

# RETAIL/ OFFICE BUILDING 1

## 193 RONALD REGAN PARKWAY

### DAVENPORT, FL 33837

#### ARCHITECTURE, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL:



ARCHITECTURE

#### C4 ARCHITECTURE, LLC

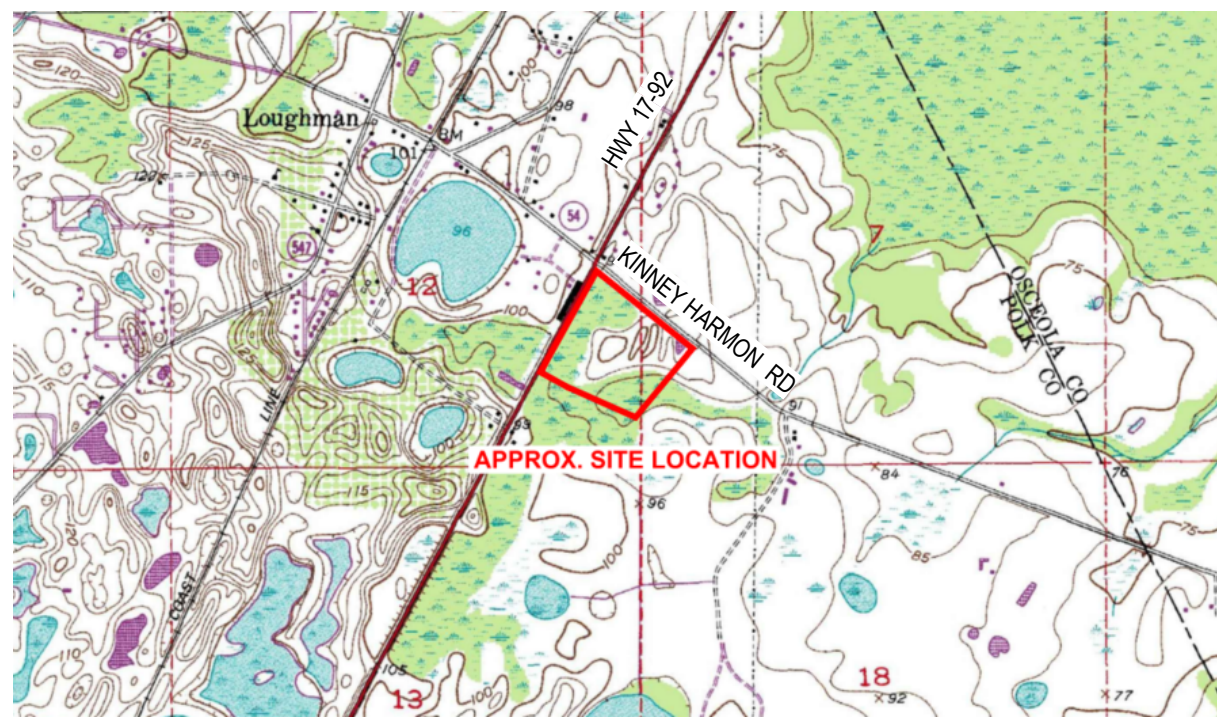
135 WEST CENTRAL BLVD. SUITE 400  
ORLANDO, FLORIDA 32801  
PHONE: (407) 363-6136

ARCHITECTURE CONTACT: CHRISTOPHER LANAVE, AIA  
EMAIL: CLANAVE@C4ARCHITECTURE.COM

STRUCTURAL CONTACT: JONATHAN COLLINS, PE  
EMAIL: JCOLLINS@C4ARCHITECTURE.COM

MECHANICAL & PLUMBING CONTACT: JOSE ZAMOT, PE  
EMAIL: JZAMOT@C4ARCHITECTURE.COM

ELECTRICAL CONTACT: DREW LILES, PE  
EMAIL: DLILES@C4ARCHITECTURE.COM



#### LOCATION MAP

N.T.S



#### VICINITY MAP

N.T.S

#### SHEET INDEX

##### ARCHITECTURAL

1	07/08/25	A000	COVER
1	02/14/25	A100A	ARCHITECTURAL SITE PLAN
1	02/14/25	A100B	DUMPSTER ENCLOSURE PLAN AND DETAILS
1	07/08/25	A101	LIFE SAFETY PLAN
1	07/08/25	A201	BUILDING FLOOR PLAN
1	02/14/25	A202	BUILDING ROOF PLAN
1	07/08/25	A203	ENLARGED RESTROOMS AND DETAILS
	02/14/25	A301	EXTERIOR ELEVATIONS
	02/14/25	A401	BUILDING SECTION
	02/14/25	A402	BUILDING AND WALL SECTIONS
	02/14/25	A403	WALL TYPES
1	07/08/25	A501	WALL DETAILS, WINDOW & DOOR SCHEDULES
	02/14/25	A601	UL VERTICAL ASSEMBLY DETAILS

##### STRUCTURAL

0	01/15/25	S001	GENERAL NOTES
0	02/14/25	S002	GENERAL NOTES
0	02/14/25	S003	WIND LOAD DATA
0	02/14/25	S101	FOUNDATION PLAN
0	02/14/25	S121	ROOF FRAMING PLAN
0	02/14/25	S501	SCHEDULES
0	02/14/25	S502	TYPICAL CMU DETAILS
0	02/14/25	S503	TYPICAL CMU DETAILS
0	02/14/25	S601	FOUNDATION & SLAB DETAILS
0	02/14/25	S602	FOUNDATION & SLAB DETAILS
0	02/14/25	S611	ROOF FRAMING DETAILS & SECTIONS
0	02/14/25	S612	ROOF FRAMING DETAILS & SECTIONS
0	02/14/25	S613	ROOF FRAMING DETAILS & SECTIONS

##### MECHANICAL

1	07/08/25	M001	GENERAL NOTES
1	07/08/25	M200	MECHANICAL PLAN
1	07/08/25	M201	MECHANICAL ROOF PLAN
1	07/08/25	M600	MECHANICAL DETAIL AND SCHEDULES

##### PLUMBING

1	07/08/25	P001	PLUMBING GENERAL NOTES
0	02/14/25	P100	PLUMBING PLAN
1	07/08/25	P200	PLUMBING PLAN
1	07/08/25	P600	PLUMBING DETAILS, SCHEDULES AND RISERS

##### ELECTRICAL

0	02/14/25	E100	ELECTRICAL NOTES AND SPECS
0	02/14/25	E101	ELECTRICAL NOTES AND LEGEND
1	07/08/25	E102	ELECTRICAL RISER DIAGRAM
0	02/14/25	E103	FIRE ALARM 61G PLAN
0	02/14/25	E200	ELECTRICAL PLANS
1	07/08/25	E201	ELECTRICAL PLANS
0	02/14/25	E300	ELECTRICAL DETAILS
0	02/14/25	E301	UL DETAILS
1	07/08/25	E400	ELECTRICAL SCHEDULES
1	07/08/25	E401	ELECTRICAL PANEL SCHEDULE

#### CODE COMPLIANCE

##### BUILDING DATA:

OCCUPANCY TYPE	=	MERCANTILE (M)
CONSTRUCTION TYPE	=	II-B
PROTECTION TYPE	=	UNPROTECTED, SPRINKLED PER FBC 903.2.7
SEPARATION REQUIREMENT	=	NONE REQUIRED PER FBC 508.4
NUMBER OF STORIES	=	ONE STORY
MAXIMUM ALLOWABLE HEIGHT	=	75'-0" PER FBC TABLE 504.3
ACTUAL MAXIMUM HEIGHT	=	21'-4"
MAX. ALLOWABLE BUILDING AREA	=	50,000 SF PER FBC 506.2
ACTUAL BUILDING AREA	=	11,527 S.F.

##### APPLICABLE BUILDING CODES:

- FLORIDA BUILDING CODE, EIGHTH EDITION (2023)
- FLORIDA ENERGY CODE, EIGHTH EDITION (2023) - 2019 ASHRAE 90.1
- FLORIDA MECHANICAL CODE, EIGHTH EDITION (2023)
- FLORIDA PLUMBING CODE, EIGHTH EDITION (2023)
- EXISTING BLDG. FLORIDA BUILDING CODE, EIGHTH EDITION (2023)
- FLORIDA ACCESSIBILITY CODE, EIGHTH EDITION (2023)
- FLORIDA FIRE PREVENTION CODE, EIGHTH EDITION (2023)
- 2020 NATIONAL ELECTRIC CODE
- NFPA 101 LIFE SAFETY CODE, 2021 EDITION
- NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2022 EDITION

##### MUNICIPALITY:

POLK COUNTY FLORIDA

##### PARCEL ID #:

27-26-12-702500-013001

##### PROPERTY DESCRIPTION:

THE SUBJECT SITES ARE LOCATED WITHIN SECTIONS 7 & 12, TOWNSHIP 26 SOUTH, RANGE 27 & 28 EAST IN POLK COUNTY, FLORIDA. MORE SPECIFICALLY, THEY ARE LOCATED AT THE SOUTHEAST CORNER OF US 92 AND KINNEY HARMON ROAD DAVENPORT, FLORIDA, AS SHOWN ON THE ATTACHED FIGURE A-1. AT THE TIME OF DRILLING, THE SITE WAS HEAVILY WOODED AND UNDEVELOPED.

##### NOTES:

ROOF STRUCTURE IS NOT LIGHT GAUGE METAL FRAMING.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND INSTALL ALL NECESSARY COMPONENTS FOR THE PROPER OPERATION OF ALL SPECIFIED SYSTEMS, REGARDLESS OF WHETHER THOSE COMPONENTS ARE SHOWN ON THE DRAWINGS OR NOT. CONTRACTOR SHALL ALSO VERIFY THAT SPECIFIED COMPONENTS ARE COMPATIBLE WITH OTHERS WITHIN THE SAME SYSTEM AND WITH THE SYSTEM ITSELF.

\*SEPARATE PERMITS REQUIRED FOR: DUMPSTER ENCLOSURE, SIGNS, SPRINKLERS, FIRE ALARM, AND BURGLAR ALARM.\*

SUBMIT APPROVED SHOP DRAWINGS FOR ROOF JOISTS TO ARCHITECT AND BUILDING DEPARTMENT PRIOR TO FABRICATION. (DETAILING FOR JOIST PLACEMENT AND SIZES ARE ON SUBMITTED PLANS).

##### PROJECT NO: 24312

##### DATE: 02/14/2025

##### NOTICE:

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

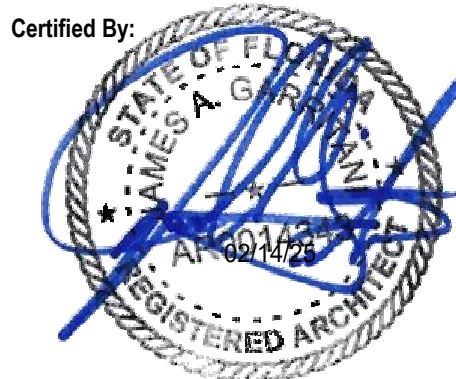


RETAIL / OFFICE BUILDINGS

ISSUE FOR R.R. ADDITION REVIEW

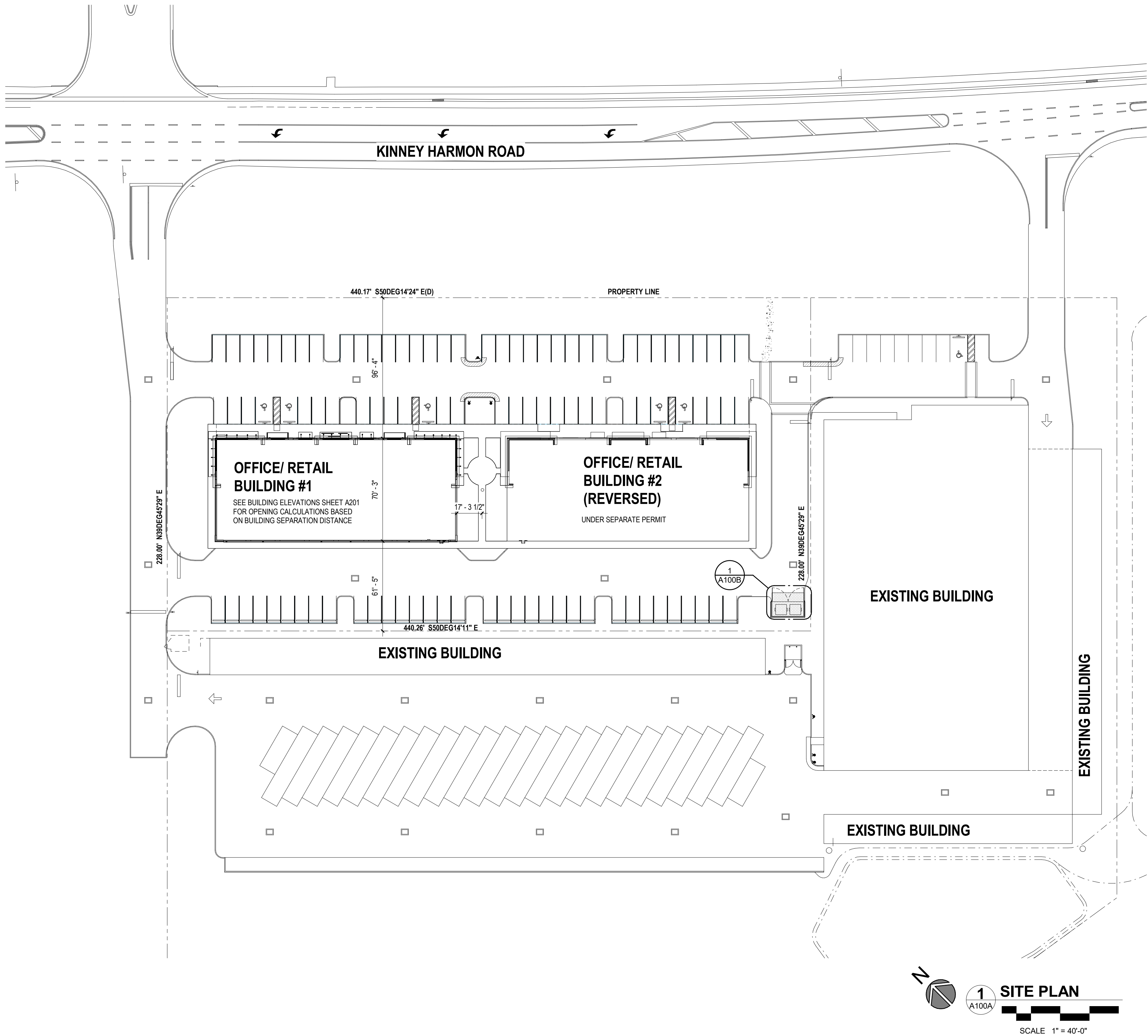
#24312

Certified By:



Electronic Signature:

02-14-2025



GENERAL NOTES SITE PLAN

- GC TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES REGARDING ANY SITE AND/OR BUILDING WORK. GC SHALL PROVIDE AND INSTALL ANY TEMPORARY FENCING, EROSION CONTROL, DEBRIS CONTAINMENT AND ANY OTHER MATERIALS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION TO MAINTAIN A SAFE AND CLEAN CONSTRUCTION AREA. GC AND ANYONE ELSE ON SITE SHALL NOT BLOCK ANY AREAS OF EGRESS OR ACCESSIBILITY INTO OR AROUND SITE AND BUILDING AREA.
- ALL UTILITY INFORMATION SHOWN IN THIS SET OF DRAWINGS SHALL BE COORDINATED WITH THE DRAWINGS PROVIDED BY THE CIVIL ENGINEER, WITH THE GENERAL CONTRACTOR, AND WITH THE LOCAL UTILITY PROVIDERS PRIOR TO SUBMITTING BIDS OR STARTING ANY WORK.
- IN ADDITION TO THIS SHEET, REFER TO THE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS IN THIS SET FOR COMPLETE INFORMATION REGARDING UTILITIES.
- REFER TO CIVIL DRAWINGS FOR ALL SITE WORK, EROSION CONTROL, LANDSCAPE AND UTILITY WORK UNDER SEPARATE COVER.
- WATER & FIRE SERVICES (INCLUDING METERS, RISERS, & BACK FLOW DEVICES MUST MEET OCEOLA COUNTY WATER DIVISION REQUIREMENTS (NO EXCEPTIONS). THIS INCLUDES THE LAYOUT OF THE MECHANICAL ROOM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL INSTALLATION OF GAS SERVICE, ELECTRICAL SERVICE, METER ASSEMBLIES, ETC. WITH THE RESPECTIVE UTILITY PROVIDERS. CONTRACTOR WILL PROVIDE PIPE / CONDUIT ROUGH IN ONLY. FINAL SERVICE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IN COORDINATION WITH THE UTILITY PROVIDERS (AFTER THE CONTRACTOR HAS COMPLETED THEIR PORTION OF THE WORK).
- REFER TO PLUMBING DRAWINGS FOR INFORMATION RELATED TO SANITARY AND GREASE.
- REFER TO CIVIL DRAWINGS FOR ELEVATIONS, GRADING, INVERTS AND FURTHER UTILITY INFORMATION.
- FOR LOCATIONS WHERE THERE ARE LANDSCAPE AREAS ADJACENT TO THE BUILDING, THE TOP OF THE ADJACENT GRADE SHALL BE A MINIMUM OF 4" BELOW THE FINISH FLOOR ELEVATION OF THE BUILDING.
- ALL ADJACENT SIDEWALKS AND LANDSCAPE AREAS SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM RATE OF 1%.
- ALL SIDEWALKS SHALL HAVE A MAX. SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A 2% MAX. CROSS SLOPE.
- AT ALL CURBS, THE TOP OF THE CONCRETE SHALL BE 6" MAX ABOVE THE TOP OF THE ADJACENT PAVEMENT, REF TO CIVIL UNDER SEPARATE COVER

SITE ACCESSIBILITY NOTES

- ACCESSIBLE ROUTES SHALL COMPLY WITH FHA DM 1998 REQUIREMENTS 1.2 & 4. ANSI A117.1-2003 CHAPTER 4, INCLUDING SECTIONS 401-410, AND 2010 ADA 2010 ADA STD CHAPTER 4, INCLUDED SECTIONS 401-410.
- PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN COMMON USE AREAS TO COMPLY WITH ANSI 2003 SECTION 307. INCLUDING:
  - PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. EXCEPTIONS INCLUDE HANDRAILS, DOOR CLOSERS, AND DOOR STOPS.
  - POST MOUNTED OBJECTS: OBJECTS ON POSTS OR PYLONS SHALL BE PERMITTED TO OVERHANG 4" MAXIMUM AND NOT MORE THAN 80" ABOVE THE FLOOR. OBJECTS ON MULTIPLE POSTS OR PYLONS WHERE THE CLEAR DISTANCE BETWEEN THE POST OR PYLONS IS GREATER THAN 12" SHALL HAVE THE LOWEST EDGE OF SUCH OBJECT EITHER 27" MAXIMUM OR 80" MINIMUM ABOVE THE FLOOR.
  - REDUCED VERTICAL CLEARANCE: GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED BY THE SECTIONS 307.2 AND 307.3 AND WHERE THE VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FLOOR, THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE THE FLOOR.
- PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN PUBLIC AREAS TO COMPLY WITH 2010 ADA STD SECTION 307, INCLUDING:
  - 2010 ADA STD SECTION 307.2: PROTRUSION LIMITS
  - 2010 ADA STD SECTION 307.3: POST-MOUNTED OBJECTS
  - 2010 ADA STD SECTION 307.4: VERTICAL CLEARANCE
  - 2010 ADA STD SECTION 307.5: REQUIRED CLEARANCE WIDTH
- FLOOR AND GROUND SURFACES INCLUDED FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL COMPLY WITH ANSI A117.1-2009 SECTIONS 302, INCLUDING:
  - SECTION 302.2 CARPET B
  - SECTION 302.3 OPENINGS
- CHANGES IN LEVEL (INCLUDING IN FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI A117.1-2009 SECTION 303, INCLUDING:
  - SECTION 303.2 VERTICAL
  - SECTION 303.3 BEVELED
  - SECTION 303.4 RAMPED
- CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) WITHIN COVERED TENANT UNITS TO COMPLY WITH FHADM 1998.
- FLOOR AND GROUND SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC AREAS SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND SHALL COMPLY WITH 2010 ADA STD SECTION 302 INCLUDING:
  - 2010 ADA STD SECTION 302.2: CARPET
  - 2010 ADA STD SECTION 302.3: OPENINGS
- CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN PUBLIC USE AREAS SHALL COMPLY WITH 2010 ADA STD SECTION 303 INCLUDING:
  - 2010 ADA STD SECTION 303.2: VERTICAL
  - 2010 ADA STD SECTION 303.3: BEVELED
  - 2010 ADA STD SECTION 303.4: RAMPS
- ACCESSIBLE PARKING PROVIDED FOR PUBLIC USE SHALL COMPLY WITH 2010 ADA STANDARDS SECTIONS 208 AND 502. THE MINIMUM NUMBER OF STANDARD AND VAN ACCESSIBLE PARKING SPACES REQUIRED SHALL BE PROVIDED PER SECTION 208.25. PASSENGER LOADING ZONES AND BUS STOPS PROVIDED FOR PUBLIC USE SHALL COMPLY WITH 2010 ADA STANDARDS SECTION 209 AND 503.

