# 193 RONALD REGAN PARKWAY

DAVENPORT, FL 33837

# ARCHITECTURE, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL:



# C4 ARCHITECTURE, LLC

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### MECHANICAL

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## PLUMBING

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7	•	1	07/08/25	P600	PLUMBING DETAILS, SCHEDULES AND RISERS	Į.		
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# **CODE COMPLIANCE**

#### **BUILDING DATA:**

**NUMBER OF STORIES** 

**OCCUPANCY TYPE** = MERCANTILE (M)

**CONSTRUCTION TYPE** 

PROTECTION TYPE = UNPROTECTED, SPRINKLED PER FBC 903.2.7

= NONE REQUIRED PER FBC 508.4

= 75' -0" PER FBC TABLE 504.3

#### **APPLICABLE BUILDING CODES:**

FLORIDA BUILDING CODE, EIGHTH EDITION (2023) FLORIDA ENERGY CODE, EIGHTH EDITION (2023) - 2019 ASHRAE 90.1 FLORIDA MECHANICAL CODE, EIGHTH EDITION (2023) FLORIDA PLUMBING CODE, EIGHTH EDITION (2023) **EXISTING BLDG. FLORIDA BUILDING CODE, EIGHTH EDITION (2023)** FLORIDA ACCESSIBILITY CODE, EIGHTH EDITION (2023) · 2020 NATIONAL ELECTRIC CODE · NFPA 101 LIFE SAFETY CODE, 2021 EDITION

NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2022 EDITION

**MUNICIPALITY: POLK COUNTY FLORIDA** 

PARCEL ID #:

#### 27-26-12-702500-013001

THE SUBJECT SITES ARE LOCATED WITHIN SECTIONS 7 & 12, TOWNSHIP 26 SOUTH, RANGE 27 & 28 EAST IN POLK COUNTY, FLORIDA. MORE SPECIFICALLY, THEY ARE LOCATED AT THE SOUTHEAST CORNER OF US 92 AND KINNEY HARMON ROAD DAVENPORT, FLORIDA, AS SHOWN ON THE ATTACHED FIGURE A-1. AT THE TIME OF DRILLING, THE SITE WAS HEAVILY WOODED AND UNDEVELOPED.

## NOTES:

ROOF STRUCTURE IS <u>NOT</u> LIGHT GAUGE METAL FRAMING.

**PROPERTY DESCRIPTION:** 

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND INSTALL ALL NECESSARY COMPONENTS FOR THE PROPER OPERATION OF ALL SPECIFIED SYSTEMS, REGARDLESS OF WHETHER THOSE COMPONENTS ARE SHOWN ON THE DRAWINGS OR NOT. CONTRACTOR SHALL ALSO VERIFY THAT SPECIFIED COMPONENTS ARE COMPATIBLE WITH OTHERS WITHIN THE SAME SYSTEM AND WITH THE SYSTEM ITSELF.

"SEPARATE PERMITS REQUIRED FOR: DUMPSTER ENCLOSURE, SIGNS, SPRINKLERS, FIRE ALARM, AND BURGLAR ALARM."

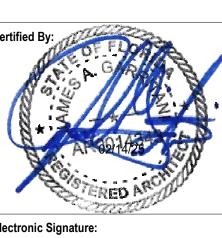
SUBMIT APPROVED SHOP DRAWINGS FOR ROOF JOISTS TO ARCHITECT AND BUILDING DEPARTMENT PRIOR TO FABRICATION. (DETAILING FOR JOIST PLACEMENT AND SIZES ARE ON SUBMITTED PLANS).

