

NO. OF STORIES		: 1
FINISH FLOOR ELEV		: 22.10'
BUILDING SETBACK	<u>REQUIRED</u>	<u>PROVIDED</u>
FRONT	: 25 FT (MIN.)	171 FT (MIN.)
SIDE INTERIOR	: 10 FT (MIN.)	10 FT (MIN.)
SIDE CORNER	: 20 FT (MIN.)	25 FT (MIN.)
REAR	: 20 FT (MIN.)	20 FT (MIN.)
<u>BUFFERS</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
FRONT (STREET)	: 15 FT (MIN.)	15 FT (MIN.)
SIDE INTERIOR	: 10 FT (MIN.)	10 FT (MIN.)
SIDE (STREET)	: 15 FT (MIN.)	15 FT (MIN.)
REAR (INTERIOR)	: 10 FT (MIN.)	10 FT (MIN.)

THESE PLANS AND ALL PROPOSED WORK
AND SUBJECT TO ANY CORRECTIONS
REQUIRED BY FIELD INSPECTORS THAT
MAY BE NECESSARY IN ORDER TO
COMPLY WITH ALL APPLICABLE CODES.

* AREA MODIFICATION
B - OCCUPANCY

$$If = 100 \left[\frac{F}{P} - 0.25 \right] W / 30$$
$$If = 100 \left[212.83 / 506.50 - 0.25 \right] 54 / 30$$
$$W = 54$$
$$100 \left[\frac{42}{-25} \right] 1$$
$$100 \left[\frac{17}{1} \right] 1 = 46.7\%$$

THEREFORE AREA INCREASE = 17% OK

$$Aa = At + \left[\frac{At \times If}{100} \right] + \left[\frac{At \times Is}{100} \right]$$
$$Aa = 9000 + \left[\frac{9000(17)}{100} \right] + \left[\frac{9000(0)}{100} \right]$$
$$Aa = 9000 + [1530] + [0]$$
$$Aa = 9000 + 1530 = 10530 \text{ SF}$$

9192.8 SF < 10530 SF ALLOWED THEREFORE OK

NAME OF PROJECT	INTERNATIONAL AIRPORT BUSINESS PARK - PHASE
PROPOSED USE	OFFICE / FLEX SPACE / C-STORE
EXISTING ZONING	INDUSTRIAL LIGHT - IL
TOTAL SITE AREA	3.30 AC

BUILDING AREAS	
CONVENIENCE STORE – GAS SALES	2,400 SF
OFFICE / FLEX SPACE	27,578 SF
TOTAL GROSS FLOOR AREA	29,978 SF
BUILDING COVERAGE	20.72 %
MAXIMUM ALLOWABLE BUILDING COVERAGE	50.00 %
PERVIOUS AREA	29.41 %
IMPERVIOUS AREA	70.59 %

ACTUAL MAXIMUM BUILDING HEIGHT	30 FT. MAX
NO. OF FLOORS	1 STORY

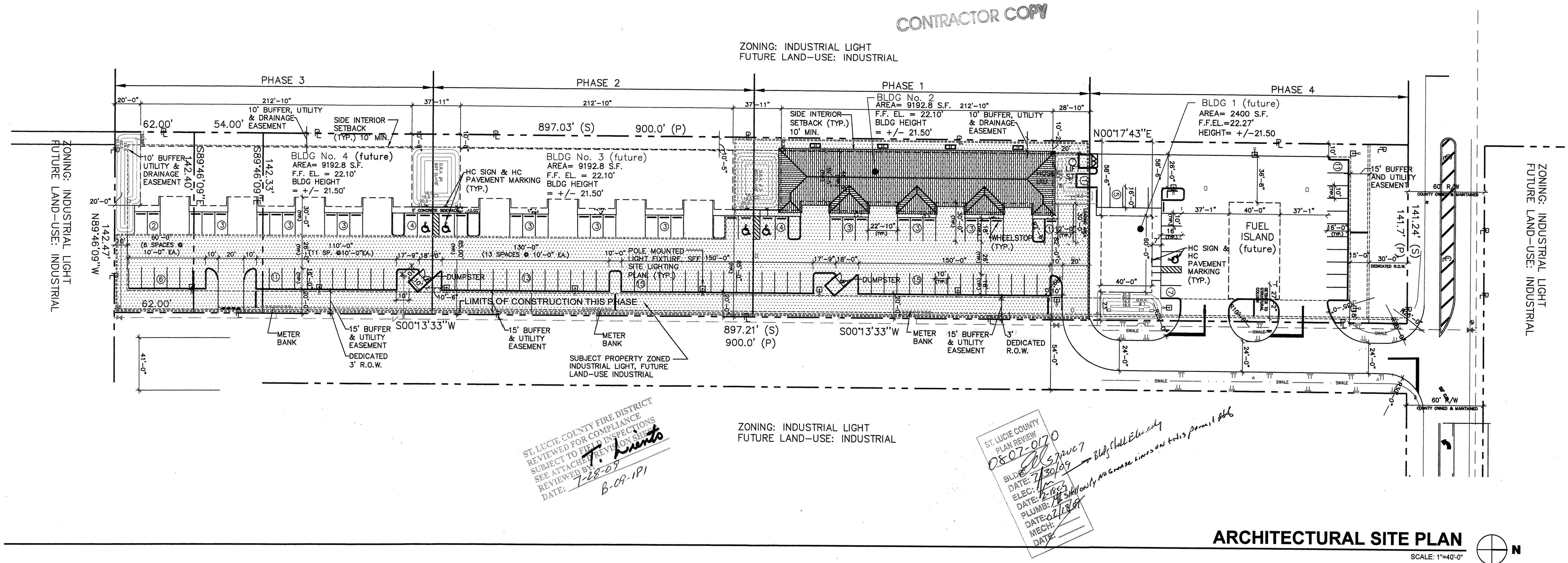
OCCUPANCY CLASSIFICATION	MERCANTILE GROUP M, BUSINESS B & STORAGE S2
TYPE OF CONSTRUCTION	TYPE VB, UNPROTECTED, UNSPRINKLED
ALLOWABLE SF	M - 9,000 SF, B - 9,000 SF *, S2 - 13,500 SF
MAXIMUM ALLOWABLE HEIGHT	M - 1 STORY, B- 2 STORY, S2 - 2 STORY

PARKING REQUIRED			
CONVENIENCE STORE	2 SP/PUMP		12 SPACES
RETAIL AREA	5 SP/ 1000		12 SPACES
FLEX SPACE CALCULATED AS MAX.OFFICE. 1/333 SF			83 SPACES
PARKING PROVIDED			
CONVENIENCE STORE (INCLUDING 12 SPACES AT PUMPS)			24 SPACES
FLEX SPACE PROVIDED			83 SPACES
H.C. REQUIRED - 5 SPACES		H.C. PROVIDED -	5 SPACES
LOADING REQUIRED - 2 SPACES		LOADING PROVIDED -	2 SPACES

SP-1	SITE PLAN
A-1	FLOOR PLAN / ROOF PLAN 1/8"
A-2	EXTERIOR ELEVATIONS
A-3	SECTIONS
A-4	SECTIONS
A-5	SCHEDULES & DETAILS
S-1	FOUNDATION PLAN & SCHEDULES
S-2	ROOF FRAMING PLAN & SCHEDULES
P-1	PLUMBING PLAN & RISERS
E-1	ELECTRICAL SITE PLAN
E-2	ELECTRICAL PLAN, PANELS, & RISERS