Owner:



ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136  
© Copyright 2024

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**  
**193 RONALD REGAN  
PARKWAY**  
**DAVENPORT, FL 33837**

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

**ARCHITECTURAL  
SITE PLAN**

Revisions:


Issue Date:	Drawn By:	Checked By:
02-14-2025	CRL	JAG

Certified By:



Electronic Signature:

This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

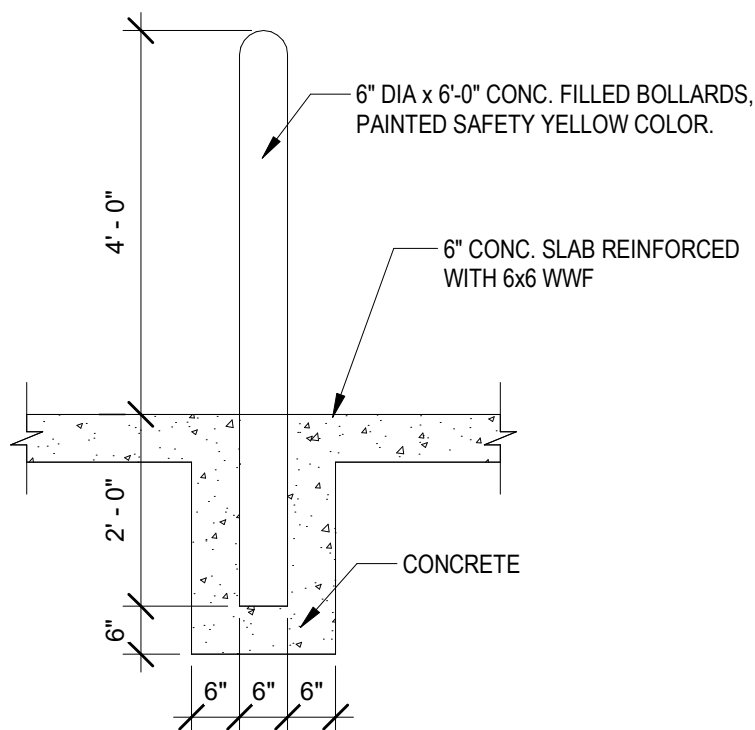
Drawing Number:

**A100A**

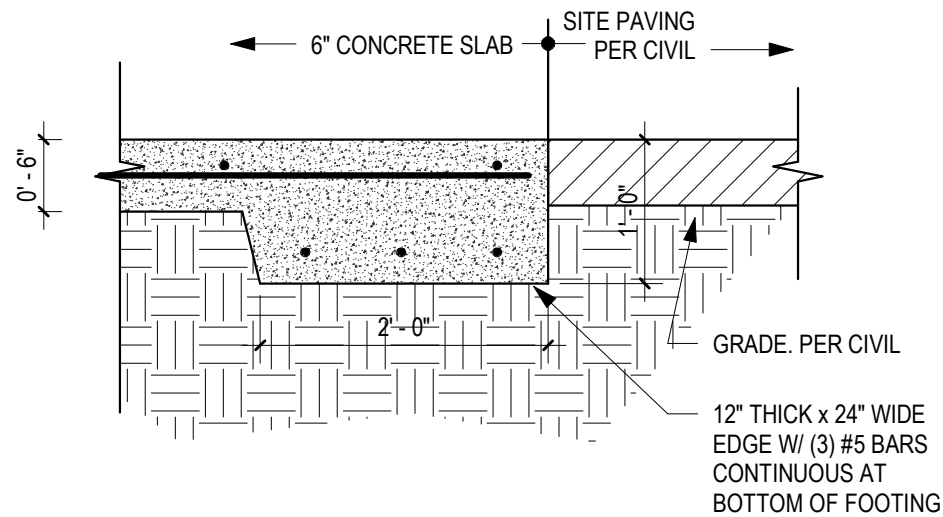
Project Number:

**#24312**

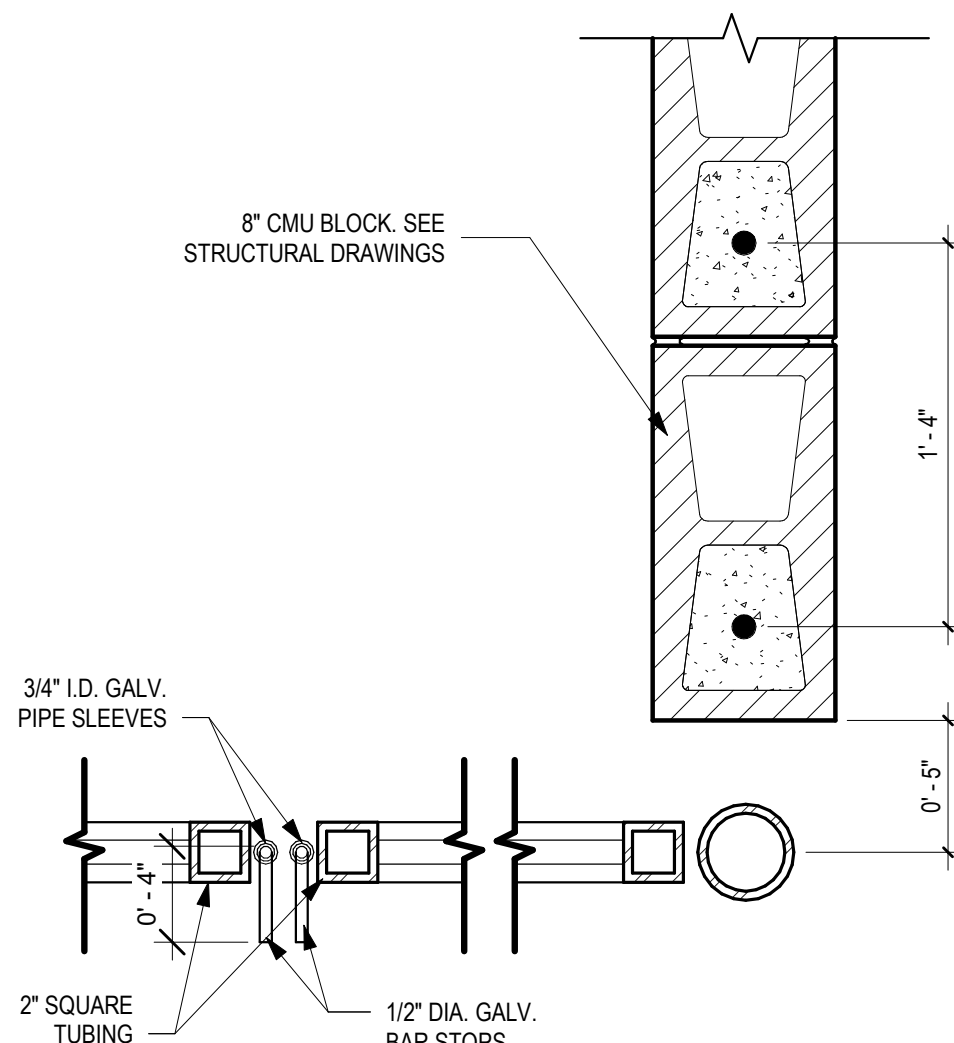
NOTE: ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY AND SHALL NOT BE USED AS A DOCUMENT FOR SITE DEVELOPMENT. REFERENCE PERMITTED CIVIL DRAWINGS FOR SUCH INFORMATION.



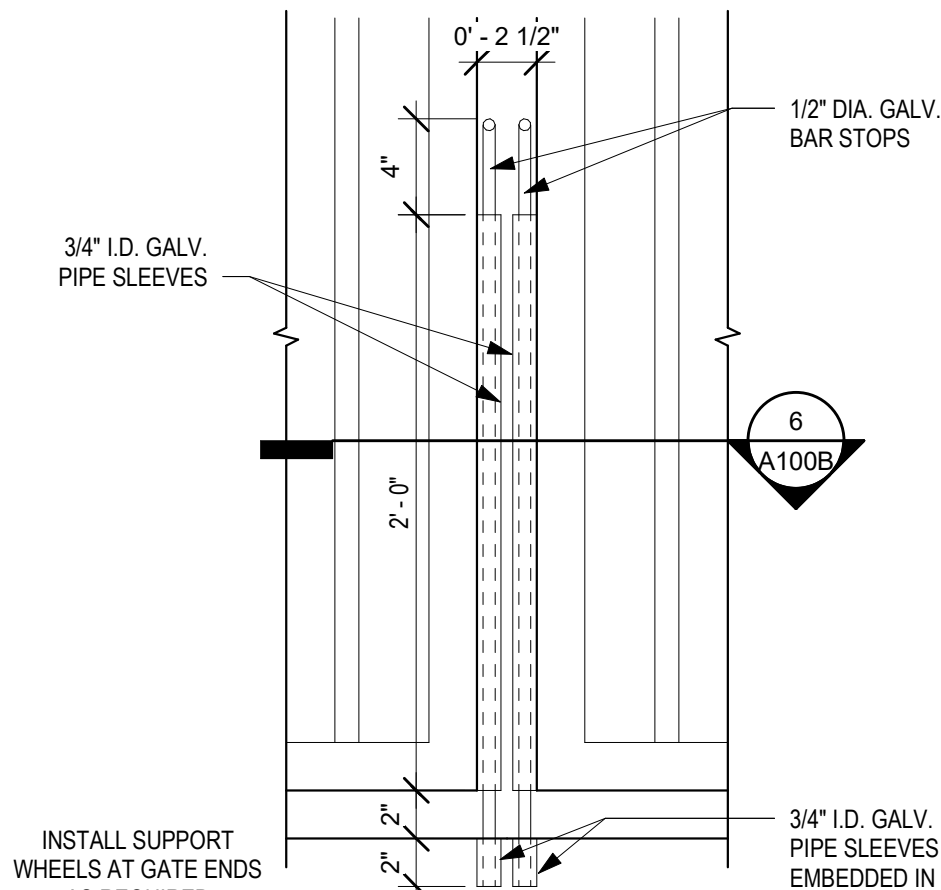
**8 BOLLARD DETAIL**  
A100B  
SCALE 1/2" = 1'-0"



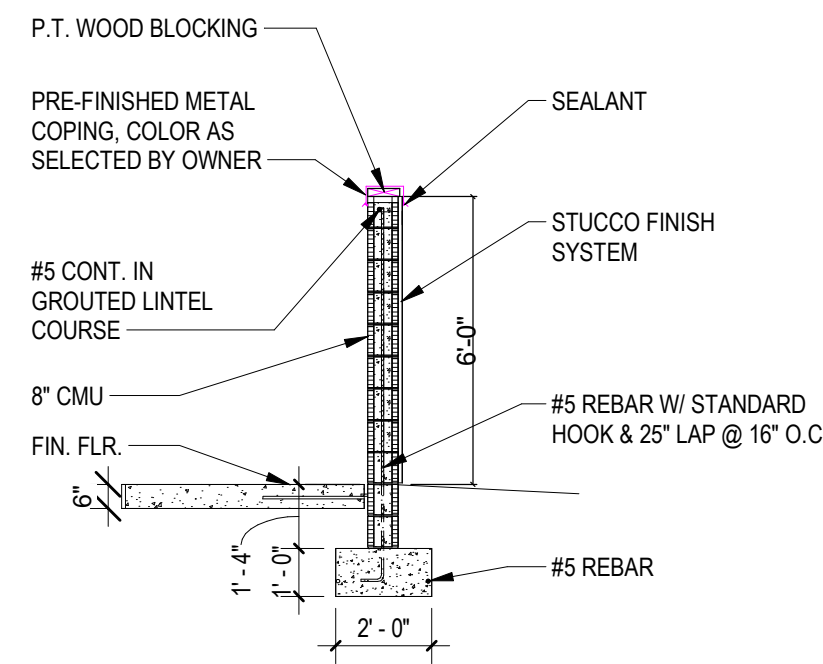
**7 ENCLOSURE SLAB EDGE**  
A100B  
SCALE 3/4" = 1'-0"



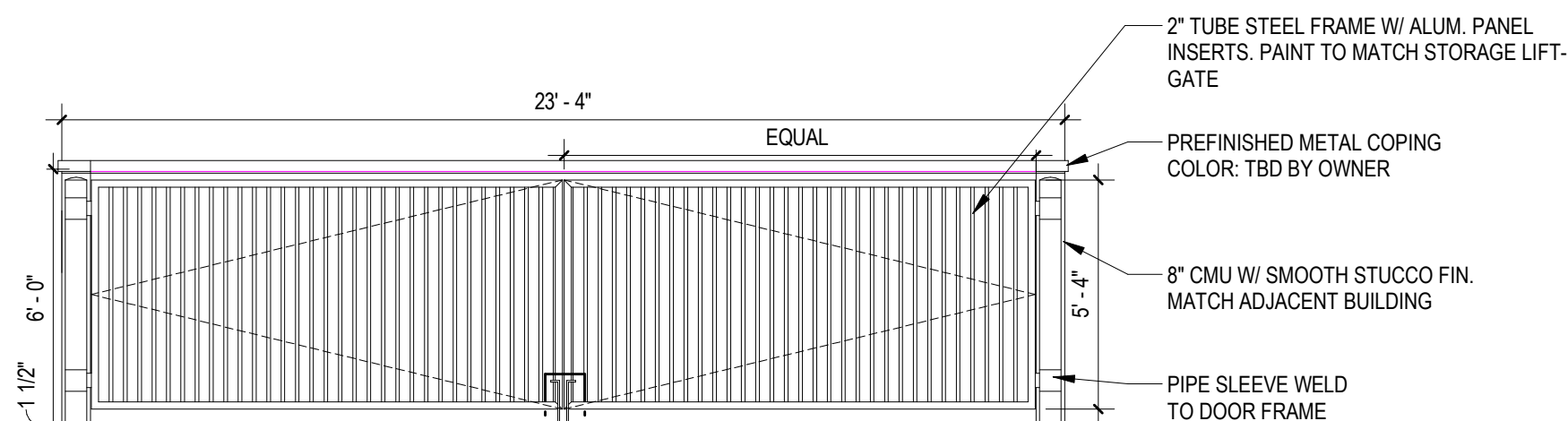
**6 HINGE DETAIL**  
A100B  
SCALE 1 1/2" = 1'-0"



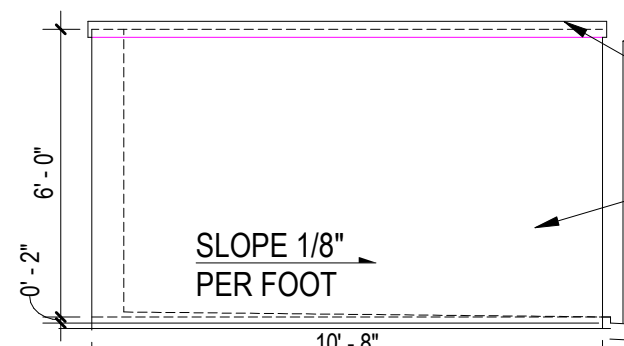
**5 LATCH DETAIL**  
A100B  
SCALE 1 1/2" = 1'-0"



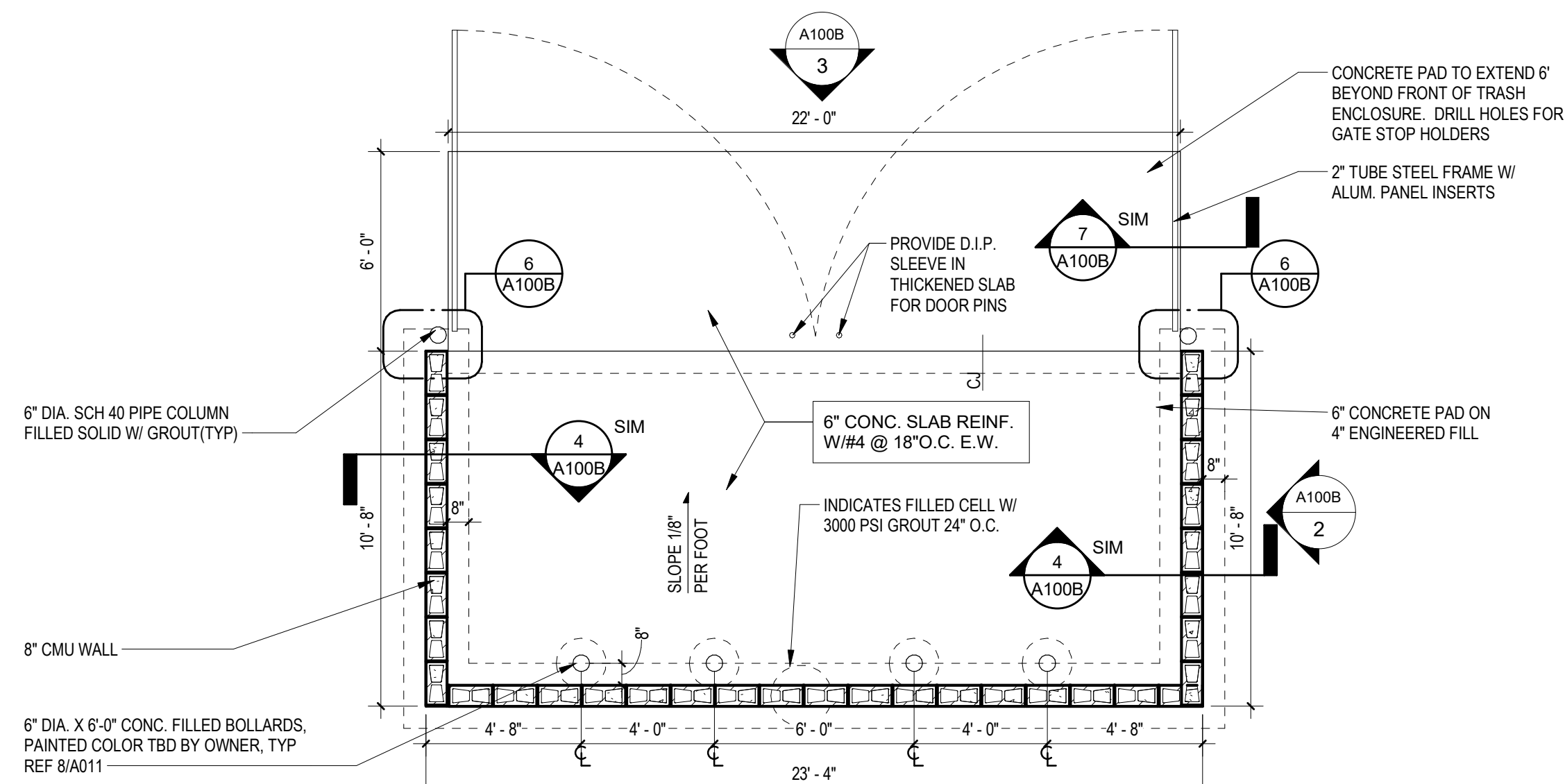
**4 DUMPSTER WALL**  
A100B  
SCALE 1/4" = 1'-0"



**3 DUMPSTER AREA - FRONT ELEVATION**  
A100B  
SCALE 1/4" = 1'-0"



**2 DUMPSTER AREA - SIDE ELEVATION**  
A100B  
SCALE 1/4" = 1'-0"



**1 DUMPSTER ENCLOSURE**  
A100B  
SCALE 1/4" = 1'-0"

NOTE: ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY AND SHALL NOT BE USED AS A DOCUMENT FOR SITE DEVELOPMENT. REFERENCE PERMITTED CIVIL DRAWINGS FOR SUCH INFORMATION.