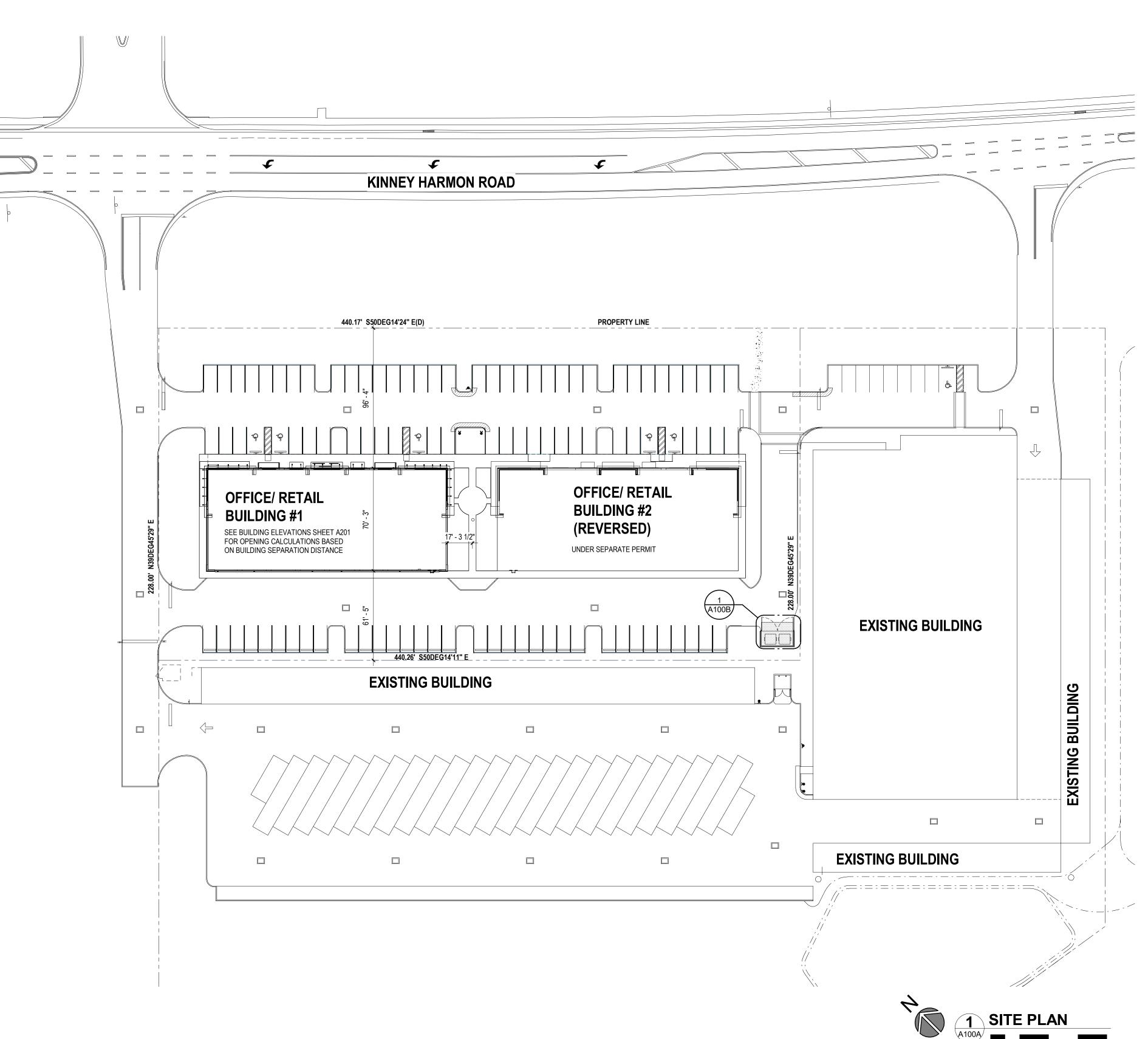
#### PROJECT NO: 24312

# DATE: 02/14/2025

#### NOTICE:

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR





## GENERAL NOTES SITE PLAN

- 1. GC TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES REGARDING ANY SITE AND/OR BUILDING WORK. GC SHALL PROVIDE AND INSTALL ANY TEMPORARY FENCING, EROSION CONTROL, DEBRIS CONTAINMENT AND ANY OTHER MATERIALS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION TO MAINTAIN A SAFE AND CLEAN CONSTRUCTION AREA. GC AND ANYONE ELSE ON SITE SHALL NOT BLOCK ANY AREAS OF EGRESS OR ACCESSIBILITY INTO OR AROUND SITE AND BUILDING AREA.
- 2. ALL UTILITY INFORMATION SHOWN IN THIS SET OF DRAWINGS SHALL BE COORDINATED WITH THE DRAWINGS PROVIDED BY THE CIVIL ENGINEER, WITH THE GENERAL CONTRACTOR, AND WITH THE LOCAL UTILITY PROVIDERS PRIOR TO SUBMITTING BIDS OR STARTING ANY WORK.
- 3. IN ADDITION TO THIS SHEET, REFER TO THE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS IN THIS SET FOR COMPLETE INFORMATION REGARDING UTILITIES.
- 4. REFER TO CIVIL DRAWINGS FOR ALL SITE WORK, EROSION CONTROL, LANDSCAPE AND UTILITY WORK UNDER SEPARATE COVER..
- 5. WATER & FIRE SERVICES (INCLUDING METERS, RISERS, & BACK FLOW DEVICES MUST MEET OCEOLA COUNTY WATER DIVISION REQUIREMENTS (NO EXCEPTIONS). THIS INCLUDES THE LAYOUT OF THE MECHANICAL ROOM.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL INSTALLATION OF GAS SERVICE, ELECTRICAL SERVICE, METER ASSEMBLIES, ETC. WITH THE RESPECTIVE UTILITY PROVIDERS. CONTRACTOR WILL PROVIDE PIPE / CONDUIT ROUGH IN ONLY. FINAL SERVICE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IN COORDINATION WITH THE UTILITY PROVIDERS (AFTER THE CONTRACTOR HAS COMPLETED THEIR PORTION OF THE WORK).
- 7. REFER TO PLUMBING DRAWINGS FOR INFORMATION RELATED TO SANITARY AND GREASE.
- REFER TO CIVIL DRAWINGS FOR ELEVATIONS, GRADING, INVERTS AND FURTHER UTILITY INFORMATION.
- FOR LOCATIONS WHERE THERE ARE LANDSCAPE AREAS ADJACENT TO THE BUILDING, THE TOP OF THE ADJACENT GRADE SHALL BE A MINIMUM OF 4" BELOW THE FINISH FLOOR ELEVATION OF THE BUILDING.
- 10. ALL ADJACENT SIDEWALKS AND LANDSCAPE AREAS SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM RATE OF 1%.
- 11. ALL SIDEWALKS SHALL HAVE A MAX. SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A
- 12. AT ALL CURBS, THE TOP OF THE CONCRETE SHALL BE 6" MAX ABOVE THE TOP OF THE ADJACENT PAVEMENT. REF TO CIVIL UNDER SEPARATE COVER

## SITE ACCESSIBILITY NOTES

2% MAX. CROSS SLOPE.

