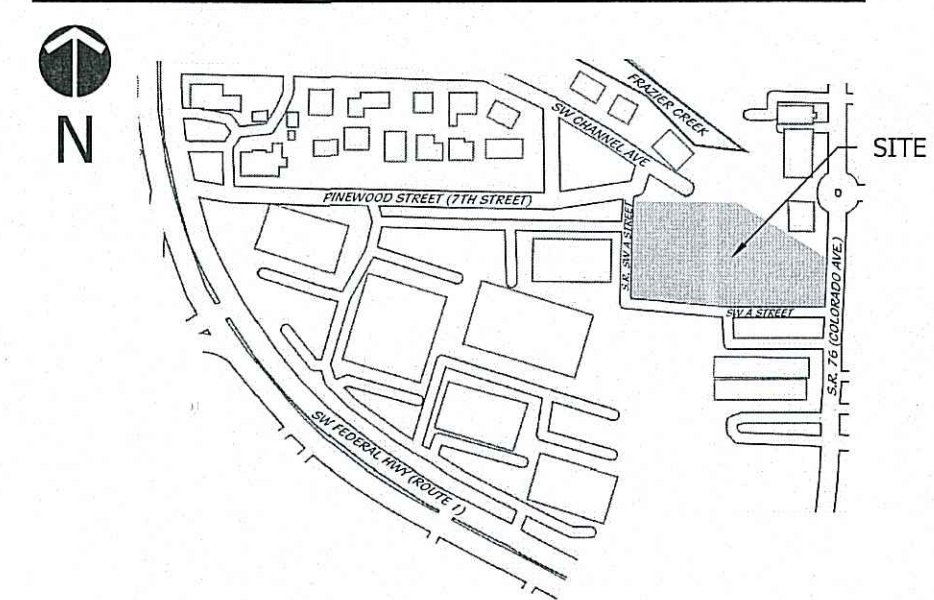


LOCATION MAP

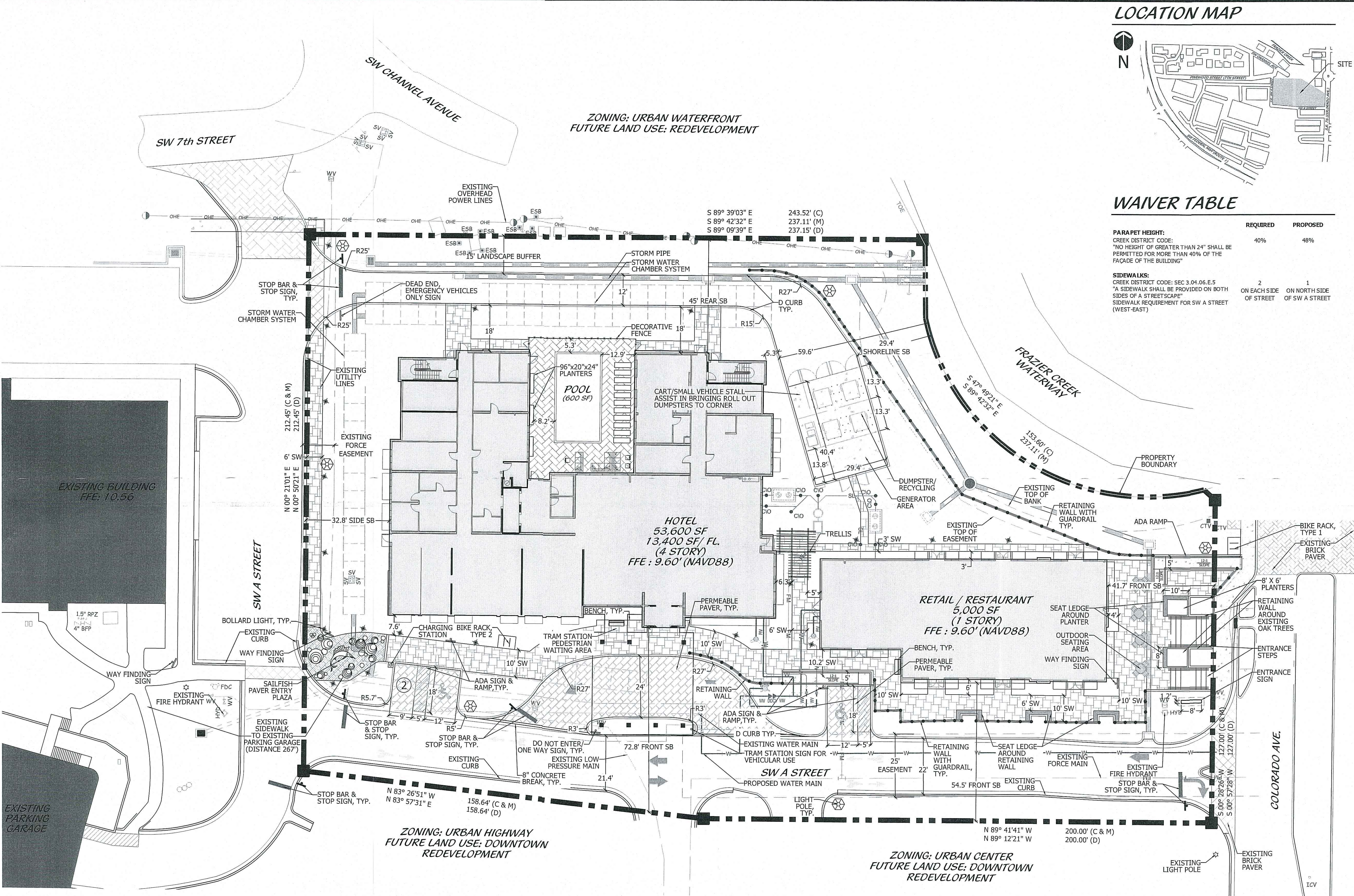


SITE DATA

NAME OF PROJECT	CREEKSIDE HOTEL
PROPERTY CONTROL NUMBERS	09-38-41-02-000-0002-0
FEMA FLOOD ZONE	Zone AE(BL 9)
EXISTING LAND USE DESIGNATION	Downtown Redevelopment
EXISTING ZONING DISTRICT	Creek South
MAXIMUM BUILDING HEIGHT	45'
NUMBER OF STORIES	4
NUMBER OF BUILDINGS	2
TOTAL SITE AREA	1.62 AC 70,754 SF
BUILDING DATA	13,400.00 SF PER FLOOR 53,600 SQ. FT. TOTAL 5,000.00 SF
LAND USE	SF AC %
BUILDING LOT COVERAGE	18,400 0.42 26.00%
VEHICULAR USE AREA	17,286 0.40 24.43%
HARDSCAPE AREA	10,829 0.24 15.31%
OPEN SPACE	24,239 0.56 34.26%
TOTAL	70,754 1.62 100.00%
OPEN SPACE	MIN PROV
	20% 34.26%
LOT COVERAGE	IMPROVISED AREA
	18,400 SF AC %
	17,286 0.42 26.00%
	10,829 0.24 15.31%
	24,239 0.56 34.26%
	TOTAL IMPROVED AREA
	46,515 1.06 65.74%
PERVIOUS AREA	OPEN SPACE
	24,239 SF AC %
	24,239 0.56 34.26%
	TOTAL PERVIOUS AREA
	70,754 1.62 100.00%
PARKING DATA	REQ PROV
HOTEL	73 3 SPACES ON SITE
425 SPACES REQUIRED PER ROOM (CREEK DISTRICT CODE)	12 SPACES = HANDICAP
102 ROOMS X .75 = 76.5 SPACES	12 SPACES = EXIST. EQUIPPED SPACES
(4 SPACES MAY BE SATISFIED BY STUART TRANSIT HULL OFF)	77 - 4 = 73 SPACES
	70 SPACES IN EXISTING GARAGE
	17 SPACES IN EXISTING GARAGE
	TOTAL
	92
EVCI EQUIPPED SPACES	10
(10% OF THE REQUIRED NON-EQUIPPED SPACES)	10 OFF-SITE EQUIPPED SPACES IN
90 TOTAL REQUIRED PARKING SPACES X .10 = 9	OFF-SITE SURFACE PARKING LOT
12 SPACES - 2 PROVIDED ON SITE = 10 OFF-SITE	ADJACENT TO EXISTING GARAGE
	"SEE CONNECTION MAP"
NOTE: ADDITIONAL PARKING WILL ALSO BE PROVIDED OFF-SITE IN EXISTING GARAGE WITH 217 PARKING SPACES AVAILABLE FOR USE	
PEDESTRIAN AMENITIES	REQ PROV
BIKE RACKS (4 STALLS EACH RACK)	2 2
SETBACK	REQUIRED PROPOSED
FRONT (COLORADO STREET)	0'-0" 4'-7"
FRONT (SW A STREET)	0' or 5' 54'-5" 72'-8"
SIDE	0' or 5' 32'-8"
REAR	10' 45'-0"
SHORELINE PROTECTION AT FRAZIER CREEK	10' 28'-4"
LANDSCAPE BUFFER	REQUIRED PROPOSED
NORTH	15' 15'

WAIVER TABLE

	REQUIRED	PROPOSED
PARAPET HEIGHT: CREEK DISTRICT CODE: "NO HEIGHT OF GREATER THAN 24" SHALL BE PERMITTED FOR MORE THAN 40% OF THE FACADE OF THE BUILDING"	40%	48%
SIDEWALKS: CREEK DISTRICT CODE: SEC 3.04.06.E.5 "A SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF A STREET/SCAPE" SIDEWALK REQUIREMENT FOR SW A STREET (WEST-EAST)	2 ON EACH SIDE OF STREET	1 ON NORTH SIDE OF SW A STREET



DRAINAGE STATEMENT

THE EXISTING 1.62 ACRE SITE LOCATED ON THE CORNER OF SW A STREET AND S COLORADO AVE., ENTAILS THE CONSTRUCTION OF A (4) FOUR STORY 53,600 S.F. HOTEL WITH A SINGLE STORY 5,000 S.F. RESTAURANT. THE PROJECT SHALL BE SERVED BY PROPOSED SITE GRADING WHICH WILL DIRECT STORMWATER TO THE ONSITE CATCH BASINS, THUS ROUTING TO THE STORMWATER CHAMBER SYSTEM WHERE ALL WATER QUALITY AND ATTENUATION IS PROVIDED FOR BOTH OUR SITE AS WELL AS THE OFFSITE FLOWS BEING TAKEN INTO OUR SYSTEM, PRIOR TO A CONTROLLED DISCHARGE TO THE ADJACENT FRAZIER CREEK. OFFSITE FLOWS INCLUDE THOSE ALONG SW A STREET AS WELL AS THE EXISTING CATCH BASINS COMING FROM THE FINANCIAL CENTER TO THE WEST. THE SUBJECT SITE PREVIOUSLY ACTED AS A DRY DETENTION AREA FOR THE "MARTIN COUNTY FINANCIAL CENTER" UNDER EXISTING SFWMD PERMIT #43-00406-S. THE DRAINAGE SYSTEM WILL BE IN ACCORDANCE WITH THE APPLICABLE CRITERIA OF THE CITY OF STUART, MARTIN COUNTY, AND SFWMD FOR THIS LOCATION.

UTILITY STATEMENT

THE EXISTING 1.62 ACRE SITE LOCATED ON THE CORNER OF SW A STREET AND S COLORADO AVE., ENTAILS THE CONSTRUCTION OF A (4) FOUR STORY 53,600 S.F. HOTEL WITH A SINGLE STORY 5,000 S.F. RESTAURANT. THE PROJECT'S WASTE WATER SHALL BE SERVED BY AN ONSITE GRINDER STATION, WITH A PRIVATE FORCE MAIN CONNECTION WITHIN SW A STREET. THERE IS PLENTIFUL ROOM AROUND THE GRINDER STATION AREA TO ADD GREASE TRAPS FOR BOTH BUILDINGS IF REQUIRED. WATER SERVICES AND FIRE PROTECTION FOR BOTH BUILDINGS WILL BE PROVIDED ONSITE BY UTILIZING A PRIVATE WATER MAIN CONNECTION JUST OUTSIDE OF SW A STREET.