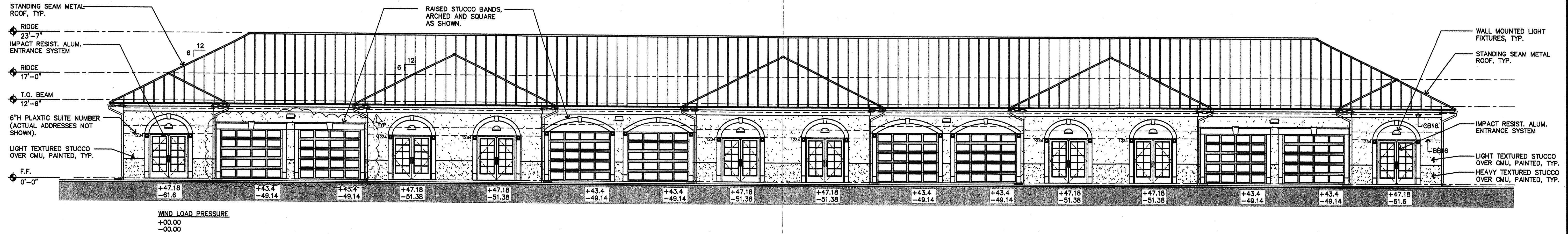
SEE SITE PLAN APPROVED BY OTHERS
SEE CIVIL DRAWINGS BY OTHERS
SEE LANDSCAPE DRAWINGS BY OTHERS

PROJECT WILL BE CONSTRUCTED UNDER THE
FLORIDA BUILDING CODE 2004 EDITION WITH THE
2006 SUPPLEMENT



ARCHITECTURAL SITE PLAN

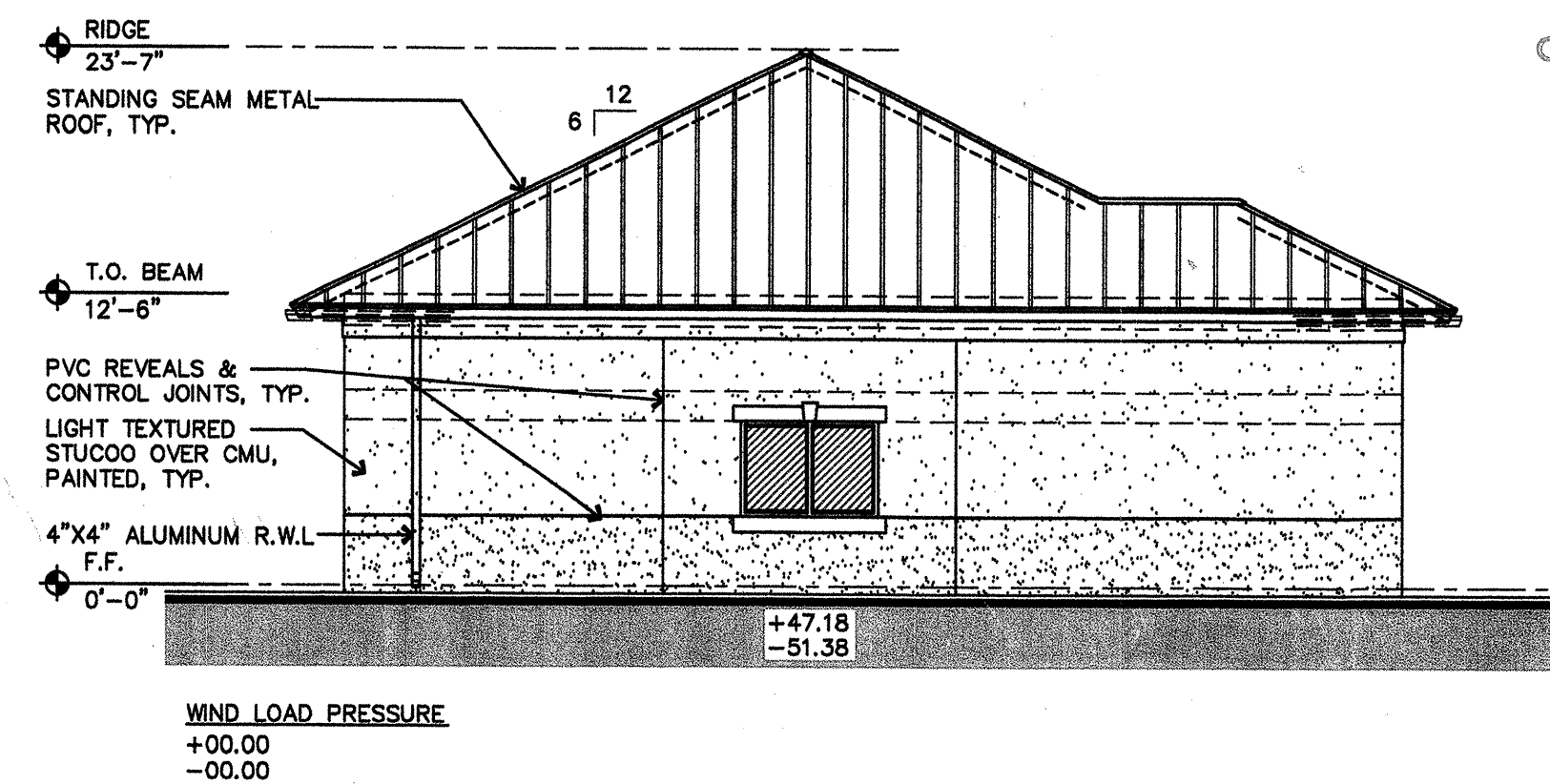
SCALE: 1"=40'-0"



EAST ELEVATION

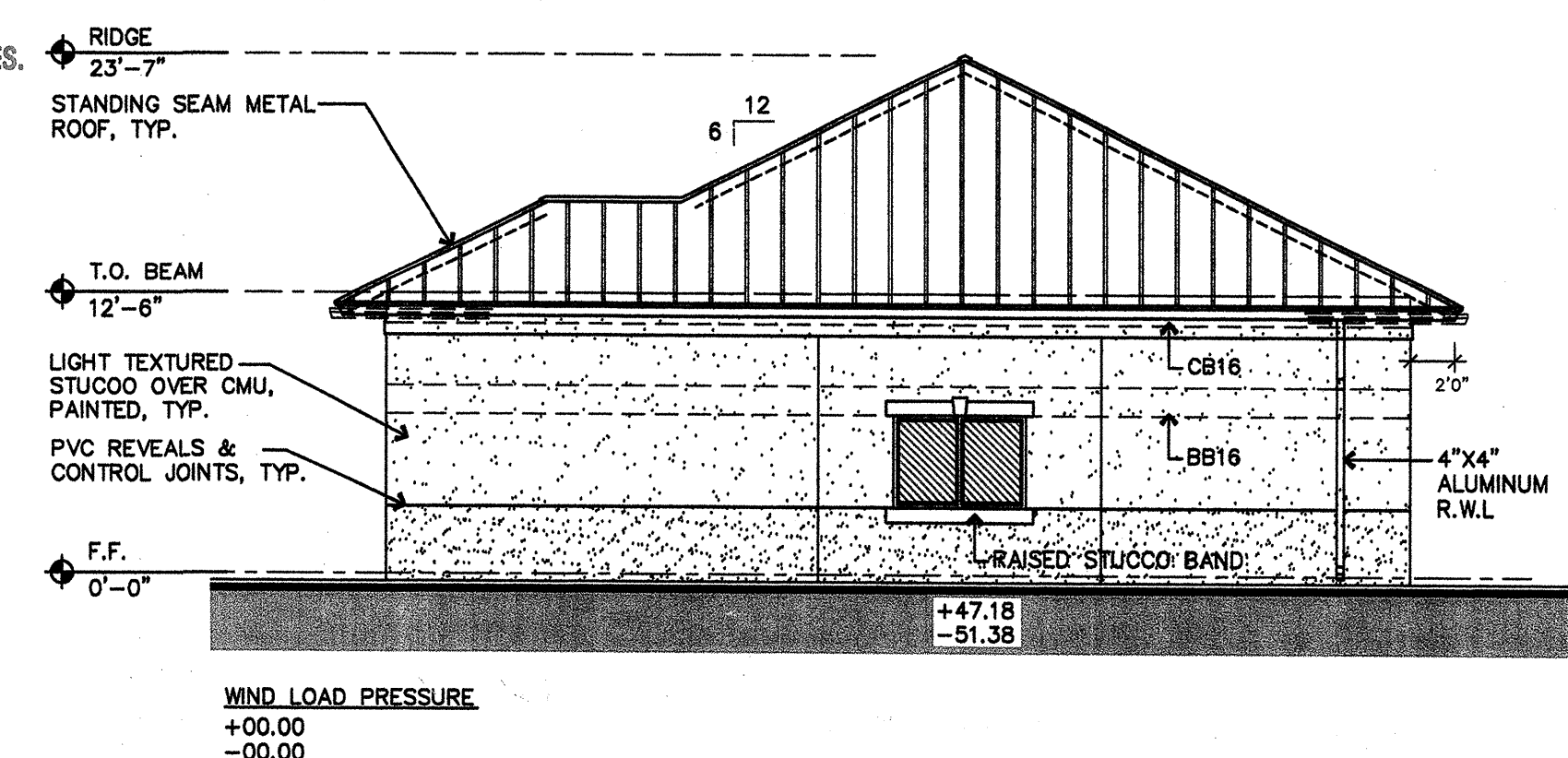
SCALE: 1/8"=1'-0"