- ACCESSIBLE ROUTES SHALL COMPLY WITH FHA DM 1998 REQUIREMENTS 1.2 & 4. ANSI A117.1-2003 CHAPTER 4. INCLUDING SECTIONS 401-410, AND 2010 ADA 2010 ADA STD CHAPTER 4, INCLUDED SECTIONS 401-410.
- 2. PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN COMMON USE AREAS TO COMPLY WITH ANSI 2003 SECTION 307. INCLUDING:
  - A. PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. EXCEPTIONS INCLUDE HANDRAILS, DOOR CLOSERS, AND DOOR STOPS.
  - B. POST MOUNTED OBJECTS: OBJECTS ON POSTS OR PYLONS SHALL BE PERMITTED TO OVERHANG 4" MAXIMUM AND NOT MORE THAN 80" ABOVE THE FLOOR. OBJECTS ON MULTIPLE POSTS OR PYLONS WHERE THE CLEAR DISTANCE BETWEEN THE POST OR PYLONS IS GREATER THAN 12" SHALL HAVE THE LOWEST EDGE OF SUCH OBJECT EITHER 27" MAXIMUM OR 80 MINIMUM ABOVE THE FLOOR.
  - C. REDUCED VERTICAL CLEARANCE: GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED BY THE SECTIONS 307.2 AND 307.3 AND WHERE THE VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FLOOR, THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE THE FLOOR.
- 3. PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN PUBLIC AREAS TO COMPLY WITH 2010 ADA STD SECTION 307, INCLUDING:
  - A. 2010 ADA STD SECTION 307.2: PROTRUSION UNITS
  - B. 2010 ADA STD SECTION 307.3: POST-MOUNTED OBJECTS
    C. 2010 ADA STD SECTION 307.4: VERTICAL CLEARANCE
  - D. 2010 ADA STD SECTION 307.4: VERTICAL CLEARANCE
    D. 2010 ADA STD SECTION 307.5: REQUIRED CLEARANCE WIDTH
- 4. FLOOR AND GROUND SURFACES INCLUDED FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL COMPLY WITH ANSI A1171-2009 SECTIONS 302, INCLUDING:
- A. SECTION 302.2 CARPET B
  B. SECTION 302.3 OPENINGS
- 5. CHANGES IN LEVEL (INCLUDING IN FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI A117.1-2009 SECTION 303, INCLUDING:
  - A. SECTION 303.2 VERTICAL
  - B. SECTION 303.3 BEVELED
    C. SECTION 303.4 RAMPED
- 6. CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) WITHIN COVERED TENANT UNITS TO COMPLY WITH FHADM 1998.
- 7. FLOOR AND GROUND SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC AREAS SHALL BE STABLE, FIRM, AND SLIP-RESISTENT AND SHALL COMPLY WITH 2010 ADA STD SECTION 302 INCLUDING:
  - A. 2010 ADA STD SECTION 302.2: CARPETB. 2010 ADA STD SECTION 302.3: OPENINGS
- 8. CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN PUBLIC USE AREAS SHALL COMPLY WITH 2010 ADA STD SECTION 303 INCLUDING:
  - A. 2010 ADA STD SECTION 303.2: VERTICAL
  - B. 2010 ADA STD SECTION 303,3: BEVELEDC. 2010 ADA STD SECTION 303.4: RAMPS