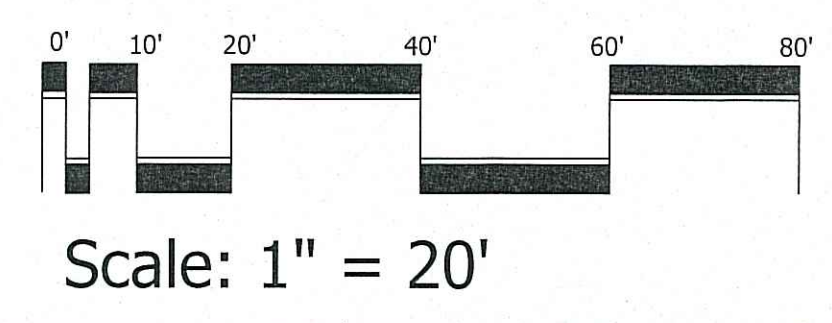
CITY DEVELOPMENT DEPARTMENT

City of Stuart
121 S.W. FLAGLER AVENUE • STUART, FL 34994-2172



APPROVED
JANUARY 8, 2024
Resolution No. 04-2024
Project No: Z23050005
Z23050006

SITE PLAN



GENERAL NOTES

- REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING AS SHOWN ON THE SITE PLAN.
- 10' X 30' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS.
- TYPE D OR F RAISED CONCRETE CURBING SHALL BE PROVIDED AROUND ALL PLANTING ISLANDS WITHIN VEHICULAR USE AREAS.
- MAJORITY OF REQUIRED PARKING WILL BE PROVIDED OFF-SITE BY AN EXISTING PARKING STRUCTURE WITHIN THE ROYAL PALM FINANCIAL CENTER
- RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.
- ALL A/C UNITS SHALL BE LOCATED TO THE REAR OR SIDE OF ALL BUILDINGS AND FULLY SCREENED ON THREE SIDES WITH LANDSCAPING.
- THE BUILDING, LANDSCAPE AND LIGHTING DESIGN SHALL MAXIMIZE THE USE OF CPTD DESIGN PRINCIPLES.
- MINIMUM TYPE CONSTRUCTION FOR ALLOWABLE HEIGHT & BUILDING AREA MUST BE COMPLIANCE WITH THE FLORIDA BUILDING CODE T-500 (AFTER OCT. 1, 2005 FBC 2004)
- ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF CITY OF STUART LDR'S.
- "PEDESTRIAN XING" SIGNS SHALL BE PROVIDED FOR ALL MID-BLOCK CROSSINGS.
- PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS.
- THE PHOTOMETRIC PLAN REFLECTS MAINTAINED LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF STUART LDR'S.
- STREET LIGHTS TO BE FPL COACH LIGHTS MOUNTED ON 12' TALL POLES.

PROJECT TEAM

- OWNER/CLIENT:**
RAJESH PATEL
P.O. BOX 1868
PALM CITY, FL 34991
- LANDSCAPE ARCHITECT/PLANNER:**
COTLEUR & HEARING, INC.
1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
561.747.6336
- ARCHITECT:**
HARTER-ADAMS, P.A.
1370 GENE STREET
WINTER PARK, FL 32789
407.647.5767
- ENGINEER:**
VELCON ENGINEERING & SURVEYING
1449 COMMERCE CENTER DRIVE
PORT ST. LUCIE, FL 34986
772.879.0477
- SURVEYOR:**
VELCON ENGINEERING & SURVEYING
1449 COMMERCE CENTER DRIVE
PORT ST. LUCIE, FL 34986
772.879.0477

LEGAL DESCRIPTION

UNIT 2, ROYAL PALM FINANCIAL CENTER COMMERCIAL CONDOMINIUM, ACCORDING TO THE DECLARATION OF CONDOMINIUM OF ROYAL PALM FINANCIAL CENTER, AS RECORDED IN OFFICIAL RECORDS BOOK 2499, PAGE 1296, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.
PARCEL CONTAINS 70, 754 +/- SQUARE FEET

LEGEND

- HC HANDICAP
- LB LANDSCAPE BUFFER
- R RADIUS
- SB SETBACK
- SW SIDEWALK
- TYP TYPICAL
- HC SIGN
- STOP SIGN
- DO NOT ENTER
- GUARDRAIL WHEN RETAINING WALL IS > 30" IN HEIGHT
- HANDRAIL ALONG RAMPS AND STEPS

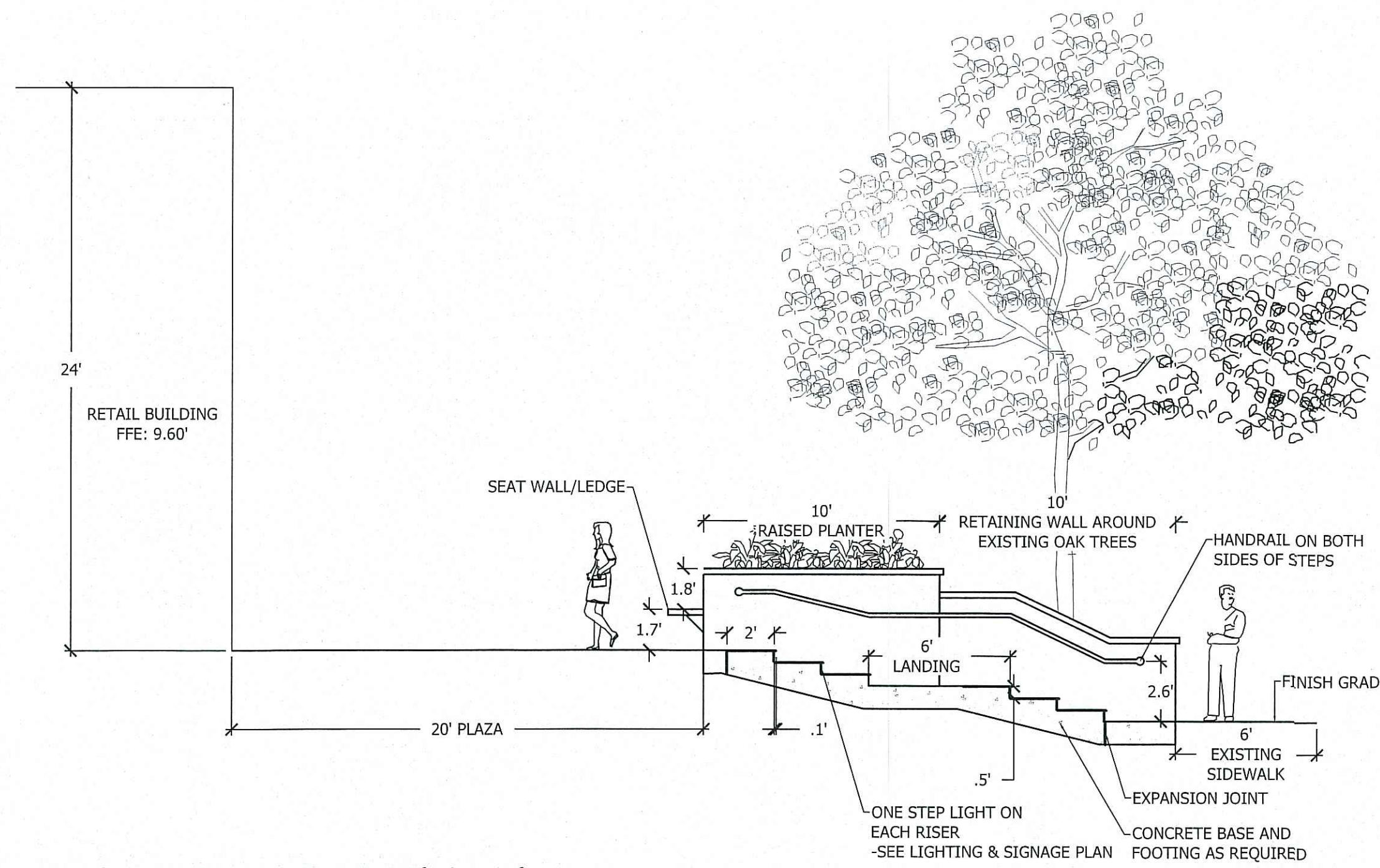
Daniel T Sorrow: A01
094F000001
7C7029936
800002501



DESIGNED	LAH/TJB
DRAWN	TJB
APPROVED	DTS/LAH
JOB NUMBER	22-1016
DATE	03-07-23
REVISIONS	05-12-23
	09-29-23

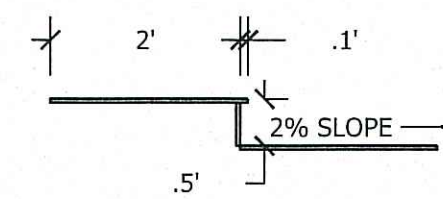
RETAIL PLAZA TO COLORADO AVENUE SECTION (SECTION A)

1" = 5'-0"

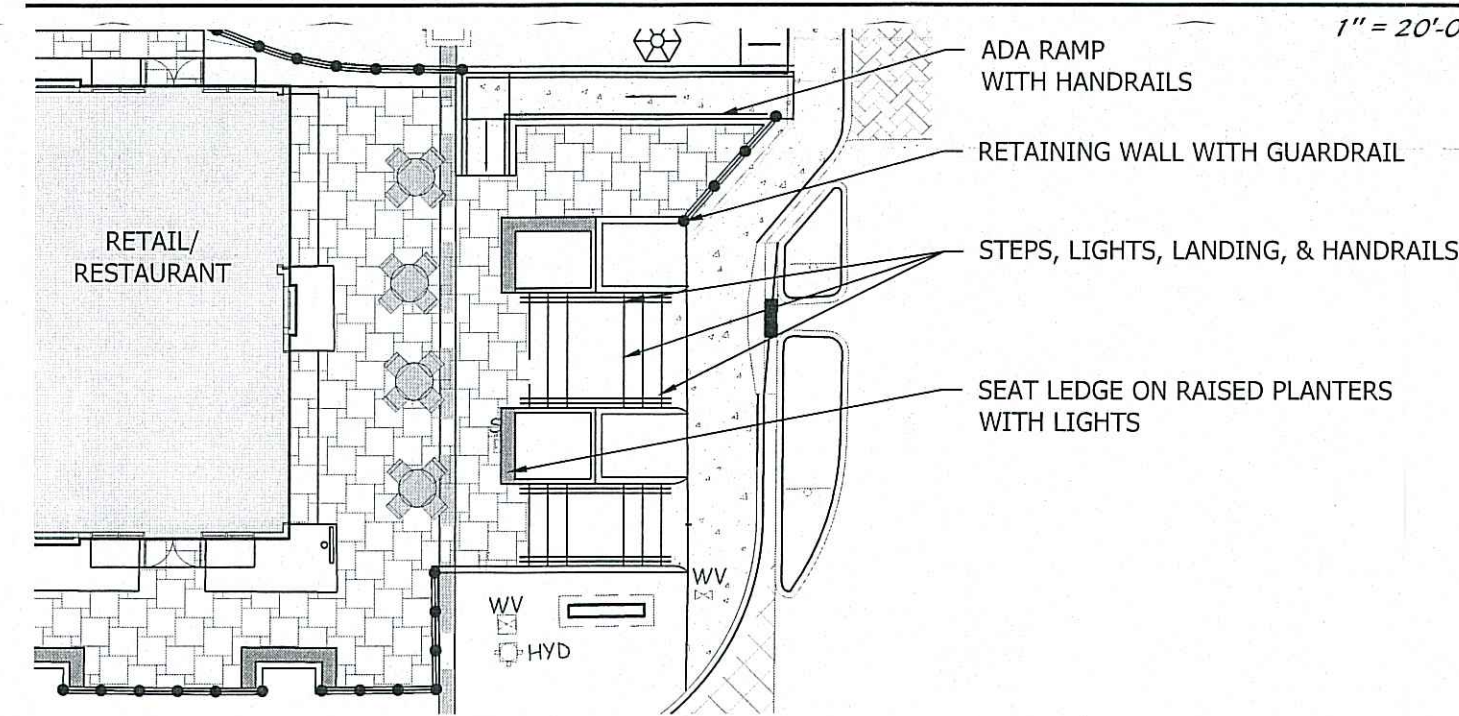


NOTES:

- TREAD OF EACH STEP TO BE SLOPED AT 2% TO ALLOW ADEQUATE STORM WATER RUN OFF
- 1" OVERHANG ON EACH STEP CAP
- RISE TO HAVE WOODEN VENEER/FACADE TO MATCH ARCHITECTURE COLOR
- TREAD TO BE LIGHT IN COLOR
- MATERIAL SPECIFICS TO BE DETERMINED IN MATERIAL PLAN

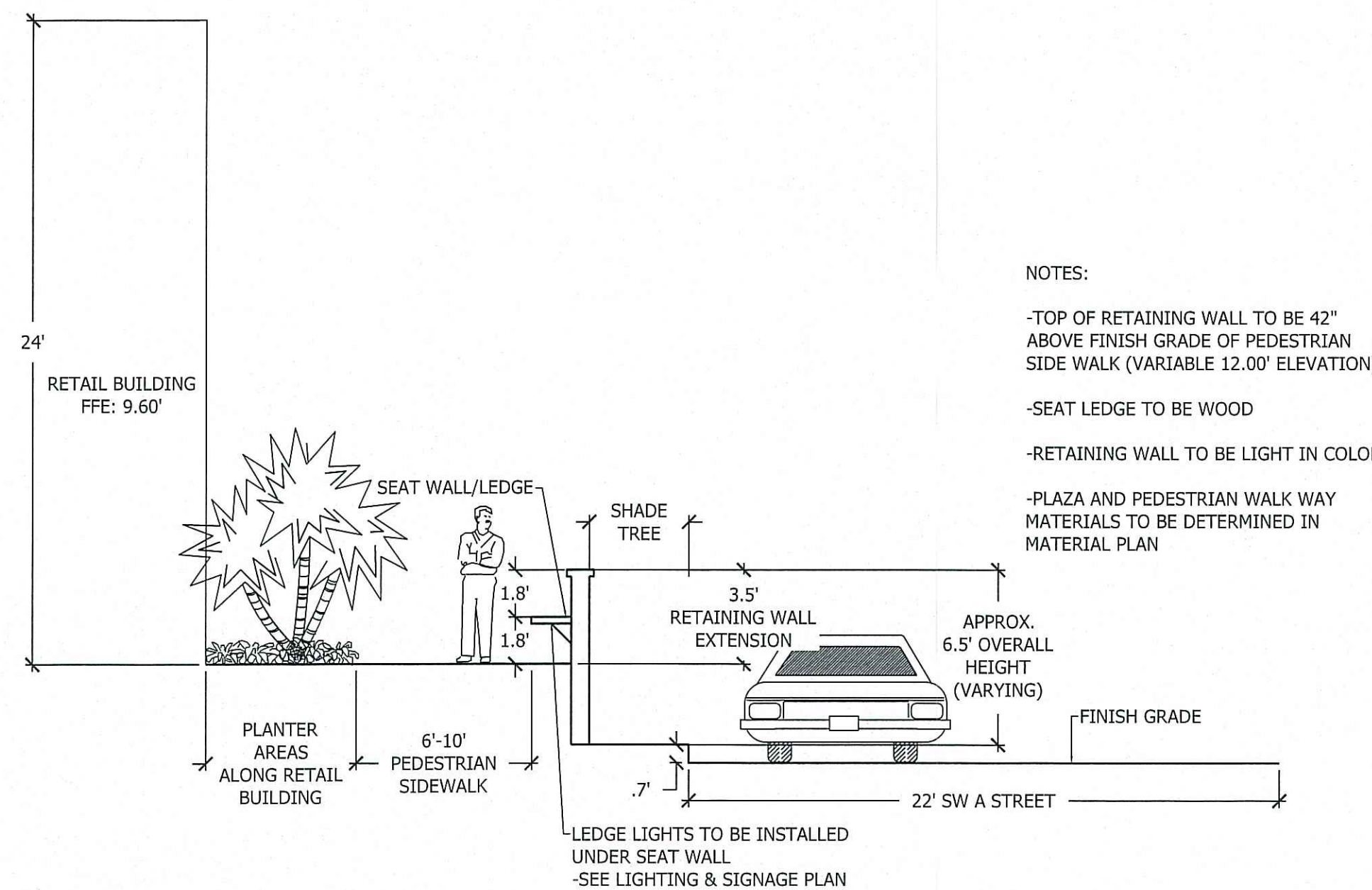


PLAN VIEW OF SECTION A



RETAIL SIDEWALK TO SW A STREET SECTION (SECTION B)

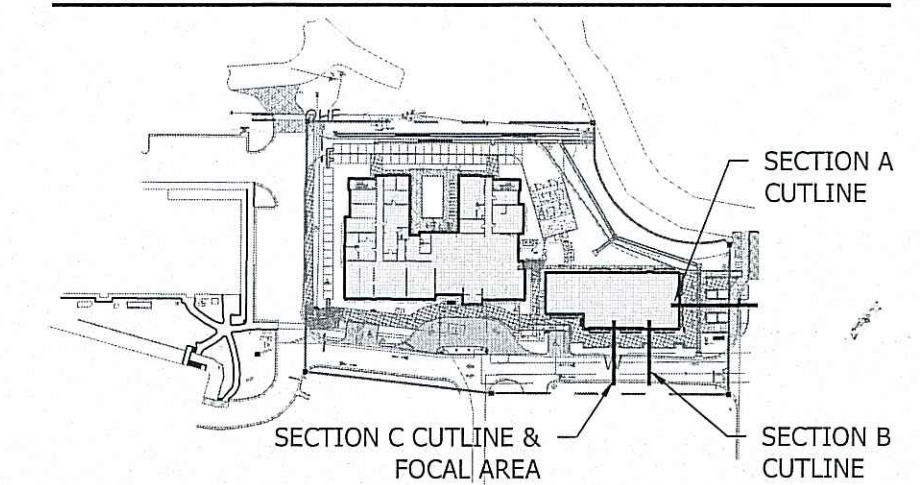
1" = 5'-0"



NOTES:

- TOP OF RETAINING WALL TO BE 42" ABOVE FINISH GRADE OF PEDESTRIAN SIDE WALK (VARIABLE 12.00' ELEVATION)
- SEAT LEDGE TO BE WOOD
- RETAINING WALL TO BE LIGHT IN COLOR
- PLAZA AND PEDESTRIAN WALK WAY MATERIALS TO BE DETERMINED IN MATERIAL PLAN

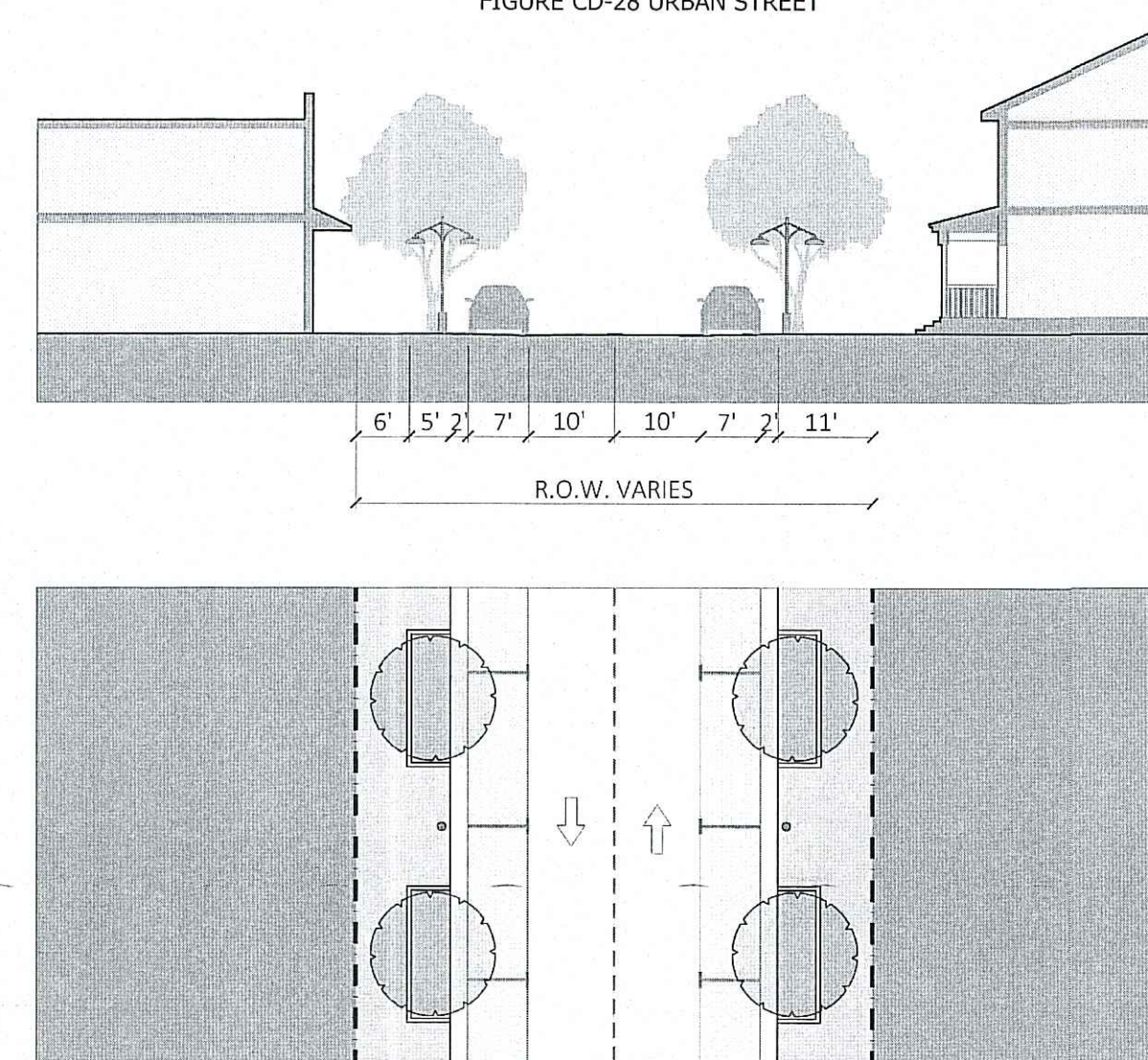
CUT-LINE MAP



THOROUGHFARE STANDARDS - PER THE CREEK DISTRICT CODE - "URBAN STREET"