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SOUTH ELEVATION

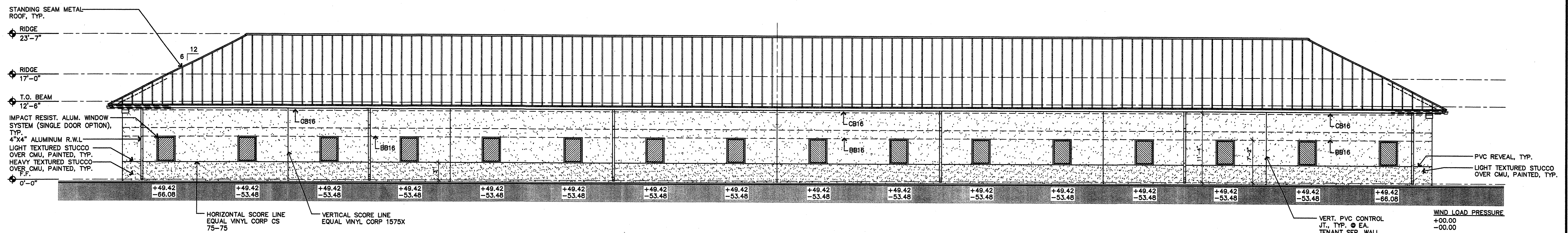
SCALE: 1/8"=1'-0"



NORTH ELEVATION

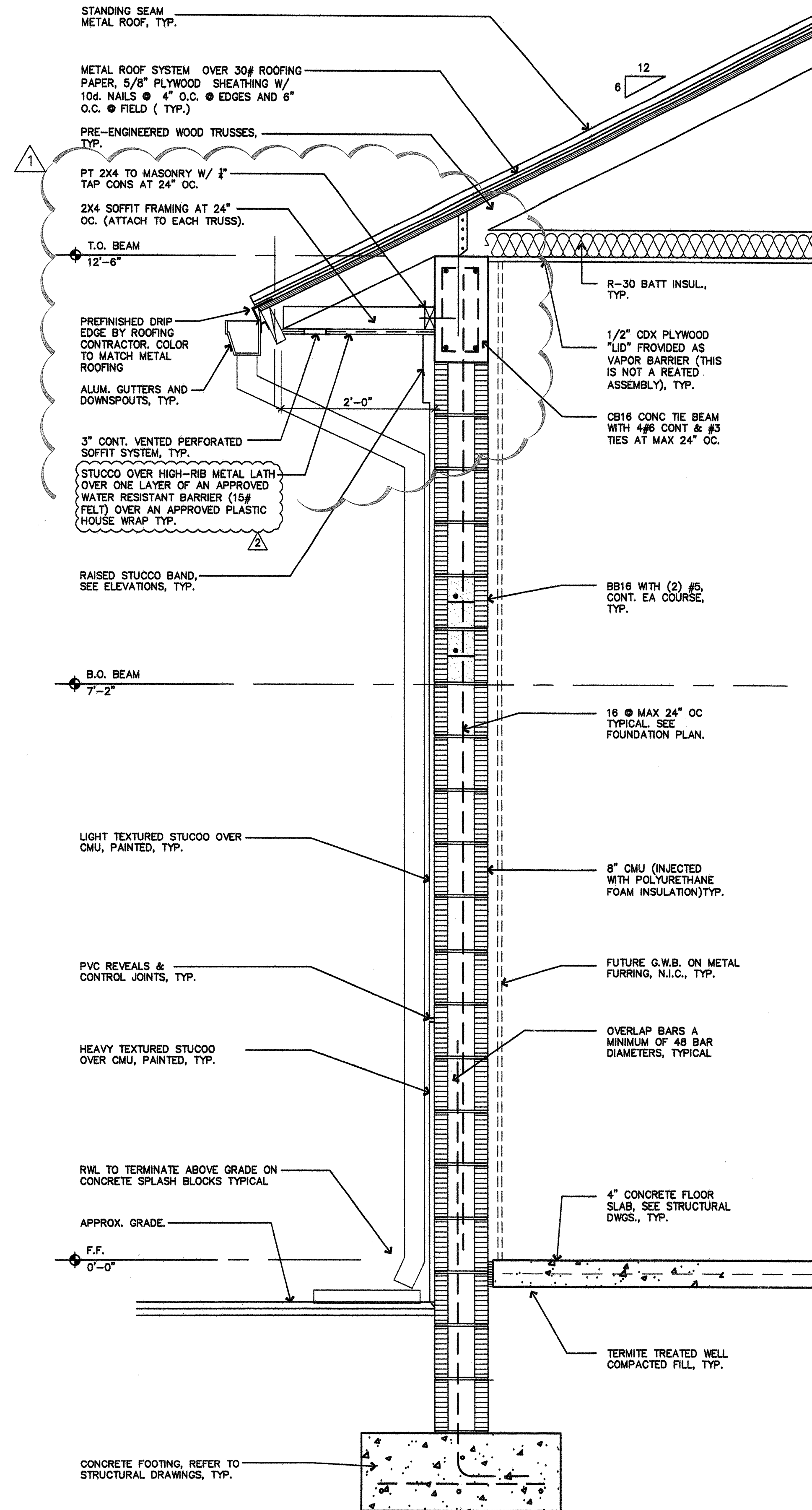
SCALE: 1/8"=1'-0"