SCALE 1" = 40'-0"

COMPLY WITH 2010 ADA STANDARDS SECTION 209 AND 503.

9. ACCESSIBLE PARKING PROVIDED FOR PUBLIC USE SHALL COMPLY WITH 2010 ADA STANDARDS SECTIONS 208 AND 502. THE MINIMUM NUMBER OF STANDARD AND VAN ACCESSIBLE PARKING SPACES REQUIRED SHALL BE PROVIDED PER SECTION 208.25. PASSENGER LOADING ZONES AND BUS STOPS PROVIDED FOR PUBLIC USE SHALL

SUCH INFORMATION.

NOTE: ARCHITECTURAL SITE PLAN IS FOR
REFERENCE ONLY AND SHALL NOT BE USED AS
A DOCUMENT FOR SITE DEVELOPMENT.
REFERENCE PERMITTED CIVIL DRAWINGS FOR

ARCHITECTURE

135 WEST CENTRAL BLVD., SUITE 400
ORLANDO, FLORIDA 32801
TEL: 407.363.6136

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Project:

SHOPPES OF PROVIDENCE BLDG 1

193 RONALD REGAN PARKWAY

DAVENPORT, FL 33837

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

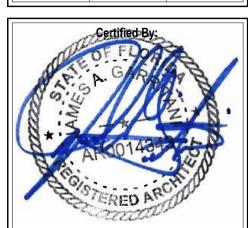
ARCHITECTURAL SITE PLAN

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Revisions:	

Doto:	Drawn Dw	Charlend D

Issue Date: Drawn By: Checked By:

02-14-2025 CRL JAG

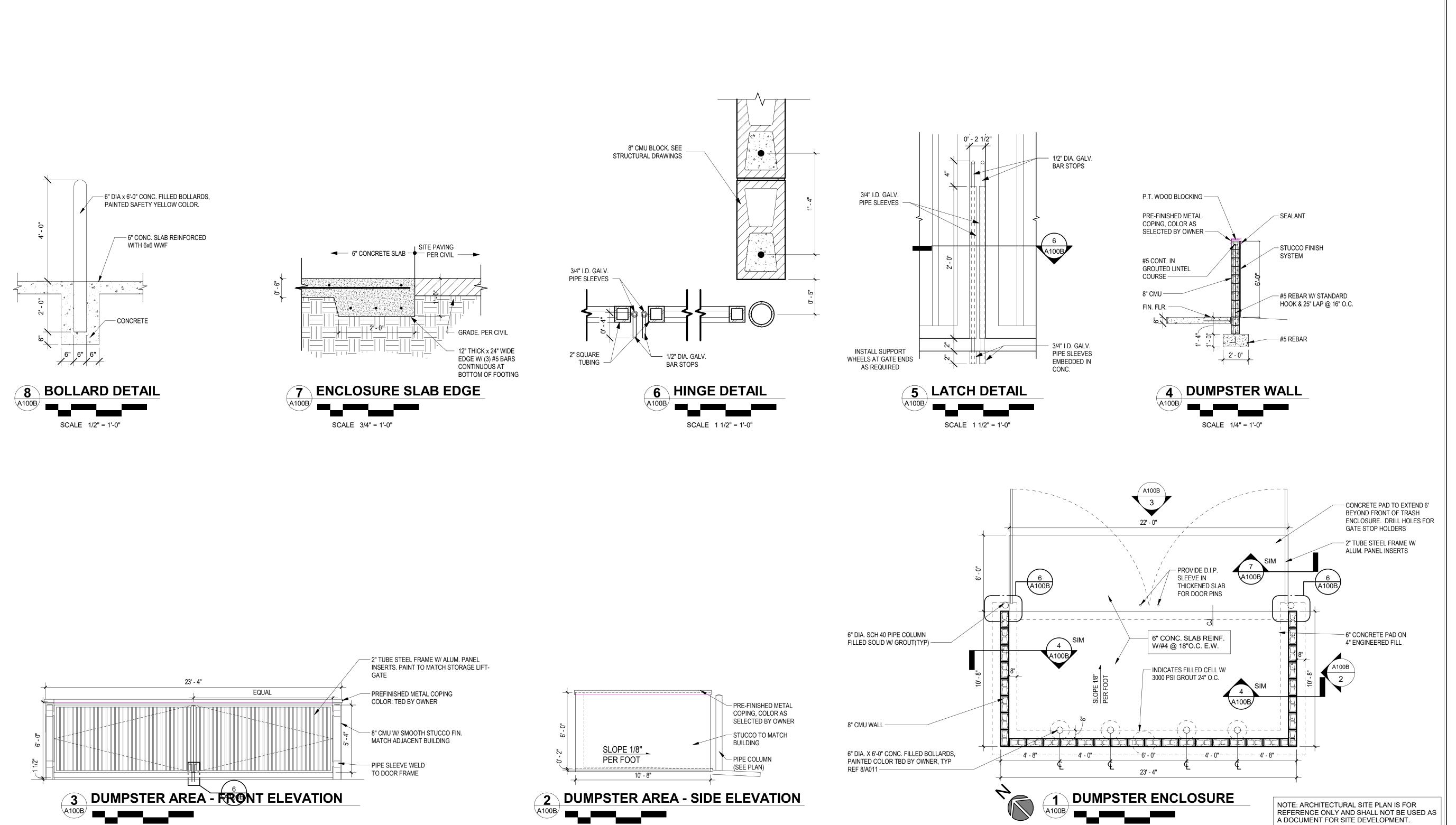


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A100A

Project Number:



SCALE 1/4" = 1'-0"

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ARCHITECTURE

135 WEST CENTRAL BLVD., SUITE 400
ORLANDO, FLORIDA 32801
TEL: 407.363.6136

Droinet:

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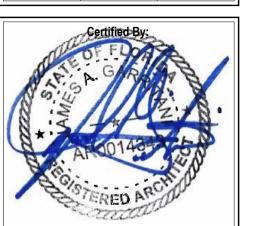
Drawing Title:

DUMPSTER

DUMPSTER
ENCLOSURE
PLAN AND
DETAILS

Revisions:

Issue Date: Drawn By: Checked By: 02-14-2025 CRL JAG



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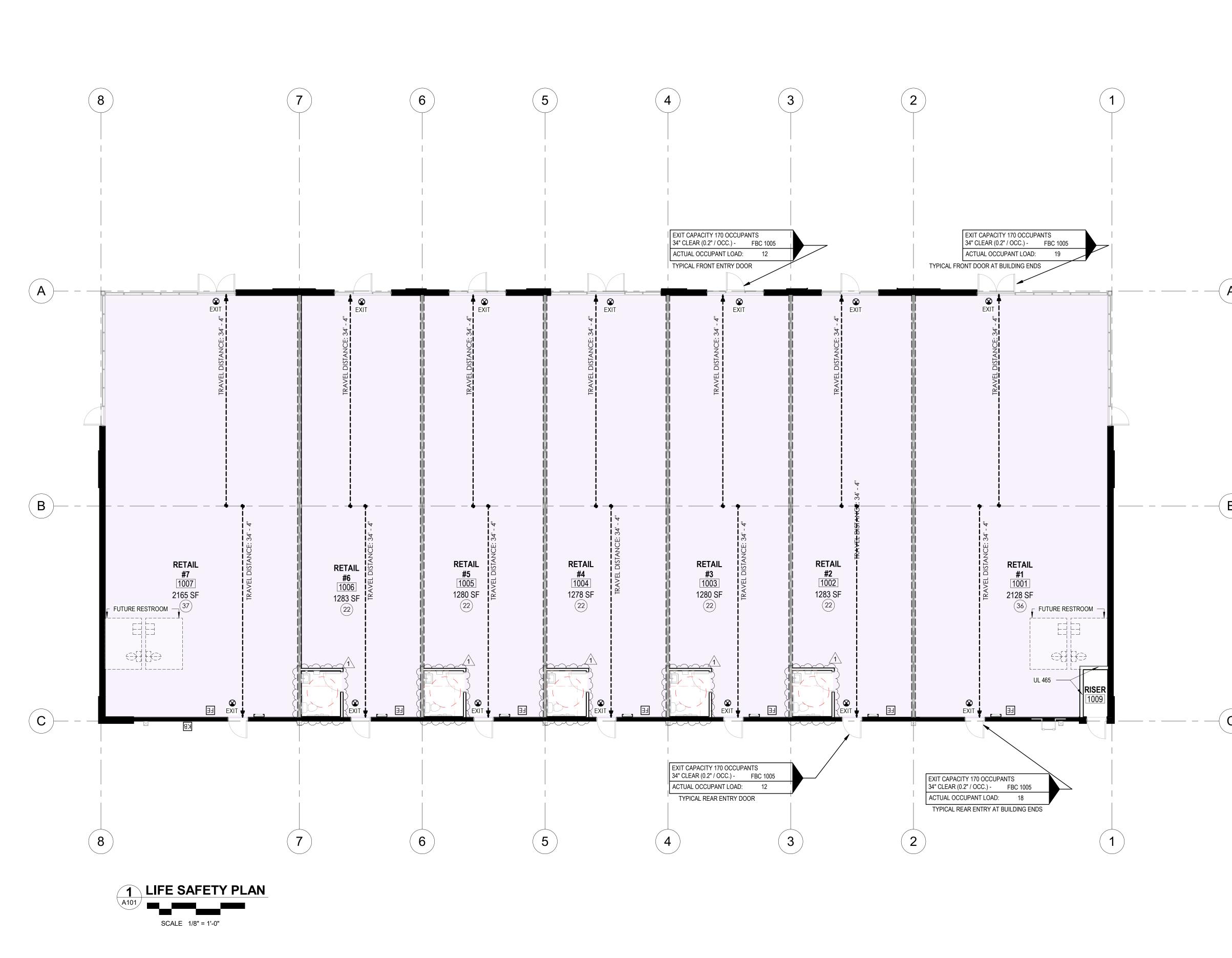
Drawing Number:
A100B

Project Number:

REFERENCE PERMITTED CIVIL DRAWINGS FOR

SUCH INFORMATION.

SCALE 1/4" = 1'-0"



## **LIFE SAFETY SUMMARY**

#### **MEANS OF EGRESS**

MERCANTILE ('M' OCCUPANCY)

MAXIMUM ALLOWABLE TRAVEL DISTANCE MAXIMUM PROVIDED TRAVEL DISTANCE = 34'-4" MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL = 75 FT. (SPRINKLERED) MAXIMUM ALLOWABLE DEAD END CORRIDOR LENGTH = 50 FT. (SPRINKLERED) MINIMUM ALLOWABLE AISLE WIDTH = 44 IN. MINIMUM ALLOWABLE STAIR WIDTH = 44 IN.

EGRESS WIDTH PER PERSON SERVED .2 INCHES x 36 OCCUPANTS (MAX PER SPACE) = 7.2 IN. REQUIRED (34 IN. PROVIDED)

# **LIFE SAFETY GENERAL NOTES**

LIFE SAFETY PLANS ARE INTEDED TO BE PRINTED WITH COLOR

REFER TO A0.04 FOR APPLICABLE BUILDING CODES INDICATED ON PRIOR BUILDING DATA SHEET.

BUILDINGS TO BE SPRINKLERED WITH A NFPA-13 SYSTEM UNLESS NOTED OTHERWISE. INSTALLATION AND FINAL DESIGN OF THESE SYSTEMS WILL BE PROVIDED BY A QUALIFIED SPRINKLERED DESIGNER AND IS TO BE SUBMITTED TO THE JURISDICTION AS A DEFFERED SUBMITTAL.