NTS

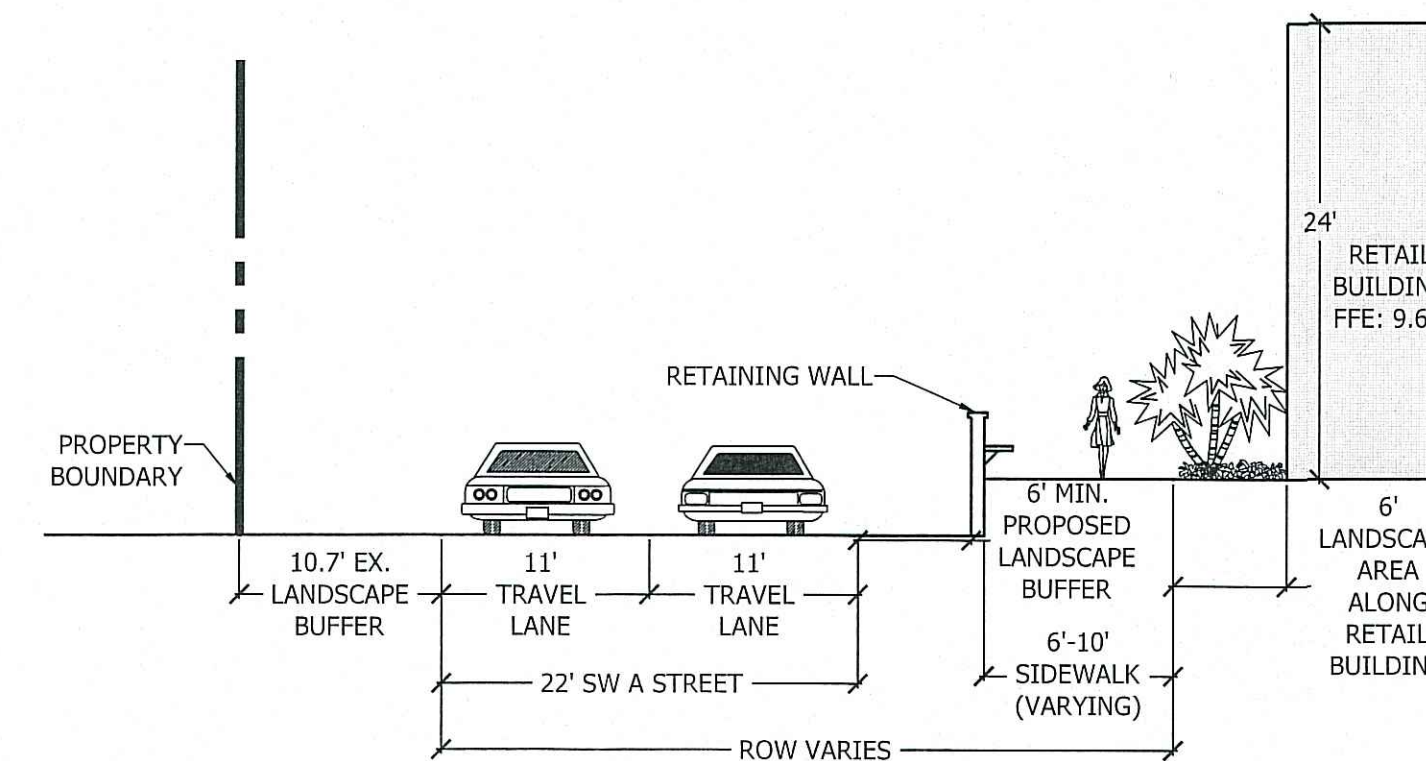
FIGURE CD-28 URBAN STREET



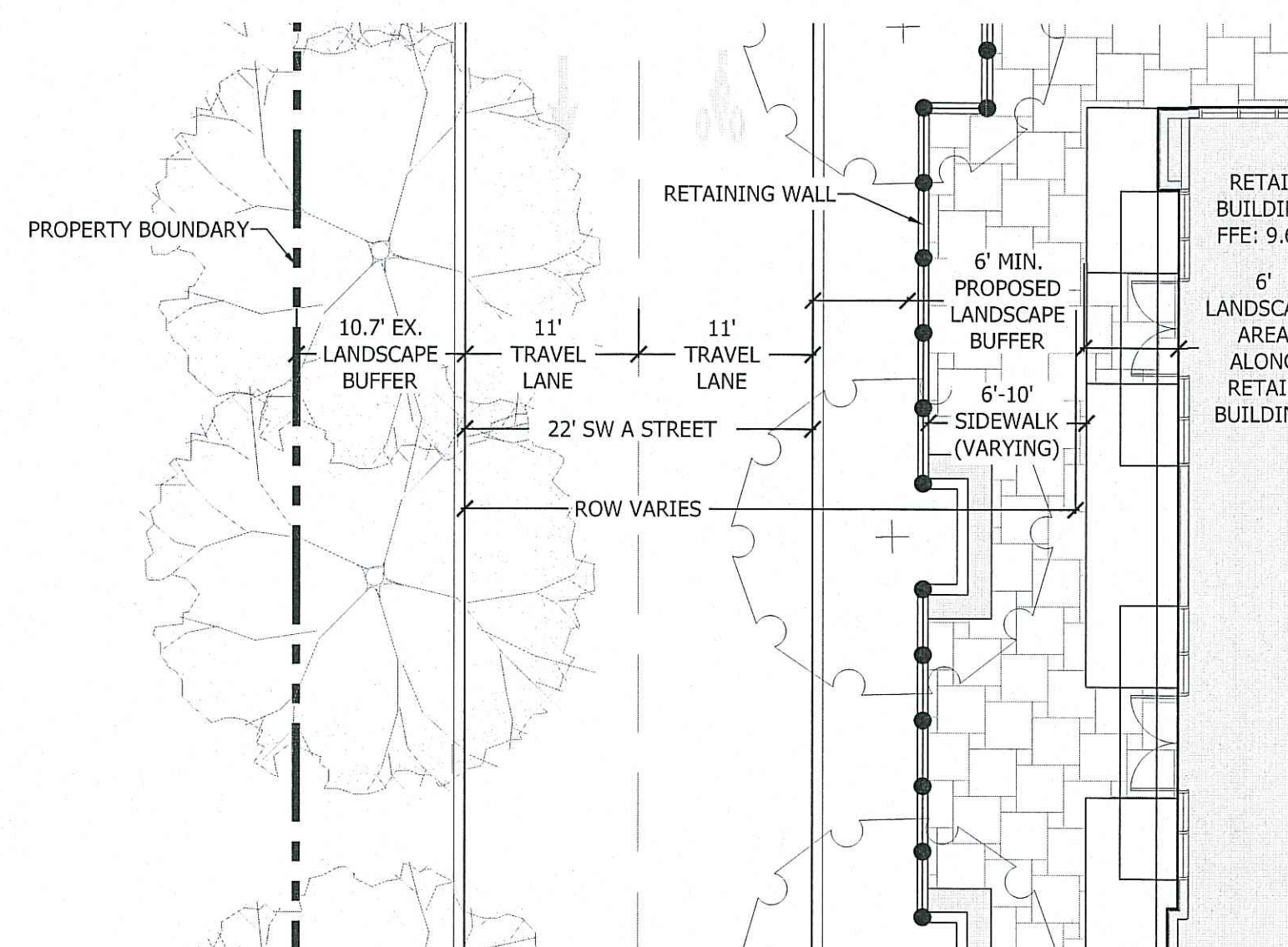
TYPE	PROPOSED
VEHICULAR TRAVEL LANES	10 FEET
PARKING LANES	7 FEET PARALLEL ON BOTH SIDES
BIKE FACILITY	SHARED-USE PATH
PREFERRED ROW	60 FEET
PAVEMENT WIDTH	34 FEET
SIDEWALK	10 FEET
MEDIAN	NOT REQUIRED
ROAD EDGE TREATMENT	CURB & GUTTER OR VALLEY GUTTER
PLANTING	SHADE TREES 30 FEET ON CENTER, MAY OCCUR IN THE TREE WELLS WITHIN THE FURNISHING ZONE OR WITHIN THE PARKING LANES
LOW IMPACT DEVELOPMENT	TREE BOX FILTER & PERMEABLE SURFACE AT ON-STREET PARKING

PROPOSED THOROUGHFARE FOR SW A STREET - "MODIFIED URBAN STREET" (SECTION C)

1" = 10'-0"



TYPE	PROPOSED
VEHICULAR TRAVEL LANES	11 FEET
PARKING LANES	HEAD IN ON ONE SIDE (NORTH SIDE OF SW A STREET)
BIKE FACILITY	SHARED-USE PATH
PREFERRED ROW	42 FEET (ROW VARIES)
PAVEMENT WIDTH	22 FEET
SIDEWALK	6-10 FEET
MEDIAN	NOT REQUIRED
ROAD EDGE TREATMENT	CURB & GUTTER OR VALLEY GUTTER
PLANTING	SHADE TREES 30 FEET ON CENTER WITHIN PROPOSED LANDSCAPE BUFFER (NORTH SIDE OF SW A STREET)
LOW IMPACT DEVELOPMENT	TREE BOX FILTER & PERMEABLE SURFACE AT PARKING

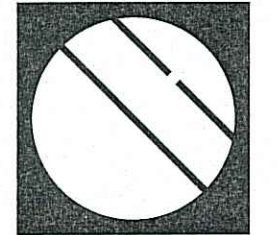


CITY DEVELOPMENT DEPARTMENT
City of Stuart
121 S.W. FLAGLER AVENUE • STUART, FL 34994-2172

APPROVED
JANUARY 8, 2024
Resolution No. 04-2024
Project No: 223050005
223050006

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By: [Signature]

SITE SECTIONS



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 • Fax 747.1377
www.cotleurhearing.com
Lic# LC-26000535

Creekside Hotel

Stuart, Florida

Daniel T Sorrow:A0
1094E0000
017C70299
36B00002B

Digitally signed by Daniel T Sorrow:A01094 E000017C7029 936800002B30 Date: 2023.09.27 16:22:04-00'