CONTRACTOR COPY

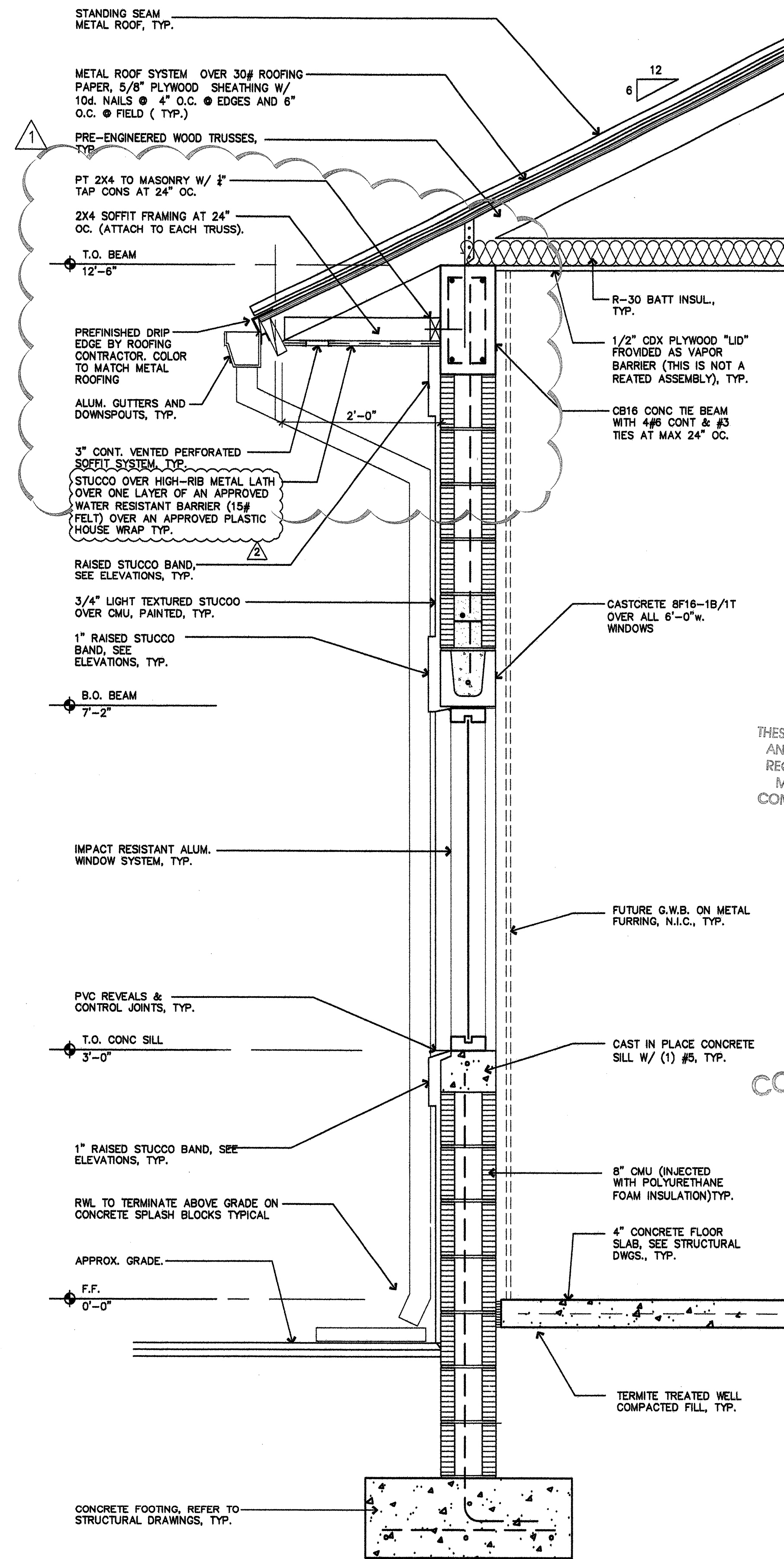


WEST ELEVATION

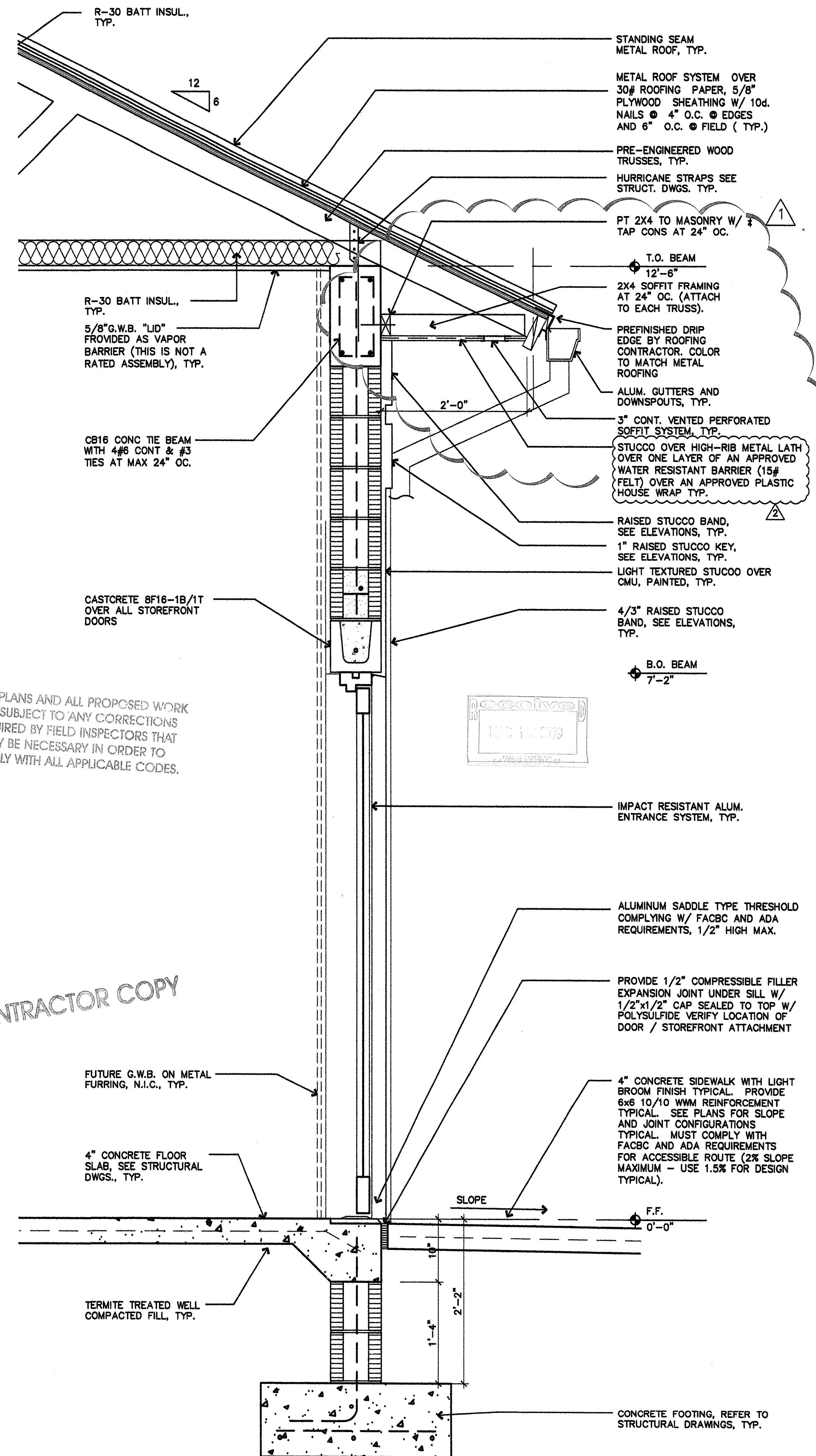
SCALE: 1/8"=1'-0"



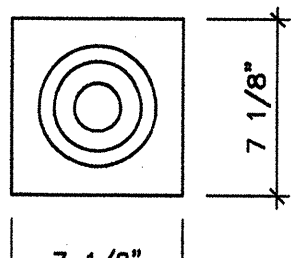
1
A-3
WALL SECTION
SCALE: 1" = 1'-0"



