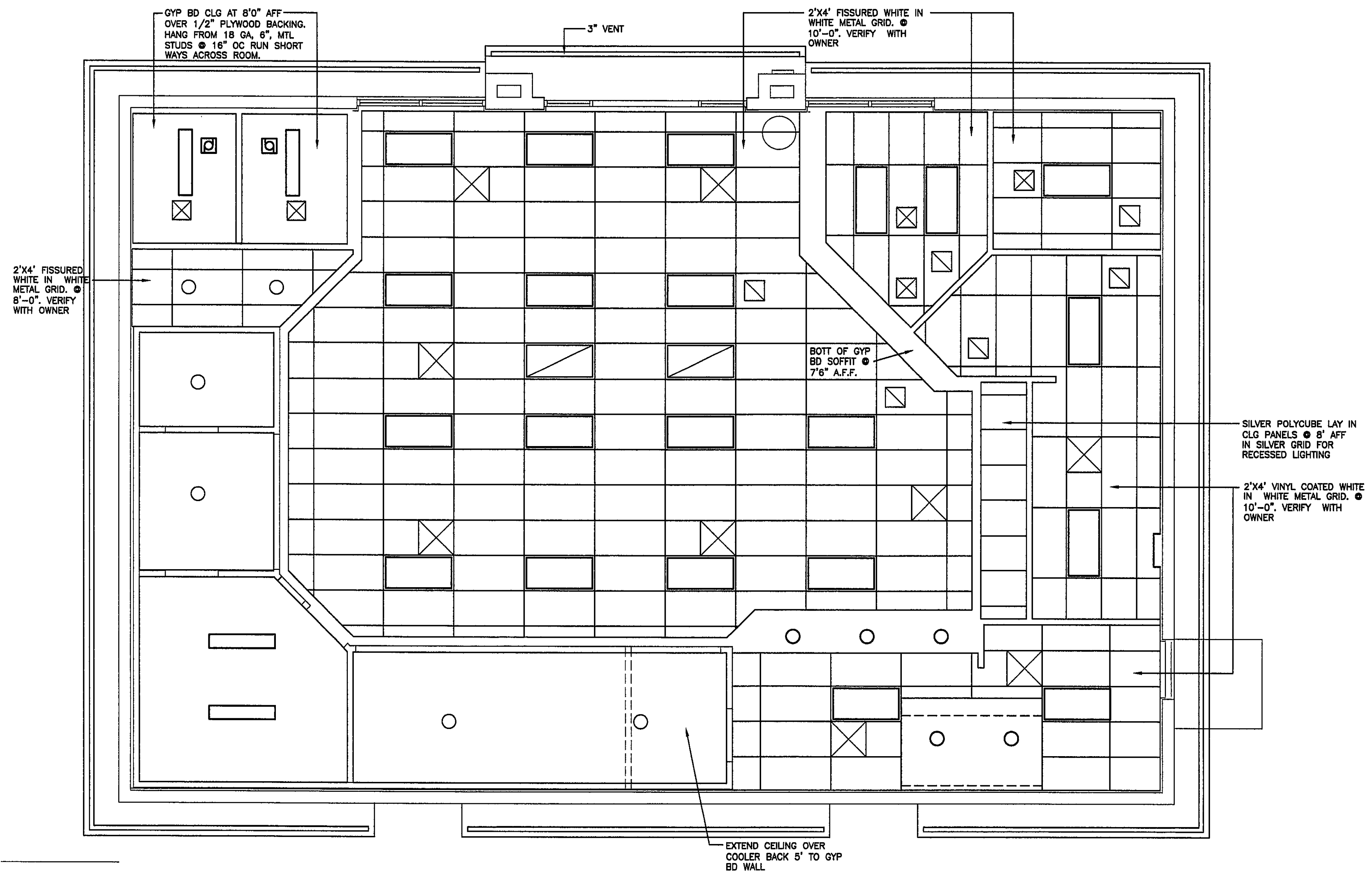


Canopy Roof Plan

$$1/8'' = 1'-0''$$


Canopy Plan

$$1/8'' = 1'-0''$$

REFLECTED CEILING PLAN
1/4" = 1'-0"

*Full
color*

INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4

CONVENIENCE STORE
FLORIDA 34946

3251 ST. LUCIE BOULEVARD
FORT PIERCE

REFLECTED CEILING PLAN
28004-12

REVISIONS

SHEET

A-2

COMM. NO.
28004

DRAWN
SOB

DATE
05-21-2008

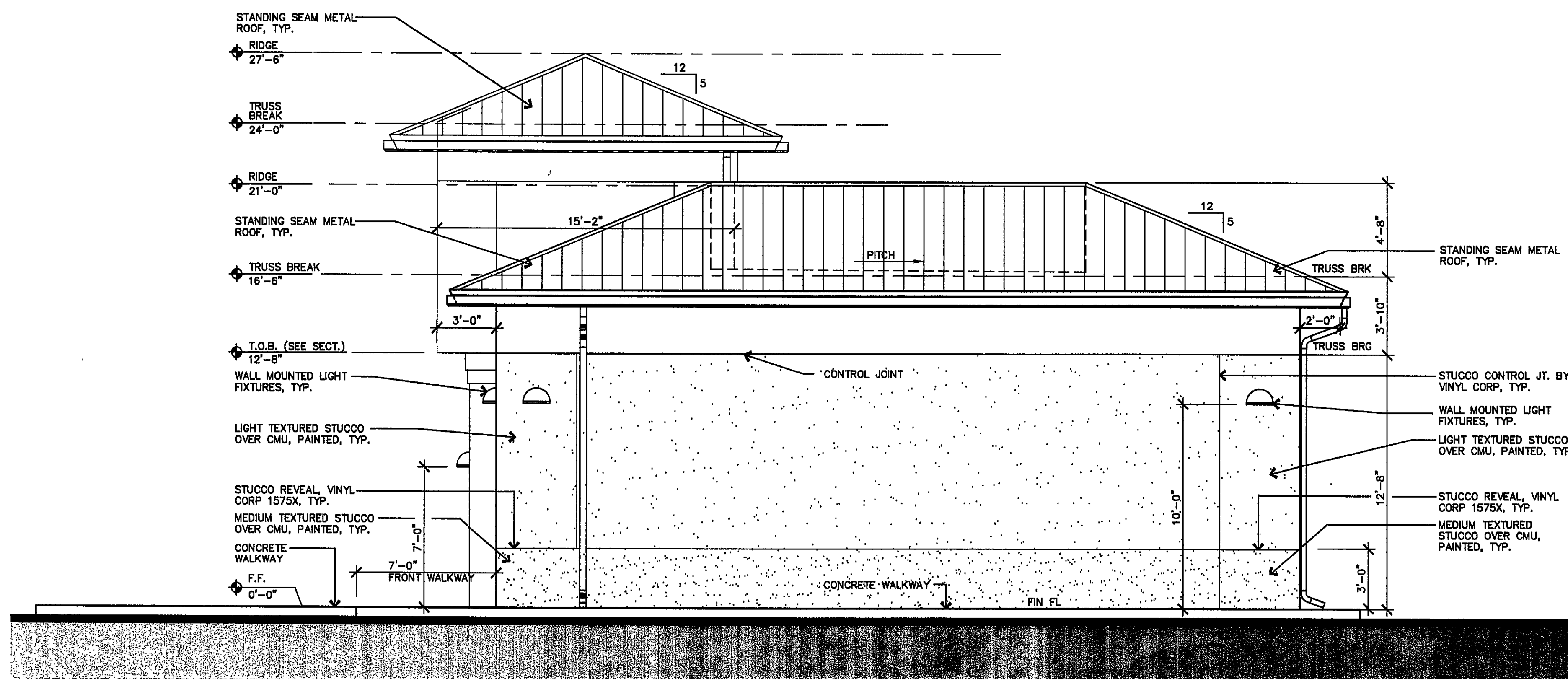
RICHARD WENSING
ARCHITECTS & PLANNERS, PA

2101 VISTA PARKWAY, SUITE 100
FORT PALM BEACH, FLORIDA, 34946
AR00002288 888-284-1888



North Elevation

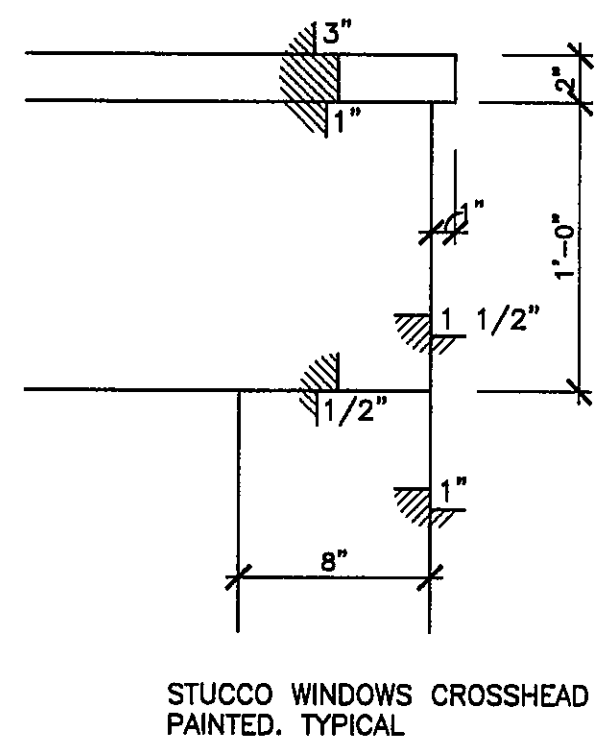
1/4" = 1'-0"



West Elevation

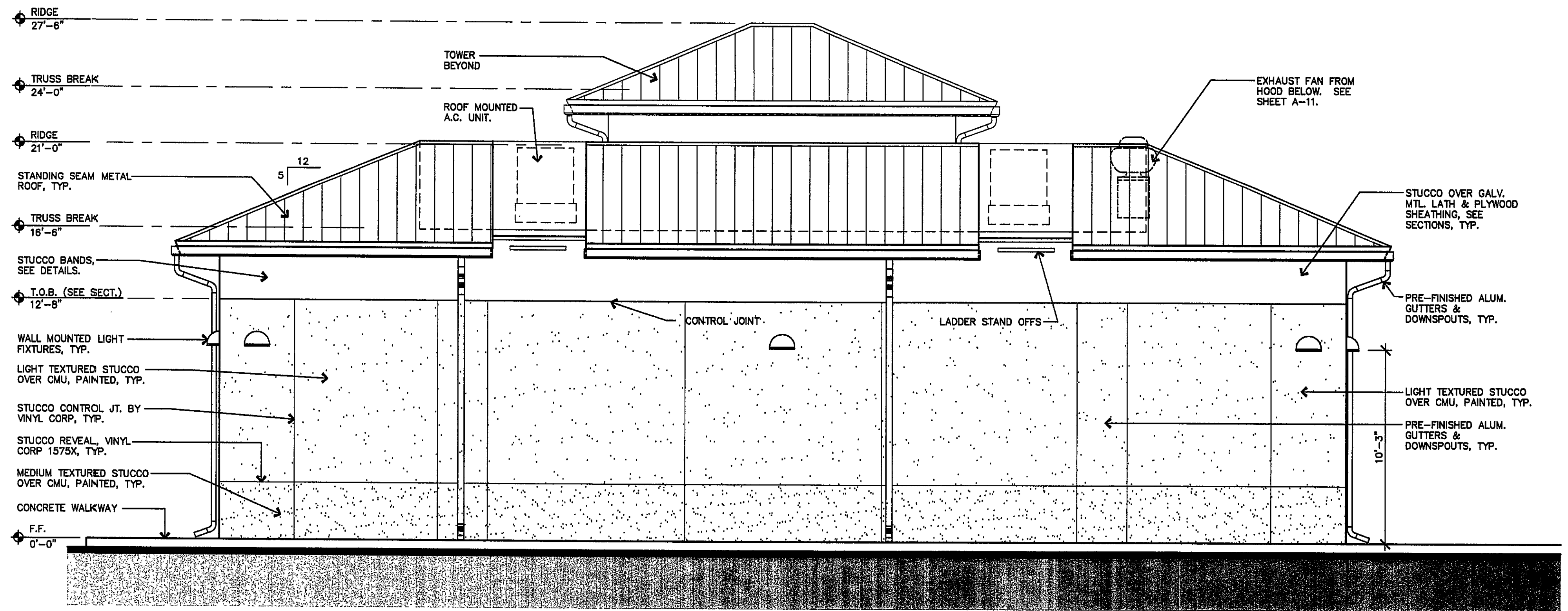
1/4" = 1'-0"

Richard Wensing
6/13/08



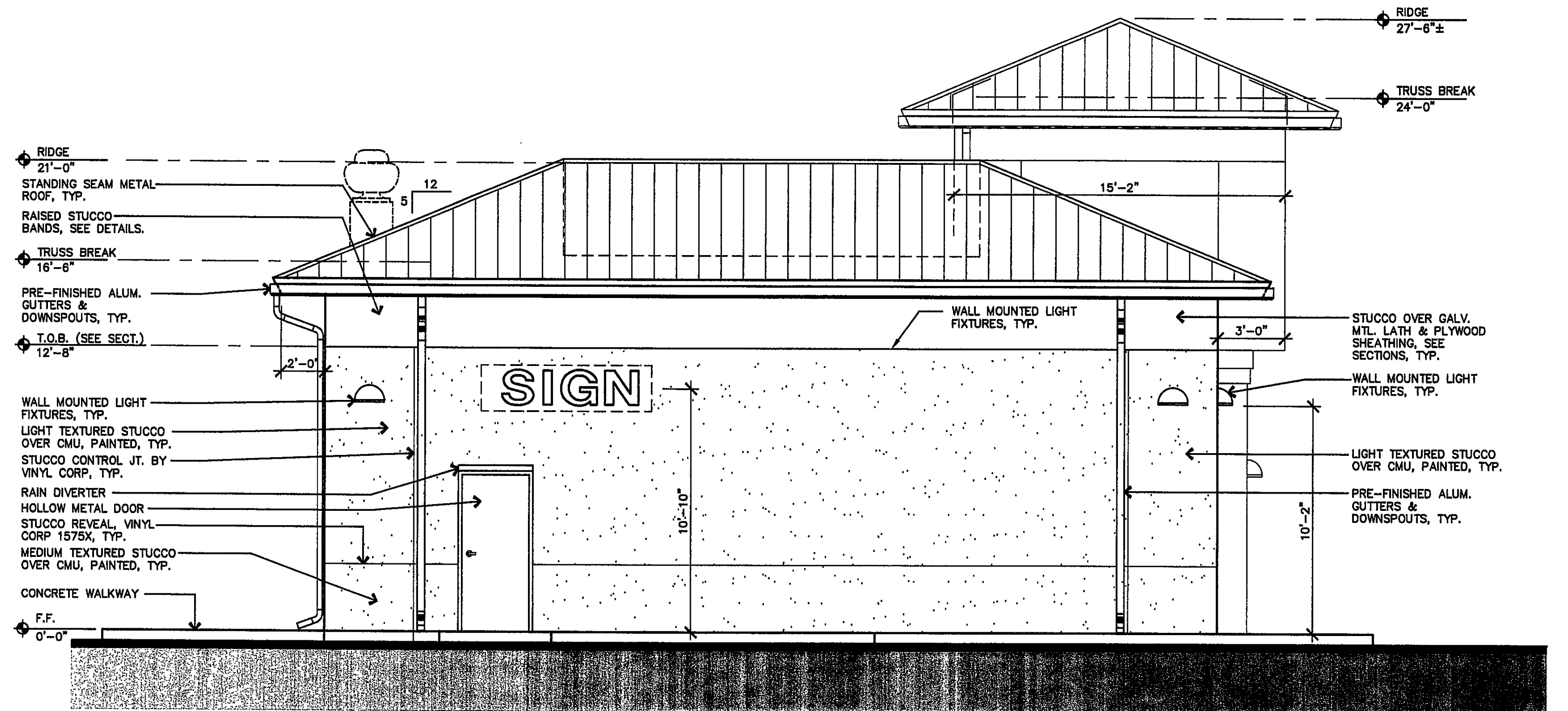
RAISED HEADER DETAIL

1 1/2" = 1'-0"