Owner:



ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136  
© Copyright 2024

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**  
**193 RONALD REGAN  
PARKWAY**  
**DAVENPORT, FL 33837**

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

**DUMPSTER  
ENCLOSURE  
PLAN AND  
DETAILS**

Revisions:

Issue Date: 02-14-2025  
Drawn By: CRL  
Checked By: JAG

Certified By:



Electronic Signature:

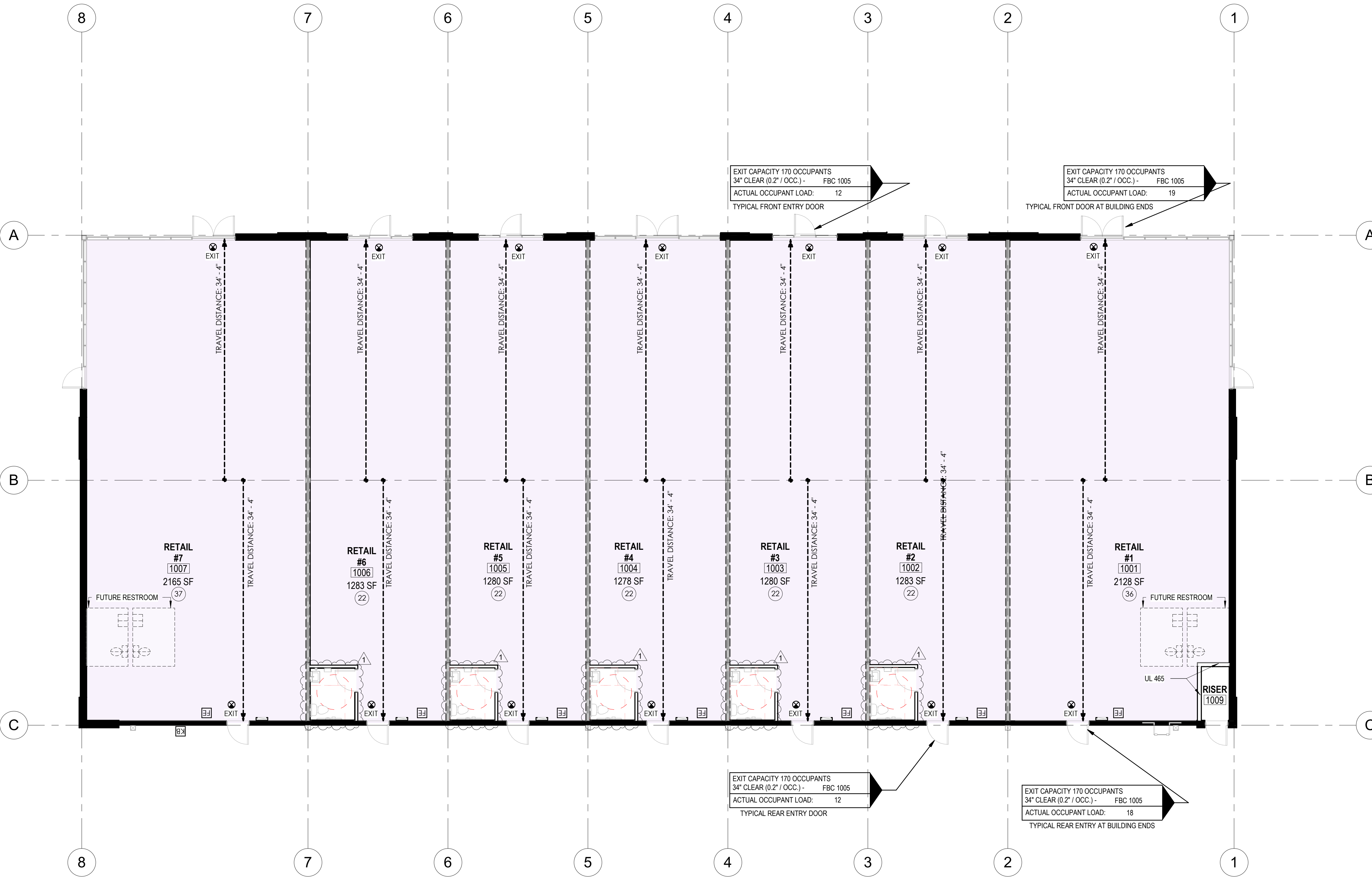
This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

**A100B**

Project Number:

**#24312**



**1**  
A101  
**LIFE SAFETY PLAN**  
SCALE 1/8" = 1'-0"

### LIFE SAFETY SUMMARY

#### MEANS OF EGRESS

MERCANTILE (M' OCCUPANCY)

MAXIMUM ALLOWABLE TRAVEL DISTANCE	=	300 FT. (SPRINKLERED)
MAXIMUM PROVIDED TRAVEL DISTANCE	=	34'-4"
MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL	=	75 FT. (SPRINKLERED)
MAXIMUM ALLOWABLE DEAD END CORRIDOR LENGTH	=	50 FT. (SPRINKLERED)
MINIMUM ALLOWABLE AISLE WIDTH	=	44 IN.
MINIMUM ALLOWABLE STAIR WIDTH	=	44 IN.
EGRESS WIDTH PER PERSON SERVED	=	.2 IN.
.2 INCHES x 36 OCCUPANTS (MAX PER SPACE)	=	7.2 IN. REQUIRED (34 IN. PROVIDED)

### LIFE SAFETY GENERAL NOTES

LIFE SAFETY PLANS ARE INTENDED TO BE PRINTED WITH COLOR

REFER TO A0.04 FOR APPLICABLE BUILDING CODES INDICATED ON PRIOR BUILDING DATA SHEET.

BUILDINGS TO BE SPRINKLERED WITH A NFPA-13 SYSTEM UNLESS NOTED OTHERWISE. INSTALLATION AND FINAL DESIGN OF THESE SYSTEMS WILL BE PROVIDED BY A QUALIFIED SPRINKLERED DESIGNER AND IS TO BE SUBMITTED TO THE JURISDICTION AS A DEFERRED SUBMITTAL.

EACH RETAIL SPACE TO BE EQUIPPED WITH (1) 5LB FIRE EXTINGUISHER (TYPE 2A10BC) WALL MOUNTED PER SCHEDULE BELOW

FIRE-RESISTIVE CONSTRUCTION INCLUDING FIRE BARRIERS, FIRE WALLS AND SMOKE BARRIERS SHALL BE PERMANENTLY STENCILED WITH LETTERS NO LESS THAN 6" IN HEIGHT ON THE PARTITION READING SUBSTANTIALLY AS FOLLOWS: "FIRE AND SMOKE BARRIER-PROTECT ALL OPENINGS"

PER EGRESS REQUIREMENTS OF THE APPLICABLE CODES - WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM ANY PORTION OF A BUILDING, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO BUT NOT LESS THAN ONE-HALF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING AREA OR AREA TO BE SERVED. EXCEPTION: WHERE A BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

FIRE ALARM CONTROL PANELS (FACP) - PLEASE REFER TO MEP FOR LOCATIONS.

### EXTINGUISHER NOTES

MOUNT TOP OF SEMI-RECESSED FIRE RATED CABINET NOT MORE THAN 5'-0" A.F.F.; BOTTOM NOT LESS THAN 4" A.F.F.

**3A:40B-C** SEMI-RECESSED-ASSEMBLY @ 75 FEET MAX DISTANCE.

- ### LIFE SAFETY LEGEND
- INDICATES 3 HOUR RATED FIRE WALL (FBC 706)
  - INDICATES 2 HOUR RATED FIRE WALL (FBC 706)
  - INDICATES 2 HOUR RATED FIRE BARRIER (FBC 707)
  - INDICATES 1 HOUR RATED FIRE BARRIER (FBC 707)
  - INDICATES 1 HOUR RATED FIRE PARTITION (FBC 708)
  - INDICATES FUTURE PARTITION - WALLS TO BE FIRE RATED PARTITION PER UL 465 IF SEPARATING A2 FROM MERCANTILE OR BUSINESS USE.
  - INDICATES UNRATED EXTERIOR WALL
  - Room name 101A 150 SF 000 INDICATES AREA NAME, ROOM NUMBER, AREA, & TOTAL OCCUPANTS
  - INDICATES EGRESS CAPACITY OF STAIRS OR DOORS
  - EXIT CAPACITY 170 OCCUPANTS 34" CLEAR (0.2" / OCC.) - FBC 1005 ACTUAL OCCUPANT LOAD: 4
  - INDICATES PATH OF TRAVEL (250 FEET MAXIMUM - PER FBC 1017.2) INDICATES COMMON PATH OF TRAVEL (125 FEET MAXIMUM - PER FBC 1006.2)
  - INDICATES FURTHEST POINT OF TRAVEL
  - INDICATES EXIT SIGN
  - INDICATES REQUIRED PANIC HARDWARE AT DOORS (PER FBC 1010.1.10)
  - RAPID ENTRY KEYBOX (KNOX BOX) PER IFC 506.1
  - INDICATES FIRE EXTINGUISHER - MOUNT TOP AT +54" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 4A20BC FOR EVERY 3000 SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5'-0" ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4" ABOVE THE FLOOR.
  - INDICATES ELECTROMAGNETICALLY LOCKED DOORS W/ CARD READER

**NOTE:** REFER TO A015 FOR THE REQUIRED RATED ASSEMBLIES BASED ON UL TESTED SYSTEMS. THESE INCLUDE ASSEMBLIES FOR RATED WALLS, FLOOR/CEILINGS AND PROTECTIONS FOR OTHER COMPONENTS SUCH AS COLUMNS & BEAMS

#### OCCUPANT LOAD

	NAME	NUMBER	AREA	OCCUPANCY TYPE	AREA PER OCCUPANT	OCCUPANCY
MERCANTILE	RETAIL #1	1001	2128 SF	MERCANTILE	60 SF	36
	RETAIL #2	1002	1283 SF	MERCANTILE	60 SF	22
	RETAIL #3	1003	1280 SF	MERCANTILE	60 SF	22
	RETAIL #4	1004	1279 SF	MERCANTILE	60 SF	22
	RETAIL #5	1005	1280 SF	MERCANTILE	60 SF	22
	RETAIL #6	1006	1284 SF	MERCANTILE	60 SF	22
	RETAIL #7	1007	2165 SF	MERCANTILE	60 SF	37
MERCANTILE: 7			10699 SF			183
Grand total: 7			10699 SF			183

Owner:

**G4 ARCHITECTURE**  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136  
© Copyright 2024

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**

**193 RONALD REGAN  
PARKWAY  
DAVENPORT, FL 33837**

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

**LIFE SAFETY  
PLAN**

Revisions:

1	R.R. ADDITION	07/08/25

Issue Date: 02-14-2025

Drawn By: CRL

Checked By: JAG

Certified By:

Electronic Signature:

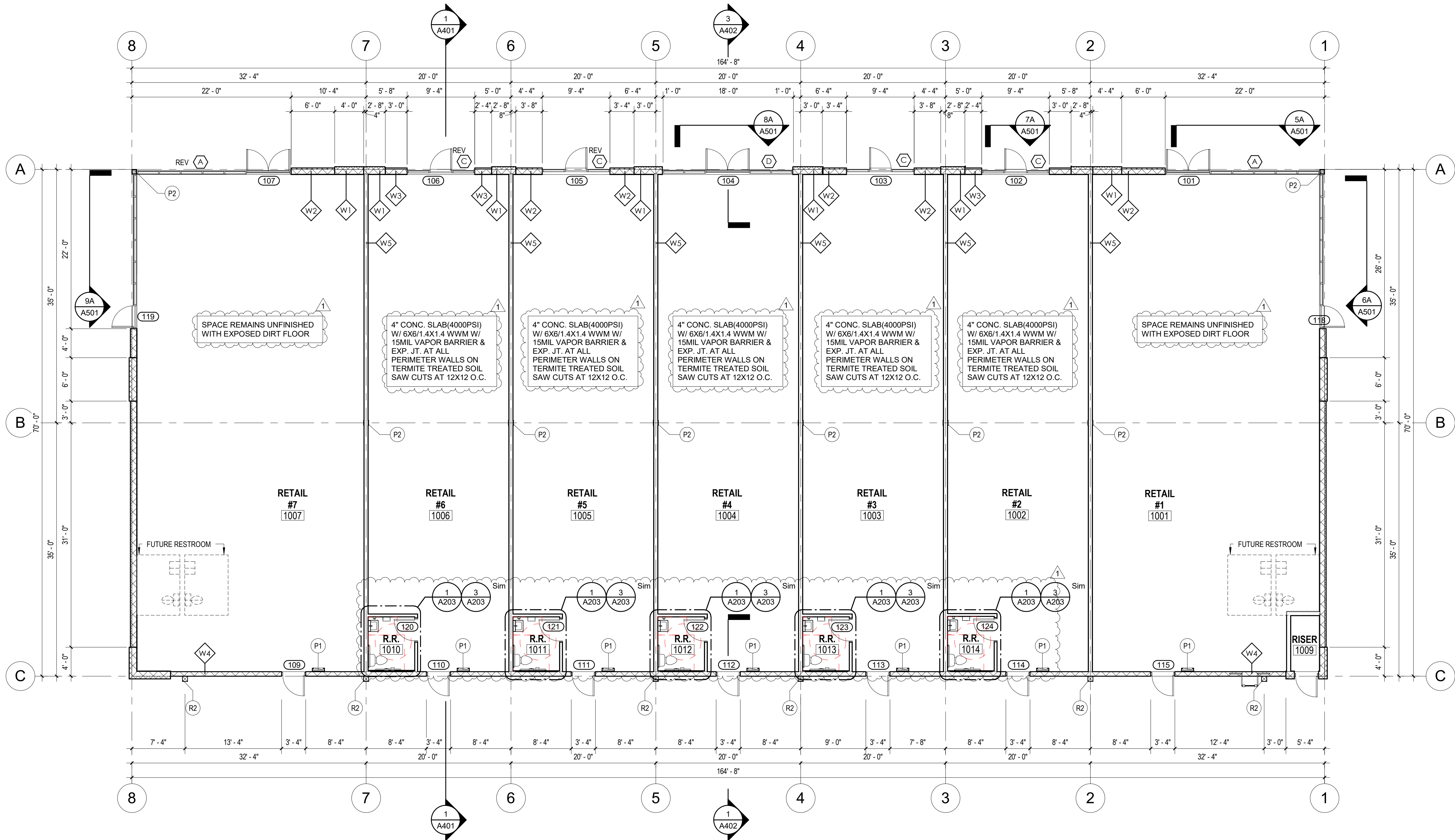
This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

**A101**

Project Number:

**#24312**



**1 GROUND FLOOR PLAN**  
SCALE 1/8" = 1'-0"

## GENERAL NOTES

- A. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS, WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, 'A' SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND TILT-UP PANELS).
- G. APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- H. APPLY SEALANT AT ALL COUNTERTOPS AND BACK SPLASHES AT JUNCTURE WITH WALL.
- I. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S LIMITING HEIGHT L/120.
- J. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- K. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT FLORIDA ACCESSIBILITY CODE AND FLORIDA BUILDING CODE.
- L. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
- M. ALL FURNITURE & WORK STATIONS PROVIDED & INSTALLED BY TENANT.
- N. PROVIDE GYPSUM BOARD, FURRING, AND INSULATION ON EXTERIOR WALL IN ALL CONDITIONED SPACE.
- O. PAINT INSIDE OF ALL HOLLOW METAL DOORS XP1.
- P. PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV & TELEPHONE. COORDINATE WITH OWNER.
- Q. ALL EXTERIOR LIGHTING FINISHES TO BE SELECTED BY OWNER AND ARCHITECT.
- R. NEW MECHANICAL RTU LOCATED ON THE ROOF WILL NOT BE VISIBLE FROM THE STREET. IN CASE IT BECOMES VISIBLE, MANUF. SCREENING WILL BE INSTALLED, PER MANUF. STANDARDS AND REQUIREMENTS OF THE AHJ.
- S. COORDINATE LOCATION OF ADDITIONAL OPENINGS IN WALLS WITH MECHANICAL & ELECTRICAL CONTRACTORS.
- T. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- U. PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS IN THE WAREHOUSE AS REQUIRED BY NFPA 10.
- V. PROVIDE 12'-0" CLEAR HEIGHT THROUGHOUT. DO NOT INSTALL ANY MECHANICAL, ELECTRICAL, FIRE SPRINKLER, ETC. DEVICES BELOW THIS ELEVATION.

## PROJECT KEYNOTES

Key Value	Keynote Text
P1	ELECTRICAL PANEL- BUILD OUT FRAMED 4" WALL AND INSTALL FLUSH
P2	METAL COLUMN- REFER TO STRUCTURAL DRAWINGS FOR SIZING AND ADDITIONAL INFORMATION
R2	9"x 8" PREFABRICATED AND PREFINISHED KYNAR METAL DOWNSPOUT WITH PREFINISHED METAL CONDUCTOR HEAD. SEE 2/A201 FOR MORE INFORMATION. DOWNSPOUT TO CONNECT TO STORM; SEE CIVIL DRAWINGS

EX(=) ELEVATION NOTE  
PX(=) FLOOR PLAN NOTE  
RX(=) ROOF NOTE

Owner:

**C4**  
ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136  
© Copyright 2024

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**  
193 RONALD REGAN  
PARKWAY  
DAVENPORT, FL 33837

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

**BUILDING FLOOR  
PLAN**

Revisions:

1	R.R. ADDITION	07/08/25

Issue Date: 02-14-2025  
Drawn By: CRL  
Checked By: JAG

Certified By:

**STATE OF FLORIDA**  
**JAMES A. GILBERT**  
REGISTERED ARCHITECT  
No. 140143

Electronic Signature:

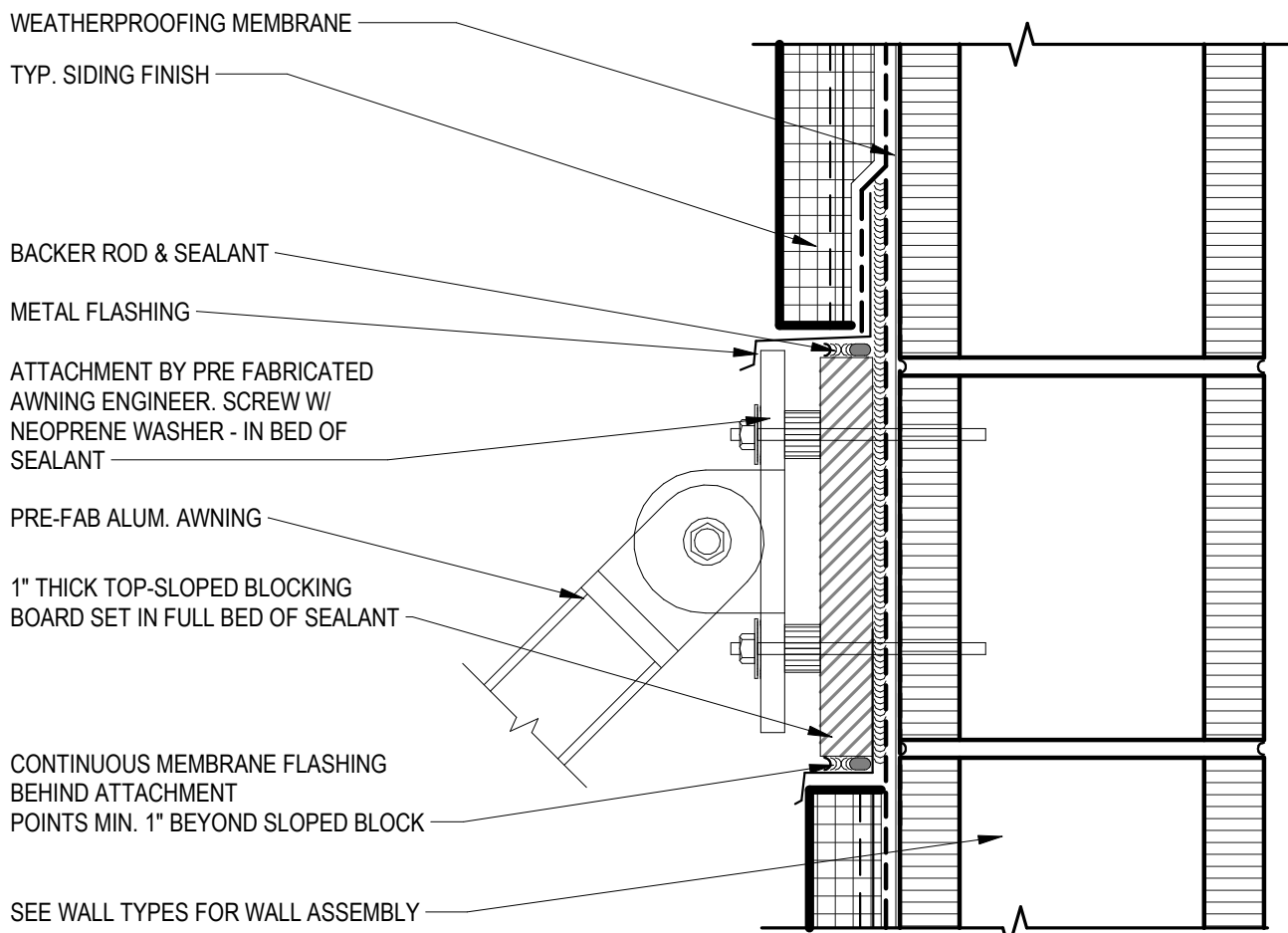
This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