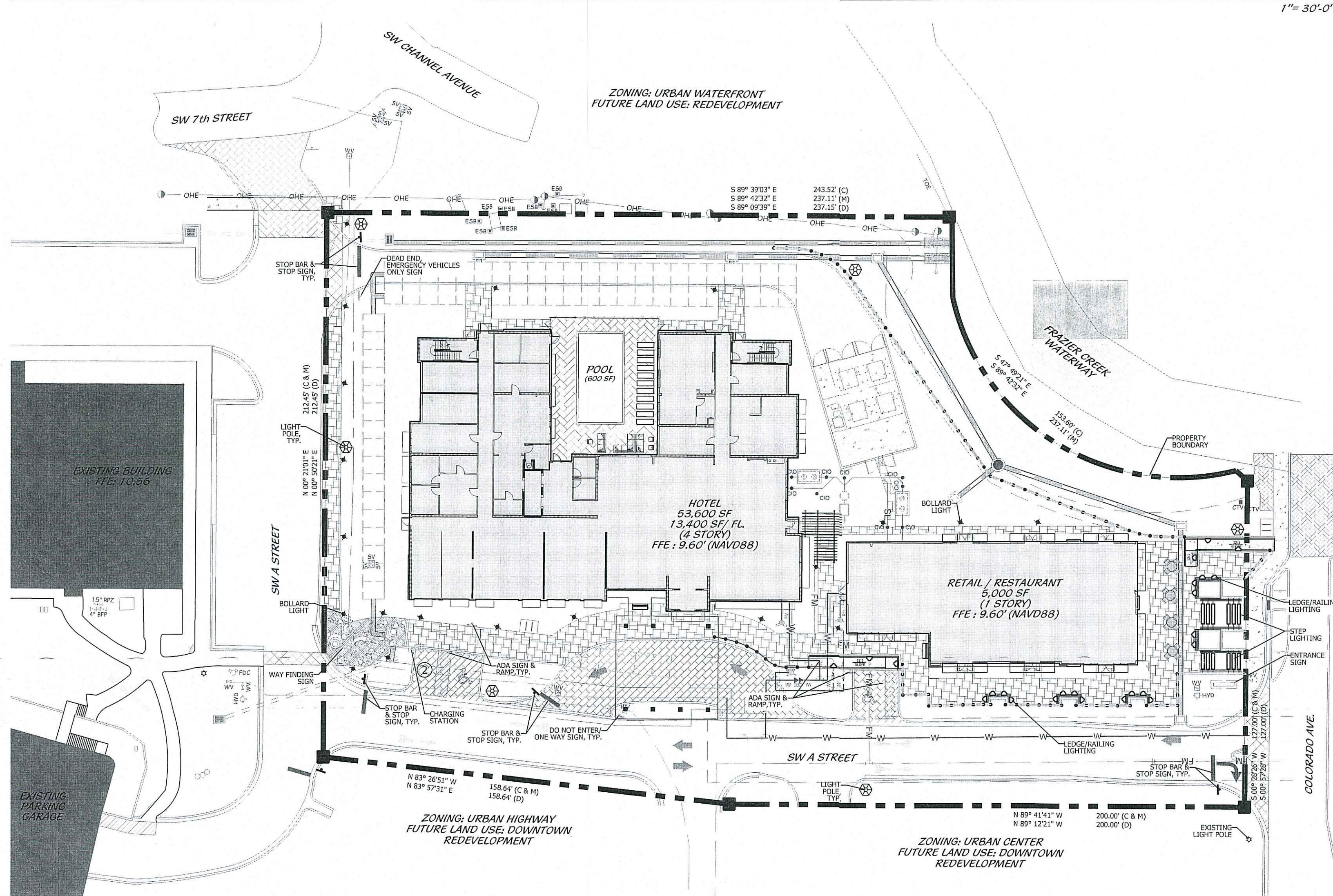


DESIGNED LAHT/JB
DRAWN TJB
APPROVED DTS/LAH
JOB NUMBER 22-1016
DATE 03-07-23
REVISIONS 05-12-23
09-29-23

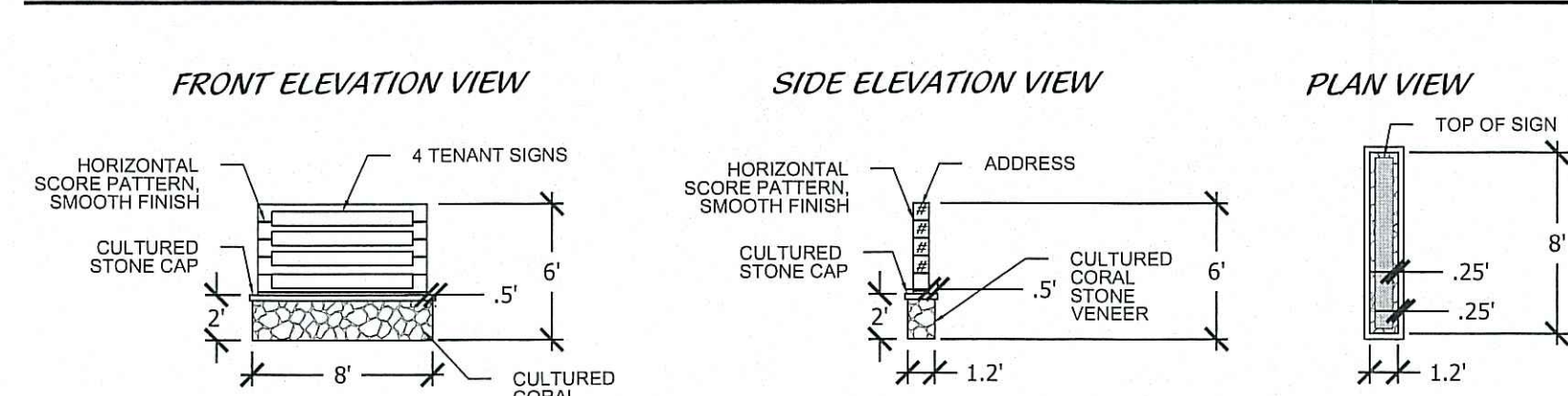
SHEET 2 OF 4

© COTLEUR & HEARING, INC.
These drawings are the property of the architect and are not to be used for extensions or on other projects except by agreement in writing with the architect. Immediately report any discrepancies to the architect.

OVERALL LIGHTING AND SIGNAGE PLAN

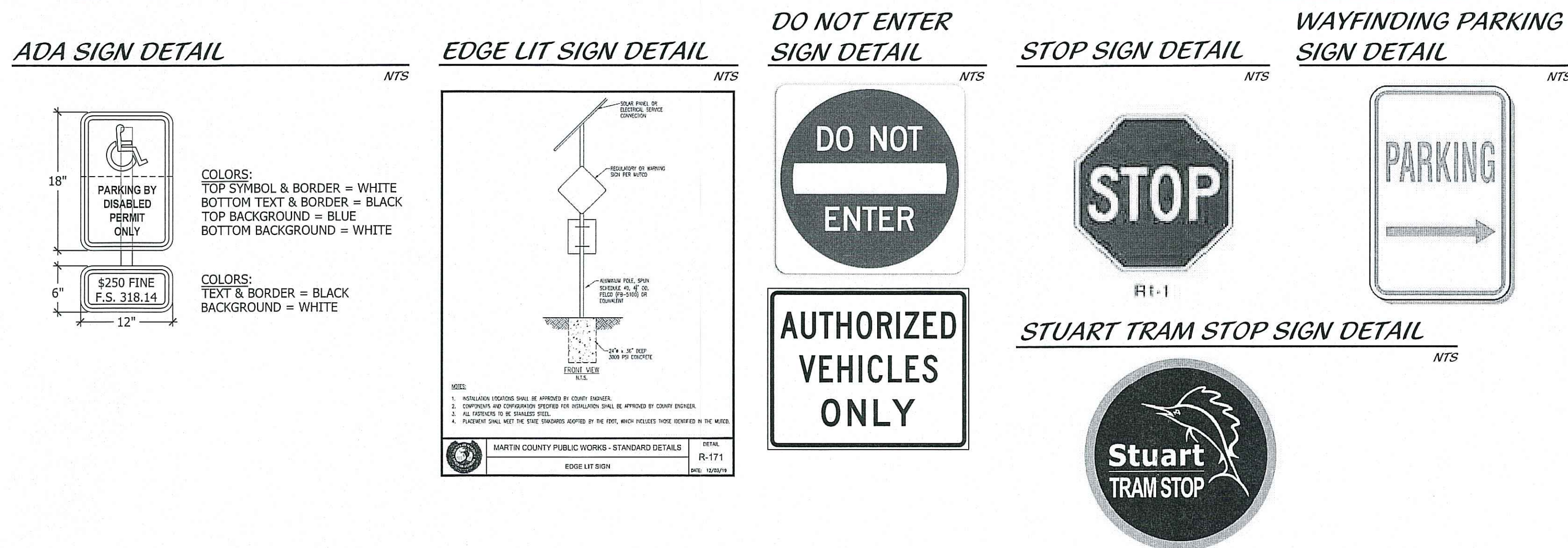


PROPOSED MONUMENT ENTRANCE SIGN DETAILS



NOTE: SIGN DESIGN TO BE DETERMINED
NOTE: SEE SUPPLEMENTAL HILTON SIGNAGE PACKAGE FOR FURTHER SPECIFICATIONS.