South Elevation

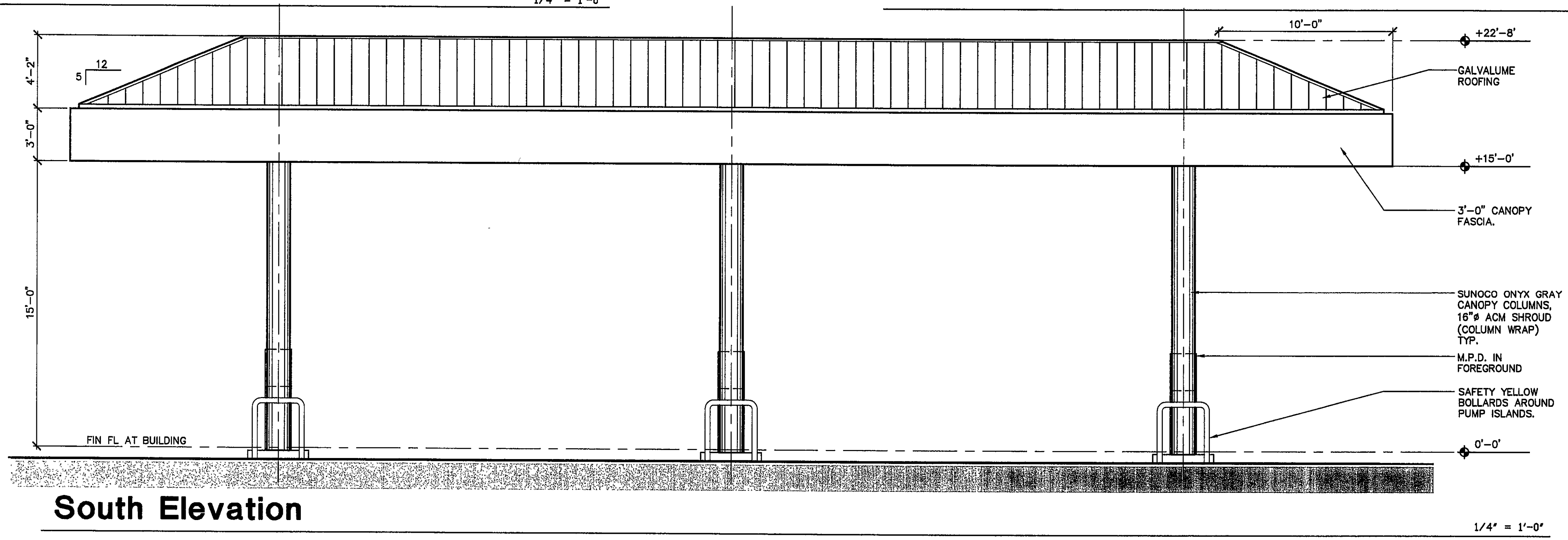
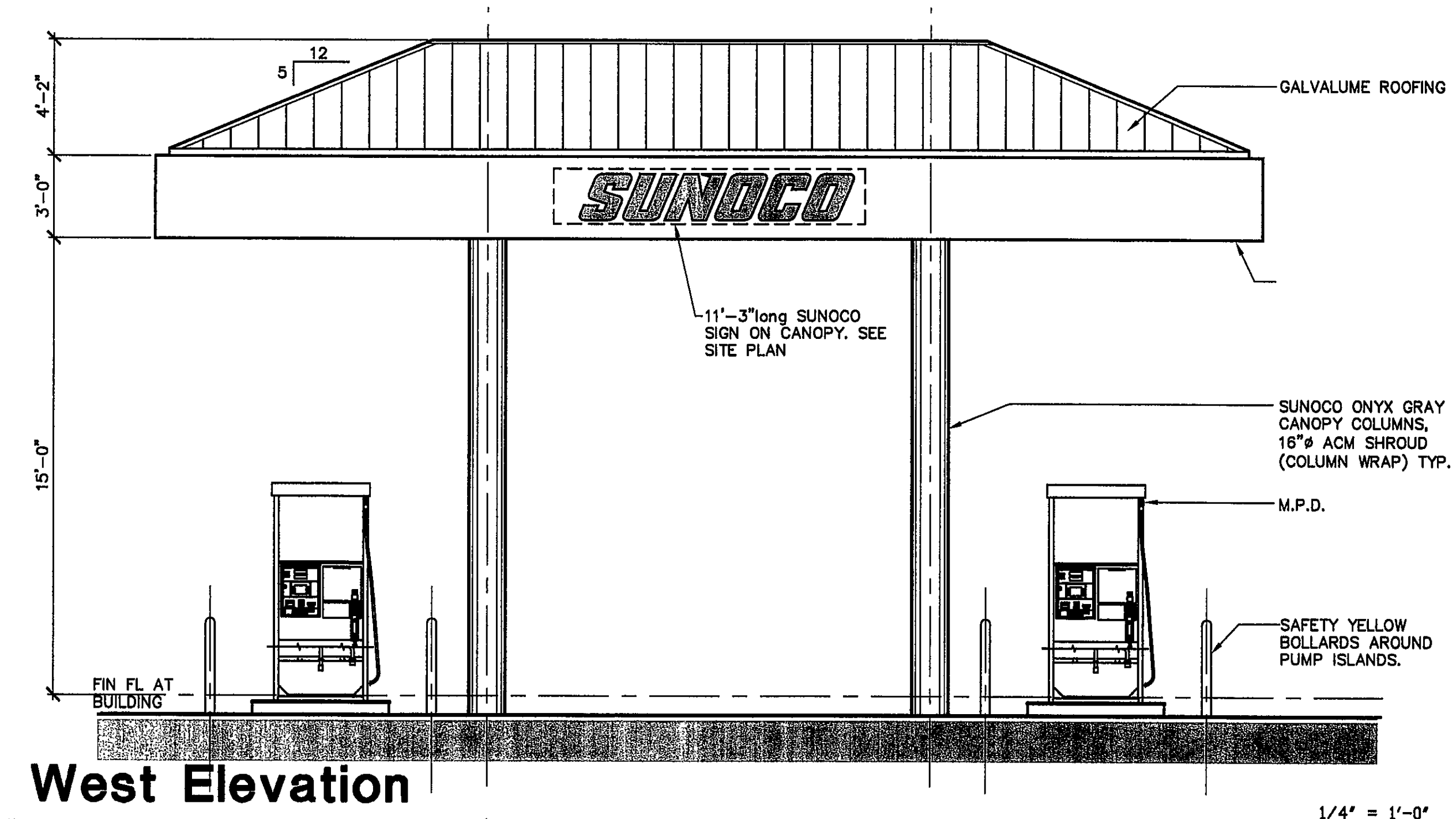
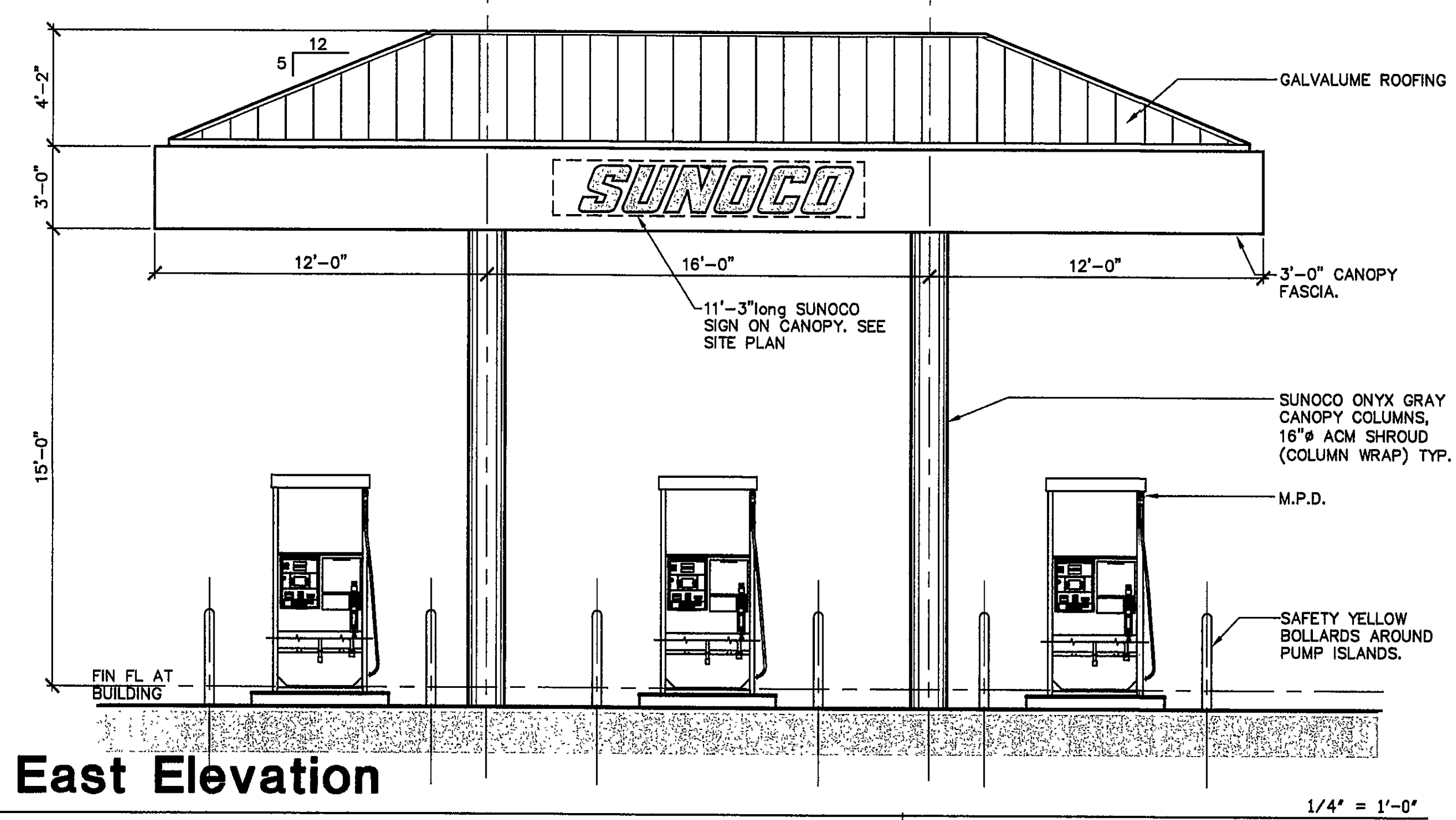
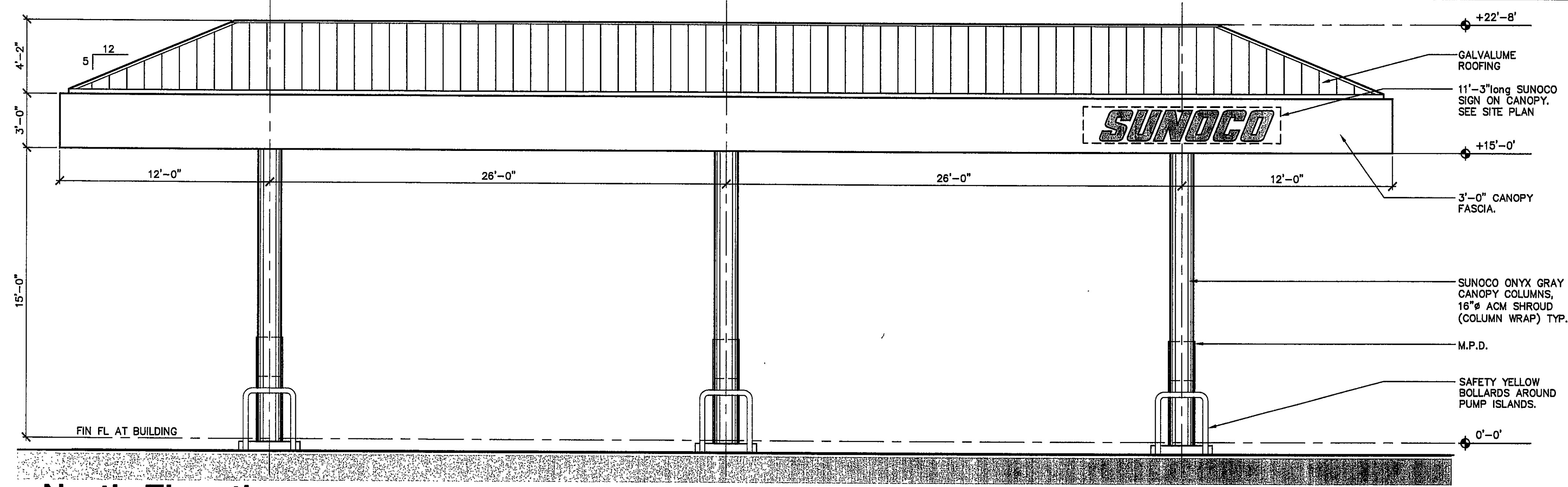
1/4" = 1'-0"



East Elevation

1/4" = 1'-0"

Handwritten signature and date: 6/10/08

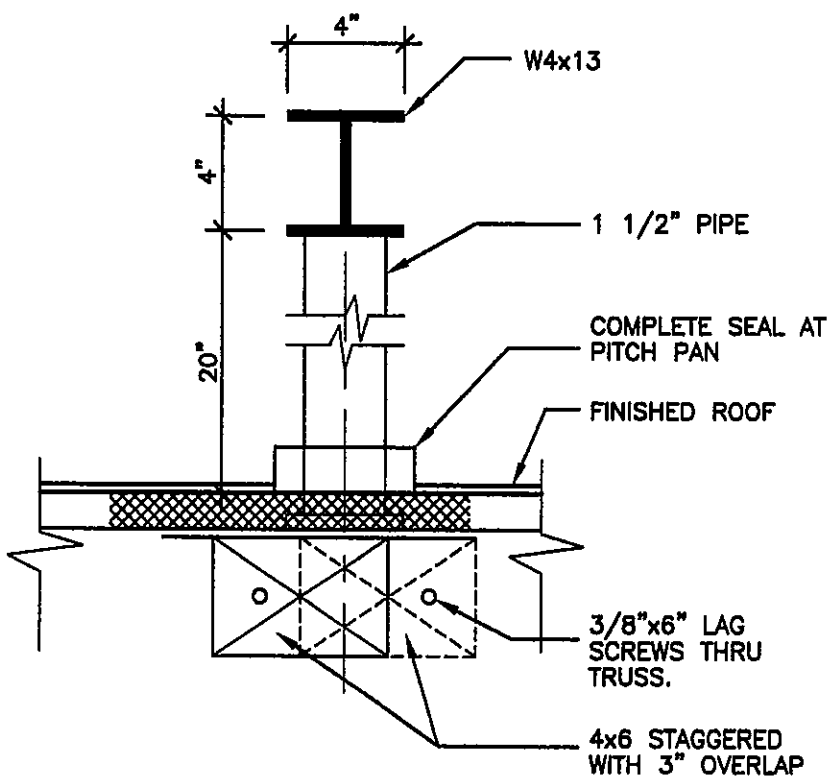


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AR00000000 561-684-1866 FAX 561-684-1861

INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4
CONVENIENCE STORE
FLORIDA 34946
3251 ST. LUCIE BOULEVARD
FORT PIERCE