2
A-3
WALL SECTION
SCALE: 1" = 1'-0"

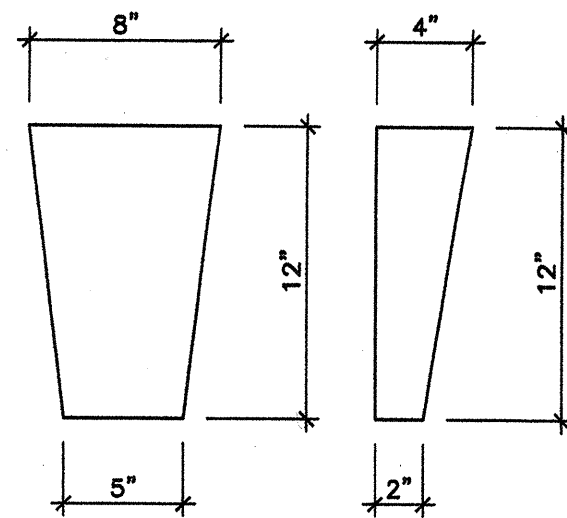


3
A-3
WALL SECTION
SCALE: 1" = 1'-0"



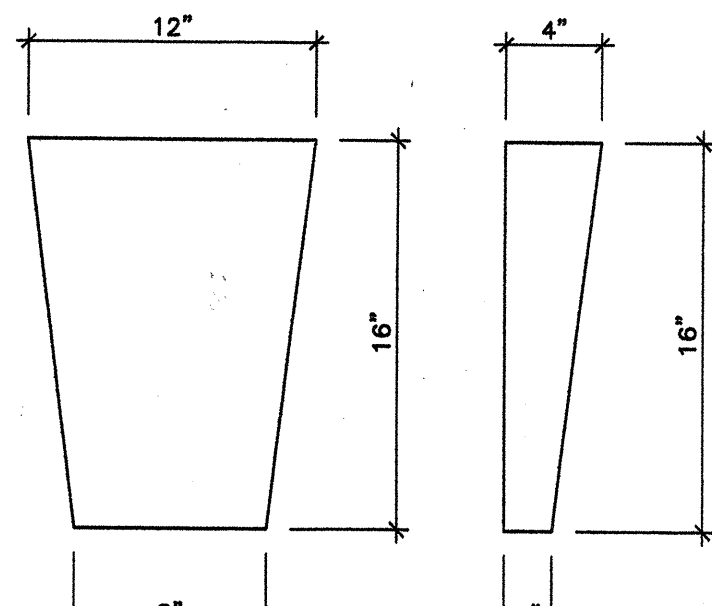
PLINTH BLOCK,
ROSETTE, 7 1/8" x 7
1/8" x 1" BY FYPON.