TYPICAL SIGN DETAILS

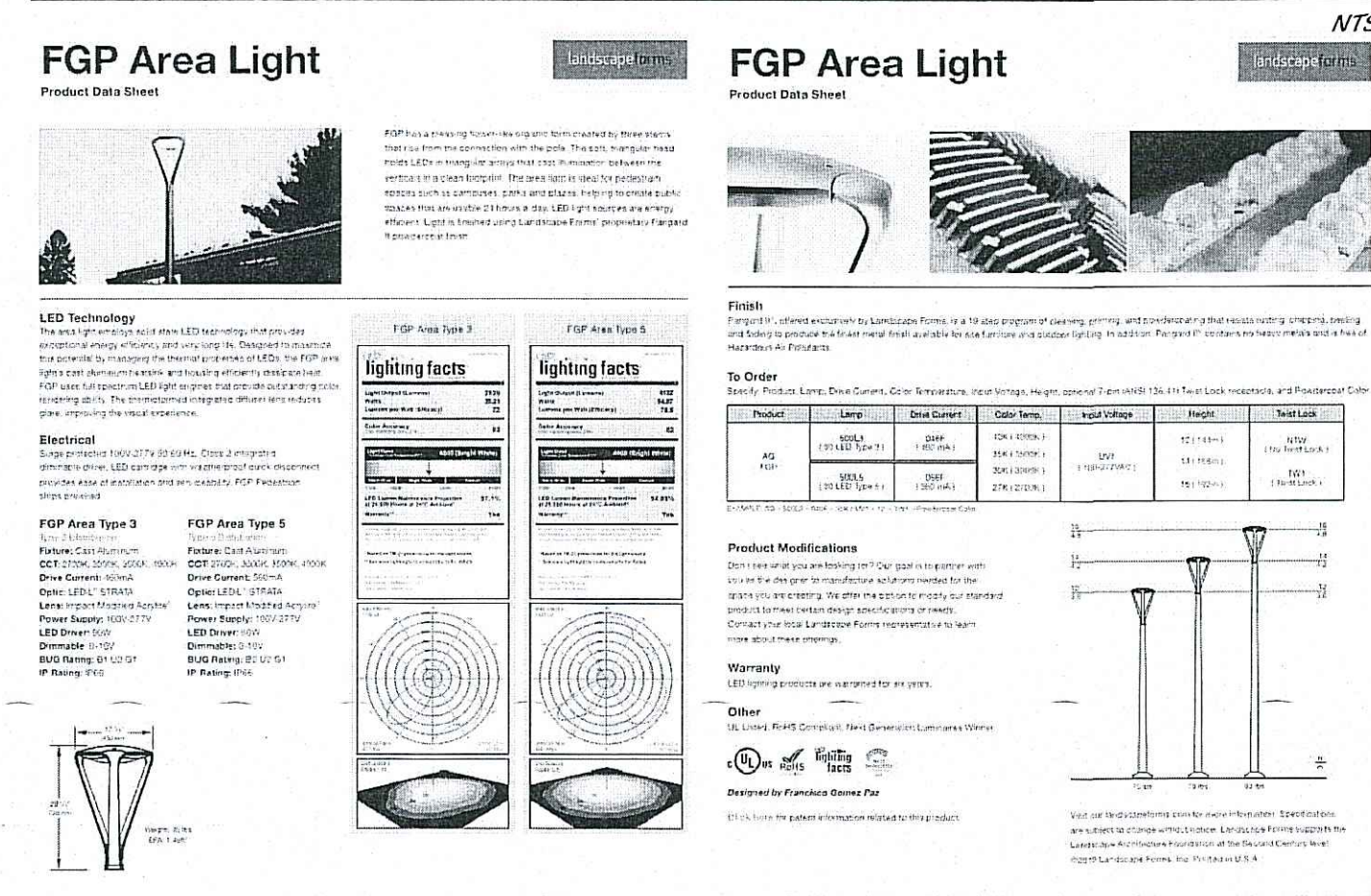


TRAFFIC & PEDESTRIAN LIGHTING LEGEND

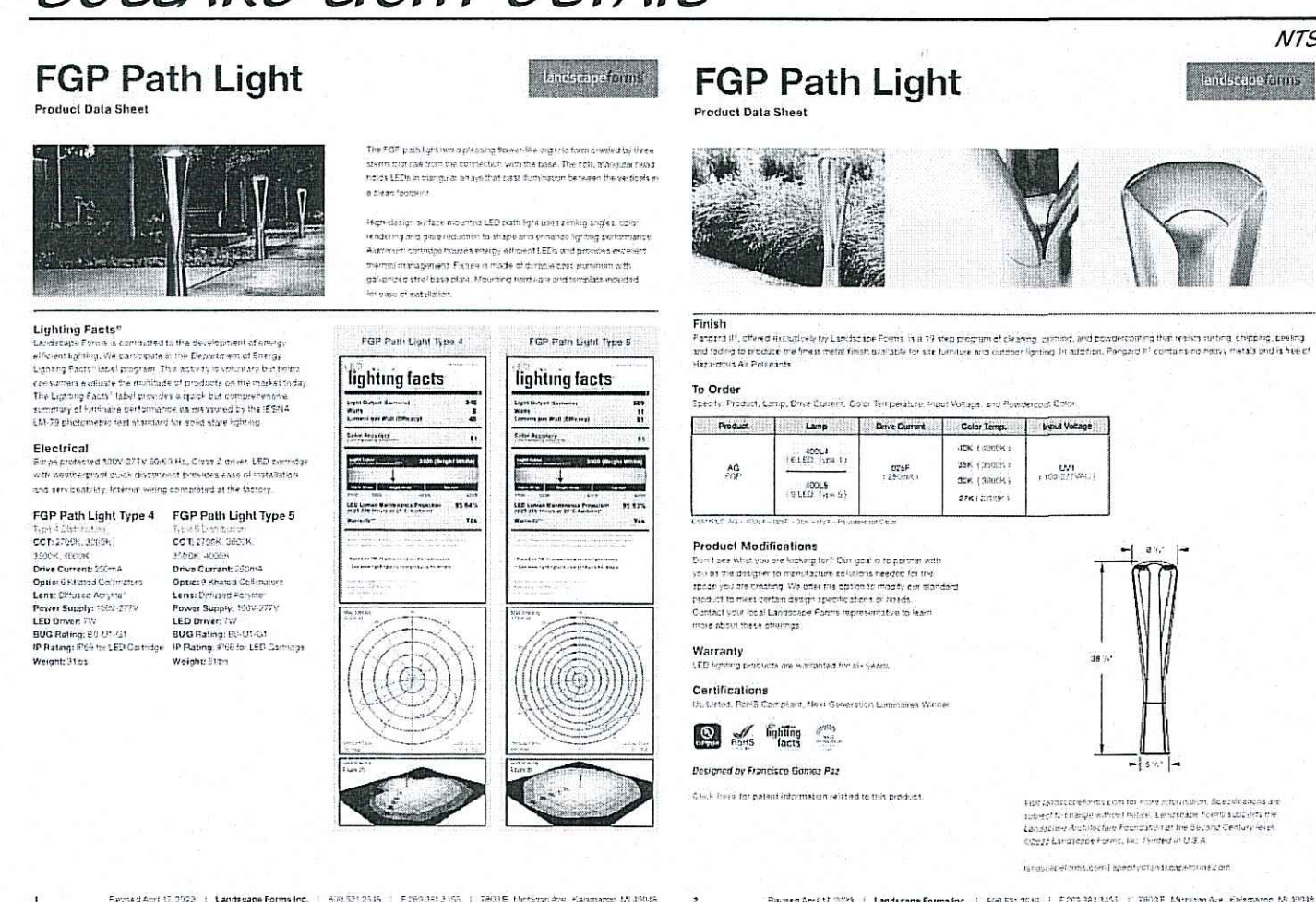
- 6 SINGLE LIGHT STREET POLE
- 20 BOLLARD PATH LIGHT
- 12 STEP LIGHT
- 24 LEDGE/RAILING LIGHT

- NOTES:**
1. QUANTITIES SHOWN ARE PROJECT TOTALS
 2. SEE THIS SHEET FOR LIGHTING SPECIFICATIONS & DETAILS
 3. LIGHTING FIXTURES BY LANDSCAPE FORMS, UNIQUE LIGHTING SYSTEMS, OR EQUAL IF APPROVED BY LANDSCAPE ARCHITECT