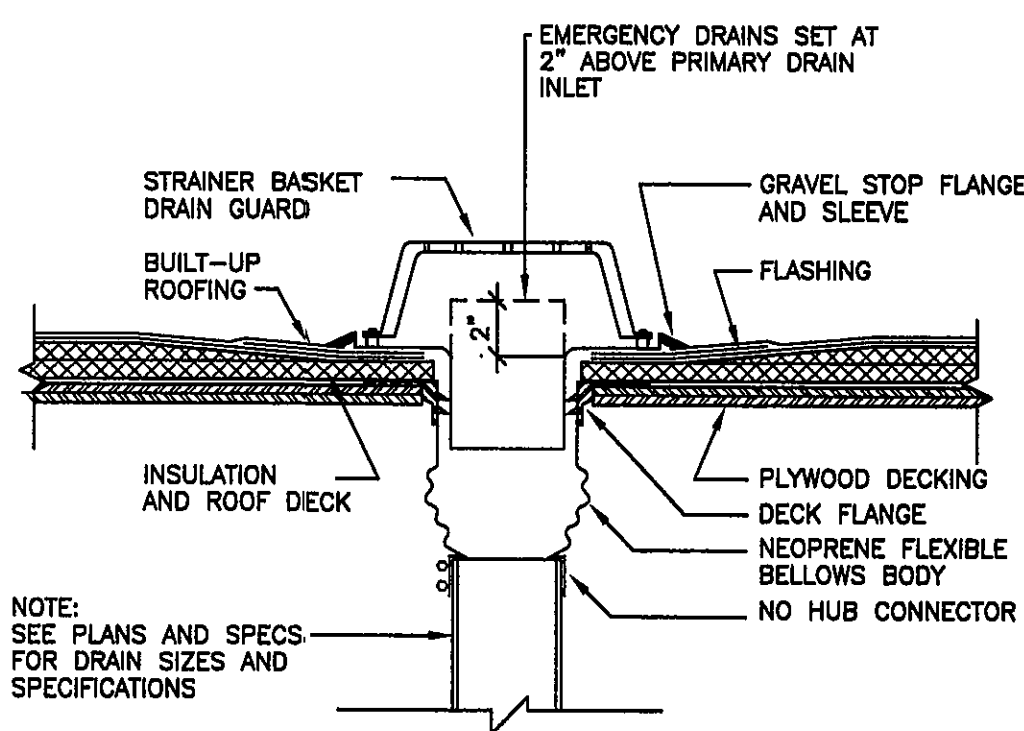
CANOPY ELEVATIONS 28004-A7	DRAWN RW	DATE 05-21-2008
	REVISIONS	
SHEET A-5		
COMM. NO. 28004		

Rich Wensing
5/25/2008

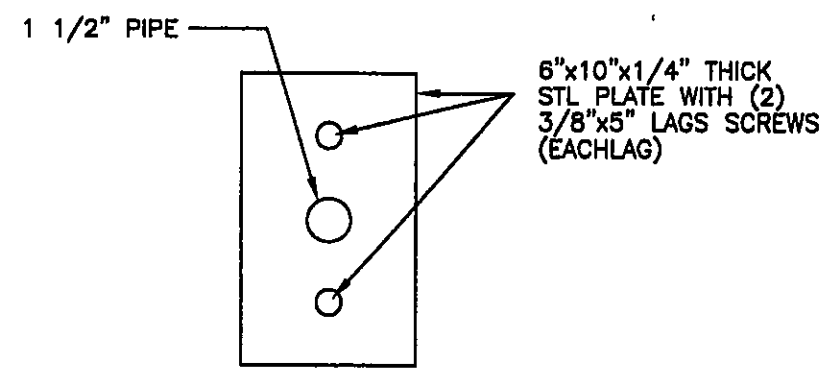


2 Section At Support
A6 NO SCALE

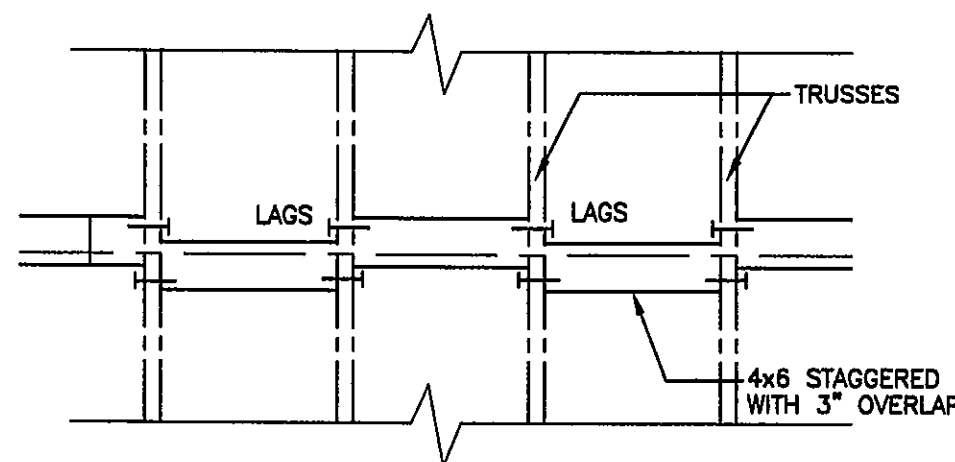
ROOF VENTILATION (1/150)
AREA 2: TRUSS AREA AT FRONT TOWER
AREA = 268 SF
268/150 = 1.78 SF
LINEAR FT. OF 3" VENT = 78.33 LF
78.33 x .25 (3" VENT) x .50 (% OF OPEN AREA IN VENT)
9.8 > 1.78 (OK)
AREA 3: TRUSS OVER HANG AROUND BLDG
AREA = 396 SF
396/150 = 2.64 SF
LINEAR FT. OF 3" VENT = 202 LF
202 x .25 (3" VENT) x .50 (% OF OPEN AREA IN VENT)
25.25 > 2.64 (OK)



1 Roof drain detail
A6 1 1/2" = 1'-0"

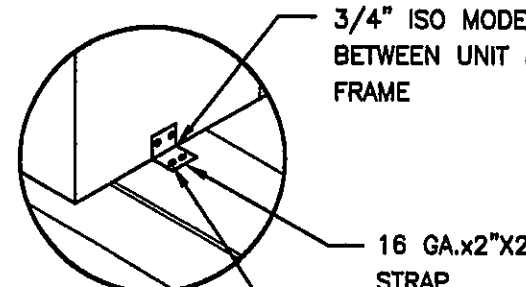


3 Plan
A6 NO SCALE



4 Plan
A6 NO SCALE

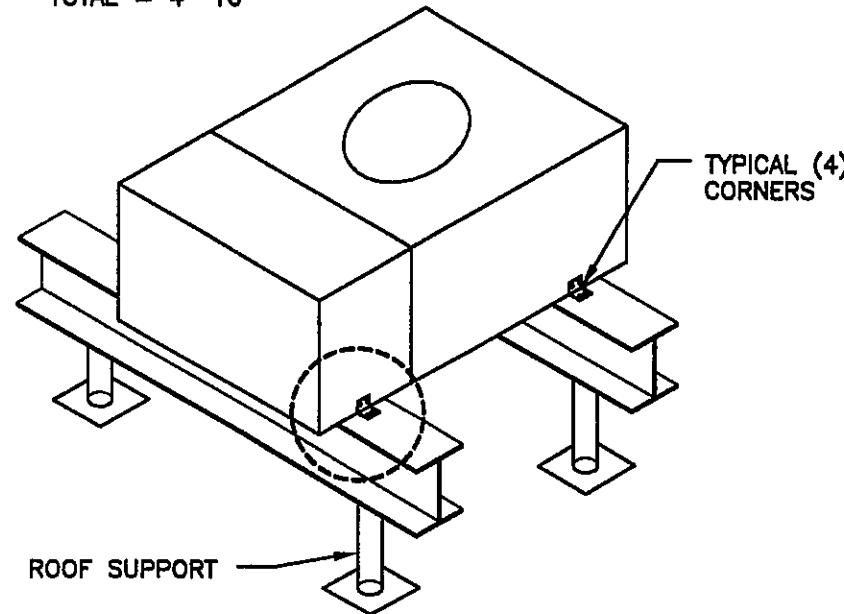
NOTE:
THIS CONNECTION WILL RESIST
THE FORCES REQUIRED FLORIDA BUILDING
CODE, 2004 WITH AMENDMENTS



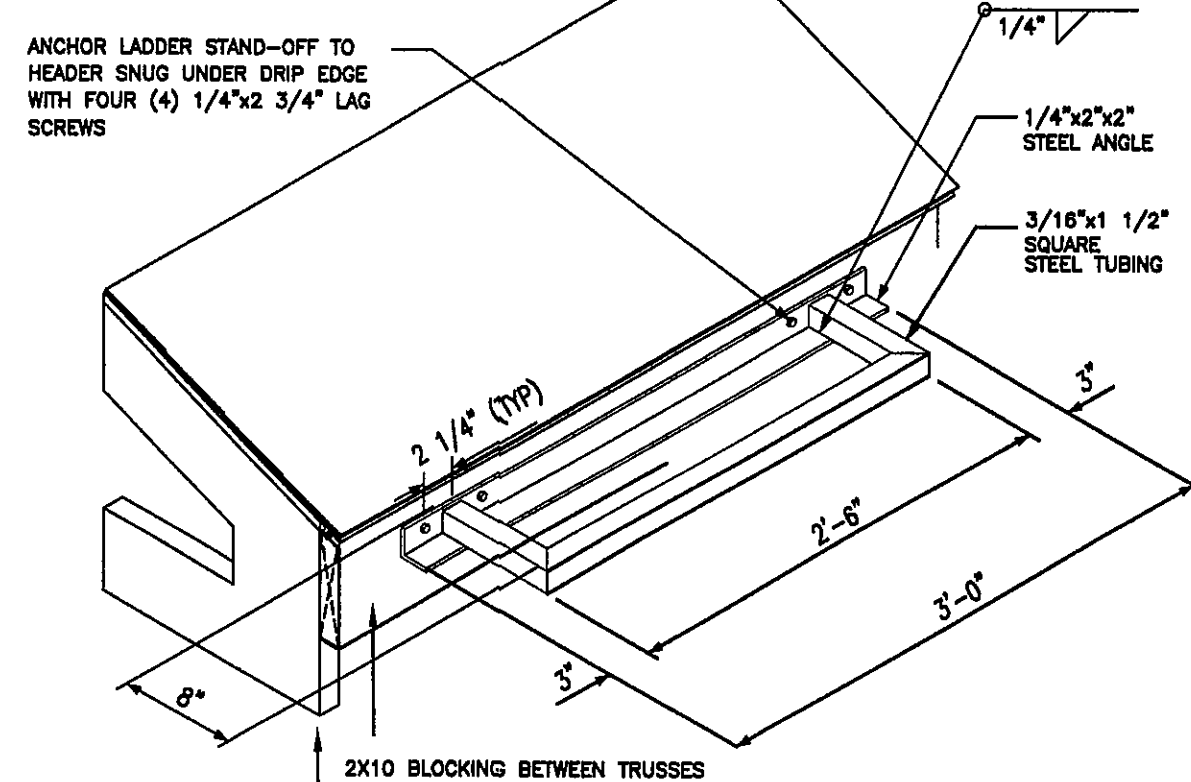
CLEARANCE BELOW RAISED ROOF MOUNTED
MECHANICAL UNITS

WIDTH OF MECHANICAL UNIT (INCHES)	MINIMUM CLEARANCE ABOVE ROOF SURFACES (INCHES)
<24	14
24-36	18
36-48	24
48-60	30
>60	48

COOLER CONDENSING UNIT HEIGHT = 2'-10"
EQUIPMENT RACK HEIGHT = 2'-0"
TOTAL = 4'-10"

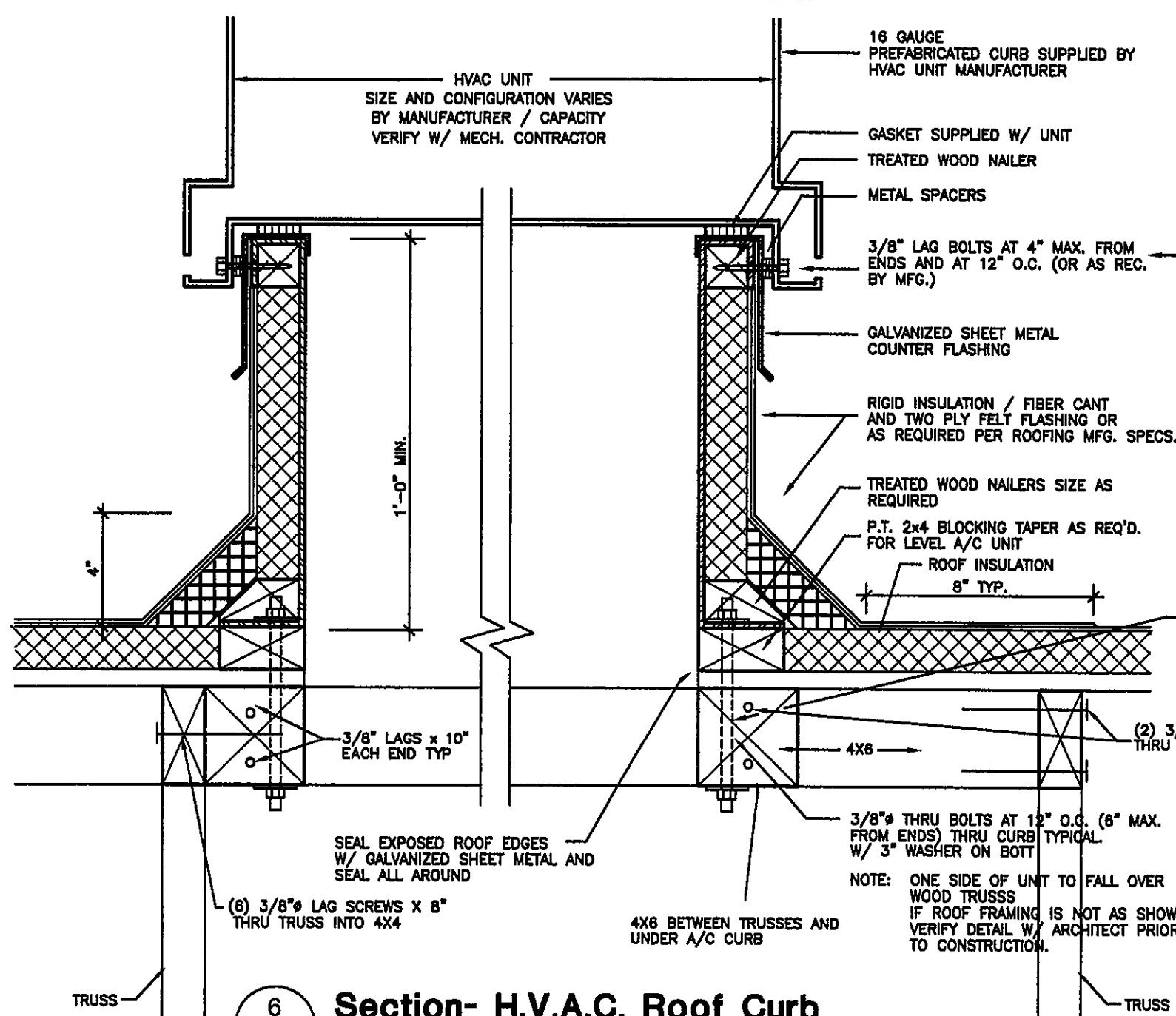


5 Condensing Unit Anchoring Detail
A6 NO SCALE



SEE WALL SECTIONS FOR EXACT CONFIGURATION OF
TRUSS TO MASONRY WALL

ROOF FRAMING AND CURB DETAIL FOR H.V.A.C. UNITS.