EACH RETAIL SPACE TO BE EQUIPPED WITH (1) 5LB FIRE EXTINGUISHER (TYPE 2A10BC) WALL MOUNTED PER SCHEDULE BELOW

FIRE-RESISTIVE CONSTRUCTION INCLUDING FIRE BARRIERS, FIRE WALLS AND SMOKE BARRIERS SHALL BE PERMANENTLY STENCILED WITH LETTERS NO LESS THAN 6" IN HEIGHT ON THE PARTITION READING SUBSTANTIALLY AS FOLLOWS: "FIRE AND SMOKE BARRIER-PROTECT ALL OPENINGS"

PER EGRESS REQUIREMENTS OF THE APPLICABLE CODES – WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM ANY PORTION OF A BUILDING, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO BUT NOT LESS THAN ONE-HALF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING AREA OR AREA TO BE SERVED. EXCEPTION: WHERE A BUILDING IS EQUIPPED WITH AND AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH A FULL 13 OR 13R SYSTEM, THE SEPARATION DISTANCE SHALL NOT BE LESS THAN ONE-THIRD THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL OF THE AREA

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

FIRE ALARM CONTROL PANELS (FACP) – PLEASE REFER TO MEP FOR LOCATIONS.

# **EXTINGUISHER NOTES**

MOUNT TOP OF SEMI-RECESSED FIRE RATED CABINET NOT MORE THAN 5'-0" A.F.F.; BOTTOM NOT LESS THAN 4" A.F.F.

**3A:40B:C** SEMI-RECESSED-ASSEMBLY @ 75 FEET MAX DISTANCE.

# **LIFE SAFETY LEGEND**

B INDICATES 3 HOUR RATED FIRE WALL (FBC 706) INDICATES 2 HOUR RATED FIRE WALL (FBC 706) INDICATES 2 HOUR RATED FIRE BARRIER (FBC 707) INDICATES 1 HOUR RATED FIRE BARRIER (FBC 707)

INDICATES 1 HOUR RATED FIRE PARTITION (FBC 708) INDICATES FUTURE PARTITION - WALLS TO BE FIRE RATED PARTITION PER UL U465 IF SEPARATING A2 FROM MERCANTILE OR BUSINESS USE.

INDICATES UNRATED EXTERIOR WALL

INDICATES AREA NAME, ROOM NUMBER, AREA, & TOTAL **OCCUPANTS** 101A 150 SF INDICATES EGRESS CAPACITY OF STAIRS OR DOORS

EXIT CAPACITY 170 OCCUPANTS 34" CLEAR (0.2" / OCC.) - FBC 1005 ACTUAL OCCUPANT LOAD: 4

₩ - - - INDICATES PATH OF TRAVEL (250 FEET MAXIMUM - PER FBC 1017.2) INDICATES COMMON PATH OF TRAVEL (125 FEET MAXIMUM - PER FBC 1006.2)

#— INDICATES FURTHEST POINT OF TRAVEL

INDICATES REQUIRED PANIC HARDWARE AT DOORS (PER FBC

KB RAPID ENTRY KEYBOX [KNOX BOX] PER IFC 506.1

INDICATES FIRE EXTINGUISHER - MOUNT TOP AT +54" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 4A20BC FOR EVERY 3000 SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5'-0" ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4" ABOVE THE FLOOR.

[CR] INDICATES ELECTROMAGNETICALLY LOCKED DOORS W/ CARD READER

NOTE: REFER TO A015 FOR THE REQUIRED RATED ASSEMBLIES BASED ON UL TESTED SYSTEMS. THESE INCLUDE ASSEMBLIES FOR RATED WALLS, FLOOR/CEILINGS AND PROTECTIONS FOR OTHER COMPONENTS SUCH AS COLUMNS & BEAMS

#### OCCUPANT LOAD

NAME	NUMBER	AREA	OCCUPANCY TYPE	AREA PER OCCUPANT	OCCUPANCY
MERCANTILE					
RETAIL #1	1001	2128 SF	MERCANTILE	60 SF	36
RETAIL #2	1002	1283 SF	MERCANTILE	60 SF	22
RETAIL #3	1003	1280 SF	MERCANTILE	60 SF	22
RETAIL #4	1004	1279 SF	MERCANTILE	60 SF	22
RETAIL #5	1005	1280 SF	MERCANTILE	60 SF	22
RETAIL #6	1006	1284 SF	MERCANTILE	60 SF	22
RETAIL #7	1007	2165 SF	MERCANTILE	60 SF	37
MERCANTILE: 7		10699 SF			183
Grand total: 7		10699 SF			183