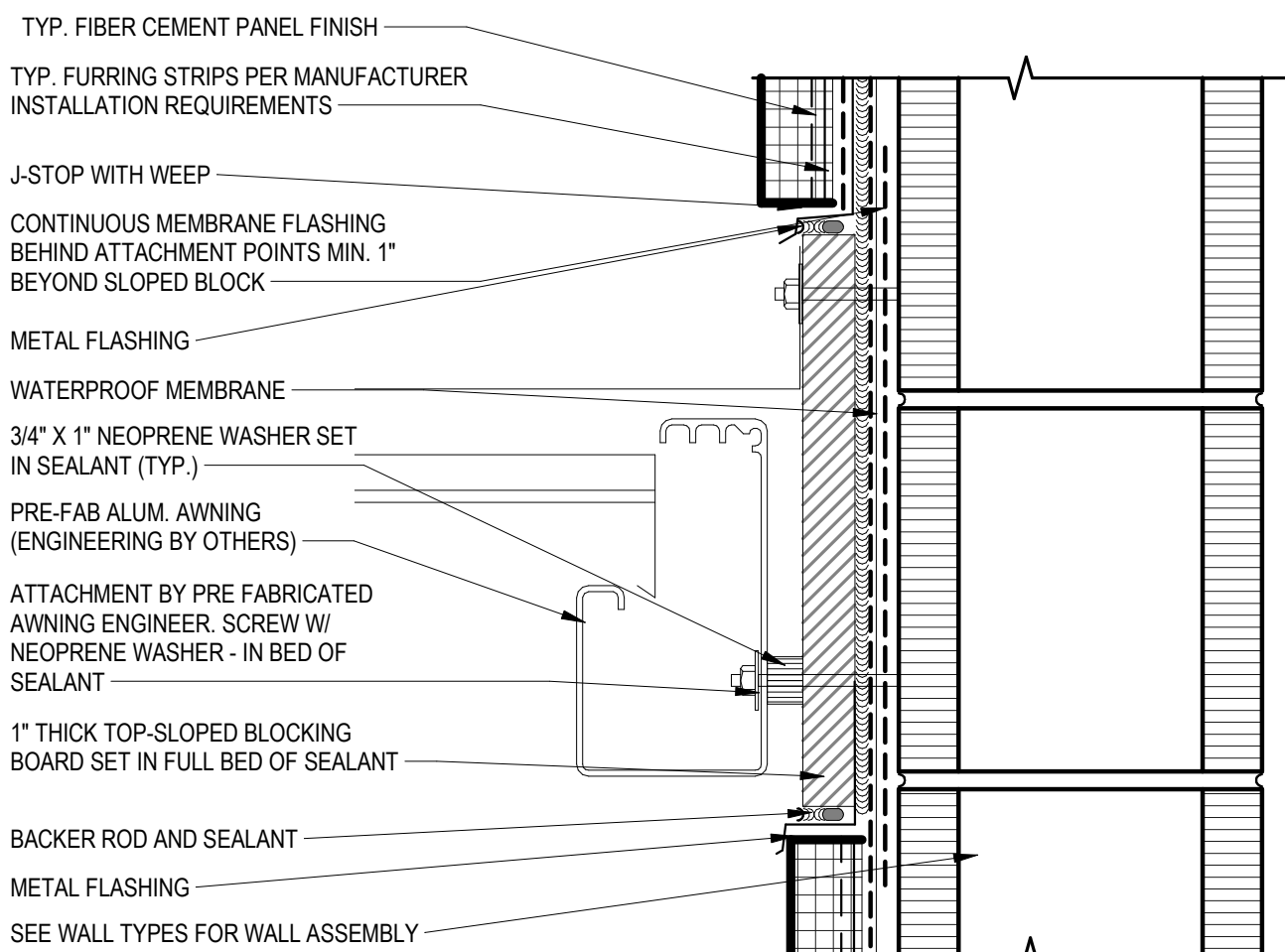
**A201**

Project Number:

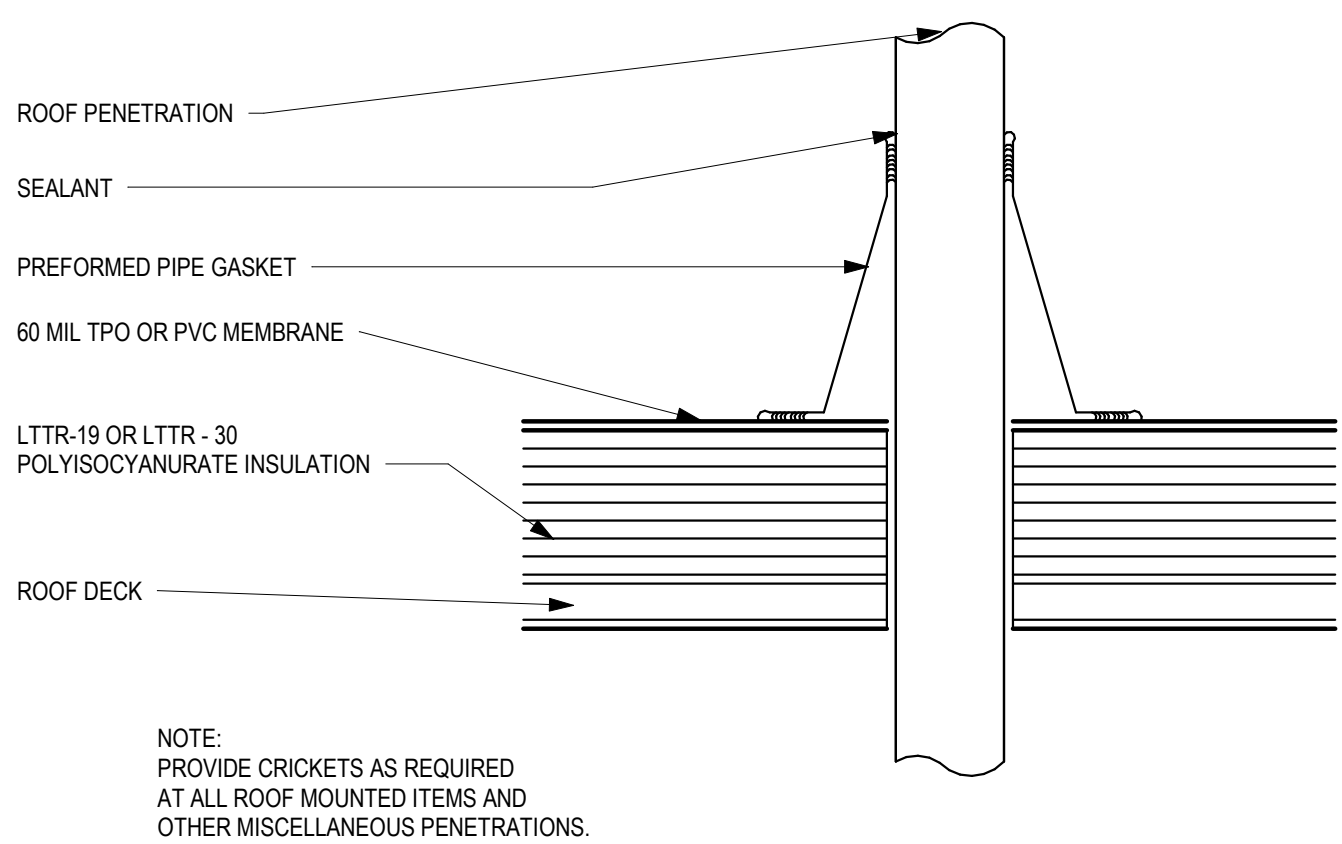
**#24312**



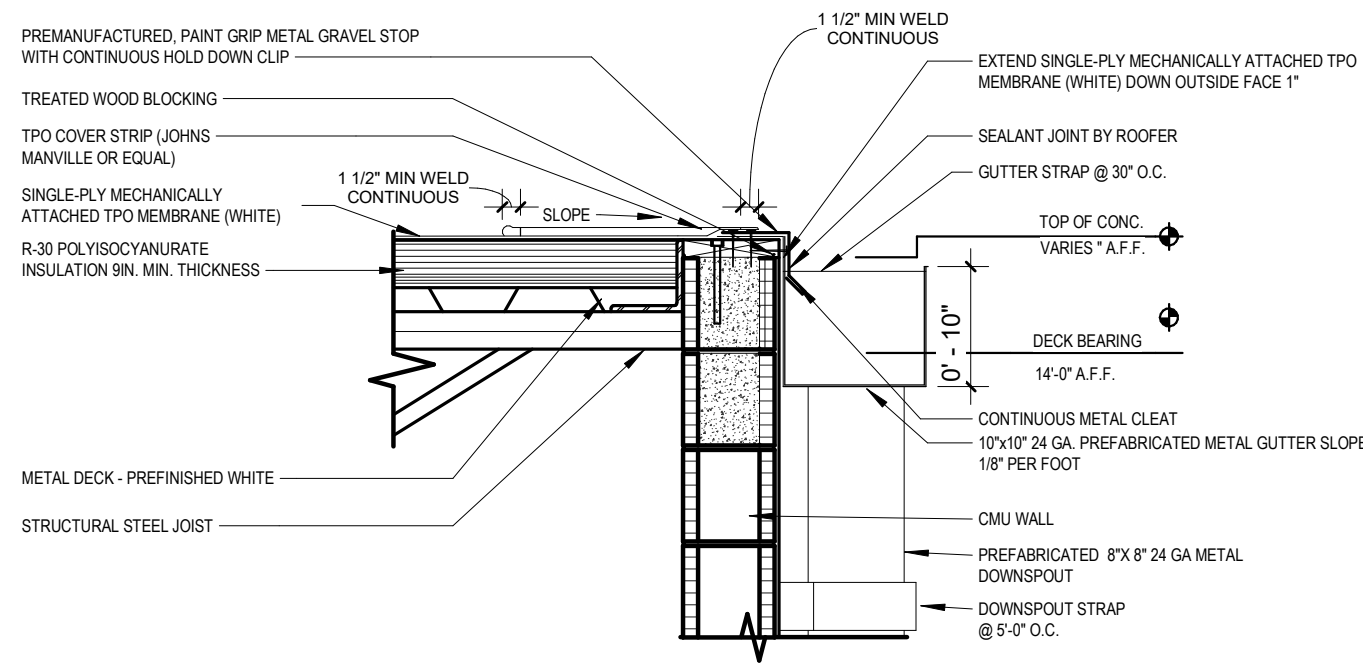
**7 AWNING ATTACHMENT DETAIL**  
A202  
SCALE 3" = 1'-0"



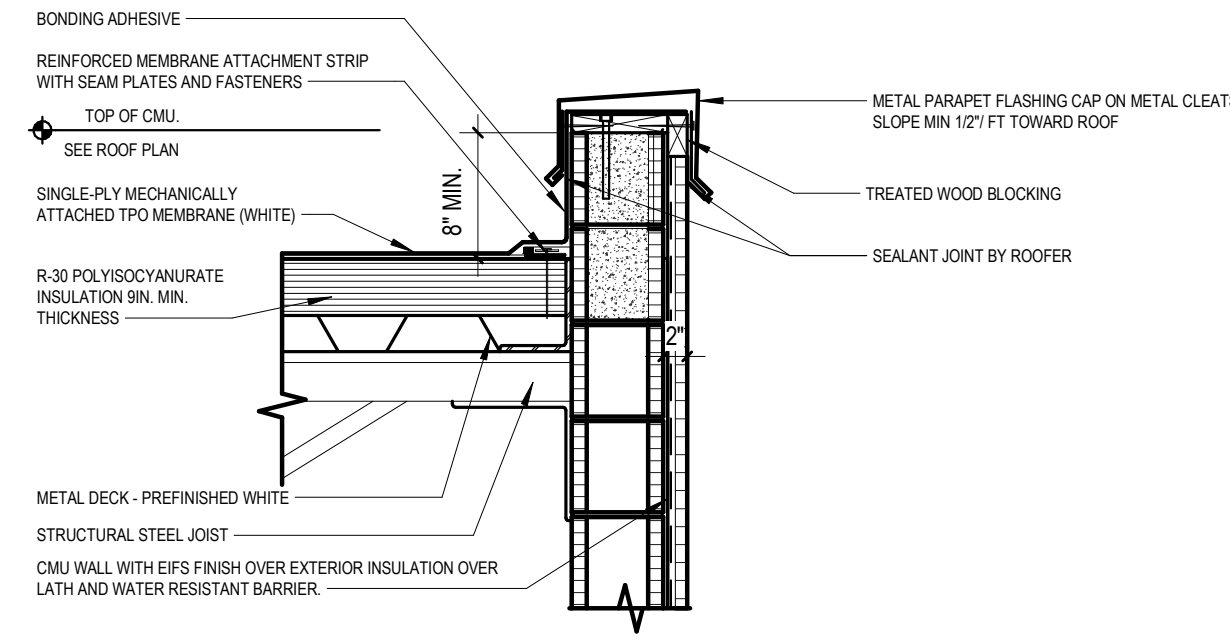
**6 AWNING BASE DETAIL**  
A202  
SCALE 3" = 1'-0"



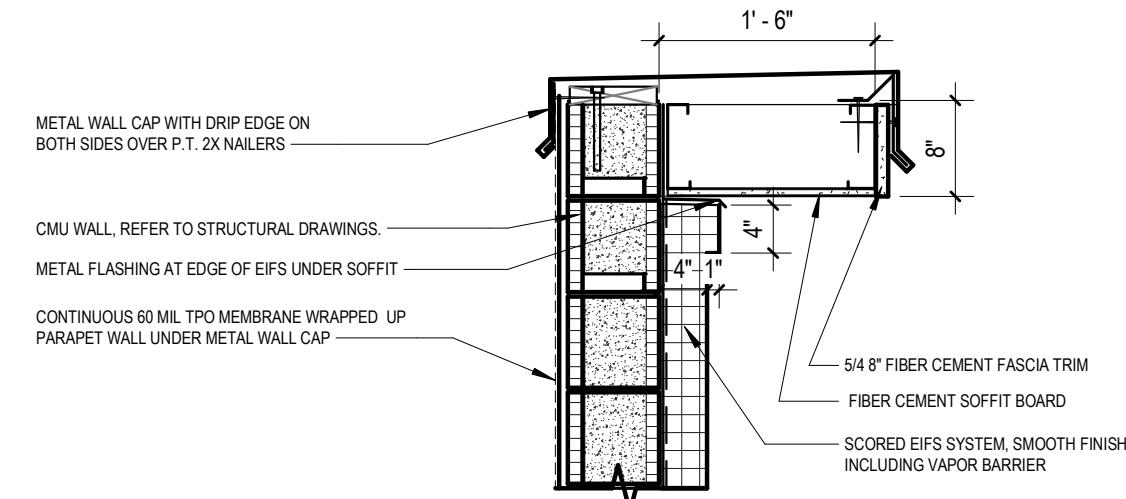
**5 ROOF PENETRATION DETAIL**  
A202  
SCALE 3" = 1'-0"



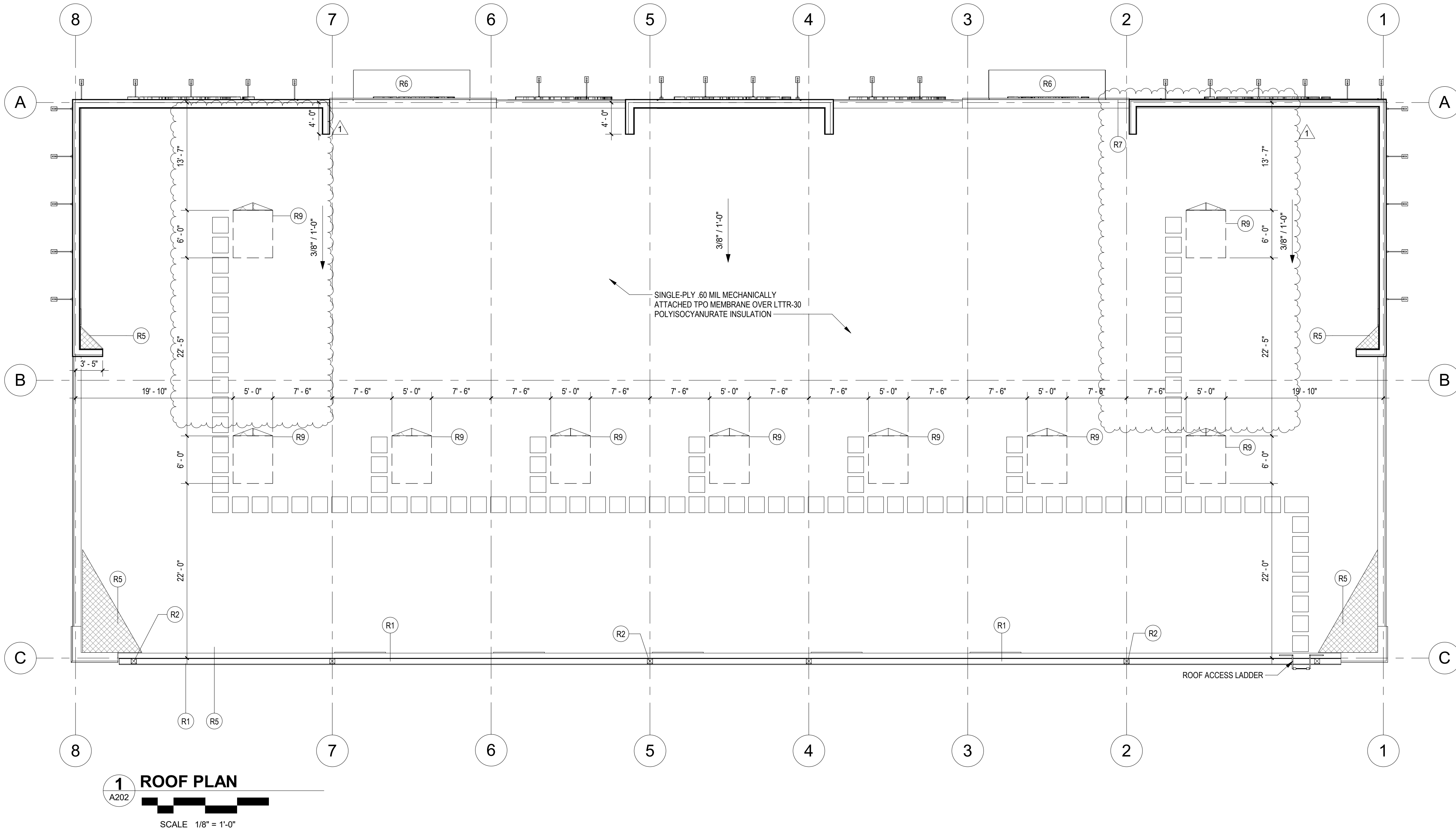
**4 GUTTER DETAIL**  
A202  
SCALE 3/4" = 1'-0"



**3 STOREFRONT HEAD DETAIL**  
A202  
SCALE 3/4" = 1'-0"



**2 HIGH PARAPET DETAIL**  
A202  
SCALE 3/4" = 1'-0"



**1 ROOF PLAN**  
A202  
SCALE 1/8" = 1'-0"

## ROOF NOTES

- ALL AREAS TO RECEIVE LTTR-19 POLYISOCYANURATE ROOF INSULATION. (EXCEPT AT BAY AREA WHICH WILL RECIEVE LTTR-30)
- CONTRACTOR TO REVIEW AS CONSTRICTED CONDITIONS AND CONFIRM INSULATION AS SHOWN WILL PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS, PENETRATIONS AND PARAPET RETURNS TO ACHIEVE POSITIVE DRAINAGE
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL AWNINGS AND ATTACHMENTS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION
- CONTRACTOR TO REVIEW SUBMITTALS FOR ALL LIGHTING FIXTURES FOR ARCHITECT AND OWNER APPROVAL

## ROOF LEGEND

- MECHANICALLY ATTACHED 60 MIL TPO FLEXIBLE SHEET ROOFING SYSTEM. MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 78
- TAPERED ROOF INSULATION

## PROJECT KEYNOTES

Key Value	Keynote Text
R1	10" X 10" PREFABRICATED AND PREFINISHED METAL GUTTER. SLOPE 1/8" PER FOOT.
R2	8" X 8" PREFABRICATED AND PREFINISHED KYNAR METAL DOWNSPOUT WITH PREFINISHED METAL CONDUCTOR HEAD. SEE 2/A201 FOR MORE INFORMATION. DOWNSPOUT TO CONNECT TO STORM. SEE CIVIL DRAWINGS
R5	BUILT UP RIGID INSULATION ROOF CRICKET
R6	FABRIC/ VINYL AWNING BELOW
R7	PREFABRICATED AND PREFINISHED METAL COPING WITH CONTINUOUS ANCHOR PLATE OVER PRESSURE TREATED WOOD BLOCKING
R9	RTU LOCATION. SEE MECHANICAL DRAWINGS FOR EXACT SIZE AND MOUNTING DETAILS

E(X)= ELEVATION NOTE  
P(X)= FLOOR PLAN NOTE  
R(X)= ROOF NOTE

Owner:



ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136

© Copyright 2024

Project:

## SHOPPES OF PROVIDENCE BLDG 1

193 RONALD REGAN  
PARKWAY  
DAVENPORT, FL 33837

### Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

## BUILDING ROOF PLAN

### Revisions:

R1  
1 R.R. ADDITION 07/08/25

Issue Date: 02-14-2025  
Drawn By: CRL  
Checked By: JAG

Certified By:



Electronic Signature:

This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

**A202**

Project Number:

**#24312**

## TOILET ACCESSORY SCHEDULE

NO.	ITEM	MANUF.	CATALOG #	MOUNTING HT.
T1	GRAB BAR- 36" STAINLESS STEEL	BRADLEY	8122-001360	33"-36"
T2	GRAB BAR- 42" STAINLESS STEEL	BRADLEY	8122-001420	33"-36"
T3	TOILET TISSUE DISPENSER	BRADLEY	5402	15"-19"
T4	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	19"MIN.
T5	TILT MIRROR WITH STAINLESS STEEL FRAME	BOBRICK	B-293 1830	40"MAX
T6	CLASSICSERIES® SURFACE-MOUNTED SOAP DISPENSER	BOBRICK	B-2111	44"MAX
T7	XLERATOR Hand Dryer	Excel Dryer	Wall Guard White	48"MAX

NOTE: MOUNTING HEIGHTS NOTED ARE TO BE USED ONLY WHEN MANUFACTURERS STANDARD MOUNTING HEIGHTS ARE NOT PROVIDED. ALL ACCESSORIES IN ACCESSIBLE STALL TO COMPLY WITH MANUFACTURERS RECOMMENDED BARRIER FREE MOUNTING HEIGHTS. PROVIDE ADA RESTROOM SIGNAGE AT NEW RESTROOMS.