6 Section- H.V.A.C. Roof Curb
A6 N.T.S.

ROOF DRAINAGE CALCULATIONS									
BUILDING				ROOF DRAINS & LEADERS					
LOCATION	FLAT AREA FULL ROOF	1/2 PARAPET AREA*	NET AREA (SQ. FT.)	AREA PER LEADER	MIN. SIZE OF VERTICAL R.W.L.	MIN. VERT. LEADER PROVIDED	MIN. SIZE OF HORIZ. R.W.L. @ 1/4" / FT FALL	MIN. HOR. LEADER PROVIDED	SIZE PROVIDED (CLEAR OPENING)
FULL ROOF DRAIN	990	350	1340	447	2" ϕ	4" ϕ	3" ϕ	4" ϕ	
SECONDARY ROOF DRAINAGE CALCULATIONS									
BUILDING				EMERGENCY OVERFLOW SCUPPERS					
LOCATION	FLAT AREA	1/2 PARAPET AREA*	NET AREA (SQ. FT.)	AREA PER SCUPPER/ DRAIN (SQF)	MIN. SIZE OF HORIZONTAL R.W.L.	MIN AREA OF DRAIN	MIN. AREA OF SCUPPER (3 x AREA OF DRAIN)	MIN. SIZE LENGTH x HT.	SIZE PROVIDED (CLEAR OPENING)
FULL ROOF DRAIN	990	350	1340	447	3" ϕ	7.07" ϕ	21.2" ϕ	PAR. 1107.3	4" ϕ = 12.56 SQ. IN. 6" ϕ = 28.26 SQ. IN. 8" ϕ = 50.25 SQ. IN.
				*NOTE 7	*NOTE 6				

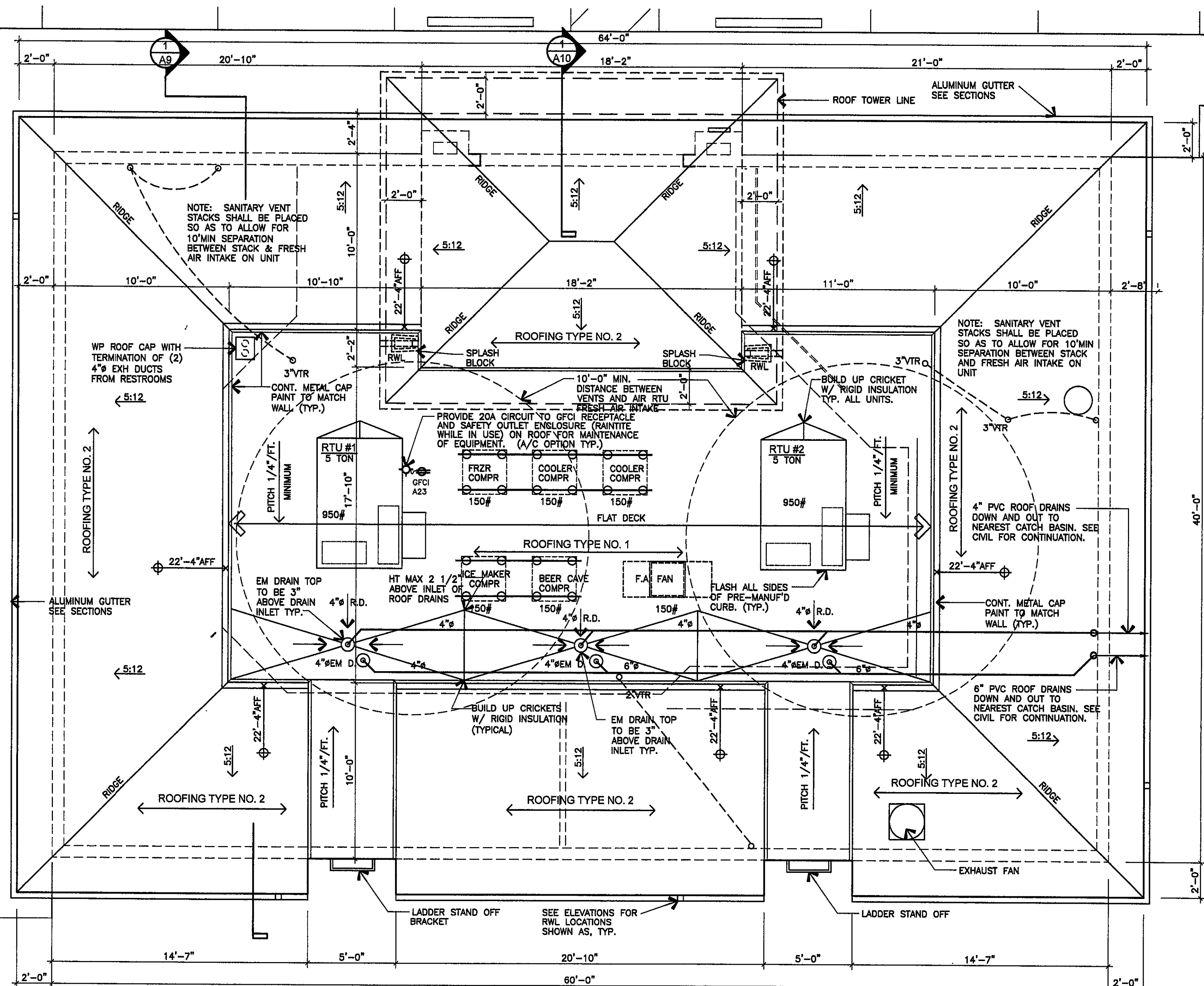
MIN. ROOF CONSTRUCTION R-VALUE

OUTDOOR AIR FILM	R = .25
ROOF INSULATION	R = 30.00
ROOF DECKING	R = .78
INDOOR AIR FILM	R = .68
TOTAL "R" VALUE	O.A. R=31.71

MIN. INSULATION VALUE AT FLAT ROOF DECK AREAS.

- NOTES:
- SCUPPERS ADJ MAIN DRAINS ALSO ACT AS OVERFLOW WHEN WATER DEPTH ON ROOF EXCEEDS 2".
 - NOT USED
 - NOT USED
 - NOT USED
 - FLAT ROOF AREAS INCLUDE REAR AND SIDE SLOPES OF TOWERS AND HIP ROOFS WHICH DRAIN TO FLAT ROOF.
 - RAINFALL = 4.5 INCHES PER HOUR, PER FIGURE 1106.1.
 - AREA VALUES INTERPOLATED FROM TABLES 1106.2 & 1106.3

AREA PER DRAIN (SCUPPER) DOUBLED = SAME AS DIVIDING AREAS IN TABLES 1106.2 & 1106.3 BY 2.



Roof Plan

APPROVED ROOFING SYSTEMS:

ROOFING TYPE NO. 1

METAL ROOFING SHALL BE ENGLERT SERIES 2000 WITH 12" COVERAGE. FINISH TO BE METAL GALVALUME COLOR, WITH ALL ACCESSORIES OVER INSTALLED AS PER MANUFACTURER'S RECOMMENDATION OVER 30# FELT TIN TAGGED TO 5/8" SOLID PLYWOOD SHEATHING. ROOF MANUFACTURER TO PROVIDE CERTIFICATION THAT ROOFING SUPPLIED OVER UNDERLAYMENT SPECIFIED WILL PROVIDE COMPLETE WATERPROOF ASSEMBLY FOR 140 MPH WIND LOADING REQUIREMENTS.

ROOF BOND:

PROVIDE MFG. 15 YEAR "NOL" WARRANTY. (SEE NOTE BELOW)

PROVIDE MANUFACTURERS 15-YEAR WARRANTY, WHICH BEGINS AFTER THE DATE OF SUBSTANTIAL COMPLETION, AND COVERS THE ROOFING MEMBRANE, ASSOCIATED FLASHING, ROOF INSULATION, ROOF ACCESSORIES, VAPOR BARRIER (IF ANY) AND LABOR UTILIZED IN THE INSTALLATION OF THE WARRANTED MATERIALS. THE 15-YEAR WARRANTY SHALL COVER THE ENTIRE ROOF SYSTEM AND ALL RELATED COMPONENTS WITH NO MONETARY LIMIT. WITH NON-PRORATED COVERAGE AS ISSUED BY THE MEMBRANE MANUFACTURER, THE ROOFING CONTRACTOR & GENERAL CONTRACTOR SHALL PROVIDE A 5 YEAR WORKMANSHIP AND WATERTIGHT WARRANTY INDEPENDENT OF THE MEMBRANE MANUFACTURER'S 15 YEAR WARRANTY.

THE 5 YEAR WORKMANSHIP WARRANTY SHALL COVER ALL SHEET METAL WORK, INCLUDING COPINGS, RELATED TO THE MEMBRANE ROOF INSTALLATION.

RICHARD WENSING
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INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4

CONVENIENCE STORE
FLORIDA 34946

3051 ST. LUDE BOULEVARD
FORT PIERCE

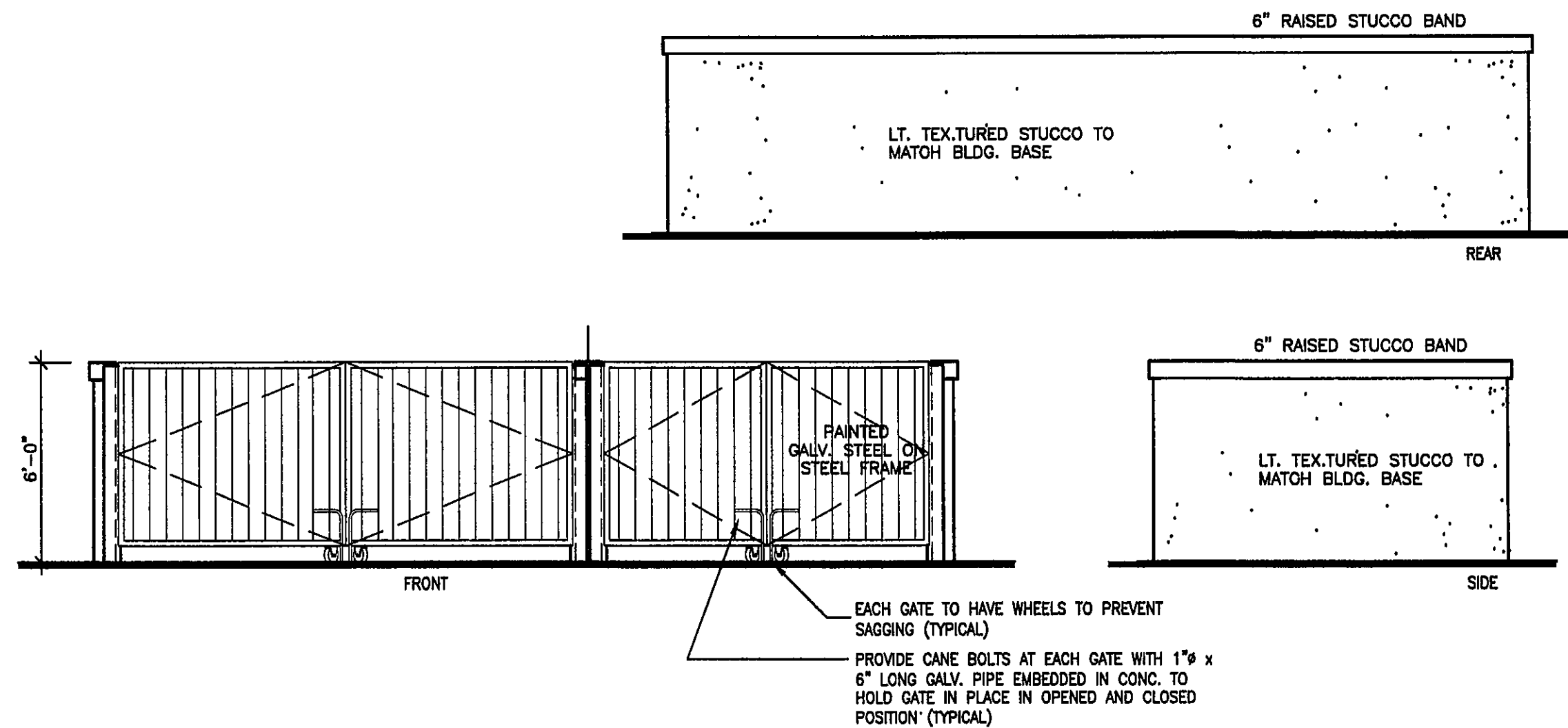
ROOF PLAN & DETAILS
28004-A6

REVISIONS

SHEET

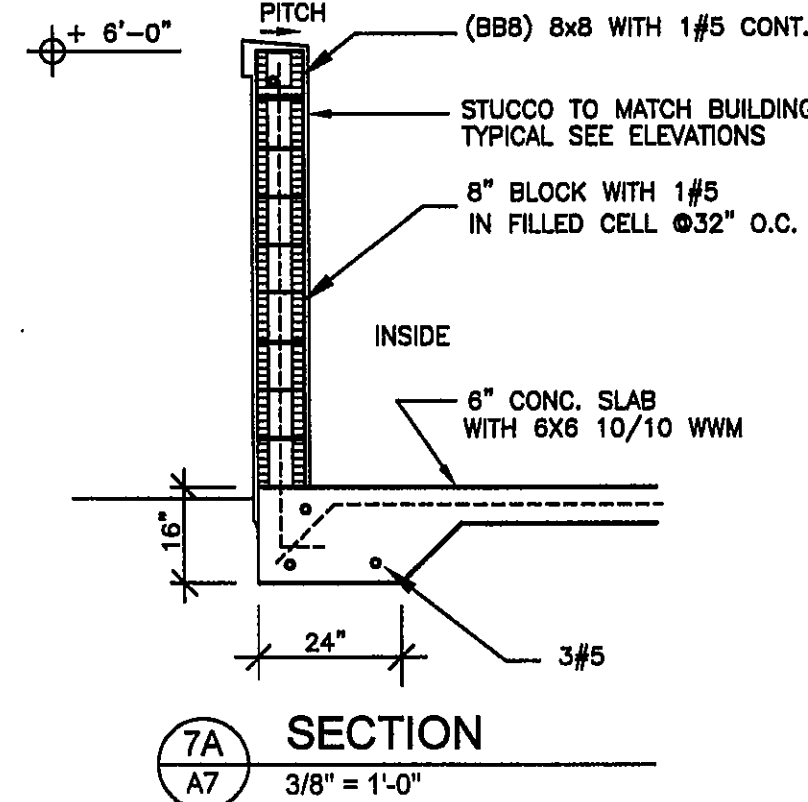
A-6

COMM. NO.
28004



DUMPSTER ELEVATIONS

1/4" = 1'-0"