1 PLINTH BLOCK DETAIL
A5 SCALE: 1 1/2"=1'-0"



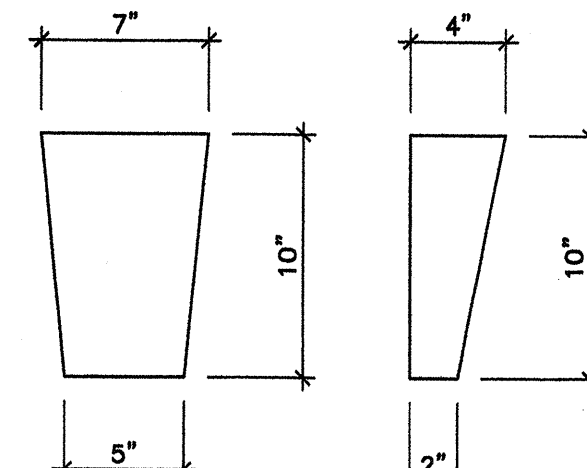
STUCCO KEYSTONE,
PAINTED. TYPICAL

2 KEYSTONE DETAIL
A5 SCALE: 1 1/2"=1'-0"



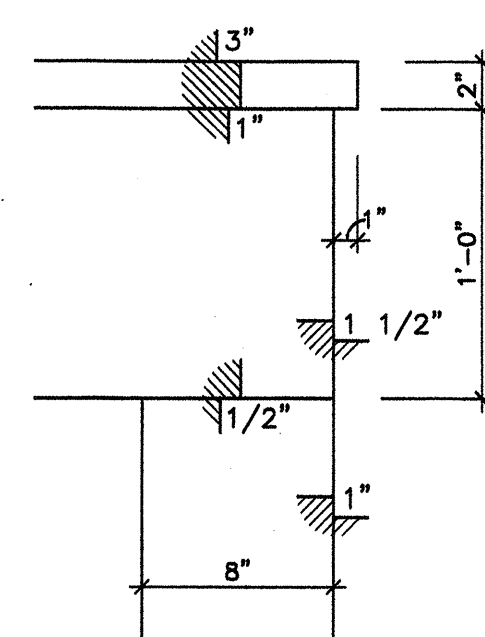
STUCCO KEYSTONE,
PAINTED. TYPICAL

3 KEYSTONE DETAIL
A5 SCALE: 1 1/2"=1'-0"



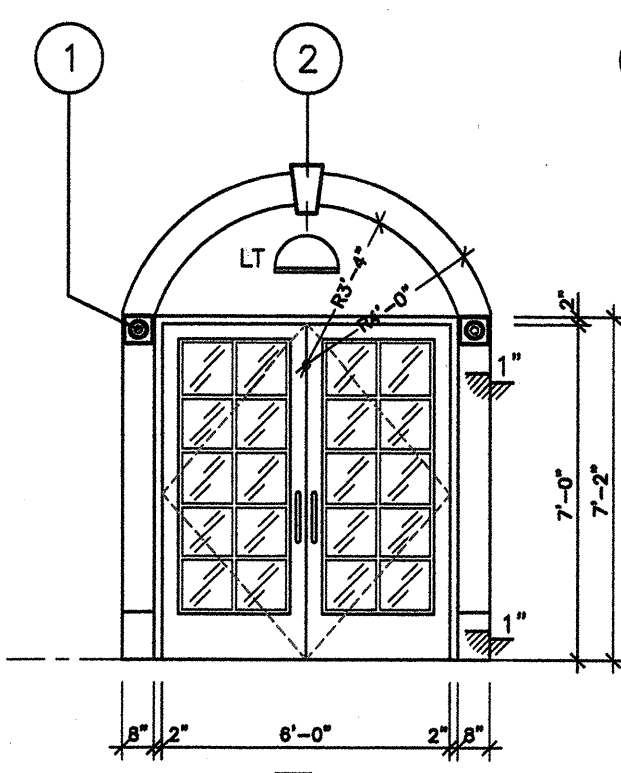
STUCCO KEYSTONE,
PAINTED. TYPICAL

4 KEYSTONE DETAIL
A5 SCALE: 1 1/2"=1'-0"

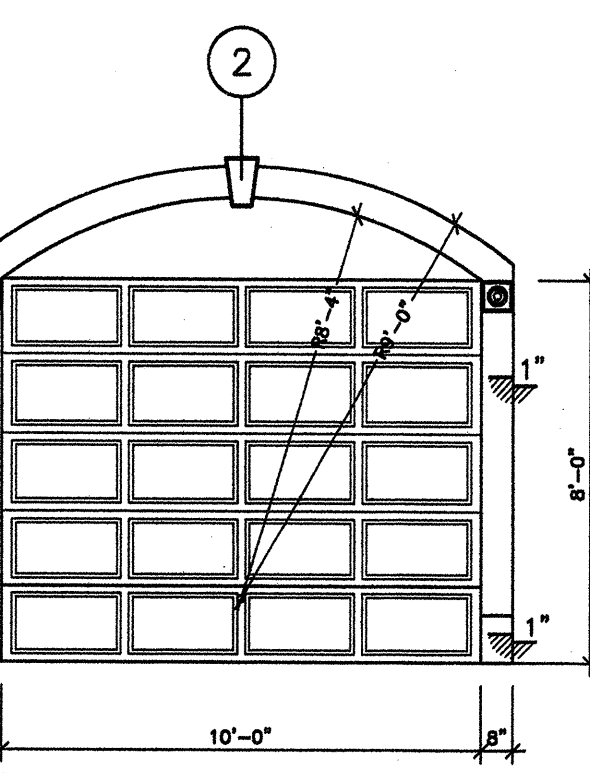


STUCCO WINDOWS CROSSHEAD,
PAINTED. TYPICAL

5 WINDOWS CROSSHEAD DETAIL
A5 SCALE: 1 1/2"=1'-0"

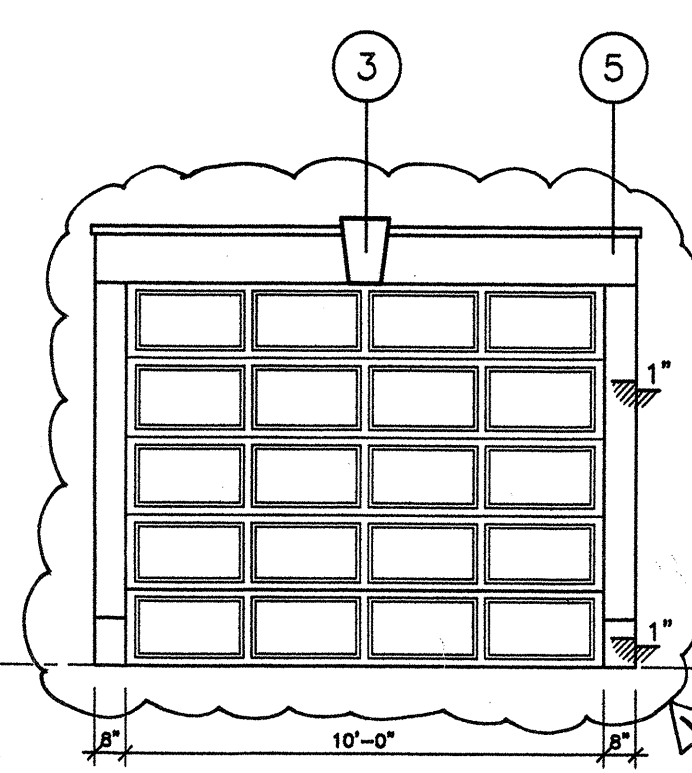


IMPACT RESIST. ALUM.
ENTRANCE, SEE BUILDING
ELEVATIONS.

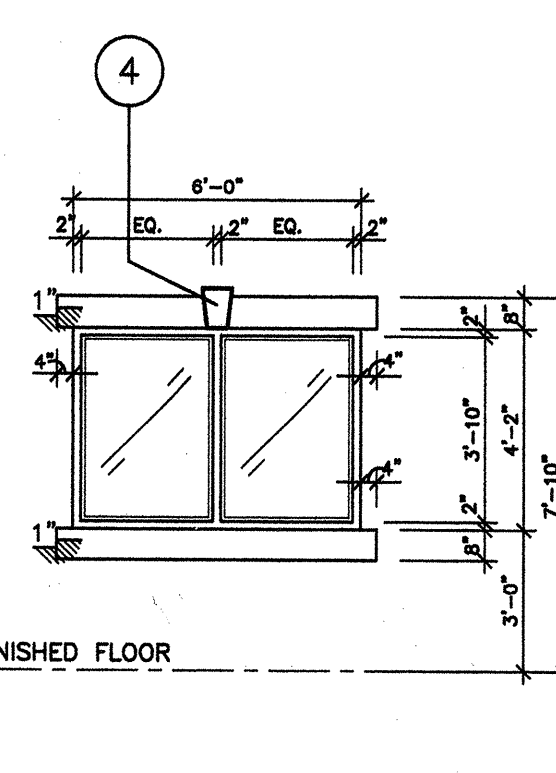


IMPACT UPWARD ACTING SECTIONAL
DOOR. (STUCCO BANDS - ARCH
OPTION)

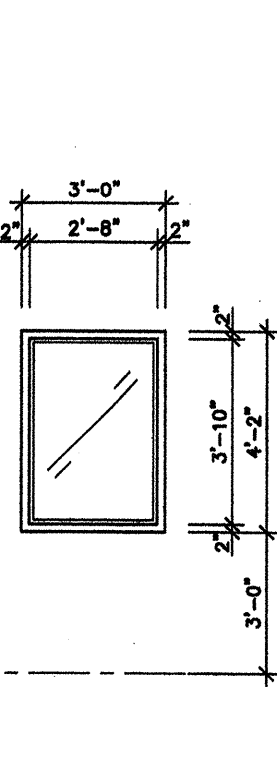
DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"



IMPACT UPWARD ACTING SECTIONAL
DOOR. (STUCCO BANDS - ARCH
OPTION)

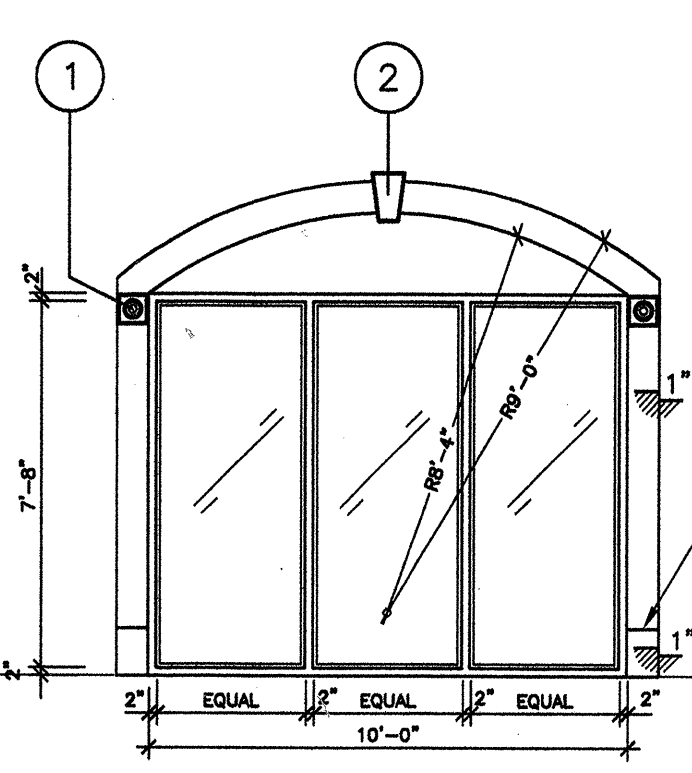


IMPACT RESISTANT ALUM.
WINDOW, FIXED.



IMPACT RESISTANT ALUM.
WINDOW, FIXED.

WINDOWS ELEVATIONS
SCALE: 1/4" = 1'-0"



IMPACT RESISTANT ALUM. WINDOW
SYSTEM (STOREFRONT TYPE),
OFFICE SPACE OPTION ONLY.

Room Finish Schedule

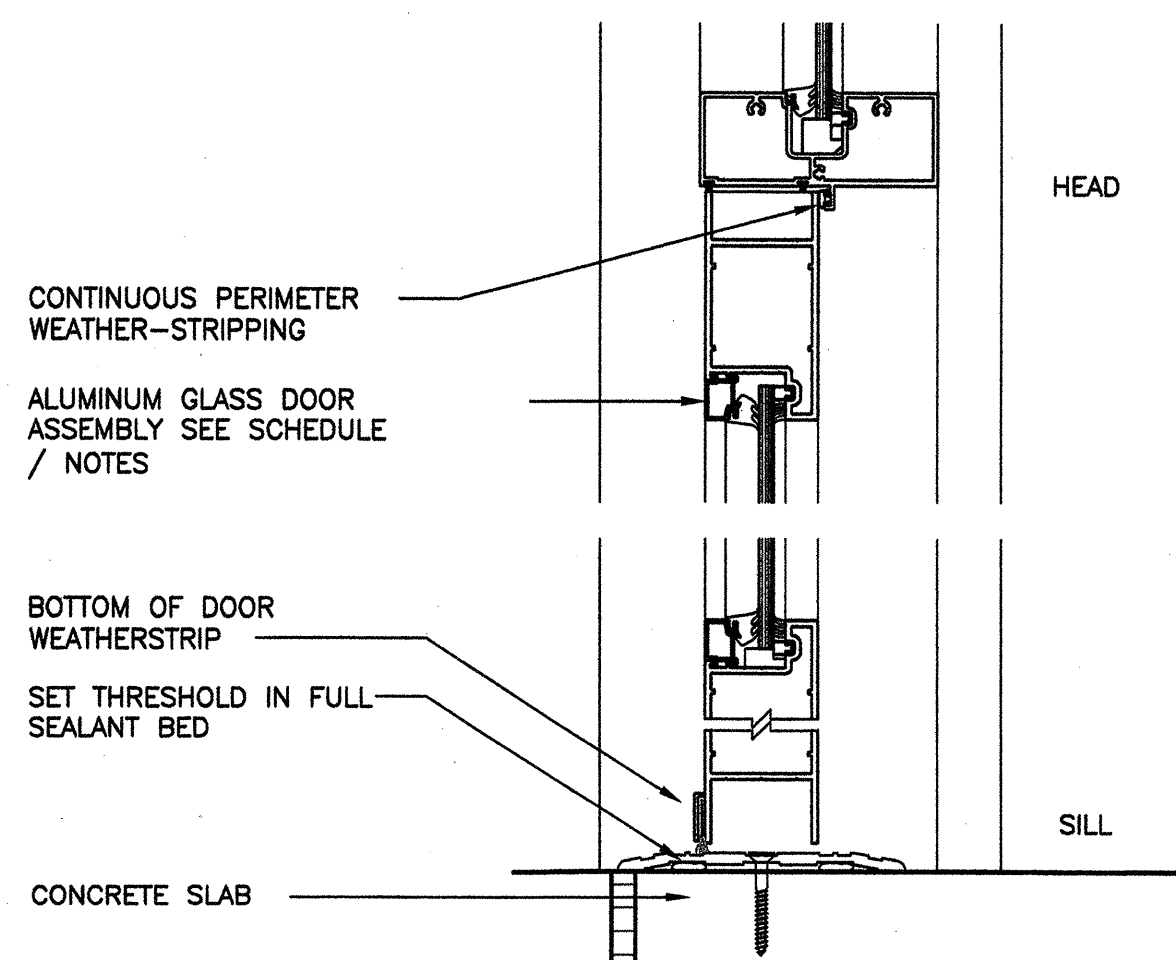
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG. HGT.	REMARKS
2101	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2102	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2103	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2104	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2105	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2106	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2107	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	
2108	TENANT SPACE	CONCRETE	---	C.M.U., UNPAINTED	CDX PLYWOOD	12'-6"	