## INTERIOR FINISH SPECIFICATIONS

NOTE: ALL FINISH MATERIAL ARE ASTM E83 CLASS 1 QUALIFIED

### FLOOR FINISHES

MATERIAL: TILE  
MFG: TBD  
STYLE: MOSAIC  
COLOR: WHITE  
LOCATION: PER PLANS

### BASE FINISHES

MATERIAL: TILE COVE BASE  
MFG: TBD  
STYLE: MOSAIC  
COLOR: WHITE  
SIZE: 6"X6"

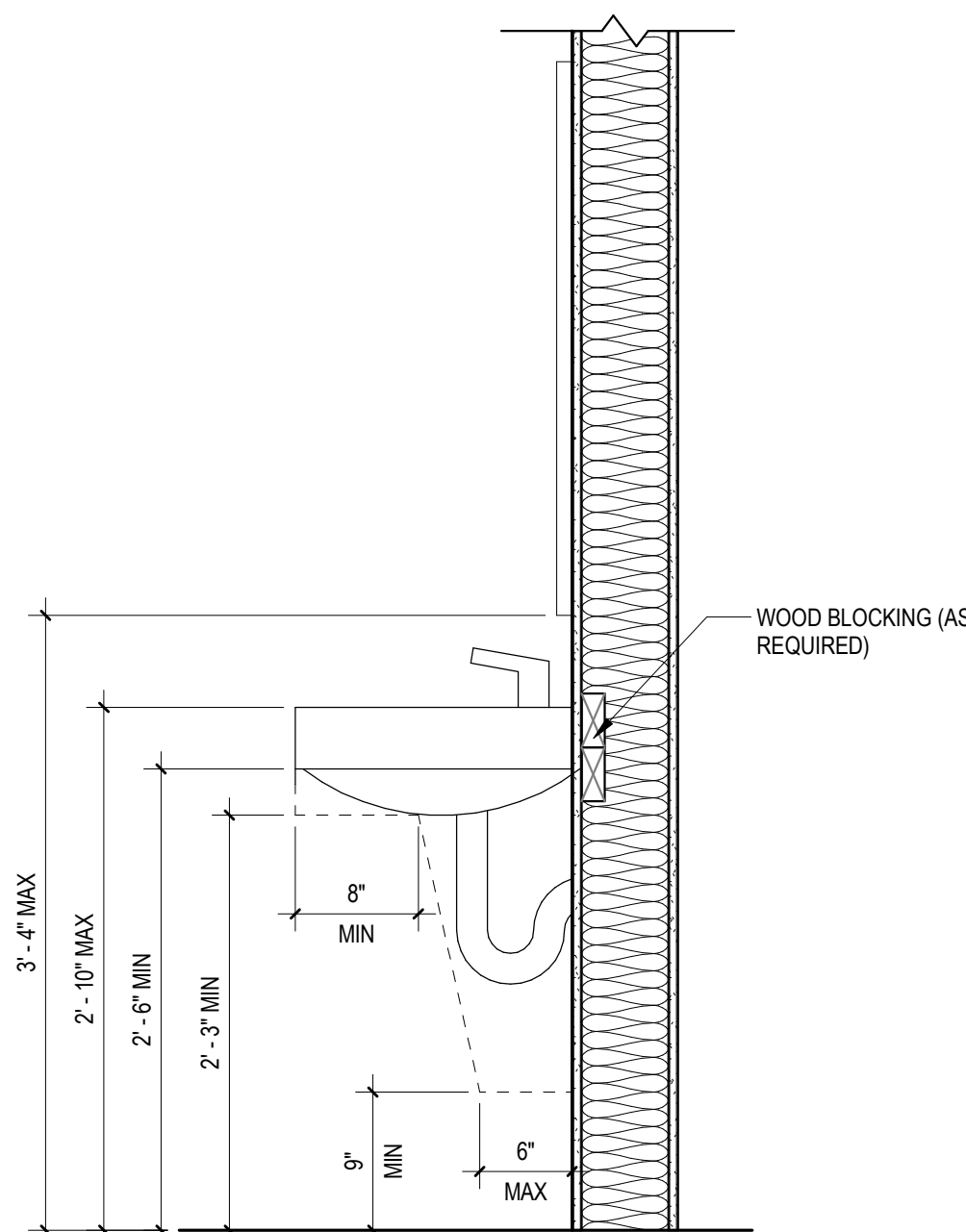
### WALL FINISHES

MATERIAL: PAINT  
MFG: TBD  
COLOR: WHITE  
FINISH: SATIN  
LOCATION: RESTROOMS

MATERIAL: FIBER REINFORCED POLYMER  
MFG: TBD  
COLOR: WHITE  
FINISH: SMOOTH  
LOCATION: RESTROOM WET WALL

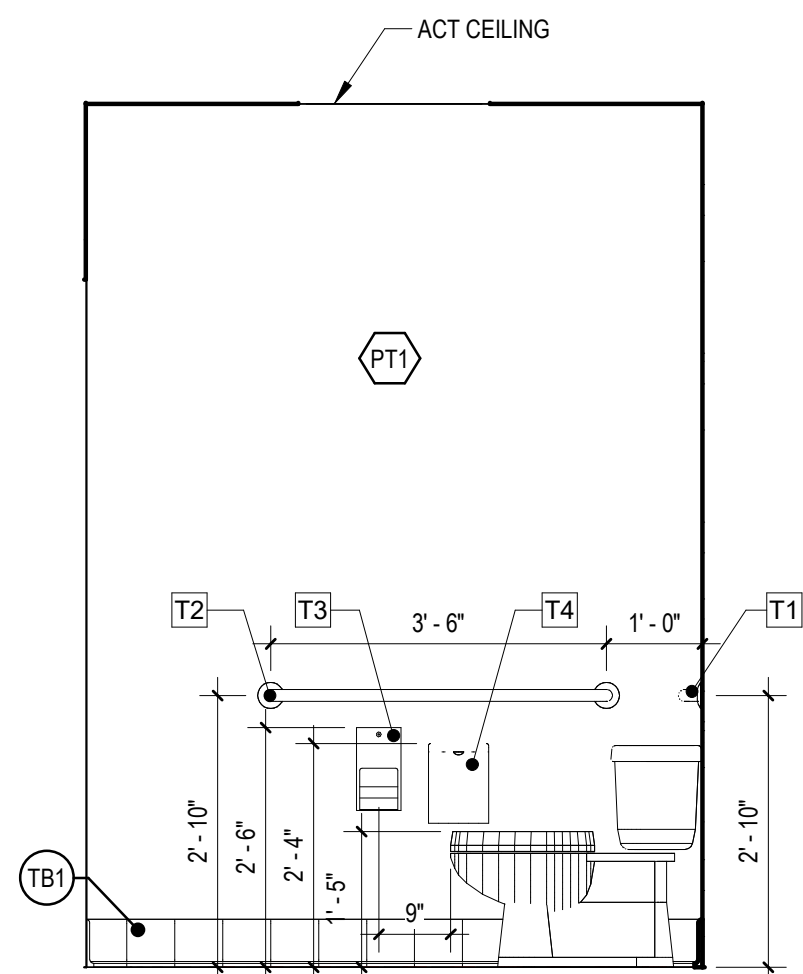
## GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, 'A' SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND TILT-UP PANELS).
- APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- APPLY SEALANT AT ALL COUNTERTOPS AND BACK SPLASHES AT JUNCTURE WITH WALL.
- ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S LIMITING HEIGHT L/120.
- ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT FLORIDA ACCESSIBILITY CODE AND FLORIDA BUILDING CODE.
- FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
- ALL FURNITURE & WORK STATIONS PROVIDED & INSTALLED BY TENANT.
- PROVIDE GYPSUM BOARD, FURRING, AND INSULATION ON EXTERIOR WALL IN ALL CONDITIONED SPACE.
- PAINT INSIDE OF ALL HOLLOW METAL DOORS XP1.
- PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV & TELEPHONE. COORDINATE WITH OWNER.
- ALL INTERIOR WALL FINISHES TO BE SELECTED BY OWNER AND ARCHITECT.
- NEW MECHANICAL RTU LOCATED ON THE ROOF WILL NOT BE VISIBLE FROM THE STREET. IN CASE IT BECOMES VISIBLE, MANUF. SCREENING WILL BE INSTALLED, PER MANUF. STANDARDS AND REQUIREMENTS OF THE AHJ.
- COORDINATE LOCATION OF ADDITIONAL OPENINGS IN WALLS WITH MECHANICAL & ELECTRICAL CONTRACTORS
- PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS IN THE WAREHOUSE AS REQUIRED BY NFPA 10.
- PROVIDE 12'-0" CLEAR HEIGHT THROUGHOUT. DO NOT INSTALL ANY MECHANICAL, ELECTRICAL, FIRE SPRINKLER, ETC. DEVICES BELOW THIS ELEVATION.



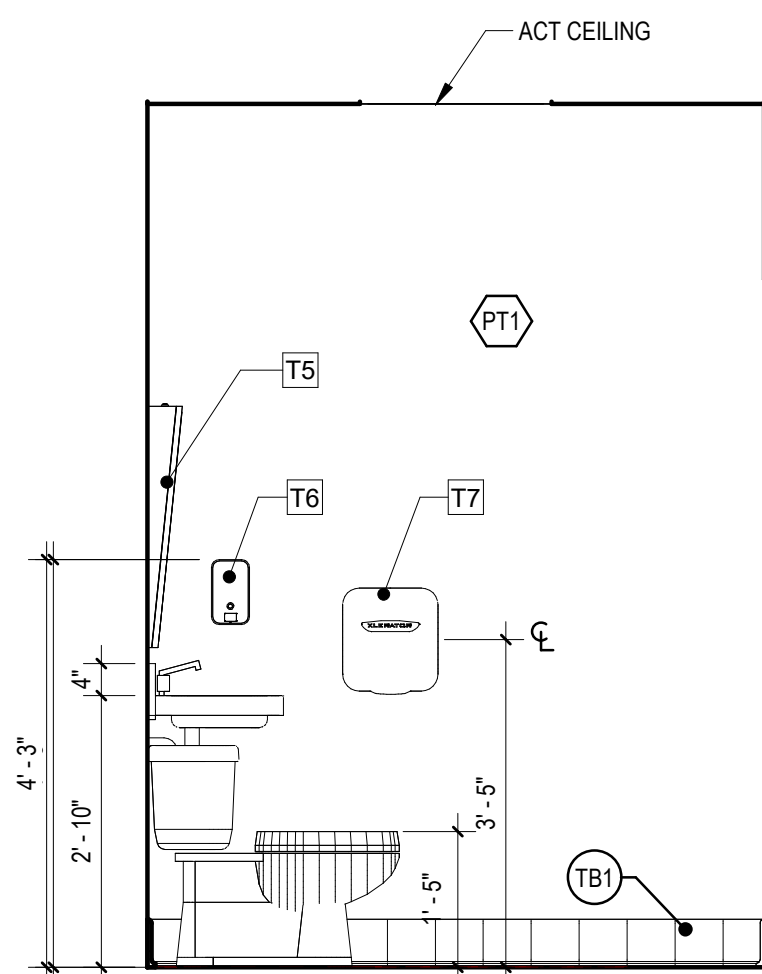
7 LAVATORY MILLWORK SECTION

A203  
SCALE 1" = 1'-0"



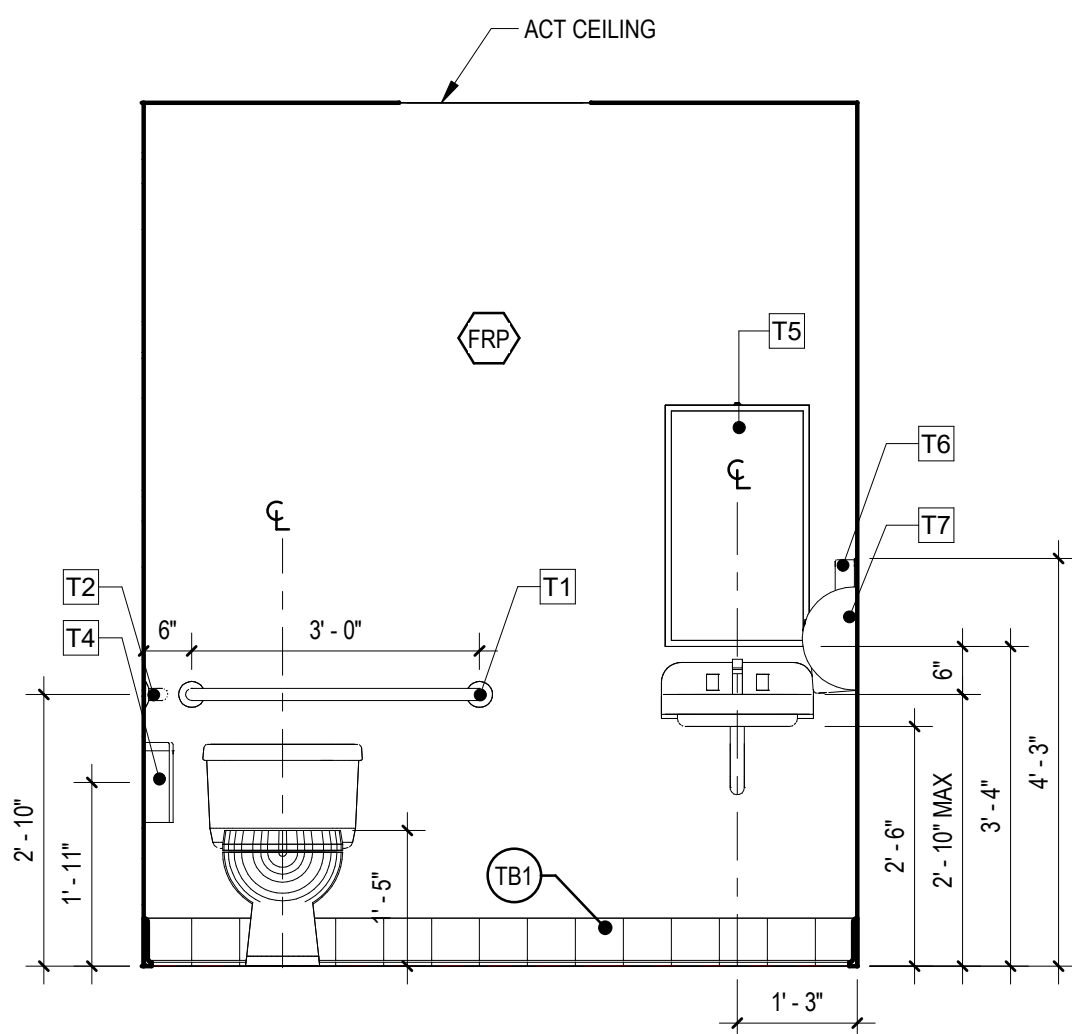
6 ELEVATION RESTROOMS

A203  
SCALE 1/2" = 1'-0"



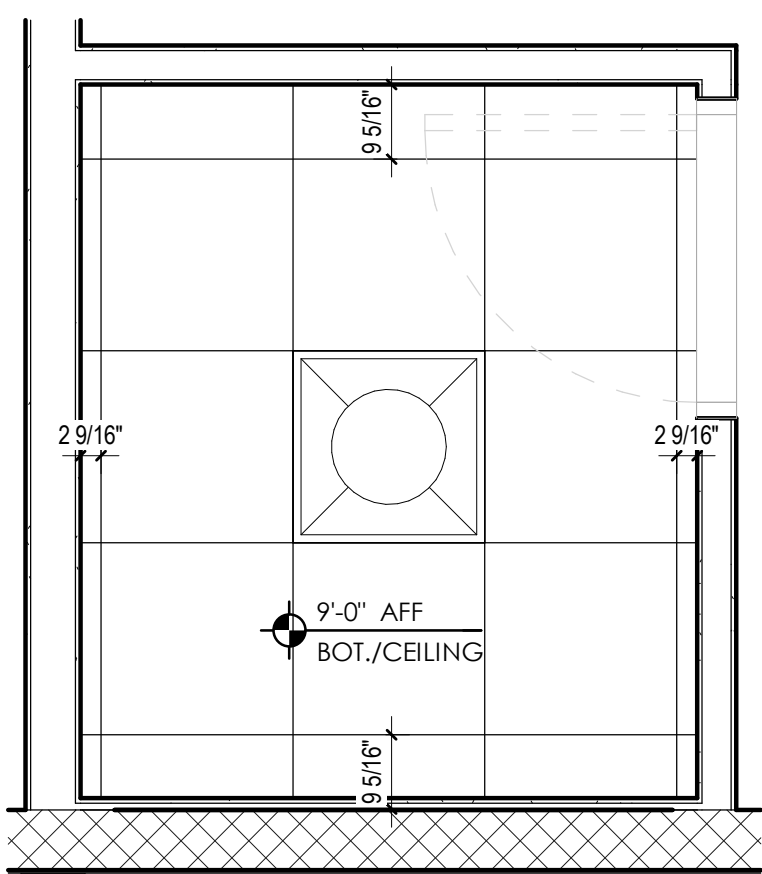
5 ELEVATION RESTROOMS

A203  
SCALE 1/2" = 1'-0"



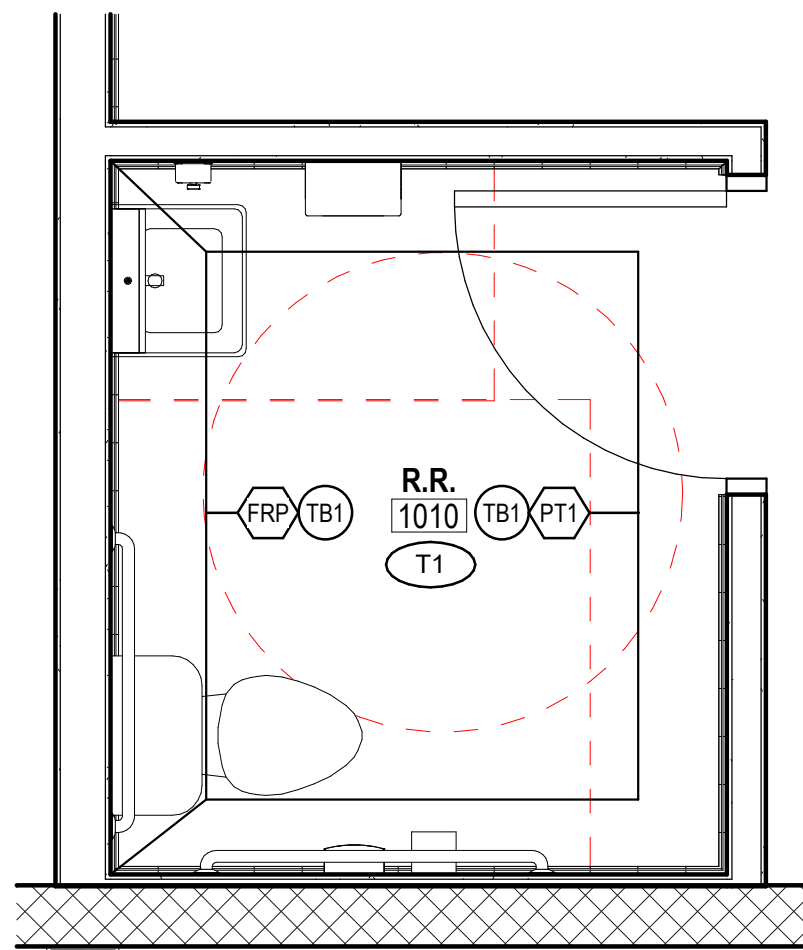
4 ELEVATION RESTROOMS

A203  
SCALE 1/2" = 1'-0"