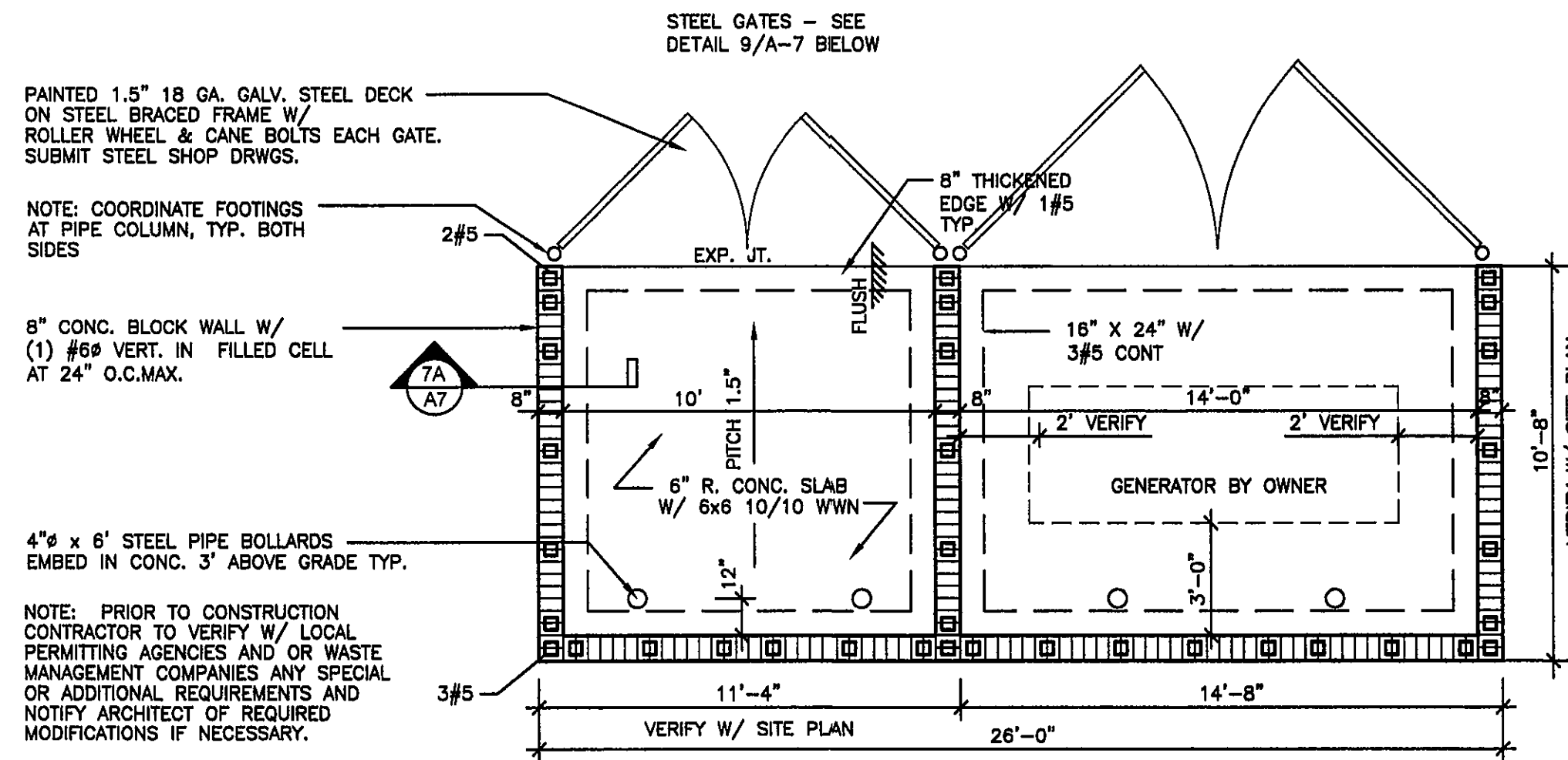
SECTION

3/8" = 1'-0"

MASONRY ENCLOSURE W/ STEEL GATES:

8" x 6" HIGH MASONRY ENCLOSURE W/ TYPE 12 GALVANIZED PAINTED STEEL GATES ON ANGLE FRAME (SEE SCHEMATIC DETAIL) INDUSTRIAL GRADE CANE DROP BOLTS (FOR HOLD OPEN AND SECURE CLOSE POSITIONS) WITH PADLOCK HASP AND GALVANIZED SURFACED MOUNTED BOLT ON SELF CLOSING HINGES OR EQUAL.

STEEL FABRICATOR TO SUBMIT SHOP DRAWINGS AS PART OF STEEL SUBMITTAL PACKAGE FOR ALL GATES.

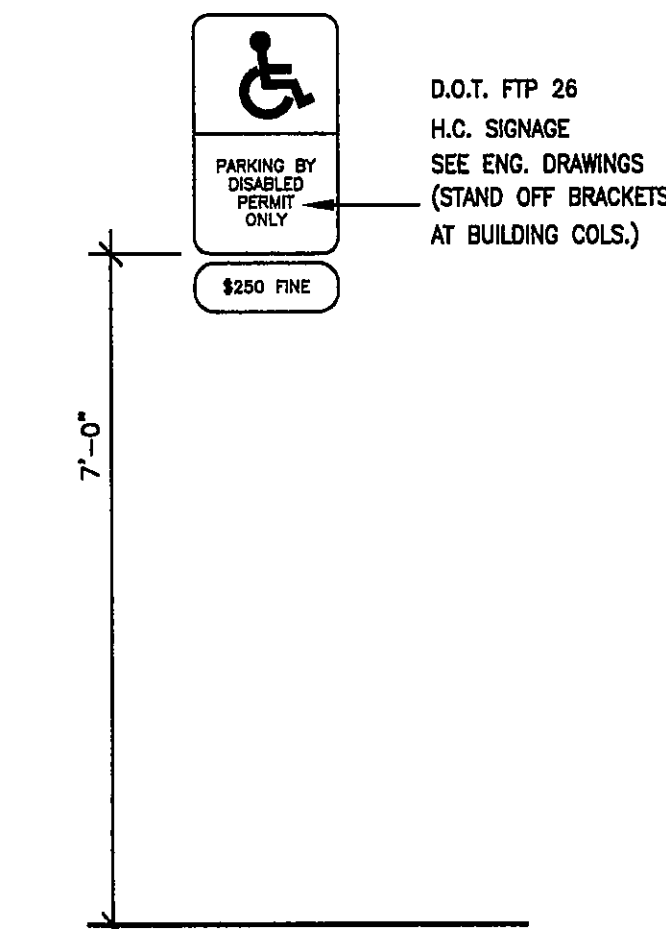


DUMPSTER PLAN

1/4" = 1'-0"

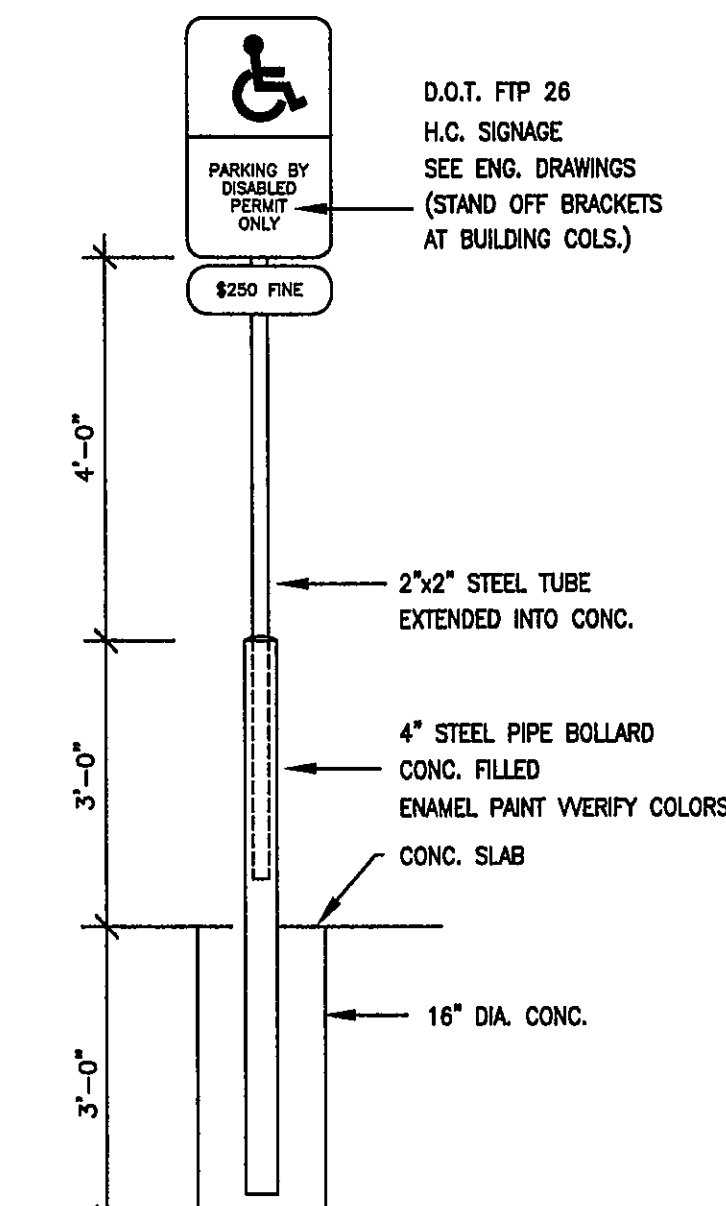
DUMPSTER DETAILS

AS NOTED



BLDG MOUNTED H.C. SIGN

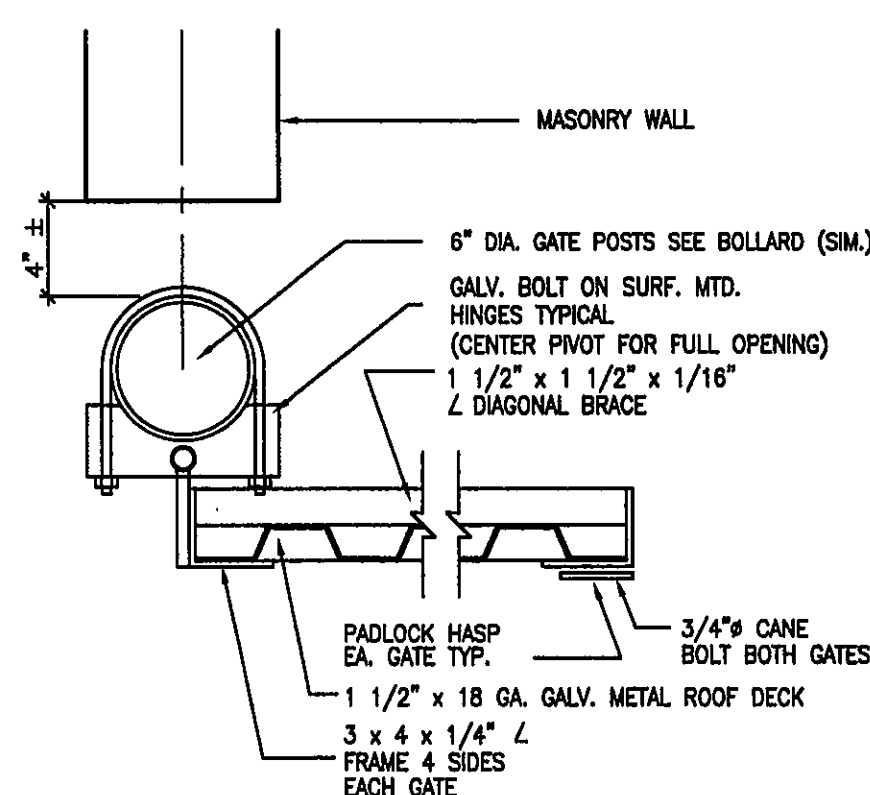
1/4" = 1'-0"



FREE STANDING H.C. SIGN MOUNTING DTL.

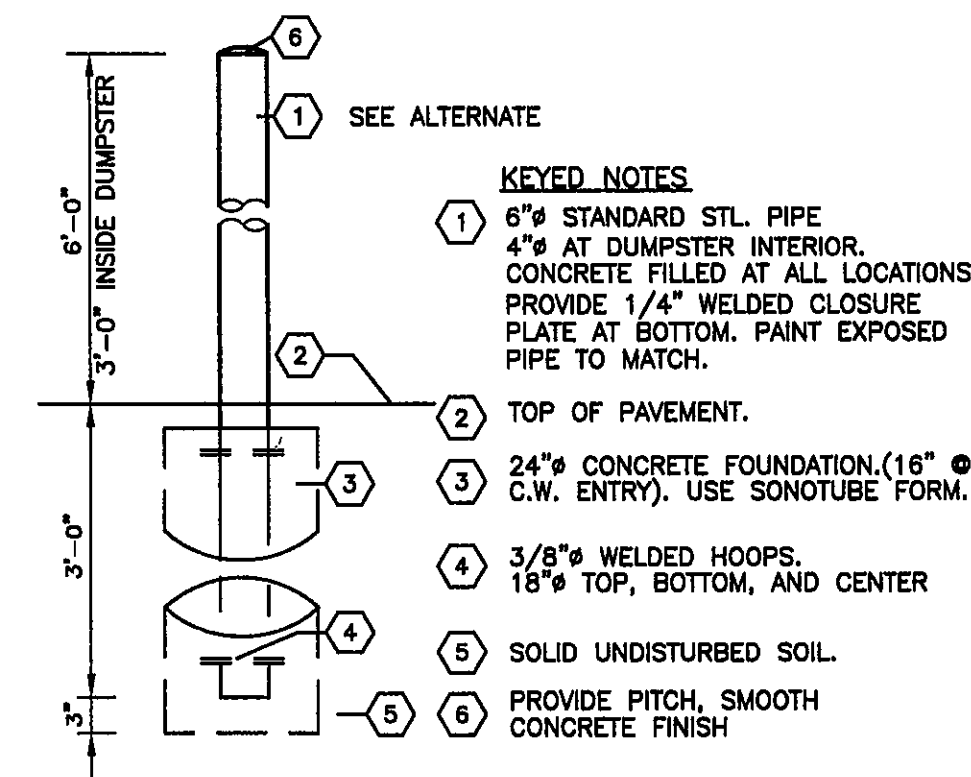
1/4" = 1'-0"

NOTE: ALL DUMPSTER GATES TO BE SELF-CLOSING. VERIFY HINGE / DETAIL PRIOR TO CONSTRUCTION



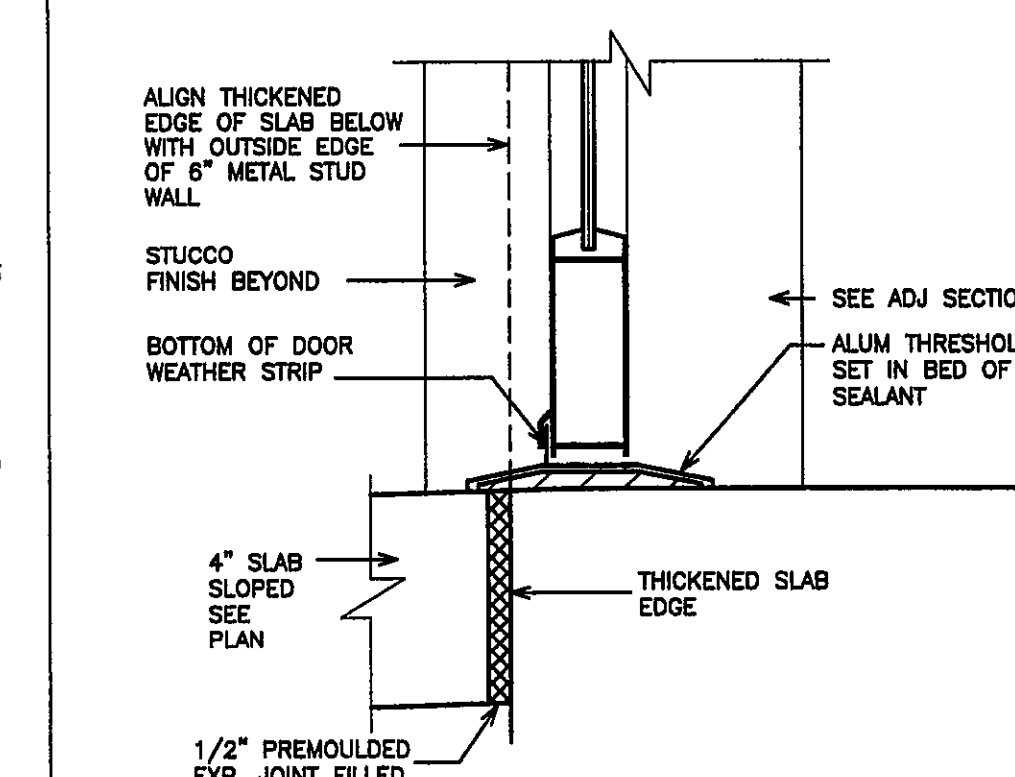
GATE DETAIL

1 1/2" = 1'-0"