Door Schedule

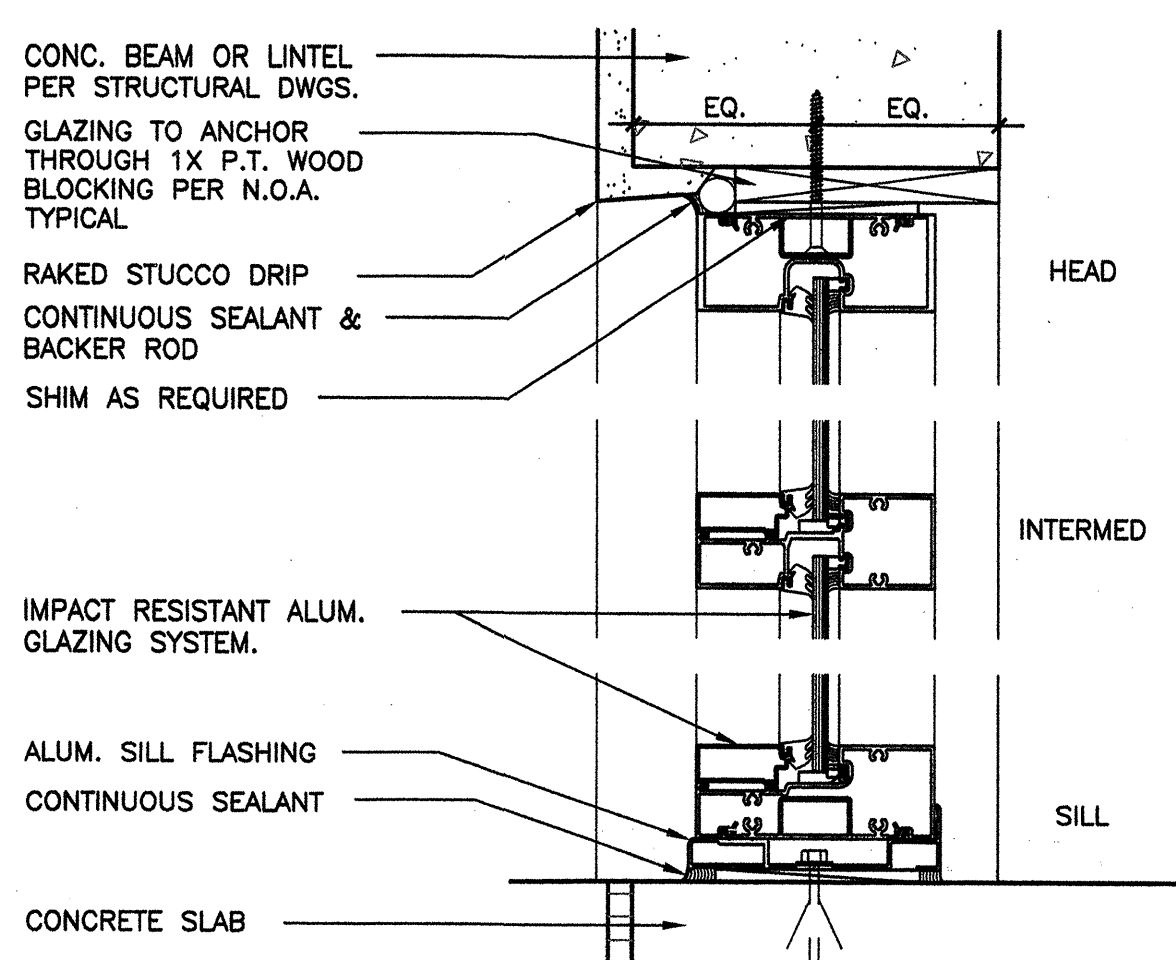
DOOR NO.	ROOM NAME	DOOR SIZE			DOOR		FRAME		HARD-WARE SET	REMARKS
		WIDTH	HEIGHT	THICK.	MATERIAL	TYPE	MATERIAL	TYPE		
01A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
01B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
02A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
02B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
03A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
03B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
04A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
04B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
05A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
05B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
06A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
06B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
07A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
07B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	
08A	TENANT SPACE	PR. 3'-0"	7'-0"	---	ALUM./GLASS	A	ALUM.	F-1	ENTRANCE	SEE NOTE 1.
08B	TENANT SPACE	10'-0"	8'-0"	---	STEEL	B	STEEL	---	O.H.	

NOTES:

- ALL EXTERIOR ENTRANCE DOORS SHALL BE IMPACT RESISTANT ALUMINUM ENTRANCE SYSTEM.
- ALL HARDWARE / THRESHOLDS SHALL MEET ALL REQUIREMENTS OF THE FACBC AND ADA TYPICAL.



6 STOREFRONT DOOR
A5 SCALE: 3" = 1'-0"



7 STOREFRONT GLAZING
A5 SCALE: 3" = 1'-0"

PAINT SPECIFICATIONS:

(WHERE APPLICABLE)

EXTERIOR WOOD PAINTED	1 COAT MOORWHITE PRIMER (100) AND 2 COATS MOORGLO LATEX HOUSE & TRIM PAINT (096)
EXTERIOR GALVANIZED IRON	1 FRESHSTART 100% ACRYLIC PRIMER (023) AND 2 COATS MOORGLO LATEX HOUSE & TRIM PAINT (096)
EXTERIOR FERROUS METAL	1 COAT IRONCLAD RETARDOR RUST INHIBITIVE PAINT (163) AND 2 COATS MOORGLO LATEX HOUSE & TRIM PAINT (096)
EXTERIOR MASONRY	1 COAT MOORWHITE PRIMER (100) AND 2 COATS MOORGLO LATEX HOUSE PAINT (103)
INTERIOR WOOD TRIM	1 COAT MOORE'S ALKYD ENAMEL UNDERBODY (217) AND 2 COATS REGAL AQUAGLO (333)
PLASTER & DRYWALL	1 COAT REGAL FIRSTCOAT (216) AND 2 COATS REGAL AQUAVELVET (319)
EXTERIOR WOOD STAINED	2 COATS MOORWOOD VINYL ACRYLIC LATEX STAIN (089)
INTERIOR WOOD STAINED	1 COAT BENWOOD WOODGRAIN FILLER (238), TINTED TO SHADE OF THE STAIN WITH UNIVERSAL TINTING COLORS. (OMIT FOR CLOSE-GRAINED WOOD) 1 COAT MOORE'S INTERIOR WOOD FINISHES PENETRATING STAIN (234) (OMIT IF TO BE NATURAL), AND 2 COATS OF BENWOOD POLYURETHANE FINISH LOW LUSTRE (435).