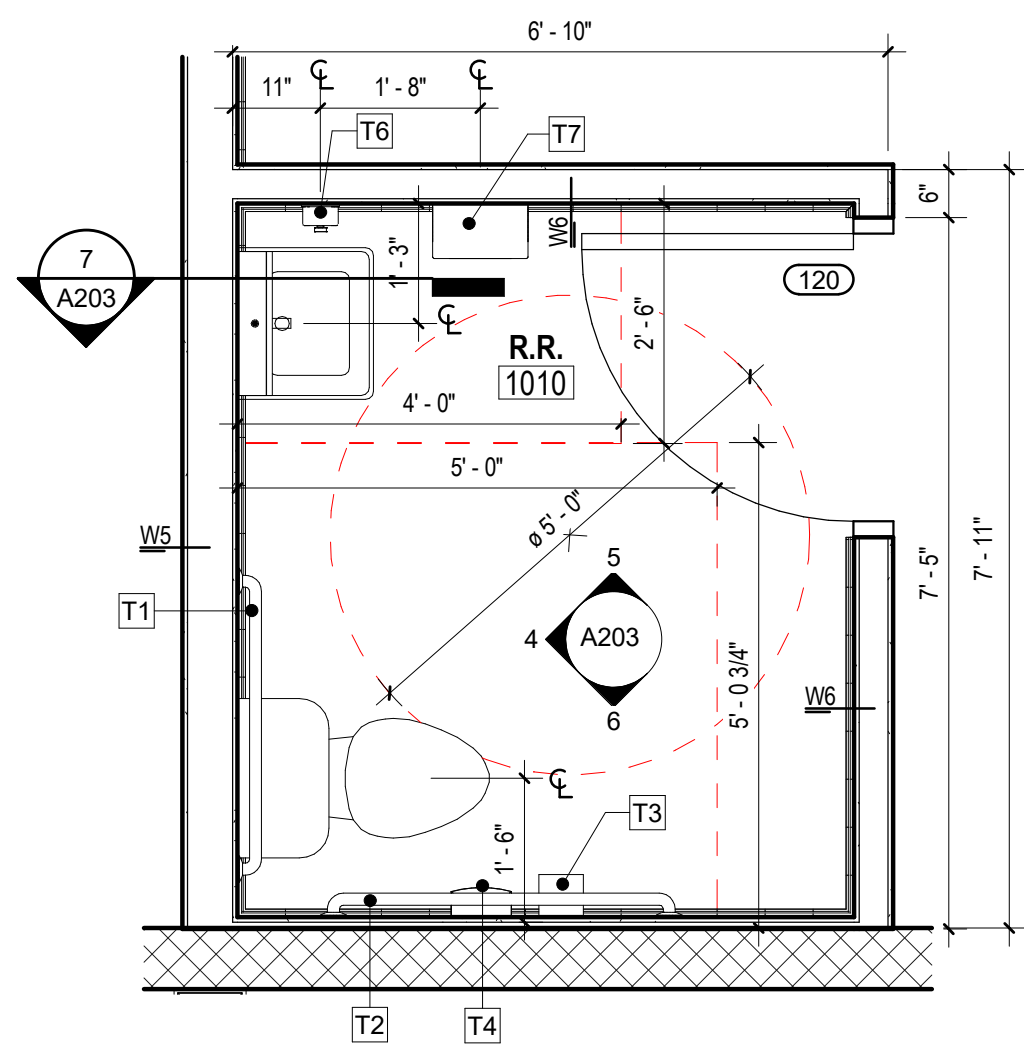
3 ENLARGED RCP TYP. RESTROOMS

A203  
SCALE 1/2" = 1'-0"



2 ENLARGED RESTROOM TYP. FINISH PLAN

A203  
SCALE 1/2" = 1'-0"



1 ENLARGED FLOOR PLAN TYP. RESTROOM

A203  
SCALE 1/2" = 1'-0"

Owner:



ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136

© Copyright 2024

Project:

## SHOPPES OF PROVIDENCE BLDG 1

193 RONALD REGAN PARKWAY  
DAVENPORT, FL 33837

### Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

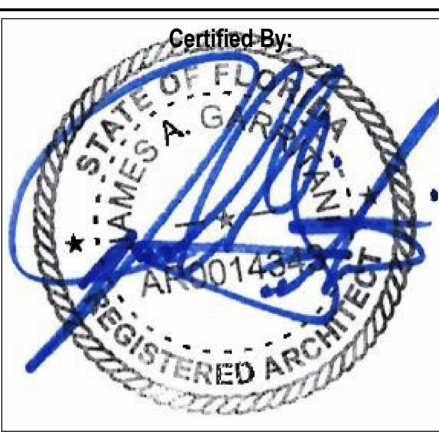
### Drawing Title:

## ENLARGED RESTROOMS AND DETAILS

### Revisions:

1 R.R. ADDITION 07/08/25

Issue Date: 02-14-2025  
Drawn By: Author  
Checked By: Checker



Electronic Signature:

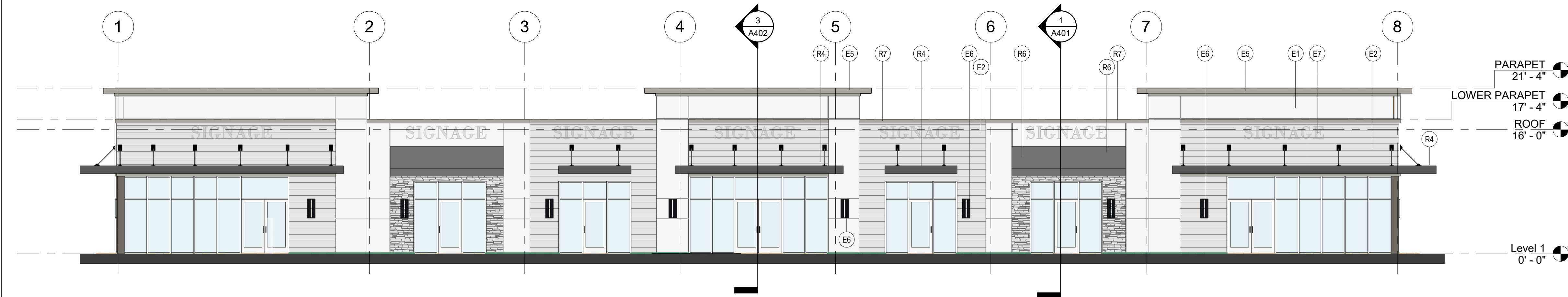
This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

A203

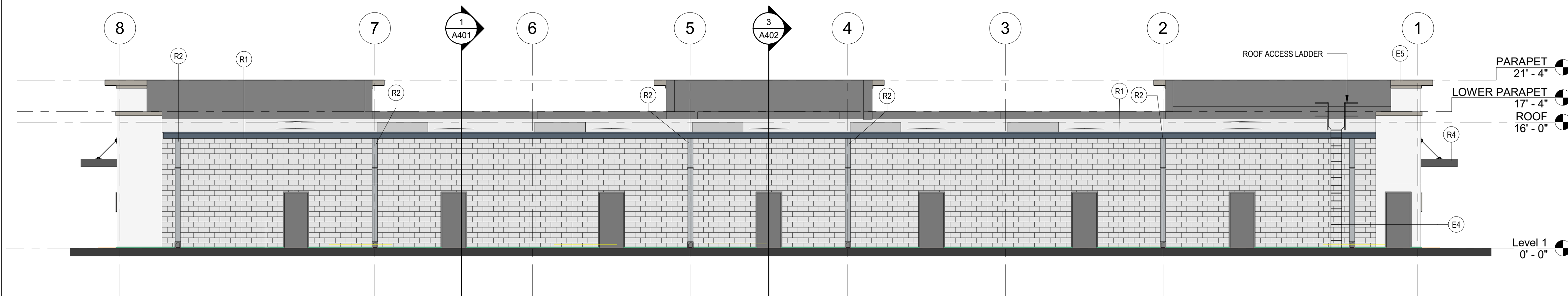
Project Number:

#24312



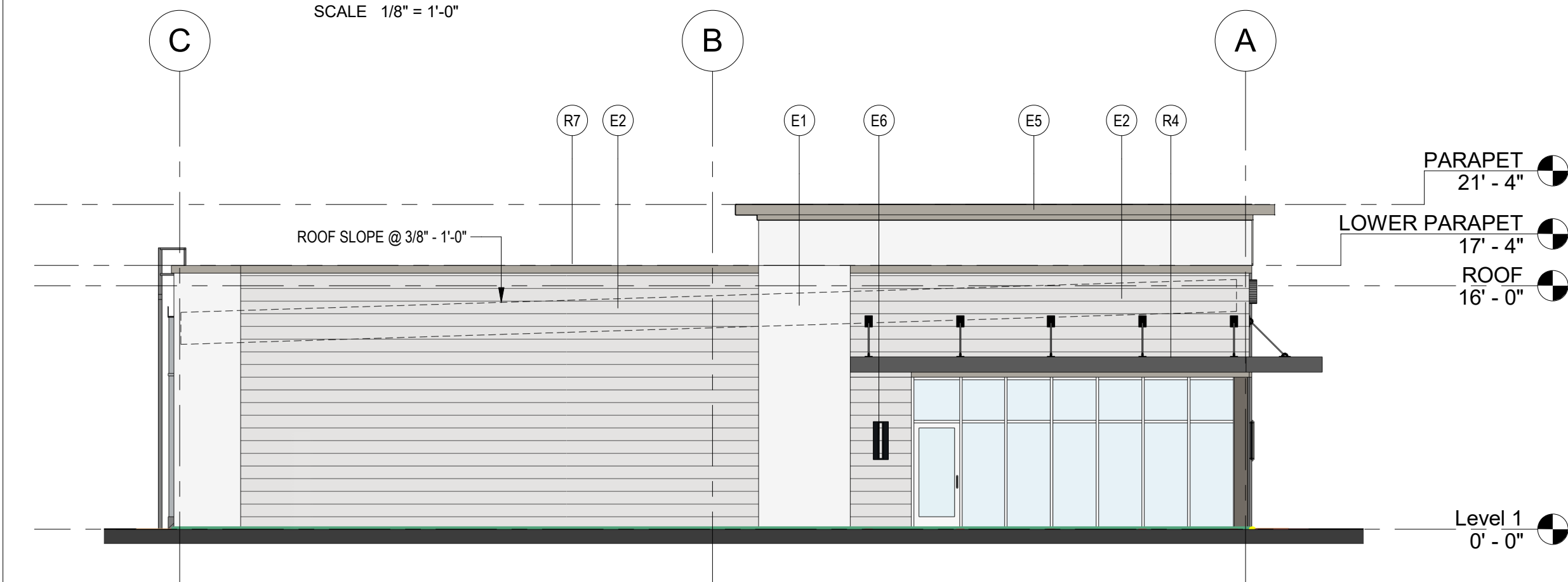
4 NORTH ELEVATION

A301  
SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION

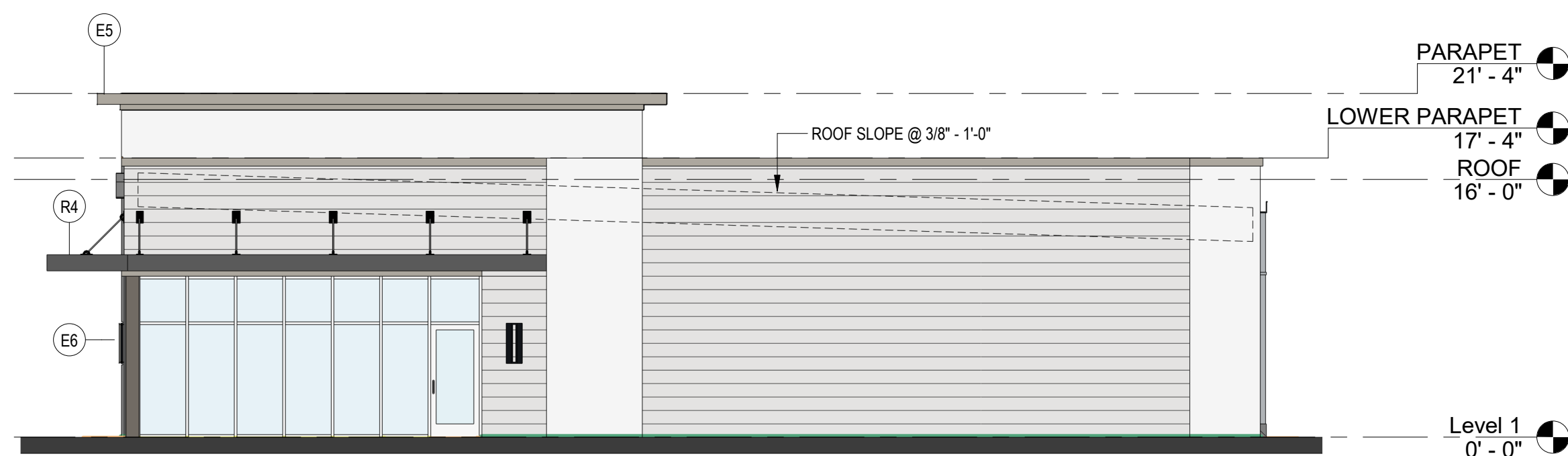
A301  
SCALE 1/8" = 1'-0"



1 EAST ELEVATION

A301  
SCALE 1/8" = 1'-0"

ALLOWABLE OPENING PERCENTAGE BASED ON FBC TABLE 705.8:  
WALL SQUARE FOOTAGE= 13H X 70'L = 910 SF  
OPENING SQUARE FOOTAGE= 10'H X 21.33'L = 213.3 SF  
PERCENTAGE OF OPENINGS= 213.3/910 = 23.4%  
ALLOWABLE OPENING PERCENTAGE = 25% (PASSES)  
(15 TO 20 FOOT SEPARATION- BUILDINGS ARE 35 FEET APART)



2 WEST ELEVATION

A301  
SCALE 1/8" = 1'-0"

## PAINT SCHEDULE

- ALL PAINT TO BE SHERWIN WILLIAMS, FLORIDA PAINTS, OR APPROVED EQUAL.
- PAINT ALL CMU XP1 (TEXTURED) UNLESS OTHERWISE NOTED.
- ALL EXTERIOR CMU TO BE TEXTURE COATED.
- PAINT ALL DOWNSPOUT GUARDS TO MATCH ADJACENT SURFACE.
- PAINT ALL BOLLARDS AND GUARDS SAFETY YELLOW.
- PAINT ALL EXPOSED METAL SURFACES (IE. GRILLES, HEATERS, AND FIRE EXTINGUISHER CABINETS) TO MATCH ADJACENT SURFACE.
- PAINT STRINGERS WITH INDUSTRIAL ENAMEL OIL BASED PAINT. DO NOT PAINT HANDRAILS.
- DIRECT METAL PRIMER TO BE USED ON ALL GALVANIZED METAL.
- PROVIDE TINTED PRIMER FOR ALL TEXTURED COATING APPLICATIONS.
- PROVIDE ADDITIVE ALTERNATE TO PAINT INTERIOR WAREHOUSE FACE OF CMU WHITE.
- PAINT FIRE RISERS RED.
- PAINT HOSE STATIONS RED TO BOTTOM OF BAR JOISTS.
- ALL COLUMNS SHALL BE PAINTED IN THE PRIORITY BELOW.
  - ALL COLUMNS TO BE PAINTED SAFETY YELLOW TO 10'-0" A.F.F. UNO.
  - ALL COLUMNS TO BE PAINTED GRAY ABOVE 10'-0" A.F.F. UNO.

- XP1 FIELD COLOR - COARSE TEXTURED SHERWIN WILLIAMS - TBD
- XP2 ACCENT COLOR - COARSE TEXTURED FLORIDA PAINTS - 0019 MYSTIC FOG
- XP3 ACCENT COLOR - COARSE TEXTURED FLORIDA PAINTS - 0440 PALE LODEN
- XP4 ACCENT COLOR - COARSE TEXTURED FLORIDA PAINTS - 0458 MALARCA
- XP5 PREFABRICATED AND PREFINISHED ALUMINUM CANOPY. COLOR TO MATCH CLEAR ANODIZED STOREFRONT. - G.C. TO PROVIDE COLOR SAMPLES FOR APPROVAL.

- NOTE:
- G.C. TO PROVIDE PAINT COLOR DRAW DOWN SAMPLES FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PAINTING CMU.
  - G.C. TO PAINT A CMU FOR FINAL PAINT APPROVAL PRIOR TO PAINTING THE ENTIRE BUILDING. (UNLESS NOTED OR ACCEPTED BY OWNER)

## PROJECT KEYNOTES

Key Value	Keynote Text
E1	COLOR 1 EIFS FINISH WITH 1/2" SCORING
E2	COLOR 2 EIFS FINISH WITH 1/2" HORIZONTAL SCORING PATTERN AT 10" OC.
E4	COLOR 2 PAINTED CMU FINISH
E5	PARAPET CORNICE BAND- WRAP WALL TO INSIDE CORNER AND RETURN CORNICE. DO NOT END CORNICE BANDS AT A FLUSH CUT
E6	29" EXTERIOR LIGHTING SCONCE BY HINKLEY MODEL 1224SK
E7	EXTERIOR SIGNAGE BY LESSEE
R1	10" X 10" PREFABRICATED AND PREFINISHED METAL GUTTER- SLOPE 1/8" PER FOOT.
R2	8" X 8" PREFABRICATED AND PREFINISHED KYNAR METAL DOWNSPOUT WITH PREFINISHED METAL CONDUCTOR HEAD. SEE 2/A201 FOR MORE INFORMATION. DOWNSPOUT TO CONNECT TO STORM. SEE CIVIL DRAWINGS
R4	ALUMINUM AWNING WITH SUPPORT STRUTS
R6	FABRIC/ VINYL AWNING BELOW
R7	PREMANUFACTURED AND PREFINISHED METAL COPING WITH CONTINUOUS ANCHOR PLATE OVER PRESSURE TREATED WOOD BLOCKING

- E(X)= ELEVATION NOTE  
R(X)= FLOOR PLAN NOTE  
R(X)= ROOF NOTE

Owner:



ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136  
© Copyright 2024

Project:

## SHOPPES OF PROVIDENCE BLDG 1

193 RONALD REGAN  
PARKWAY  
DAVENPORT, FL 33837

### Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

## EXTERIOR ELEVATIONS

Revisions:

Issue Date:	Drawn By:	Checked By:
02-14-2025	CRL	JAG



Electronic Signature:

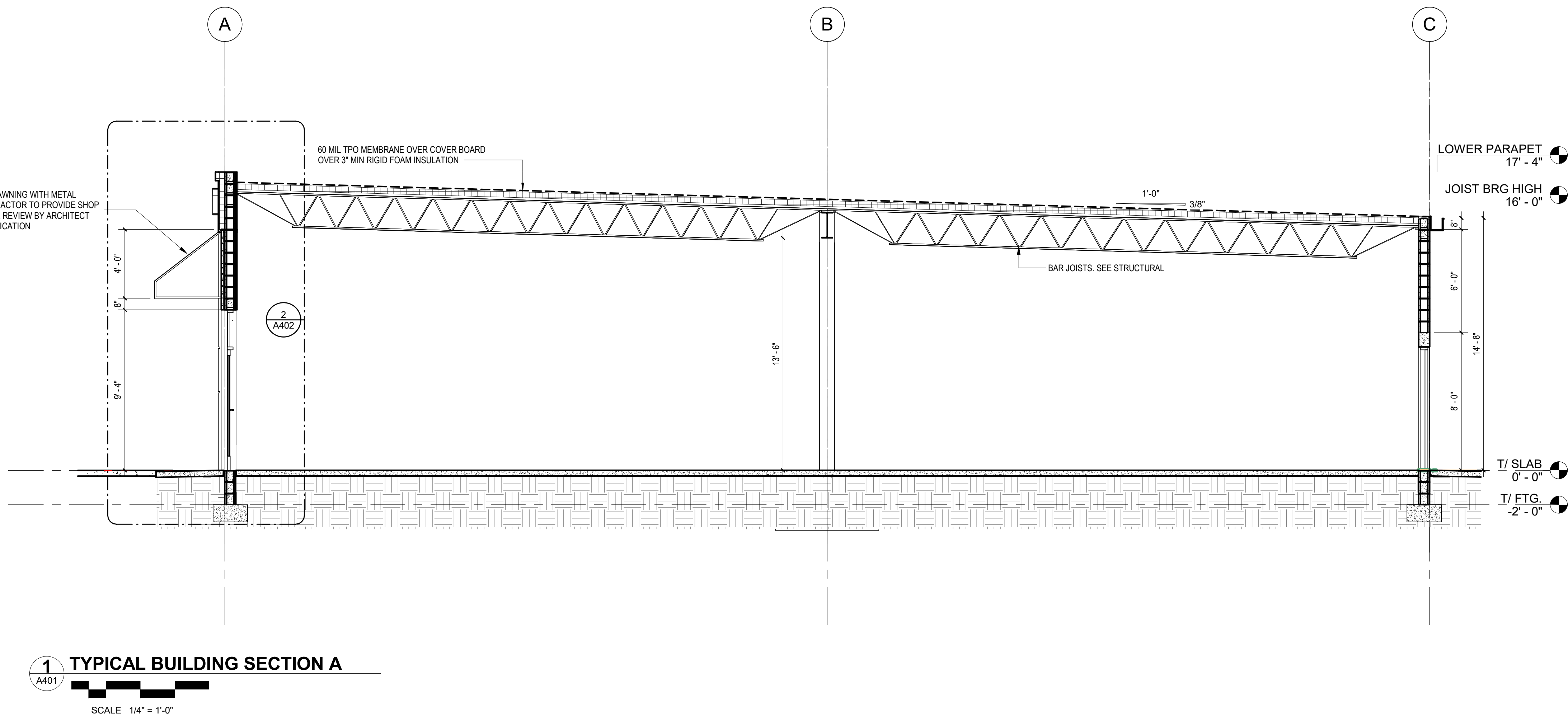
This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

A301

Project Number:

#24312



**1** TYPICAL BUILDING SECTION A

SCALE 1/4" = 1'-0"

Owner:



ARCHITECTURE  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**

193 RONALD REGAN  
PARKWAY  
DAVENPORT, FL 33837

**Scope Drawings:**

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

**Drawing Title:**

**BUILDING  
SECTION**

**Revisions:**

Issue Date: 02-14-2025 Drawn By: CRL Checked By: JAG

**Certified By:**



**Electronic Signature:**

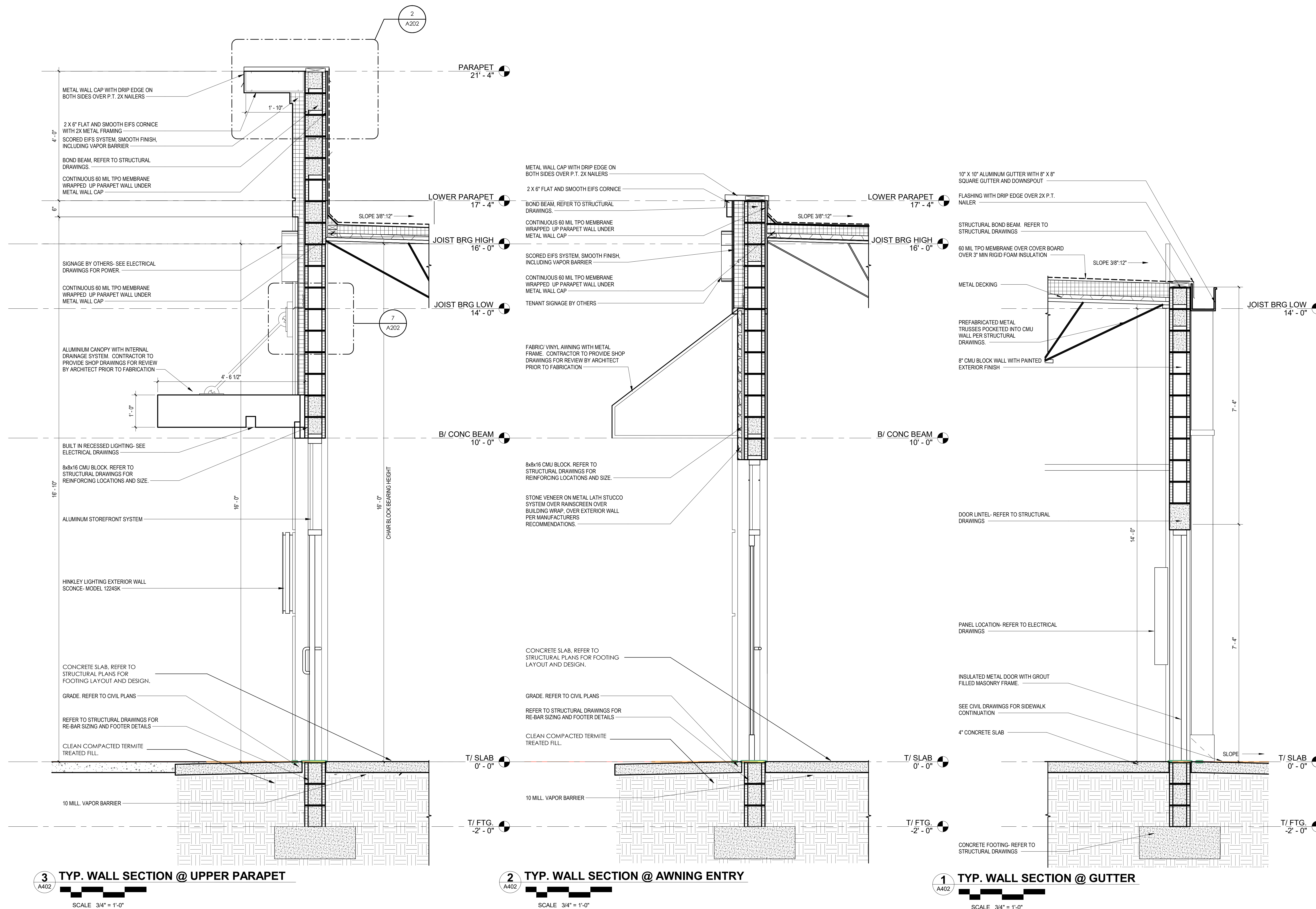
This drawing has been electronically signed and sealed on the date shown in the seal using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