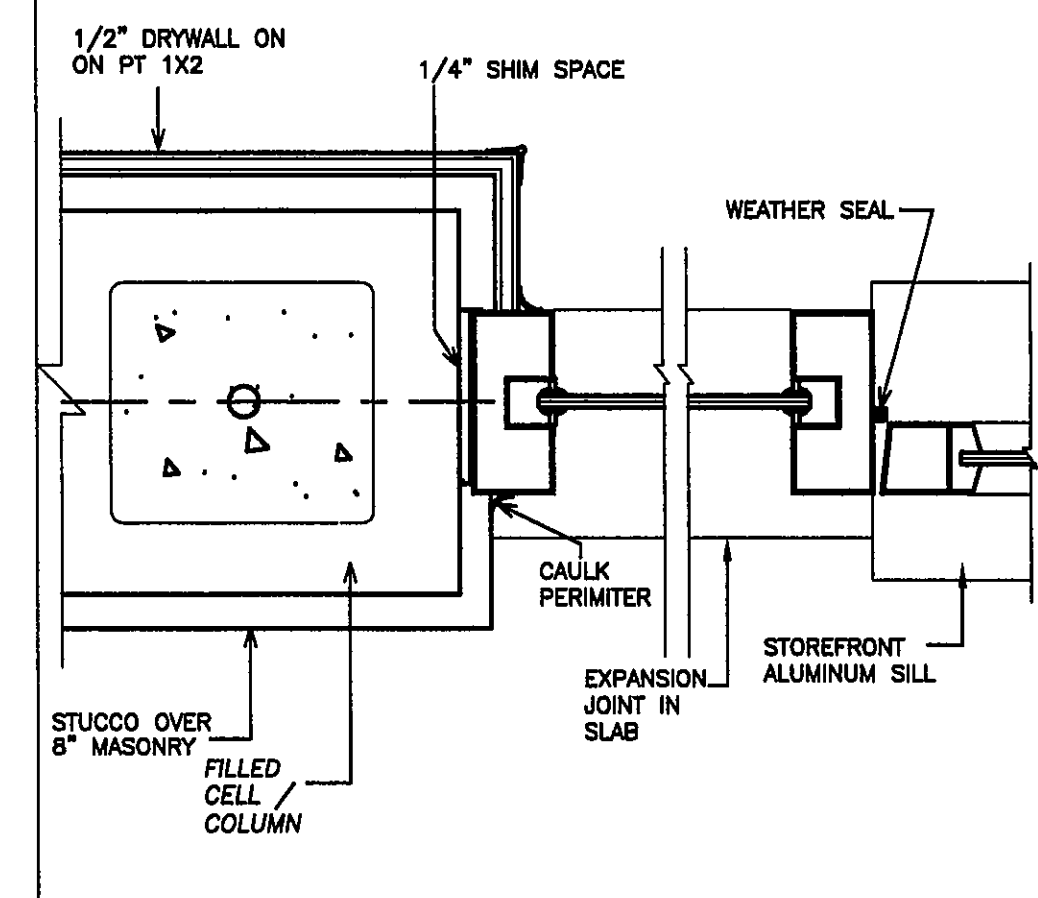
BOLLARD DETAIL

1 1/2" = 1'-0"



STOREFRONT SILL DTL

3" = 1'-0"



STOREFRONT DOOR JAMB

3" = 1'-0"

STOREFRONT DOOR HEAD DTL

3" = 1'-0"

H. MTL DOOR HEAD

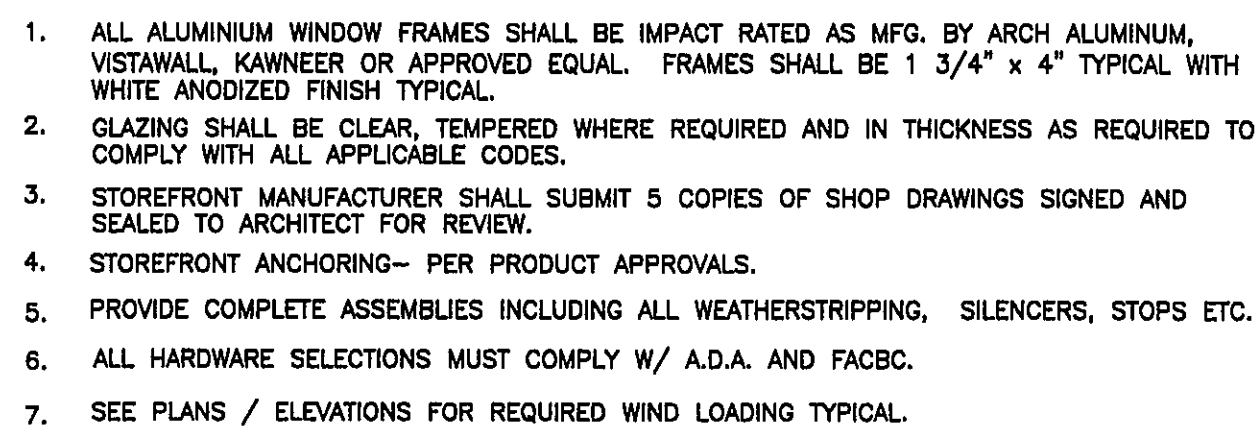
3" = 1'-0"

H. MTL DOOR SILL

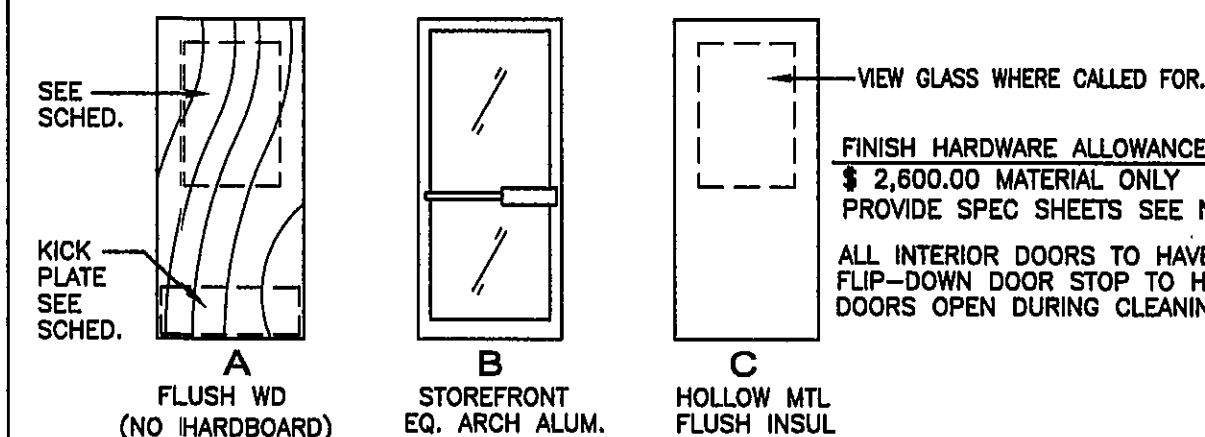
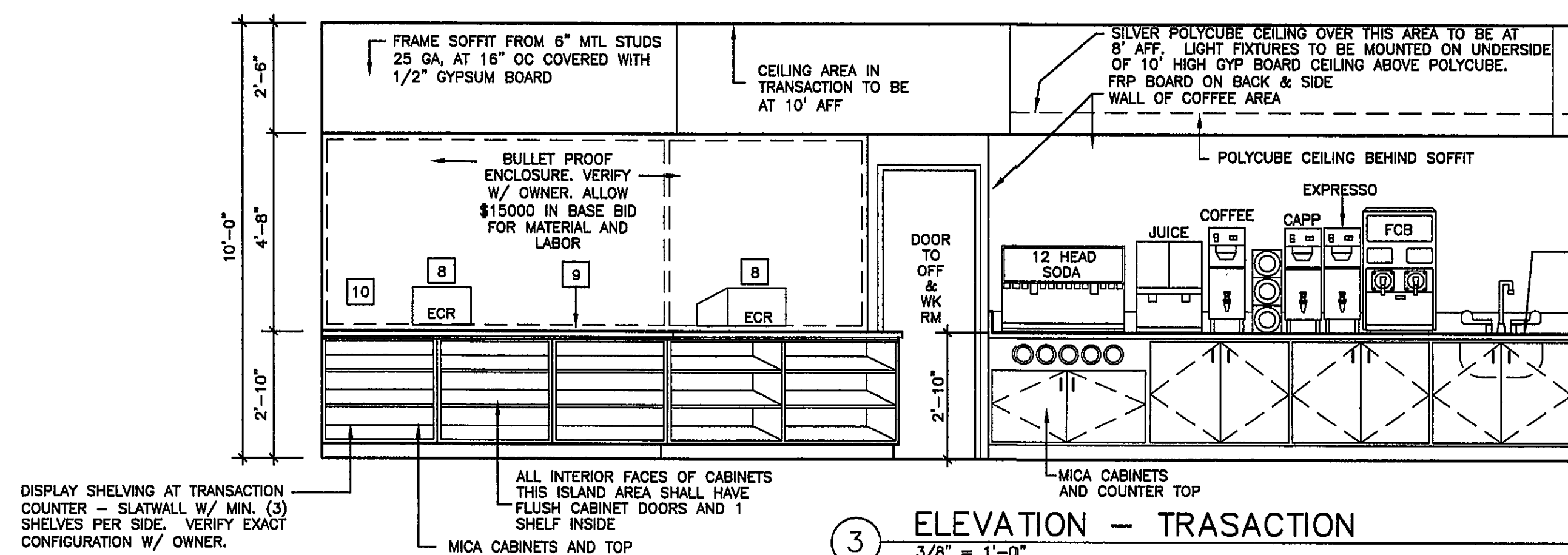
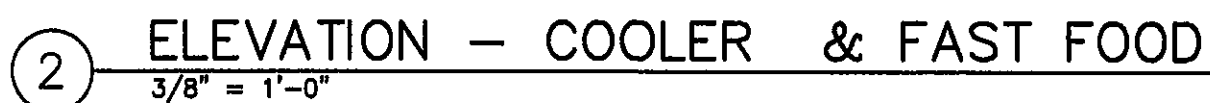
3" = 1'-0"

H. MTL DOOR JAMB

3" = 1'-0"



STOREFRONT CONTRACTOR TO SUPPLY REQUIRED ENGINEERED PRODUCT
APPROVALS AS REQUIRED FOR ALL PERMIT APPLICATIONS


$$\frac{1}{4}'' = 1'-0''$$

$$3/8" = 1'-0"$$
[illegible]

NOTE: DOORS 6 SHALL HAVE TIME DELAY BAR
WITH ALARM - STANDARD MORTISE CYLINDER.
* DETEK DELAY ALARM OR EQUAL

NOTE: DOOR 6 TO HAVE SIGN ADJACENT DOOR
"DOOR TO REMAIN UNLOCKED DURNING BUSINESS
HOURS"

[illegible]

CABINETS SHOWN ARE SCHEMATIC IN NATURE. CABINET CONTRACTOR TO VERIFY EQUIPMENT SIZES AND REQUIREMENTS W/ OWNER AND SUBMIT SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND OWNER PRIOR TO FABRICATION. ALL HARDWARE TO BE OF BETTER THEN AVERAGE GRADES AND TO BE SELECTED BY OWNER. ALLOW BABINET ALLOWANCE OF \$ 12,000.00.

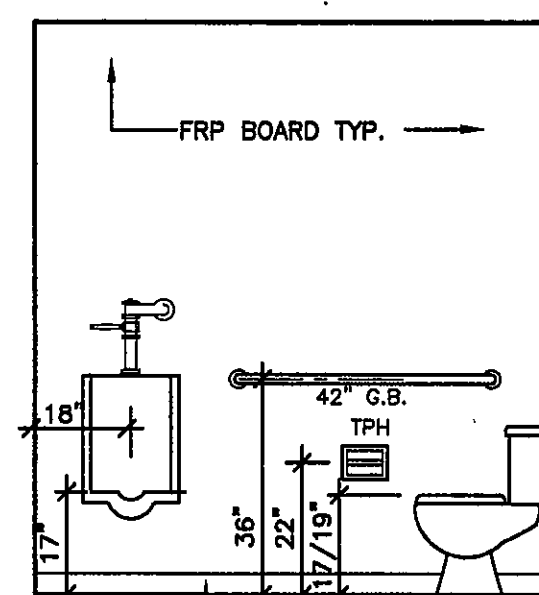
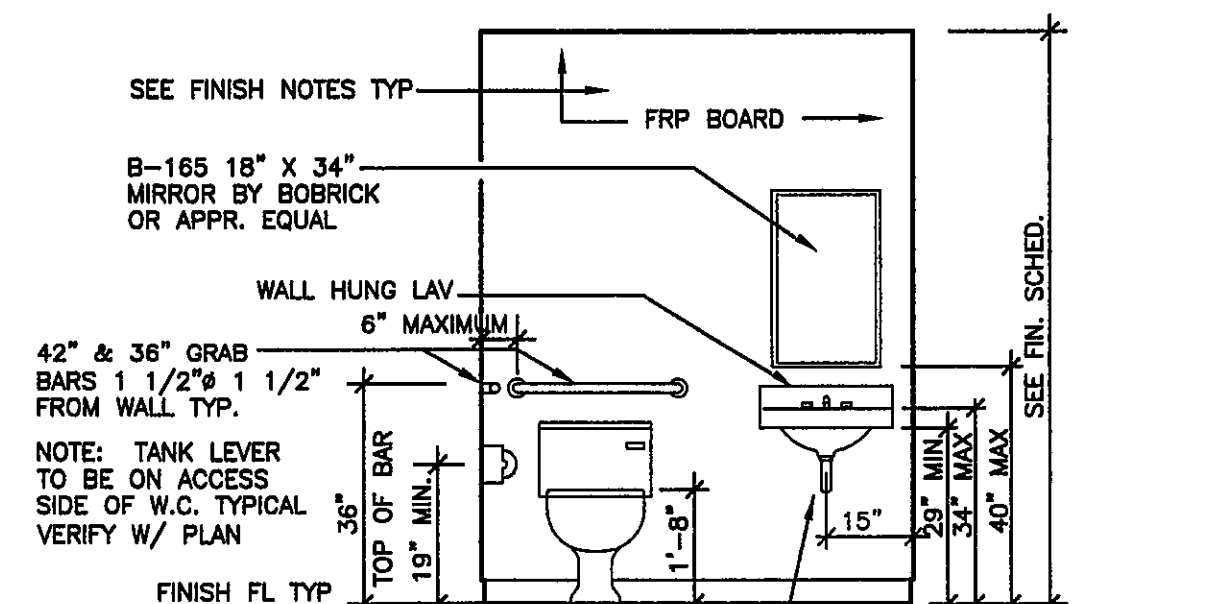
STEEL CABINETS IF REQ'D BY OWNER TO BE UNDER ALLOWANCE.

TRANSACTION COUNTER:
COLORS TO BE SELECTED. PROVIDE TILE BASE ALL
SIDES. INTERIOR TO BE CLOSED SHELVING, EXTERIOR SHELVING TO BE RECESSED UNDER
COUNTER TOP. VERIFY UNDERCOUNTER REQMT'S, GLASS CAB. LGS., SHELVING
ETC. WITH TENANT / OWNER PRIOR TO PRODUCING SHOP DRAWINGS TYPICAL.