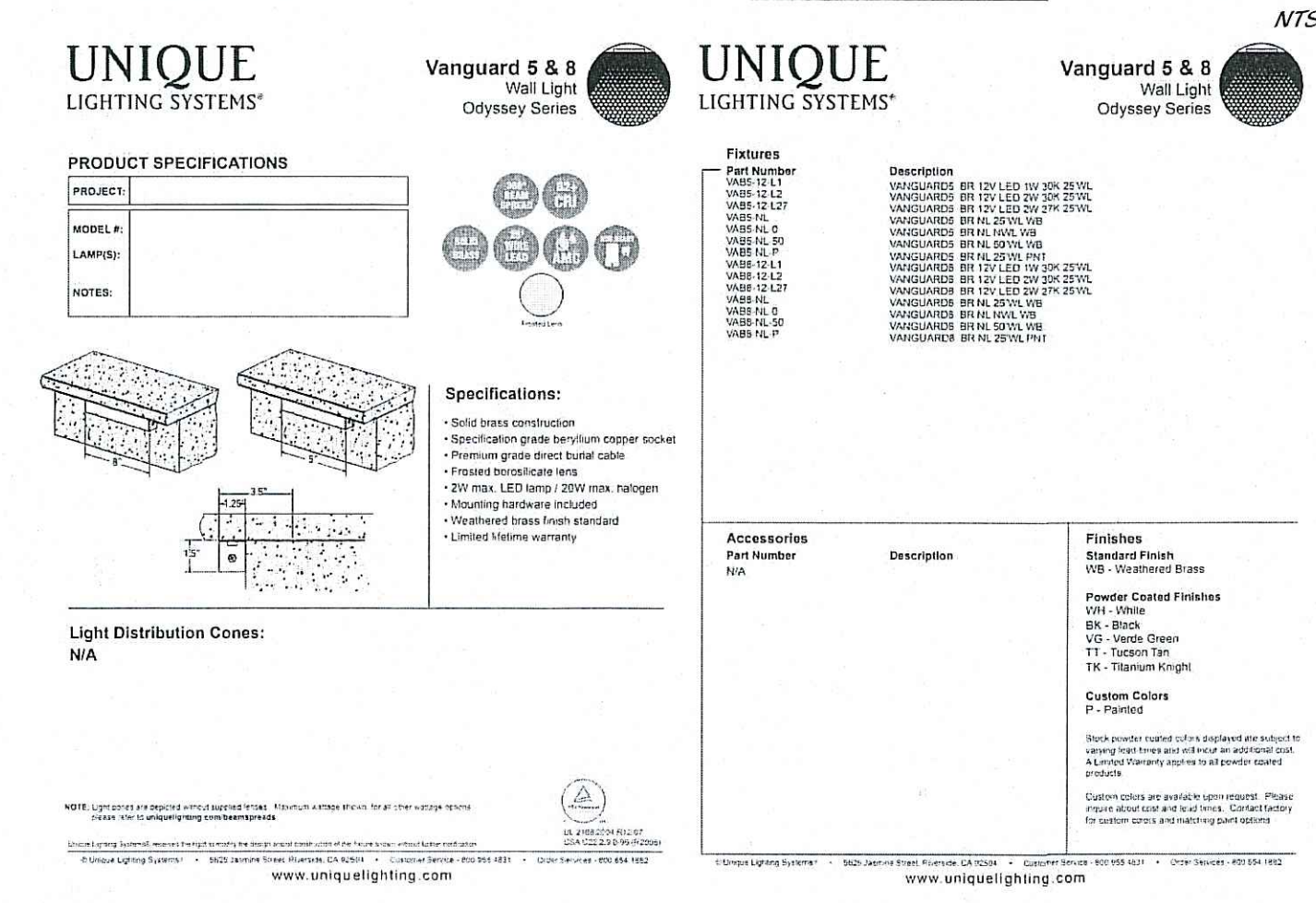
STREET LIGHT DETAIL



BOLLARD LIGHT DETAIL



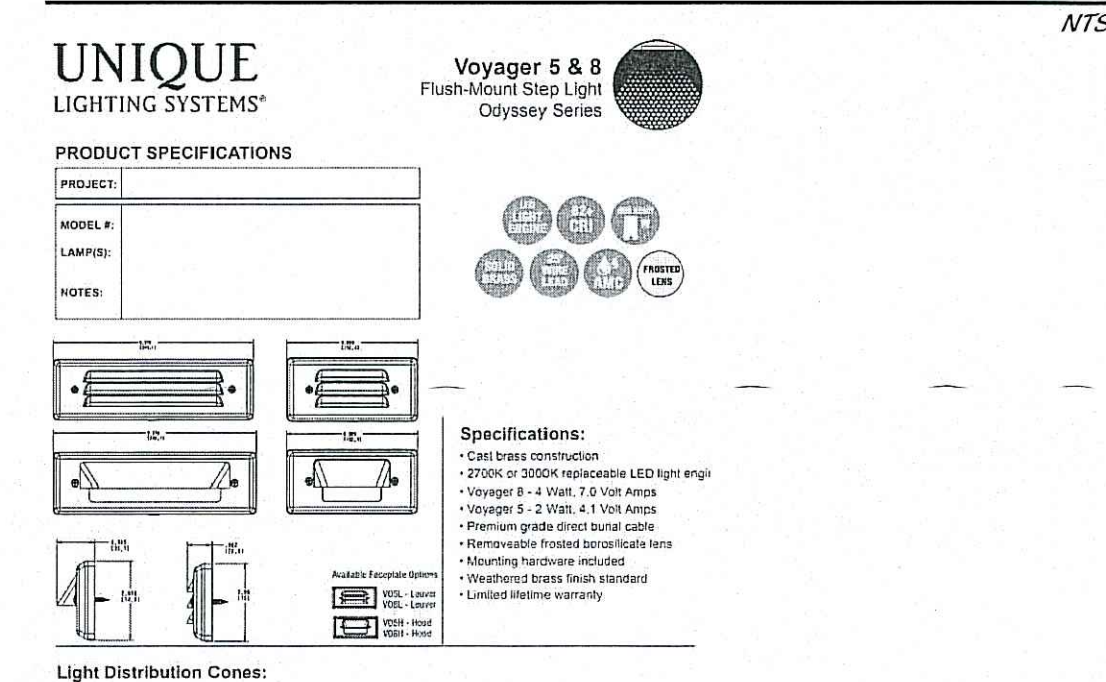
LEDGE / RAILING LIGHT DETAIL



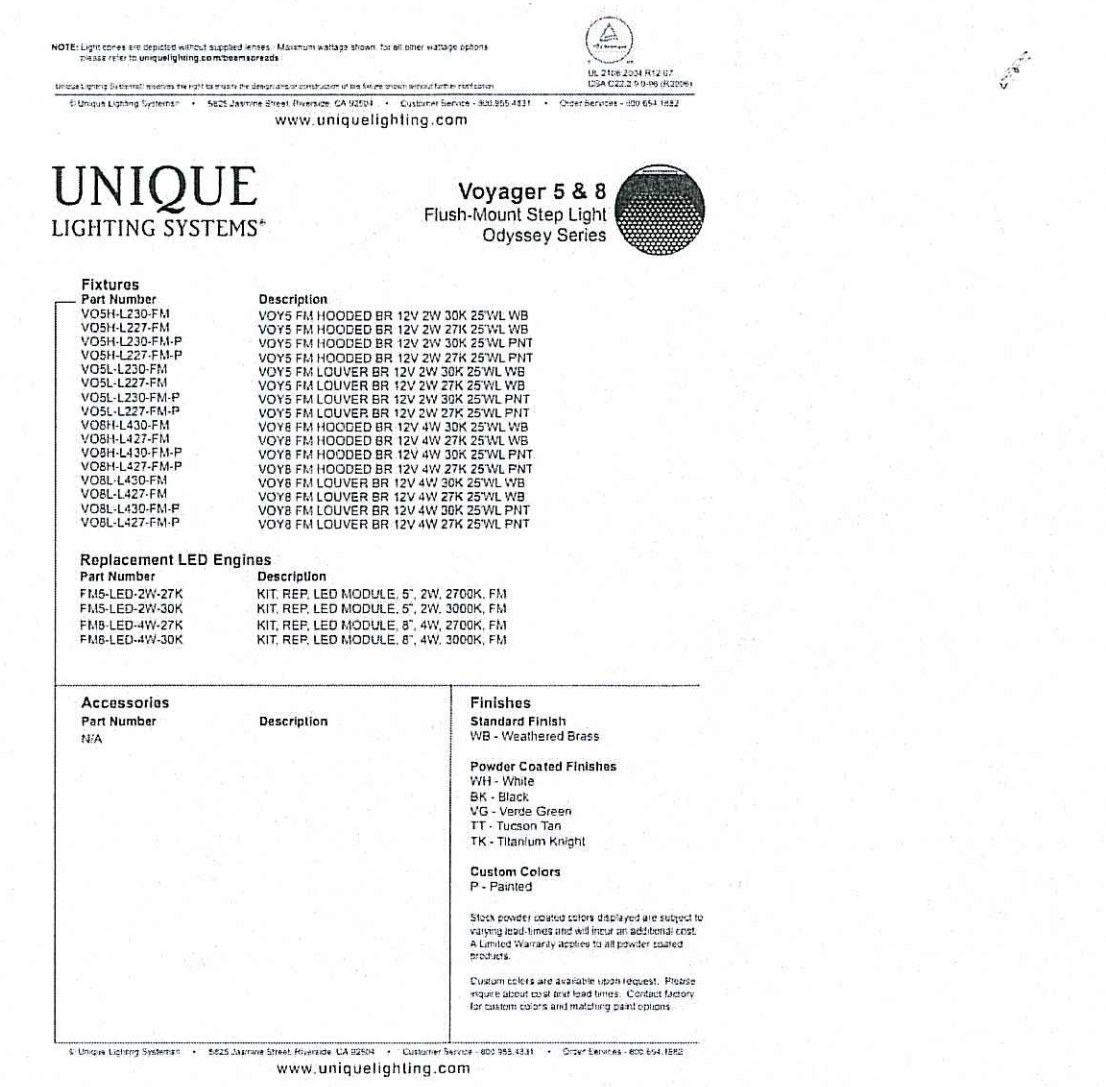
LIGHTING NOTES

1. Electrical Engineer shall verify compliance of lighting components for system voltage.
2. Plan location of plant material may vary. Contractor shall stake fixture locations, relative to plant material, for review and approval of Landscape Architect prior to trenching. Final fixture location and position is subject to review and final approval by Landscape Architect.
3. Lamp Temperature - 3000K - 4000K.
4. All lighting shall be mounted on rocket perma-post unless otherwise noted.
5. System to be installed to meet City/County Code requirements.
6. Verify final fixture finish with Landscape Architect prior to ordering
7. Extension heights on plans indicate top of fixture (not top of mounting post)
8. If applicable, provide a grade J-box for all fixtures located in sodded areas, provide adequate drainage away from J-box as recommended by supplier
9. Contractor shall stake light fixtures in the field for review and approval by Landscape Architect after major trees and palms are in place and prior to trenching. Landscape Architect may adjust fixture locations as needed.
10. Provide Additional lamp lens for exchanging in field if necessary during walk-through
11. Contractor to coordinate permitting with State/Local/County Governing Authority, assure plans abide by Code
12. All electrical lines/wires shall be placed in conduit where permitted by local code. The use of direct burial wire is acceptable where required by local code and for low voltage application.

STEP LIGHT DETAIL



UNIQUE LIGHTING SYSTEMS'



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LIGHTING & SIGNAGE PLAN

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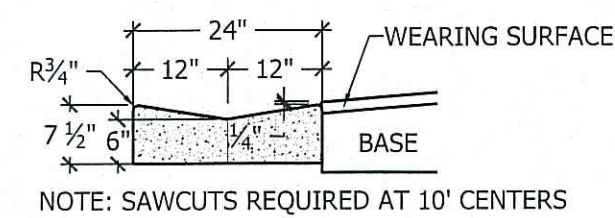
Creekside Hotel
Stuart, Florida

Daniel T Sorrow: A01 094E000001 7C70299 7C7029936
Digitally signed by Daniel T Sorrow: A01094E0000017C70299 3680002830



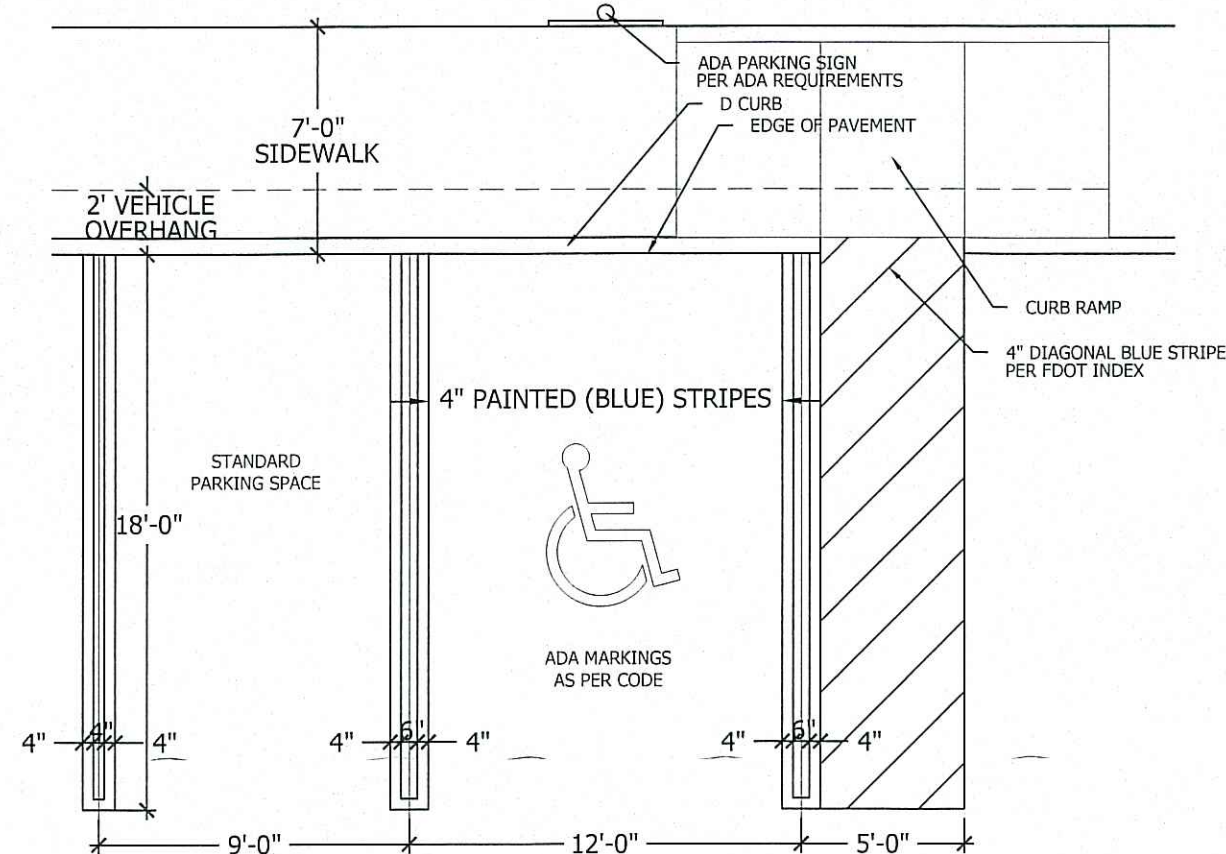
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VALLEY CURB DETAIL



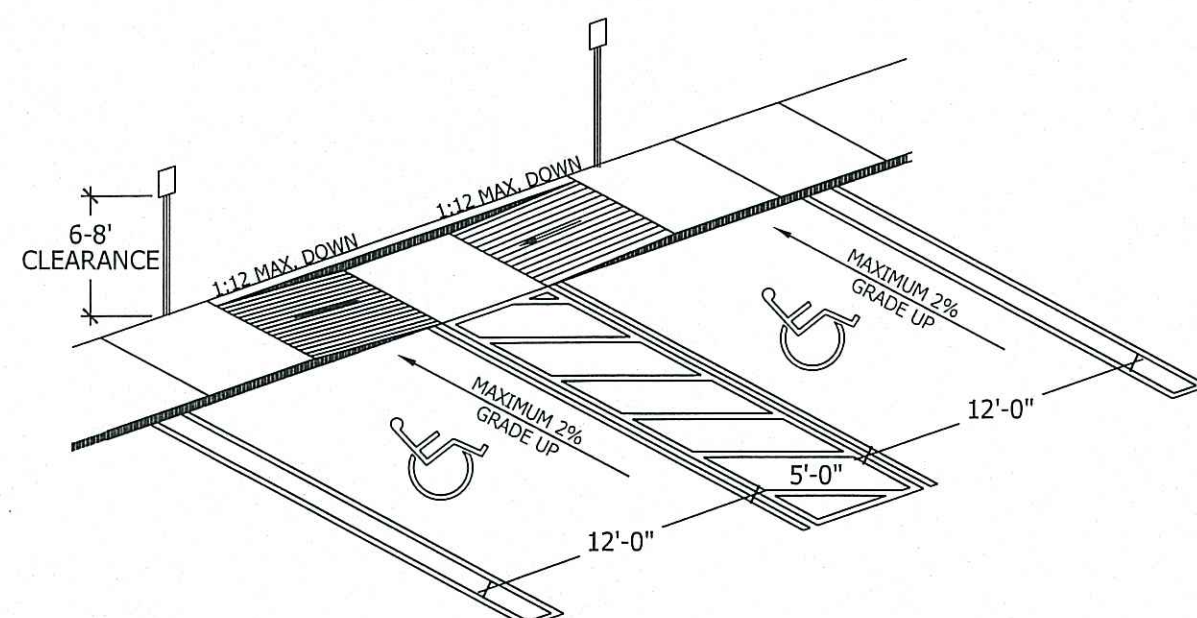
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STANDARD AND ADA PARKING DETAIL



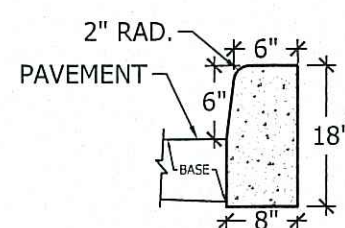
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ADA RAMP DETAIL