MFG. NOTE:
PAINTING CONTRACTOR TO VERIFY ALL COLORS WITH OWNER PRIOR TO PAINTING PROJECT.
CONTRACTOR TO SUPPLY ARCHITECT WITH "OR EQ." INFORMATION FOR ALL PAINT MANUFACTURERS USED OTHER THAN AS SPECIFIED ABOVE. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

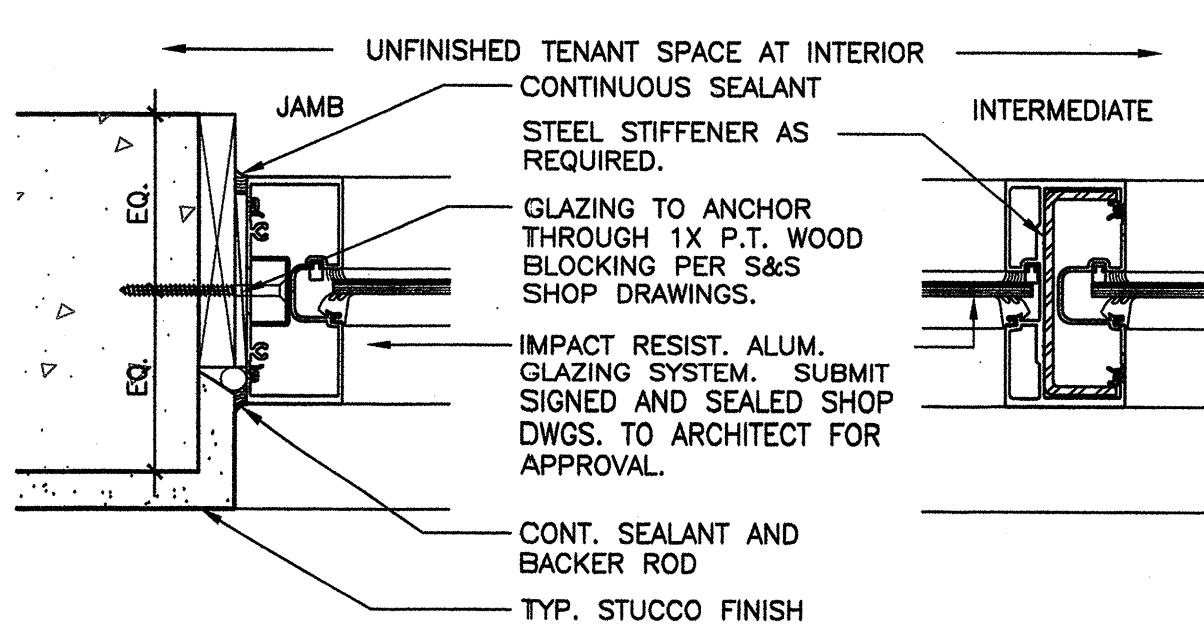
CONTRACTOR COPY

GENERAL NOTES:

- ALL ALUMINUM STOREFRONT FRAMES SHALL BE ARCH ALUMINUM, MEDIUM STYLE FRAMING, OR APPROVED EQUAL.
 - STOREFRONT MANUFACTURER SHALL SUBMIT 5 COPIES OF SHOP DRAWINGS SIGNED AND SEALED TO ARCHITECT FOR REVIEW.
 - STOREFRONT ANCHORING- PER PRODUCT APPROVALS.
 - PROVIDE COMPLETE ASSEMBLIES INCLUDING ALL WEATHERSTRIPPING, SILENCERS, STOPS ETC. ALL FLUSH H. METAL DOORS TO BE INSULATED, MIN R2.4
 - ALL HARDWARE TO BE SCHLAGE OR EQ. MEDIUM DUTY COMMERCIAL GRADE. PROVIDE CUT SHEETS FOR REVIEW OF SELECTIONS W/ ARCH., OWNER PRIOR TO PURCHASE. ALL SELECTIONS MUST COMPLY W/ A.D.A. AND FACBC.
 - EACH WINDOW/STOREFRONT UNIT AND GLASS DOORS SHALL HAVE A METAL HURRICANE CORRUGATED PANEL SYSTEM. THESE PANELS SHALL BE APPROVED, TESTED, AND MEET IMPACT RESISTANCE STANDARDS AS ADOPTED BY FBC 2004 WITH 2006 SUPPLEMENTS AND LOCAL CODES.
- PANELS SHALL BE STORED IN VERTICAL POSITION. THEY SHALL BE PLACED ON PT WOOD BASE THAT IS ANCHORED TO THE FLOOR. AT THE TOP THE PANELS SHALL BE HELD TO THE WALL WITH METAL ANGLES ANCHORED TO THE WALL. THIS STORAGE SYSTEM SHALL BE INSTALLED BY THE STORM PANEL MANUFACTURER. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR PANELS AND STORAGE SYSTEM.

ALUMINUM STOREFRONT NOTES:

- ALL ALUMINUM WINDOW FRAMES SHALL BE IMPACT RATED AS MFG. BY ARCH ALUMINUM, VISTAWALL, KAWNEER OR APPROVED EQUAL. FRAMES SHALL BE 1 3/4" x 4" TYPICAL WITH WHITE ANODIZED FINISH TYPICAL.
- GLAZING SHALL BE CLEAR, TEMPERED WHERE REQUIRED AND IN THICKNESS AS REQUIRED TO COMPLY WITH ALL APPLICABLE CODES.
- STOREFRONT MANUFACTURER SHALL SUBMIT 5 COPIES OF SHOP DRAWINGS SIGNED AND SEALED TO ARCHITECT FOR REVIEW.
- STOREFRONT ANCHORING- PER PRODUCT APPROVALS.
- PROVIDE COMPLETE ASSEMBLIES INCLUDING ALL WEATHERSTRIPPING, SILENCERS, STOPS ETC.
- ALL HARDWARE SELECTIONS MUST COMPLY W/ A.D.A. AND FACBC. (SEE NOTES ABOVE)
- SEE PLANS / ELEVATIONS FOR REQUIRED WIND LOADING TYPICAL.



8 STOREFRONT GLAZING
A5 SCALE: 3" = 1'-0"

ALLOWANCES:

NOTE:
LOCKS COMPLYING WITH NFPA 101 7.2.1.5.1 EXCEPTION NO. 2 SHALL BE PERMITTED ONLY ON PRINCIPAL ENTRANCE AND EXIT DOORS IF ALL CRITERIA A-F ARE MET. VERIFY W/ INDIVIDUAL TENANT PLANS.
PER NFPA 101, 7.2.1.5.4 A LATCH OR OTHER FASTENING DEVICE SHALL BE PROVIDED WITH ONLY ONE KNOB, HANDLE, PANIC BAR OR OTHER SIMPLE TYPE OF RELEASING DEVICE THAT IS OBVIOUS UNDER ALL LIGHTING CONDITIONS.
HARDWARE SUPPLIER SHALL SUBMIT SPEC. DATA SHOWING COMPLIANCE WITH ALL FBC / NFPA REQUIREMENTS FOR REVIEW PRIOR TO PURCHASE.

THESE PLANS AND ALL PROPOSED WORK AND SUBJECT TO ANY CORRECTIONS REQUIRED BY FIELD INSPECTORS THAT MAY BE NECESSARY IN ORDER TO COMPLY WITH ALL APPLICABLE CODES.