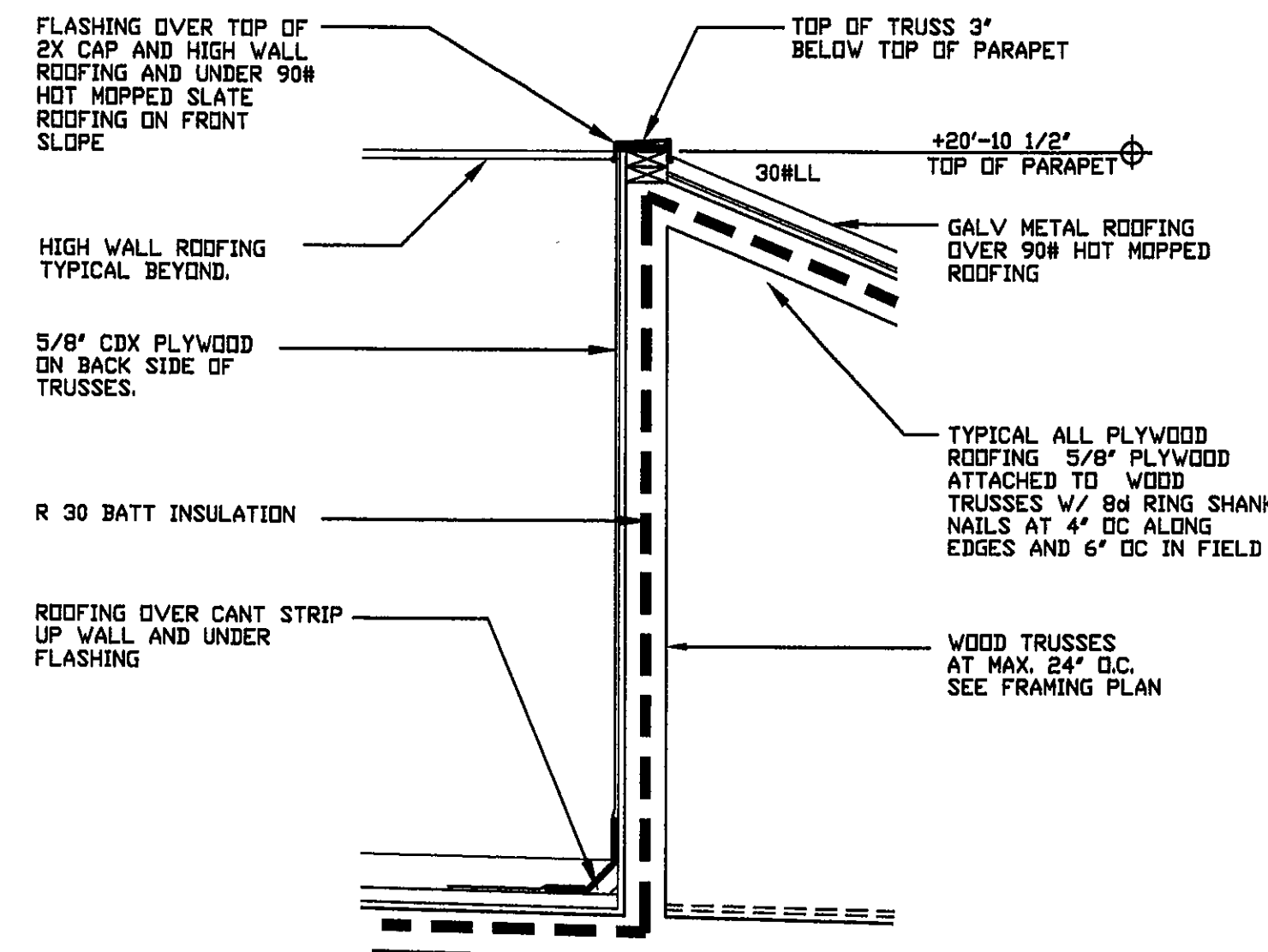
NOTE: ALL FLOOR SINKS FOR INDIRECT WASTE OF COUNTERTOP ITEMS SHALL BE ACCESSIBLE THRU REMOVEABLE BASE OR THRU CAB. BOTTOM FOR CLEANING TYP.

NOTE: ALL INSTALLATIONS MUST COMPLY WITH STATE OF FLORIDA HANDICAPPED ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND AMERICANS W/ DISABILITY ACT. PROVIDE SIGNAGE AT DOORS TO COMPLY W/ ALL A.D.A. REQUIREMENTS.

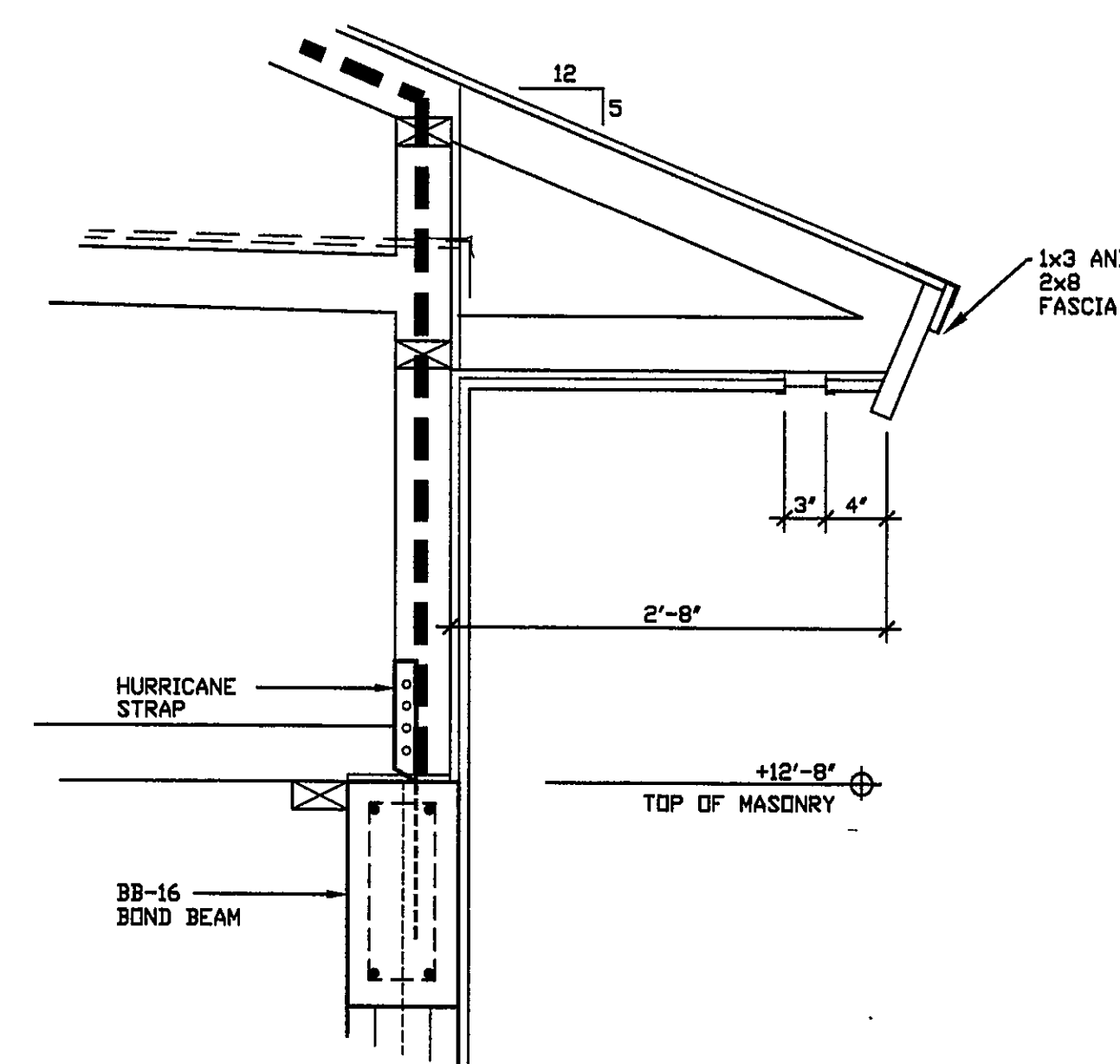
ALL MARLITE WALL PANELS TO BE OVER 1/2" M.R. GYPSUM BOARD TYP.
MARLITE TO INCLUDE ALL TRIM PIECES FOR A COMPLETE INSTALLATION.


$$3/8'' = 1'-0''$$

$$3/8'' = 1'-0''$$

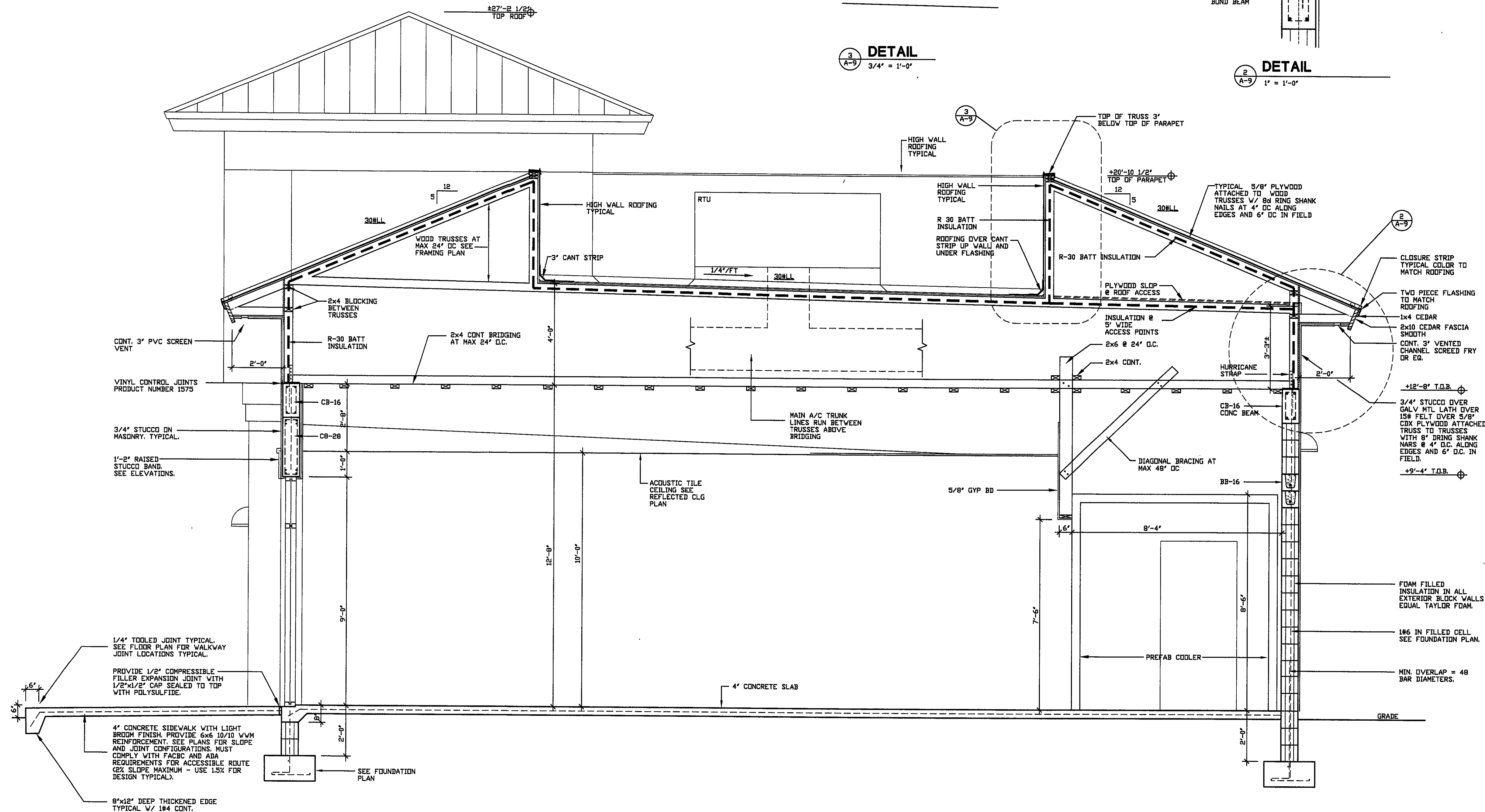
5 SIMILAR BUT OPPOSITE HAND



3
A-9
3/4" = 1'-0"



2
A-9
1" = 1'-0"



1
A-9
1/2" = 1'-0"

Rollin
6/13/08

GENERAL NOTES

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.

THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR A COMPLETE RETAIL STORE AS INDICATED ON THESE DRAWINGS.

ALL DIMENSIONS, SPECIFICATIONS, AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

CONTRACTOR SHALL MAKE NO CHANGES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT OR TENANT.

ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.

GENERAL CONTRACTOR SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS.

GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES, SUB-CONTRACTOR PERMIT FEES AND (IF REQUESTED) IMPACT FEES.

CONTRACTOR IS TO PLAN THE CONSTRUCTION PROCESS AND PROCEED IN A MANNER WHICH WILL CAUSE THE LEAST IMPACT ON THE ADJOINING COMMON AREAS, IN ORDER TO MINIMIZE INCONVENIENCE TO THE TENANTS.

MATERIALS OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTRUCTIONS.

ALL NEW CONSTRUCTION MUST MEET FACBC & ADA BARRIER FREE REQUIREMENTS.

GYPSUM WALL BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM 'GYPSUM CONSTRUCTION HANDBOOK'. ALL GYP. BD. ON PLUMBING WALLS IN REST ROOMS AND IN MOP SINK CL. TO BE MOISTURE RESISTANT.

GENERAL CONTRACTOR SHALL COORDINATE & INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY SHELVING, TOILET ACCESSORIES, PLUMBING AND LIGHTING FIXTURES, ETC.

CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH TENANT/OWNER.

CONTRACTOR SHALL COORDINATE WITH OWNER ALL WORK AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.

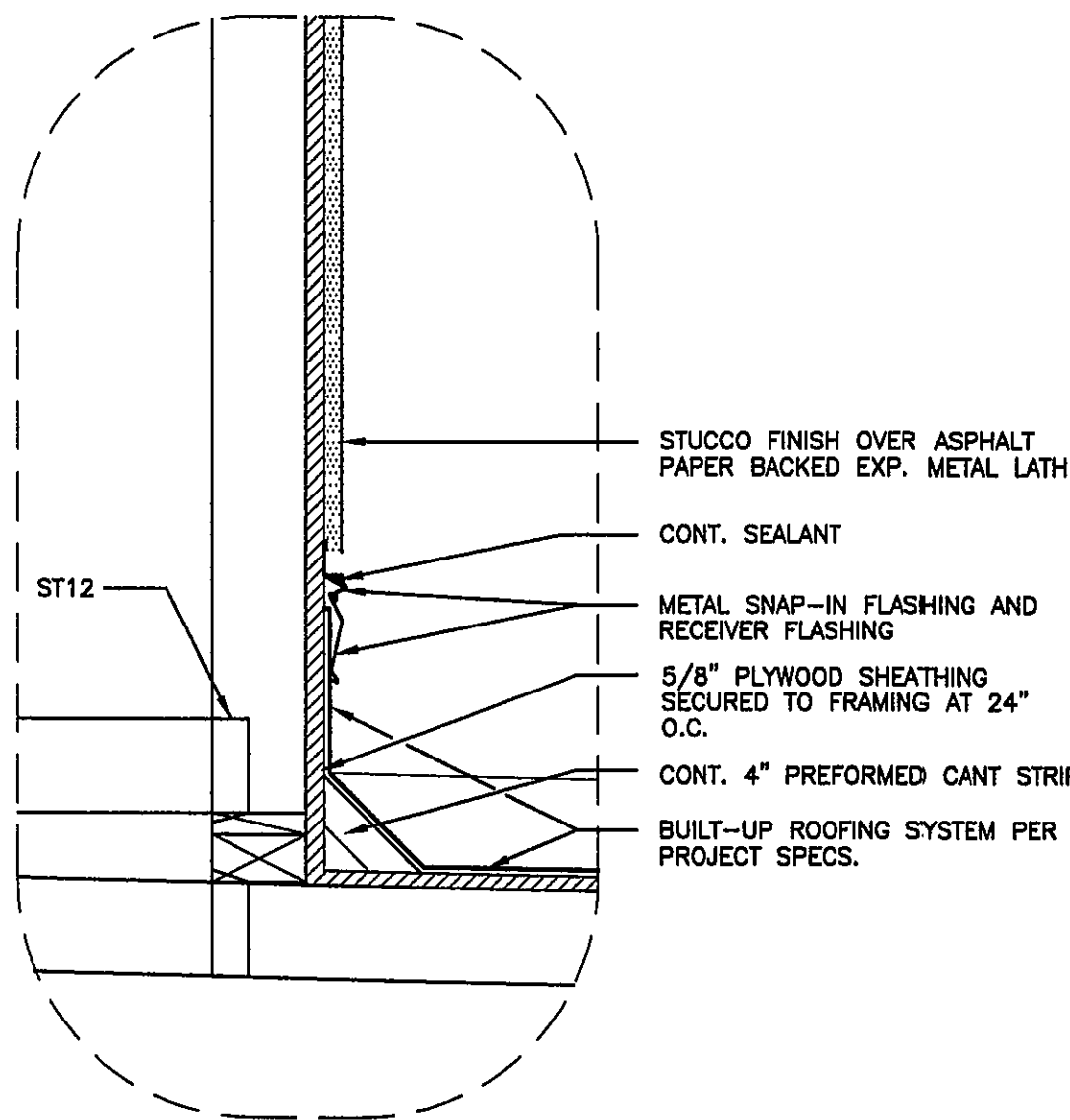
CONTRACTOR SHALL VERIFY WITH OWNER REQUIREMENTS FOR ALL EQUIPMENT BEING SUPPLIED BY TENANT.

FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETED.

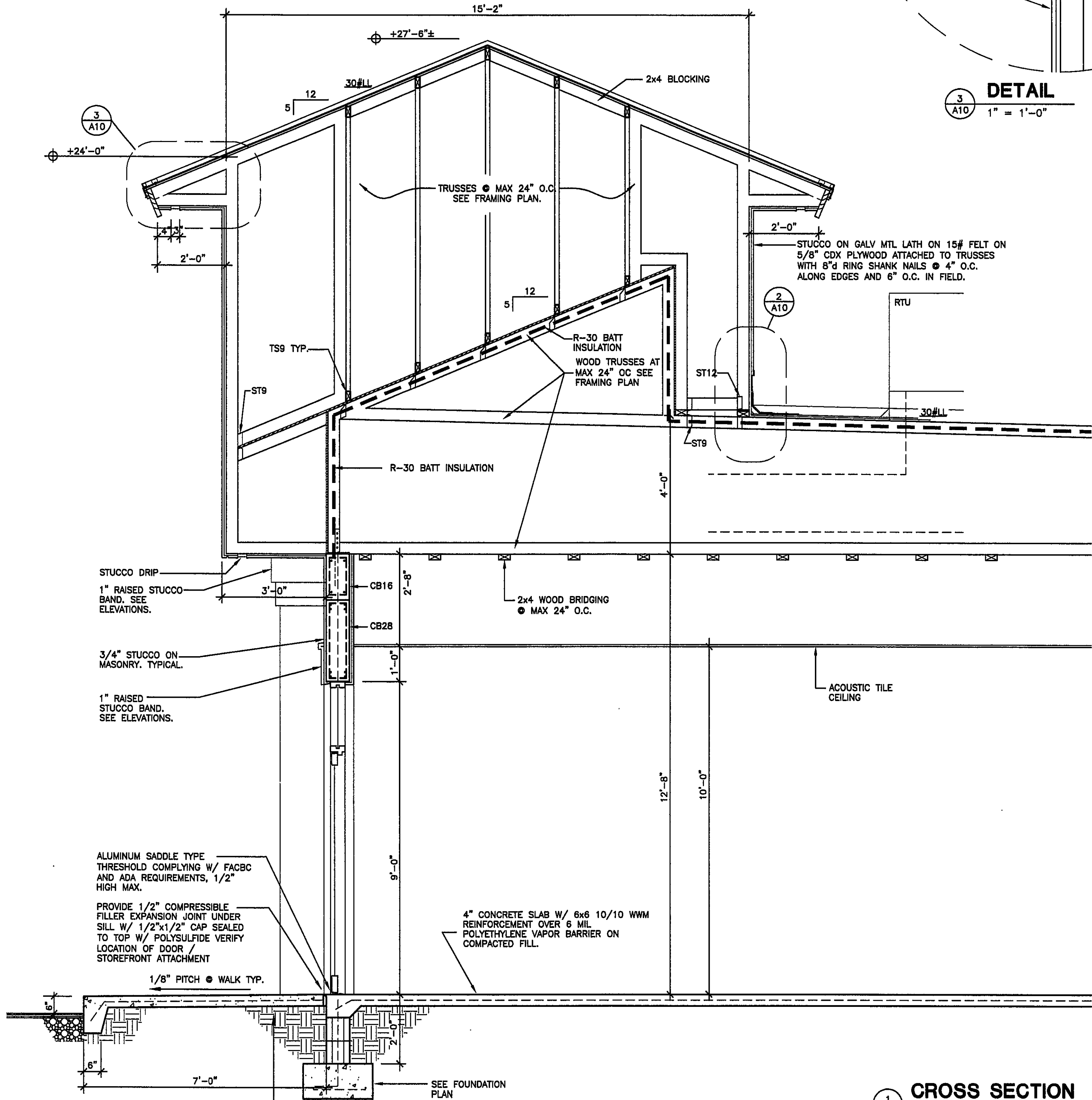
ENERGY CODE NOTES:

WALL CONSTRUCTION R-VALUES BASED ON THE FOLLOWING:
COREFILL-500 FOAM INSULATION R-4.9 PER INCH
8" STANDARD BLOCK WALL WITH ALL CELLS FILLED PER MFG. INFORMATION - R=14.2
8" STANDARD BLOCK WALL WITH CONC. FILLED CELLS R=2.9 (PER ENERGY EFFICIENCY CODE FOR BUILDING CONST. FL/COM)
FILLED CELLS AT 24" O.C. (WORST CASE) = 33% OF WALL
AVG. R-VALUE OF WALL = .65x14 + .35x2.9 = R-10 AVG.

EXTERIOR GLAZING:
STANDARD GLAZING MINIMUMS - U=1.1 / SC 1 / VLT .89

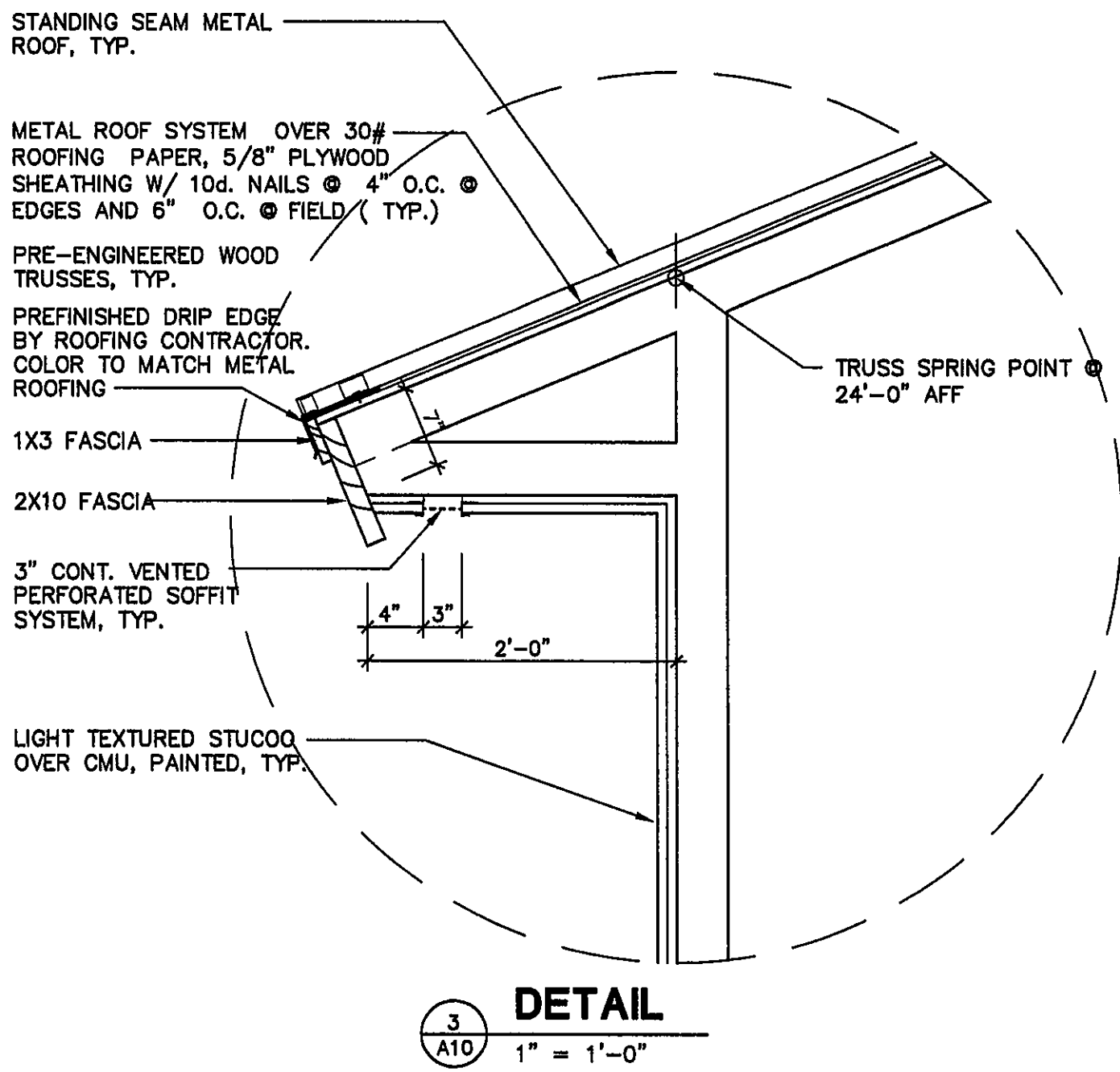


2
A10
1 1/2" = 1'-0"



1
A10
1/2\" = 1'-0"

4\" CONCRETE SIDEWALK WITH LIGHT BROOM FINISH
TYPICAL. PROVIDE 6x6 10/10 WWM REINFORCEMENT
TYPICAL. SEE PLANS FOR SLOPE AND JOINT
CONFIGURATIONS TYPICAL. MUST COMPLY WITH FACBC
AND ADA REQUIREMENTS FOR ACCESSIBLE ROUTE (2%
SLOPE MAXIMUM - USE 1.5% FOR DESIGN TYPICAL)



INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4

SECTIONS & DETAILS
28004-A13
REVISIONS

A-10

COMM. NO.
28004

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AR0000280 887-584-1828 FAX-0002181

CONVENIENCE STORE
FLORIDA 33416

3251 ST. LUCIE BOULEVARD
FORT PIERCE

DRAWN
SOB
DATE
05-1-2008

Larkin Industries, Inc. 114 David Green Road Birmingham, Alabama 35244 Phone: 1-205-987-1535 Fax: 1-205-987-0583 Toll Free: 1-800-322-4036

Model: EO (Exhaust Only with Front Perforated Supply Plenum)

All Hoods Built In Accordance With NFPA-96, NSF, ICC, ETL Listed.

Labels: ETL LISTED (Conforms to ANSI/UL-710) NSF

HOOD SIZE: QTY: 1 Size: L= 7' x W= 48" x H= 24" Size: L= x W= x H=

MATERIAL REQUIREMENTS: TYPE: TYPE: 430 TYPE: 16 POLISH: POLISH: #4

ACCESSORIES: VOLUME DAMPER, FINISH BACK, INSULATED FULL, INSULATED FRONT, BACK STAND OFF, RH, END STAND OFF, LH, END STAND OFF, DOUBLE WALL CONSTRUCTION, FIRE CABINET, RIGHT SIDE, LEFT SIDE, WALL SPLASH PANEL, KICK TRIM PANEL, OTHER.

DATE: 06/29/08 JOB: L-168848 LOCATION: NOTE: TWIN OIL

Larkin Industries, Inc. 114 David Green Road Birmingham, Alabama 35244 Phone: 1-205-987-1535 Fax: 1-205-987-0583 Toll Free: 1-800-322-4036

LOREN COOK FAN VCR/VCR-HP UPBLAST AND HIGH PRESSURE UPBLAST CENTRIFUGAL ROOF VENTILATOR

LEGEND: 1. GALVANIZED CURB 2. DISCONNECT SWITCH 3. EXTENDED VENTED BASE 4. EXTENSION CURB 5. HINGED BASE 6. GREASE TERMINATOR 7. GREASE TROUGH

MOTOR TYPE: STD - STANDARD 2SP - 2 SPEED

DATE: 06/29/08 JOB: L-168848 LOCATION: NOTE: TWIN OIL

Larkin Industries, Inc. 114 David Green Road Birmingham, Alabama 35244 Phone: 1-205-987-1535 Fax: 1-205-987-0583 Toll Free: 1-800-322-4036

ARS FAN SUPPLY FAN

FEATURES: HEAVY GAUGE SCREWED TOGETHER HOUSING • EASILY REMOVABLE COVER • CONSTRUCTED OF GALVANIZED STEEL (PAINTING NOT REQUIRED) • DOUBLE INLET SUPPLY BLOWER, BELT DRIVEN, MOUNTED ON VIBRATION INSULATORS • CAST IRON MOTOR AND FAN DRIVES • FACTORY MOUNTED DISCONNECT SWITCH • PERMANENT LUBRICATED BEARINGS • CLEANABLE ALUMINUM MESH FILTERS • ETL LISTED

OPTIONAL ACCESSORIES: A) AUTO BACK DRAFT DAMPERS B) MOTORIZED BACK DRAFT DAMPER C) SIDE DISCHARGE D) WALL MOUNT BRACKETS E) STARTERS F) ROOF CURBS G) EXTENDED INTAKE

DATE: 06/29/08 JOB: L-168848 LOCATION: NOTE: TWIN OIL

Larkin Industries, Inc. 114 David Green Road Birmingham, Alabama 35244 Phone: 1-205-987-1535 Fax: 1-205-987-0583 Toll Free: 1-800-322-4036

Plan View

HOOD CONFIGURATION: WALL, ISLAND, HOODS END TO END, HOODS BACK TO BACK, HOODS BACK TO BACK END TO END, OTHER COLLARS LOOSE

LEGEND: LIGHTS, SWITCH PANEL, EXHAUST COLLAR, HANGER, SUPPLY COLLAR

DATE: 06/29/08 JOB: L-168848 LOCATION: NOTE: TWIN OIL

Larkin Industries, Inc. 114 David Green Road Birmingham, Alabama 35244 Phone: 1-205-987-1535 Fax: 1-205-987-0583 Toll Free: 1-800-322-4036

SLOPE ROOF CURBS FOR FANS

QUANTITY: 1 FAN MODEL: 120V4B DIMENSIONS: D1 = 19" D2 = 19" D3 = 24"

QUANTITY: 1 FAN MODEL: ARS-9 DIMENSIONS: D1 = 23" D2 = 23" D3 = 12"

QUANTITY: 1 FAN MODEL: ARS-9 DIMENSIONS: D1 = 23" D2 = 23" D3 = 12"

QUANTITY: 1 FAN MODEL: ARS-9 DIMENSIONS: D1 = 23" D2 = 23" D3 = 12"

DATE: 06/29/08 JOB: L-168848 LOCATION: NOTE: TWIN OIL

RICHARD WENSING ARCHITECTS & PLANNERS, PA 2401 VISTA PARKWAY, SUITE 108 FORT PIERCE, FLORIDA 34966 888-684-1988 888-684-1988

INTERNATIONAL AIRPORT BUSINESS PARK - PHASE 4

3521 ST. LUCIE BOULEVARD FORT PIERCE

EXHAUST HOOD DETAILS 28004-A11

REVISIONS

DATE: 05-21-2008

COMM. NO. 28004