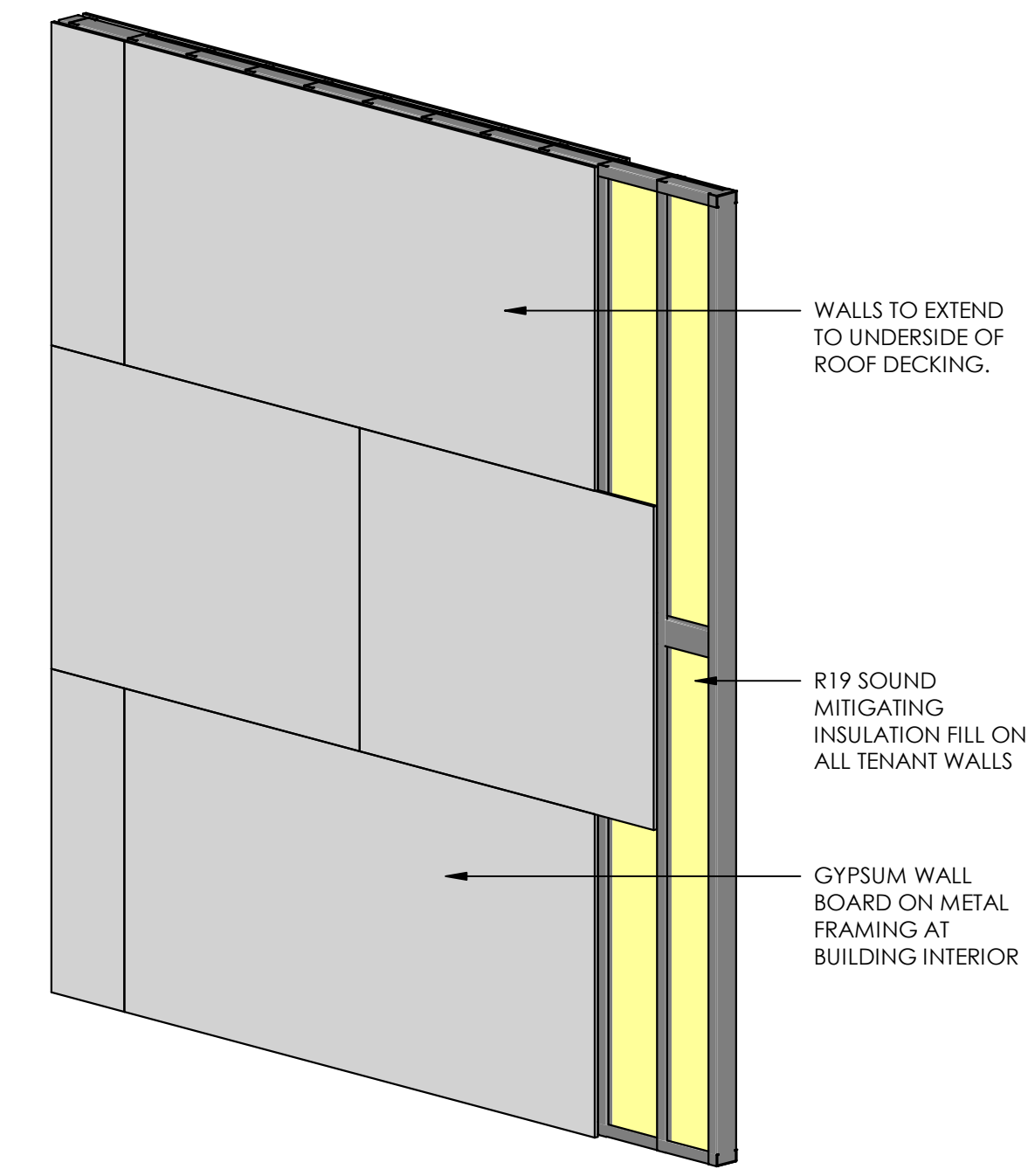
**Drawing Number:**

**A401**

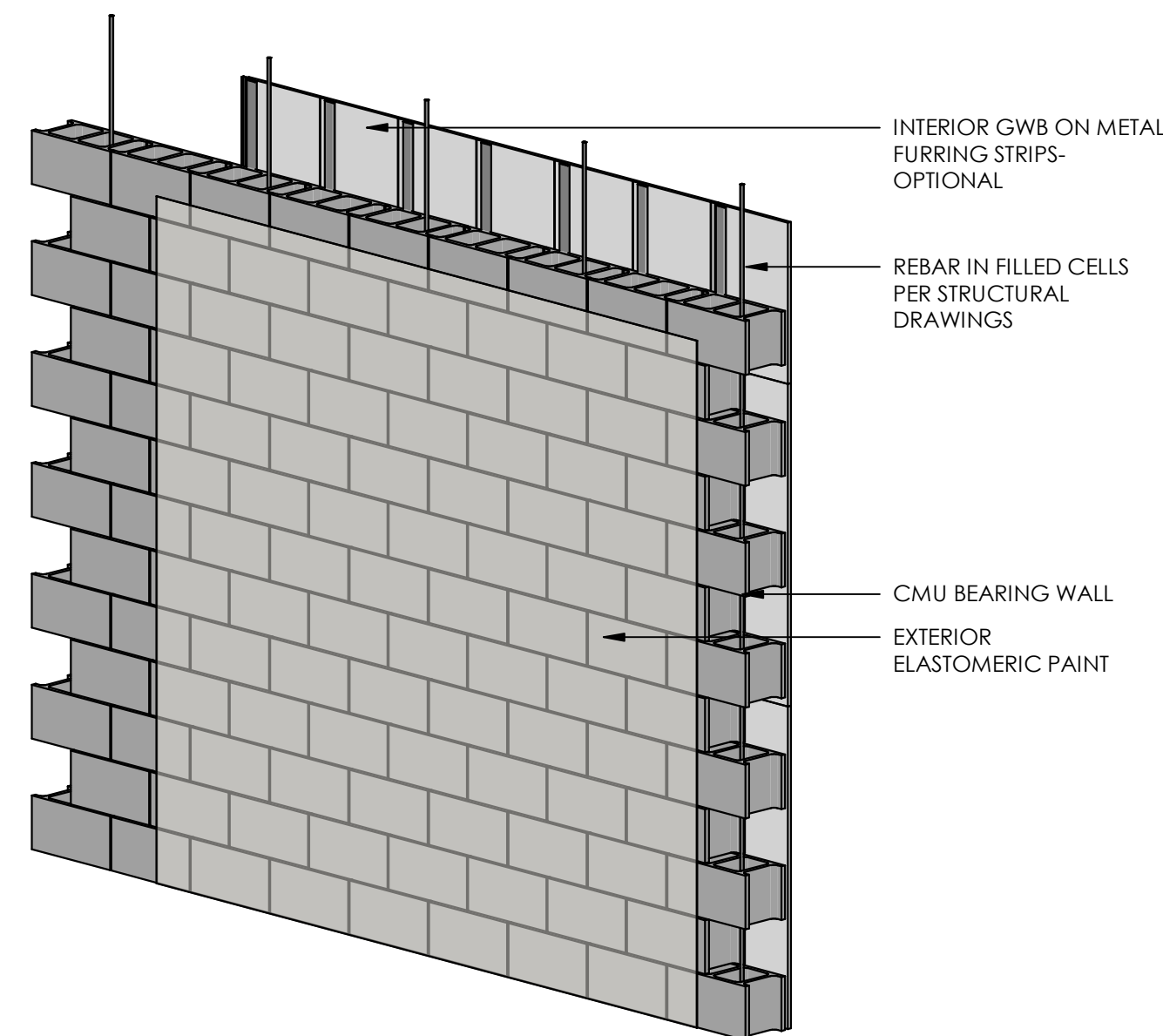
**Project Number:**

**#24312**

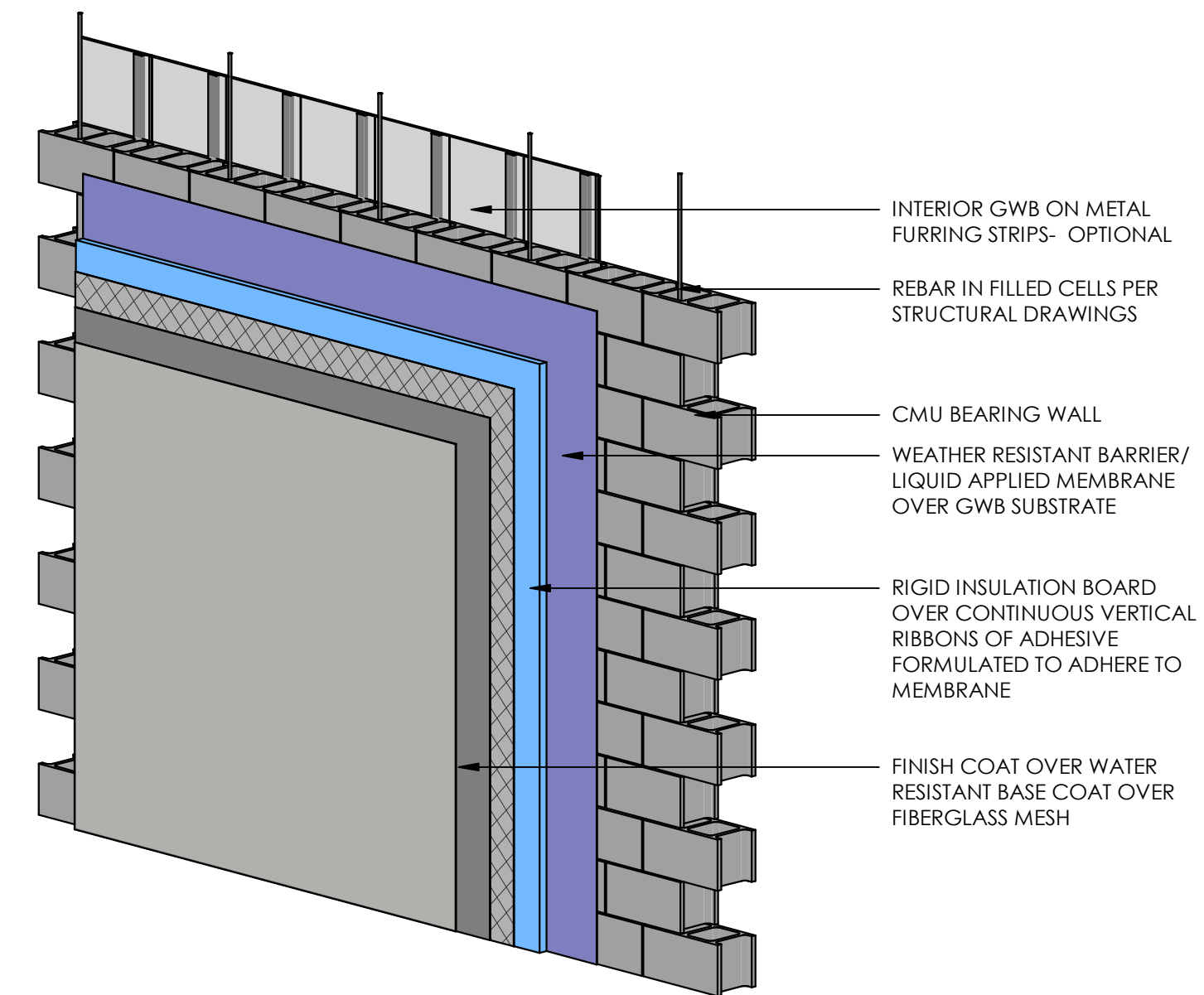




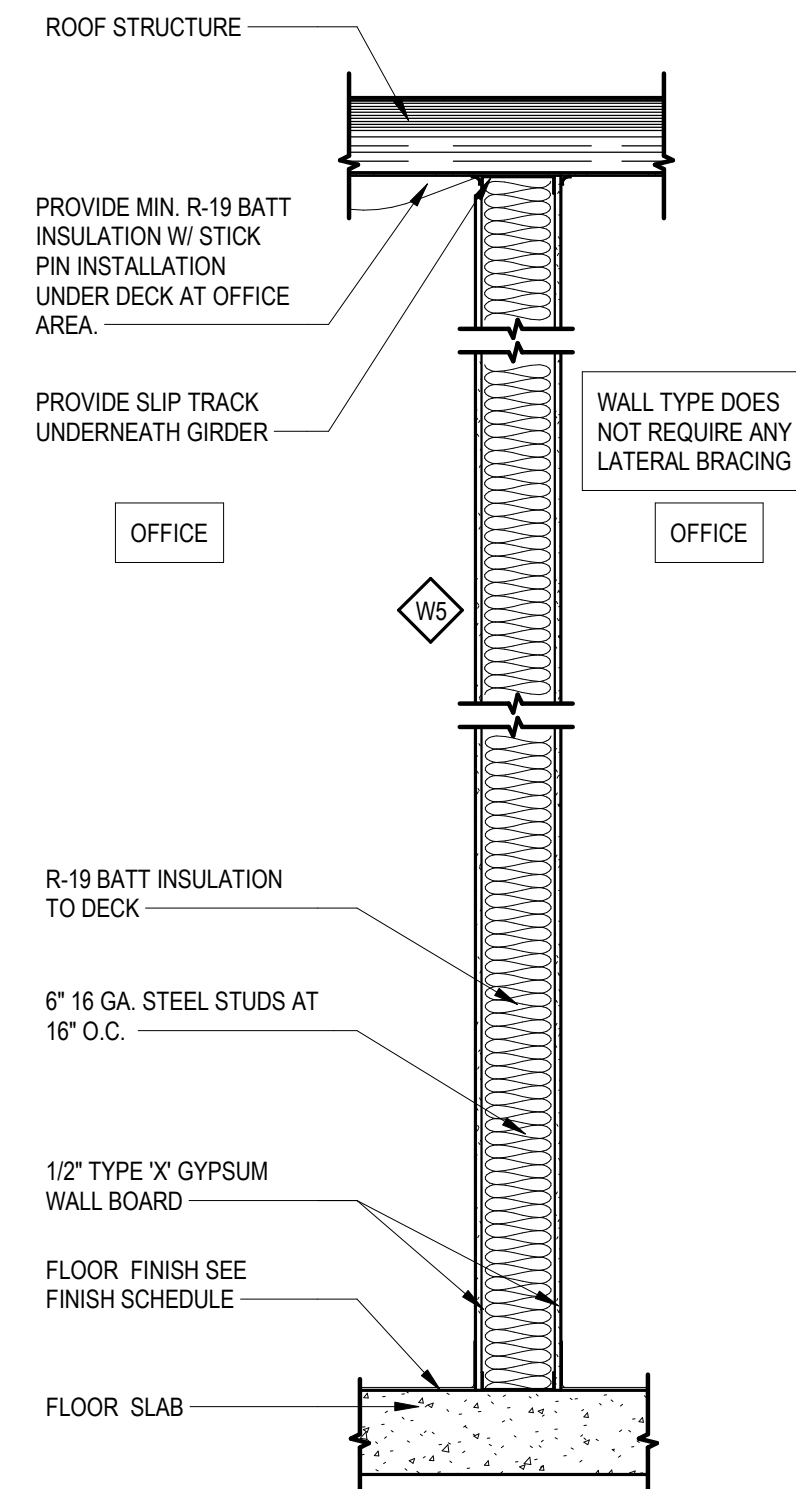
**3 METAL STUD WALL TYPE**  
A403 / NTS



**2 CMU WALL PAINTED WALL TYPE**  
A403 / NTS



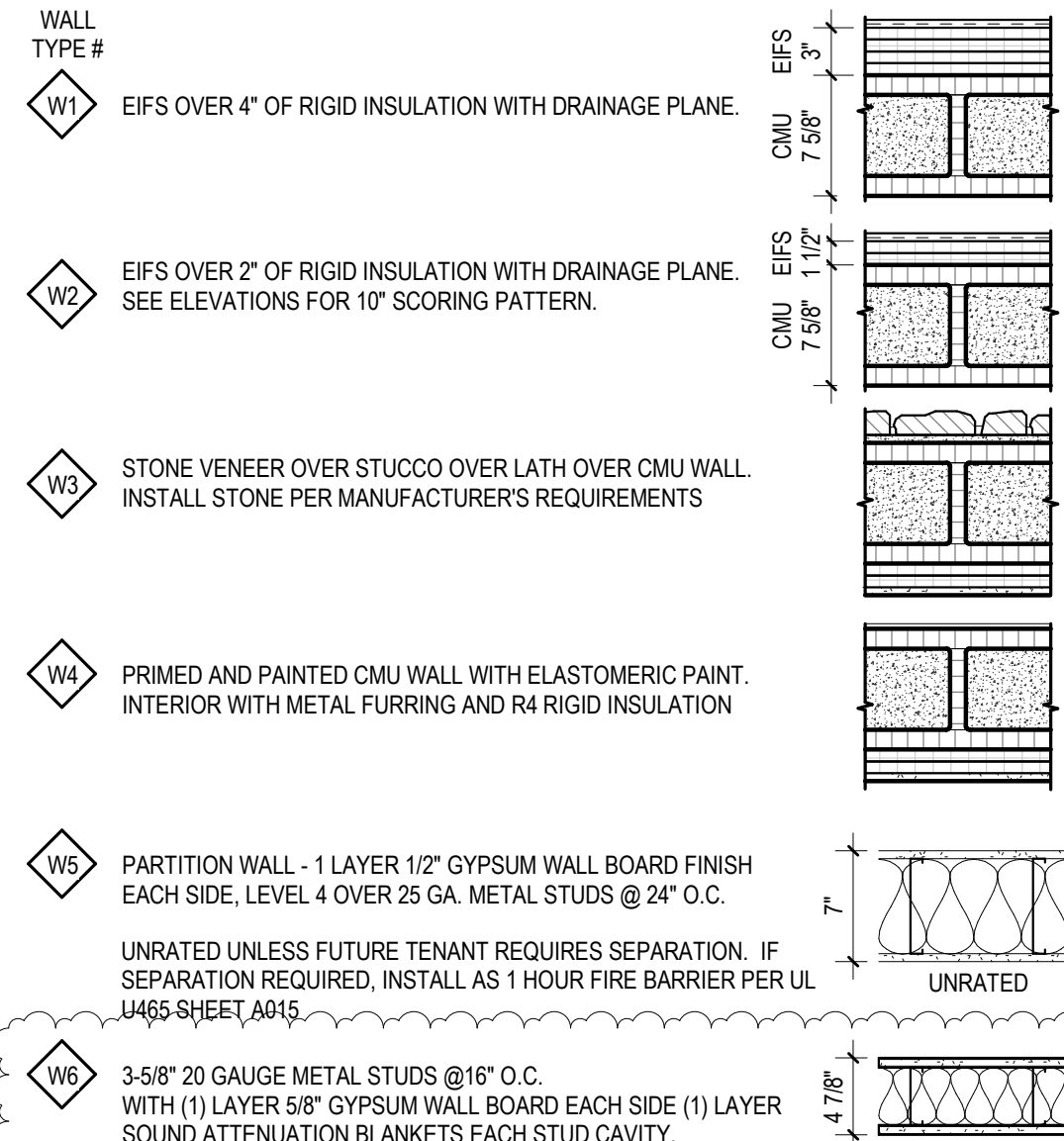
**1 CMU WALL EIFS WALL TYPE**  
A403 / NTS



**4 WALL SECTION**  
A403 / SCALE 3/4" = 1'-0"

## WALL TYPES

- NOTES:
- ALL WALLS GO TO BOTTOM OF CEILING HEIGHT UNLESS OTHERWISE NOTED.
  - PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL WET AREAS.
  - CONSTRUCT ALL STUD WALL FRAMING TO MEET MANUFACTURER'S MINIMUM REQUIREMENTS FOR FLOOR AND CEILING ATTACHMENT BASED ON 5 PSF LATERAL LOADING AND L1/20 DEFLECTION, UNLESS OTHERWISE APPROVED, IN NO CASE SHALL THE ATTACHMENT BE LESS THAN THE FOLLOWING:
    - ALL STEEL STUD RUNNER CHANNELS ATTACHED TO CONCRETE FLOOR SHALL BE FASTENED WITH CONCRETE STUD NAILS, EXPANSION ANCHORS, SHIELDED SCREWS, OR POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. AND NO MORE THAN 2" FROM EACH END.
    - FASTEN STUD FLANGE TO RUNNER TRACK WITH ONE 3/8" TYPE S PAN HEAD SCREWS.
    - ALL STEEL STUD RUNNER CHANNELS ATTACHED TO SUSPENDED CEILINGS SHALL BE FASTENED WITH "MOLLY" - TYPE EXPANDABLE FASTENERS, TOGGLE BOLTS, CLAMPS, OR SCREWS INTO CHANNELS, SPLINES, "T" RUNNERS, OR OTHER MEMBERS AT A MAXIMUM.
    - PROVIDE LEVEL 4 FINISH PER ASTM C840 IN OFFICE.
    - PROVIDE LEVEL 3 IN WAREHOUSE AREA.



DOOR AND FRAME. REFER TO DOOR SCHEDULE.  
F(X) = FRAME TYPE. SEE SHEET A501 FOR FRAME ELEVATIONS.

Owner:



**ARCHITECTURE**  
135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136  
© Copyright 2024

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**  
**193 RONALD REGAN  
PARKWAY**  
**DAVENPORT, FL 33837**

### Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

## WALL TYPES

### Revisions:

Issue Date:	Drawn By:	Checked By:
02-14-2025	CRL	JAG



Electronic Signature:

This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

**A403**

Project Number:

**#24312**

DOOR SCHEDULE																																					
DOOR NUMBER	ROOM NAME & NUMBER	DOOR						FRAME						HARDWARE						SECURITY				REMARKS													
		WIDTH		HEIGHT	THICKNESS	MATERIAL	FINISH	ELEVATION	GLASS	MATERIAL	FINISH	ELEVATION	GLASS	DETAILS		UL RATING	HINGES/PIVOTS	PUSH/PULL	EXIT DEVICE	LATCH SET	STOP	CLOSER	MISC.		WEATHER ST.	ELEC. STRIKE	MAG. LOCK	CARD READER	MOTION SENSOR								
		PR	WIDTH											HEAD	JAMB															SILL	FC	HM	WD	F	INS	T	AL
101	RETAIL #1		6'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
102	RETAIL #2		3'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
103	RETAIL #3		3'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
104	RETAIL #4		6'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
105	RETAIL #5		3'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
106	RETAIL #6		3'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
107	RETAIL #7		6'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
109	RETAIL #7		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
110	RETAIL #6		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
111	RETAIL #5		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
112	RETAIL #4		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
113	RETAIL #3		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
114	RETAIL #2		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
115	RETAIL #1		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												
118	RETAIL #1		3'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
119	RETAIL #1		3'-0"	7'-0"	1 1/2"	AL			T										YES				YES		YES												
120	RR		3'-0"	7'-0"	1 1/2"	WD				HM				H1	J1																						
121	RR		3'-0"	7'-0"	1 1/2"	WD				HM				H1	J1																						
122	RR		3'-0"	7'-0"	1 1/2"	WD				HM				H1	J1																						
123	RR		3'-0"	7'-0"	1 1/2"	WD				HM				H1	J1																						
124	RR		3'-0"	7'-0"	1 1/2"	WD				HM				H1	J1																						
126	RETAIL #7		3'-0"	7'-0"	1 1/2"	HM				HM													YES		YES												

## HARDWARE NOTES

SECURITY HARDWARE VENDOR WHEN SELECTED SHALL COMPLY WITH NFPA 101 7.2.1.6.2 AND FLORIDA BUILDING CODE 1008.1.3.4 FOR ACCESS-CONTROLLED DOORS. IF REQUESTED, SECURITY VENDOR WILL SUBMIT DOCUMENTATION CONFIRMING THE FOLLOWING:

A. A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE ARRANGED TO DETECT AN OCCUPANT APPROACHING DOORS THAT ARE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS UPON DETECTION OF AN APPROACHING OCCUPANT OR LOSS OF POWER TO THE SENSOR.

B. LOSS OF POWER TO THE PART OF THE ACCESS CONTROL SYSTEM THAT LOCKS DOORS SHALL AUTOMATICALLY UNLOCK THE DOORS IN THE DIRECTION OF TRAVEL.

C. THE DOORS SHALL BE ARRANGED TO UNLOCK FROM A MANUAL UNLOCKING DEVICE LOCATED 40 INCHES TO 48 INCHES VERTICALLY ABOVE THE FLOOR AND WITHIN 5 FEET OF THE SECURED DOORS.

D. THE MANUAL RELEASE DEVICE SPECIFIED ABOVE SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: PUSH TO EXIT.

E. WHEN OPERATED, THE MANUAL RELEASE DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF THE POWER TO THE LOCK - INDEPENDENT OF THE ACCESS CONTROL SYSTEM ELECTRONICS - AND THE DOORS SHALL REMAIN UNLOCKED FOR NOT LESS THAN 30 SECONDS.

F. ACTIVATION OF THE BUILDING FIRE-PROTECTION SIGNALING SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOORS IN THE DIRECTION OF EGRESS, AND THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE-PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET.

G. THE ACTIVATION OF MANUAL FIRE ALARM BOXES THAT ACTIVATE THE BUILDING FIRE PROTECTIVE SIGNALING SYSTEM SPECIFIED IN #6 ABOVE SHALL NOT BE REQUIRED TO UNLOCK THE DOORS.

H. ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLER OR FIRE DETECTION SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOORS IN THE DIRECTION OF EGRESS, AND THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE-PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET.

I. ENTRANCE DOORS IN THIS BUILDING SHALL NOT BE SECURED FROM THE EGRESS SIDE DURING PERIODS THAT THE BUILDING IS OPEN.

## DOOR SCHEDULE NOTES

1. PROVIDE NEW MEDIUM GRADE ADA LEVER HARDWARE TO MATCH SCHLAGE TRIM PROFILE JUPITER - SATIN CHROME FINISH.
2. COORDINATE KEYING LOCK SETS WITH TENANT.
3. ALL EXIT DOOR HARDWARE TO MEET THE REQUIREMENTS OF LIFE SAFETY CODE 101, SECTION 7.2.1.6.2.
4. INTERIOR WOOD DOORS TO BE BUILDING STANDARD, MATCH EXISTING STAIN/FINISH.
5. VERIFY SECURITY HARDWARE WITH TENANT.
6. ALL HARDWARE MAY BE SUBSTITUTED FOR EQUAL WITH ARCHITECT'S APPROVAL.
7. ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED WITH SEMI-GLOSS ENAMEL TO MATCH ADJACENT WALL COLOR.
8. PROVIDE SILENCERS (3) PER SINGLE DOOR BY IVES AT ALL DOORS. MANUFACTURER MAY BE SUBSTITUTED AT OWNERS REQUEST.
9. SEE MECHANICAL DRAWINGS FOR LOCATIONS OF DOORS THAT ARE UNDERCUT.
10. VERIFY WALL THICKNESS BEFORE ORDERING H.M. FRAMES.

## GLASS SCHEDULE

STOREFRONT SYSTEM TO BE YKK 45 FI; VISTAWALL; KAWNEER OR APPROVED EQUAL WITH CLEAR ANODIZE FINISH THERMALLY BROKEN. ALL GLASS TO BE TYPE 'A' UNLESS NOTED OTHERWISE.

TYPE 'A' 1" INSULATED GLASS WITH 1/4" OPTIBLUE WITH SOLAR BAN 60 (2) AND 1/4" CLEAR INSIDE.

TYPE 'B' 9/16" CLEAR TEMPERED LAMINATED GLASS WITH 1/4" CLEAR INTERIOR & EXTERIOR.

## HARDWARE SCHEDULE

### HINGES/PIVOTS

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
B-1	3/LEAF	HINGES	FBB179	US26D	STANLEY
B-2	2/LEAF	OFFSET PIVOTS	MFG. STD.	#17 CLEAR	KAWNEER

### LATCH-FUNCTION

DES.	QTY.	TYPE	MODEL #	FINISH	LEVER	BRAND
L-1	1	STOREFRONT ENTRY	ND SERIES	626	ATH	SCHLAGE
L-2	1	REAR ENTRY	ND SERIES	626	ATH	SCHLAGE
L-3	1	RISER	ND SERIES	626	ATH	SCHLAGE

NOTE: ADD DOOR PRY GUARDS TO ALL EXTERIOR LOCKSETS ON HOLLOW METAL DOORS.

### STOP

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
S-1	1/LEAF	FLOOR STOP	3310	US26D	DCI

### CLOSER

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
D-1	1/LEAF	SURFACE MTD. CLOSER	7700	626	NORTON
D-2	1/LEAF	SURFACE MTD. CLOSER	MFG. STD.	#17 CLEAR	KAWNEER

### MISCELLANEOUS

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
M-1	1	DUSTPROOF STRIKE	MFG. STD.	MFG. STD.	MFG. STD.
M-2	2	FLUSHBOLT	MFG. STD.	MFG. STD.	MFG. STD.
M-2	1/LEAF	KICK PLATE	8" X 34"	US32D	HIWATHA

### PUSH / PULL

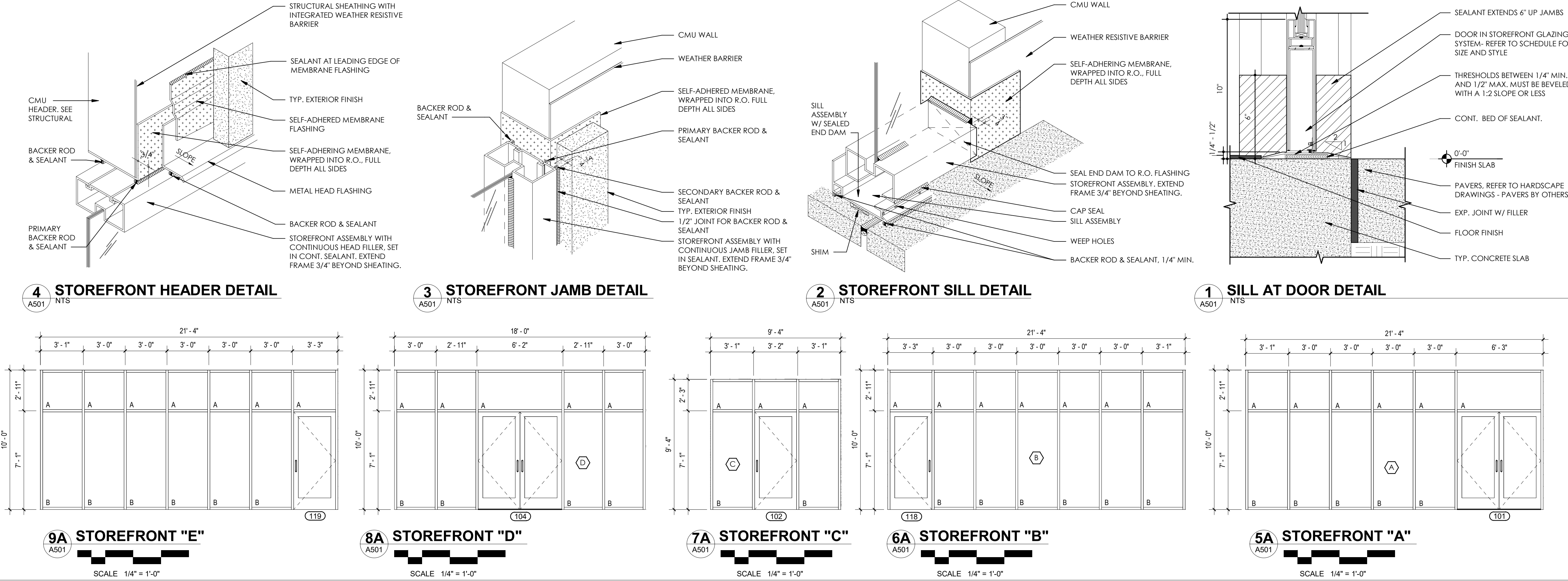
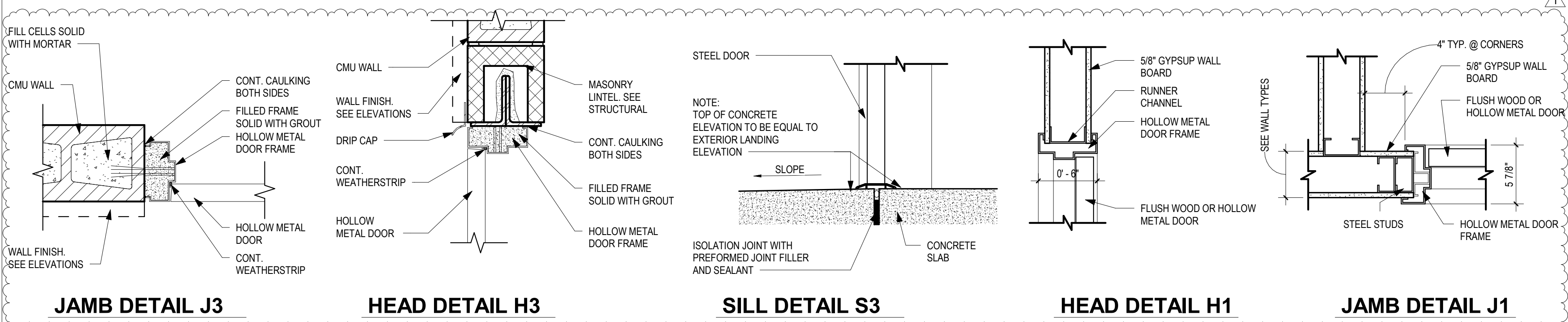
DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
P-1	1/ LEAF	PULL HANDLE	CS-9	#14 CLEAR	KAWNEER
P-2	1/ LEAF	PUSH PLATE	CP 11	#14 CLEAR	KAWNEER

### EXIT DEVICE

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
X-1	1	RIM PANIC DEVICE			
X-2	1	EXIT DEVICE	APEX 2000	US26D	PRECISION

### WEATHER STRIP

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
W-1	1	WEATHER STRIPPING AND THRESHOLD	MFG. STD.	MFG. STD.	MFG. STD.
W-2	1	THRESHOLD	171A-36"	AL	PEMCO
	1	WEATHERSTRIP	SET 303-AV	AL	PEMCO
	1	D RIP CAP	34GC-36"	AL	PEMCO
	1	DOOR BOTTOM	216AV-36"	AL	PEMCO



Owner:

**4**

ARCHITECTURE

135 WEST CENTRAL BLVD., SUITE 400  
ORLANDO, FLORIDA 32801  
TEL: 407.363.6136

© Copyright 2024

Project:

**SHOPPES  
OF  
PROVIDENCE  
BLDG 1**

**193 RONALD REGAN  
PARKWAY  
DAVENPORT, FL 33837**

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

**WALL DETAILS,  
WINDOW & DOOR  
SCHEDULES**

Revisions:

1	R.R. ADDITION	07/08/25
---	---------------	----------

Issue Date: 02-14-2025 Drawn By: CRL Checked By: JAG

Certified By:

STATE OF FLORIDA  
JAMES A. GILBERT  
ARCHITECT  
REGISTERED ARCHITECT  
XX000787

Electronic Signature:

This drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Drawing Number:

**A501**

Project Number:

**#24312**