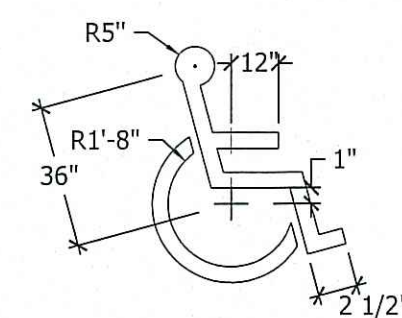
NTS

D CURB DETAIL



NTS

ADA SYMBOL DETAIL



NOTE: SYMBOL TO BE 4" WIDE WHITE TRAFFIC PAINT ON PAVEMENT OR COLORED PAVERS. TYPICAL @ ALL HANDICAP STALLS

NTS

ADA SIGN DETAIL



COLORS:
TOP SYMBOL & BORDER = WHITE
BOTTOM TEXT & BORDER = BLACK
TOP BACKGROUND = BLUE
BOTTOM BACKGROUND = WHITE

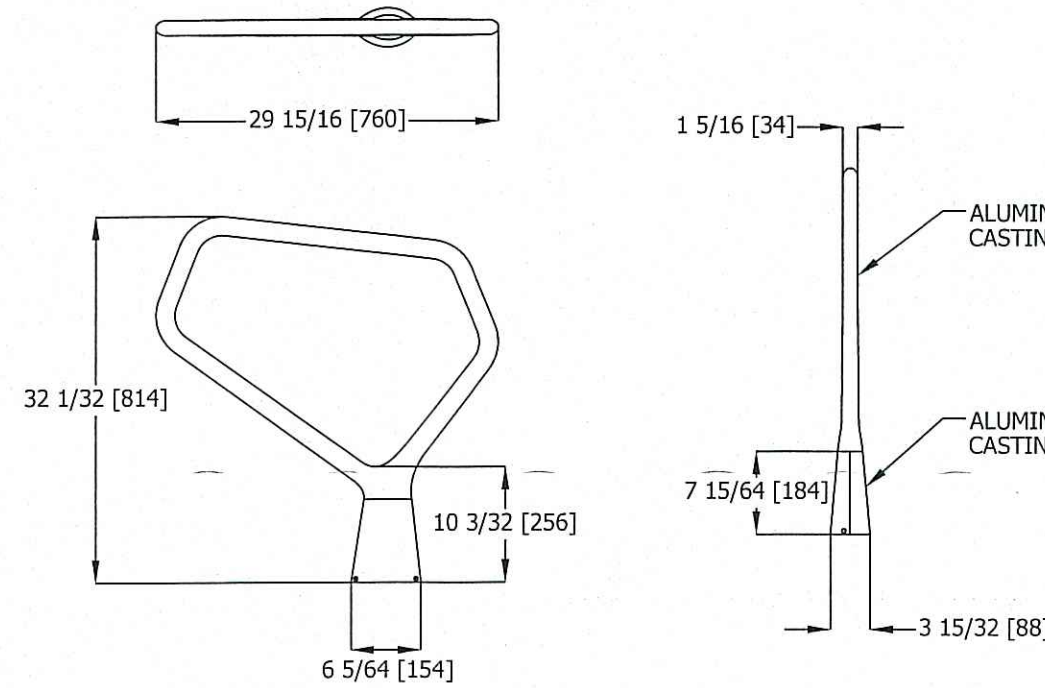
COLORS:
TEXT & BORDER = BLACK
BACKGROUND = WHITE

NTS

BIKE RACK DETAIL - TYPE 1

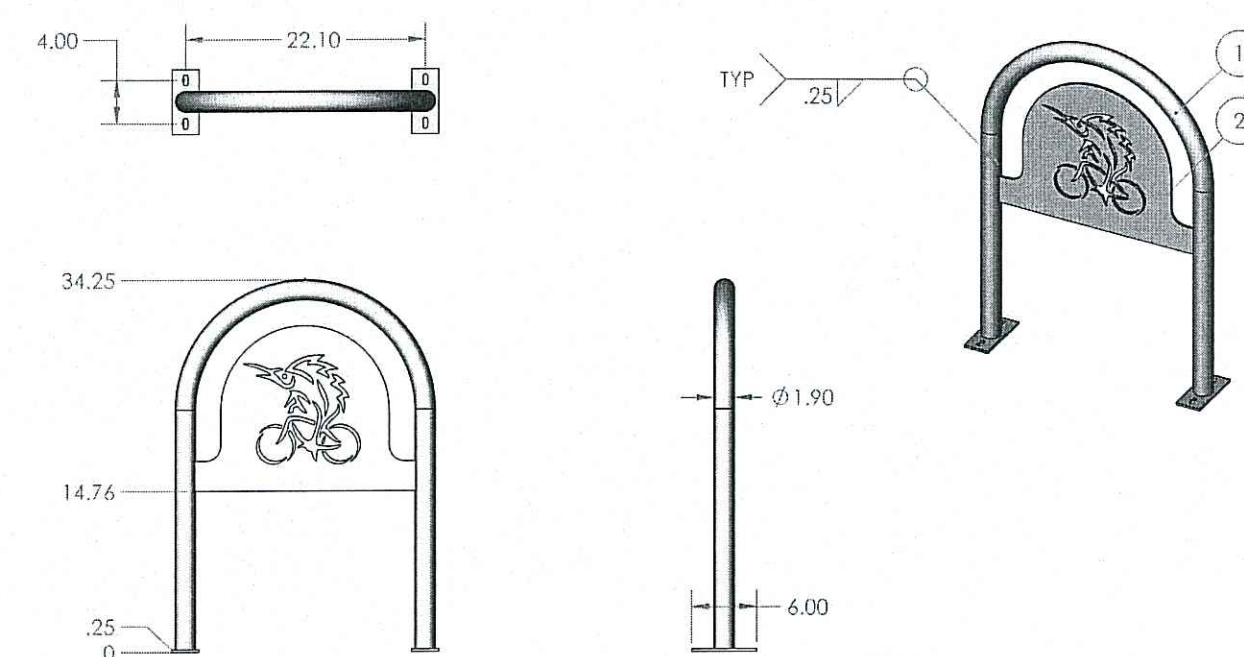
FGP Bike rack
Product Drawing Date: 6/2/2015
www.landscapeforms.com Ph: 800.521.2546

SURFACE MOUNT OPTION DOES NOT INCLUDE ANCHORS.
EMBEDDED OPTION INCLUDES TWO EACH:
M12 x 1.75 THREADED RODS, 120mm LENGTH
M12 x 1.75 HEAVY HEX NUTS
M12 FLAT WASHERS
ALL CARBON STEEL WITH MAGNI-COAT



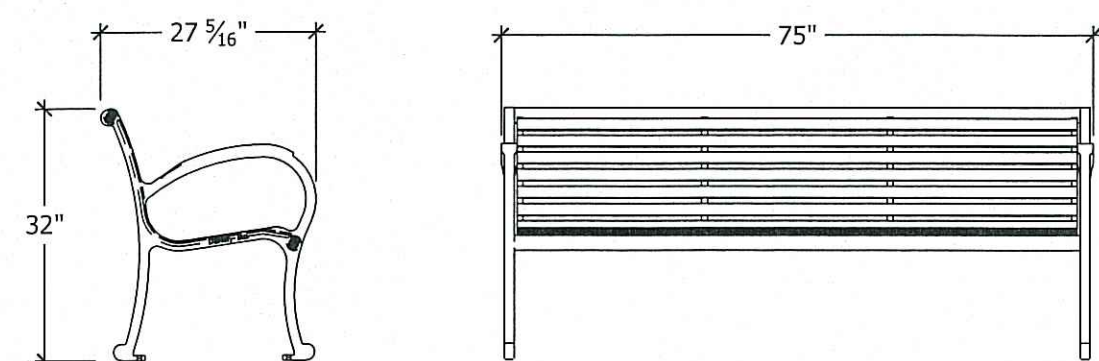
NTS

BIKE RACK DETAIL - TYPE 2

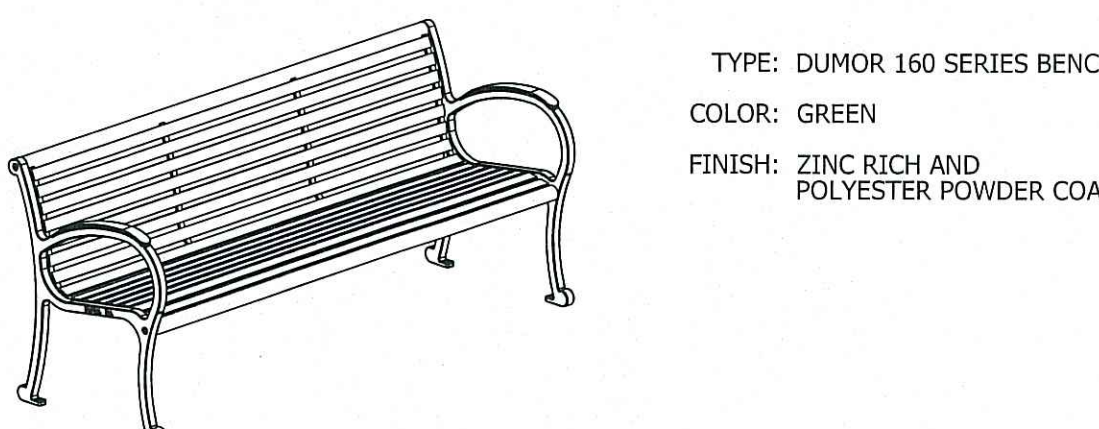


NTS

BENCH DETAIL

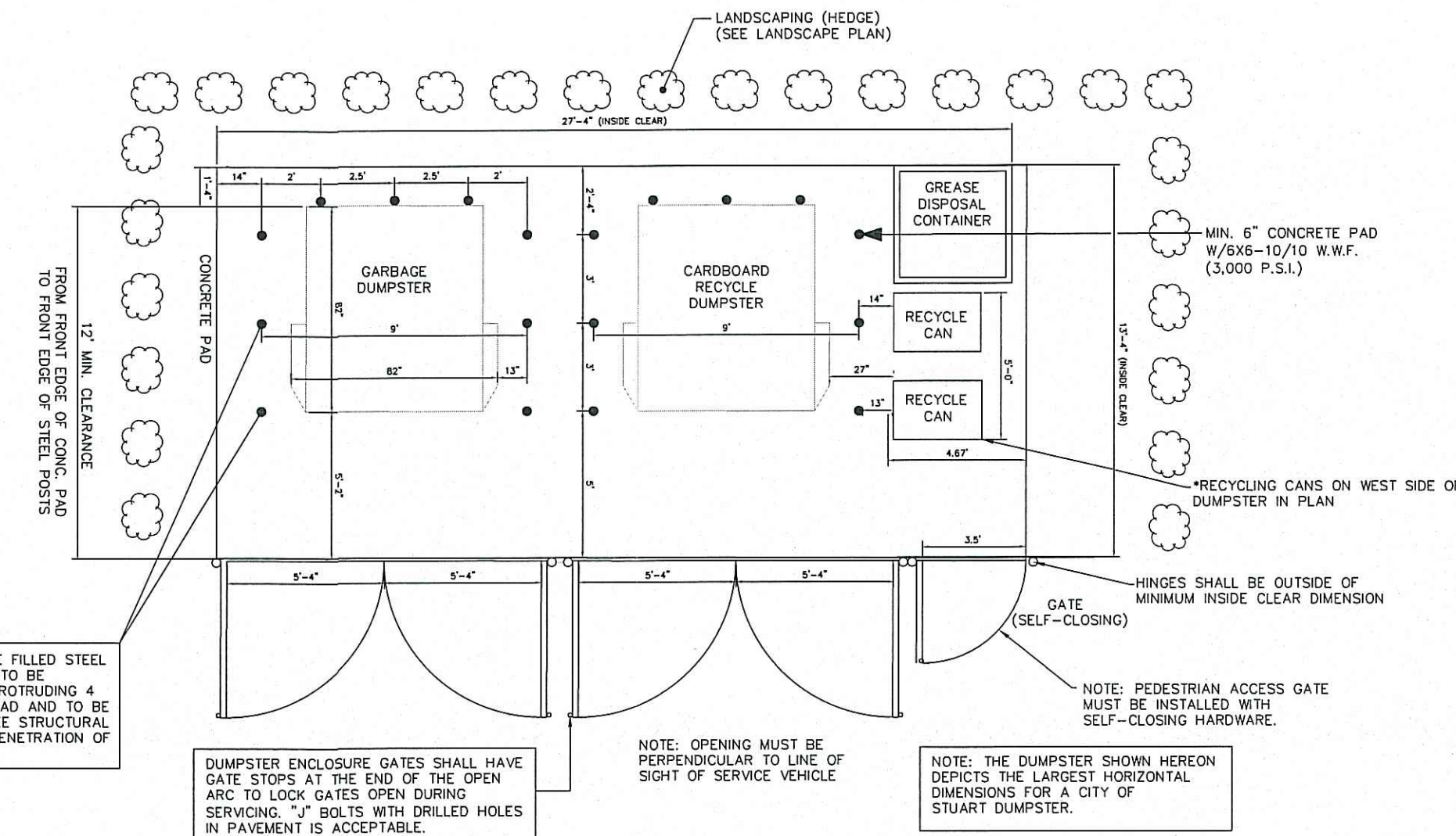


NTS



TYPE: DUMOR 160 SERIES BENCH
COLOR: GREEN
FINISH: ZINC RICH AND POLYESTER POWDER COAT

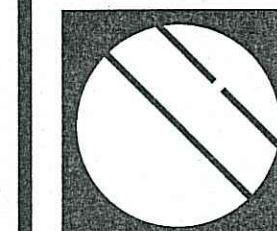
DUMPSTER DETAIL



NTS

CITY OF STUART DUMPSTER ENCLOSURE - SITE DETAIL
DOUBLE DUMPSTER w/ RECYCLING & GREASE DISPOSAL CONTAINER N.T.S.

NOTE: MODIFIED ENCLOSURE TO FIT SIZE CONSTRAINTS. TOTAL REQUIRED ENCLOSURE CAPACITY IS PROVIDED ON SITE PLAN.



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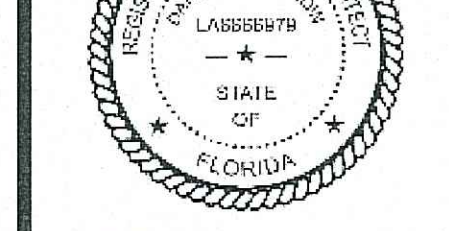
Stuart, Florida

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Resolution No. 04-2024
Project No: Z23050005
Z23050006

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Daniel T Sorrow: A01094
Digitally signed by Daniel T Sorrow: A01094
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DESIGNED	LAH/TJB
DRAWN	TJB
APPROVED	DTS/LAH
JOB NUMBER	22-1016
DATE	03-07-23
REVISIONS	05-12-23 09-29-23

SITE DETAILS

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