**ARCHITECTURE** 135 WEST CENTRAL BLVD., SUITE 400 ORLANDO, FLORIDA 32801 TEL: 407.363.6136

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LIFE SAFETY

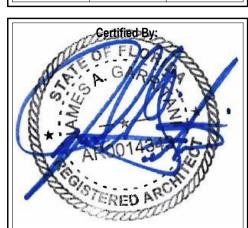
**PLAN** 

**Drawing Title:** 

Revisions:

R.R. ADDITION

Issue Date: Drawn By: Checked By: ||02-14-2025| CRL

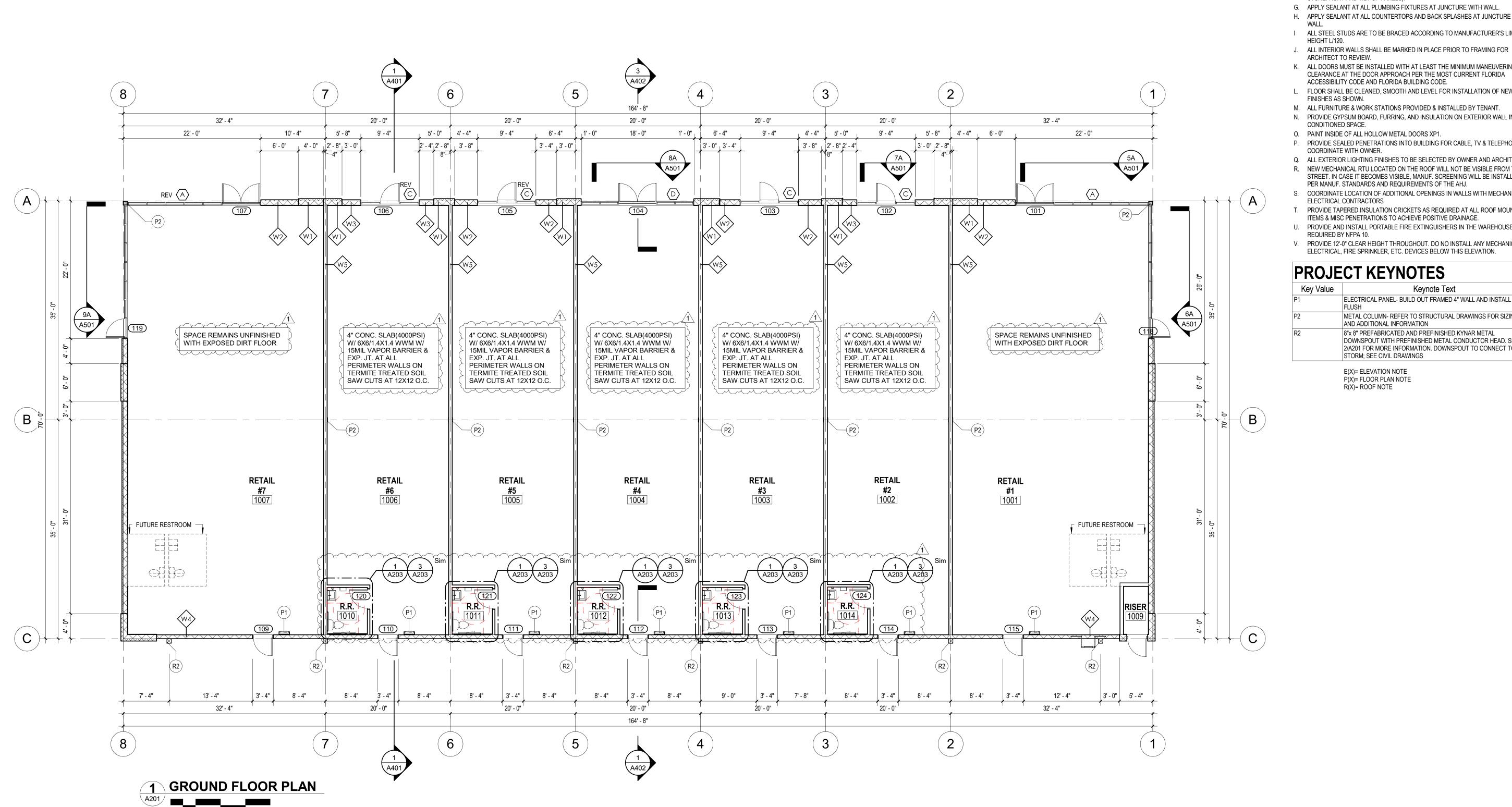


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A101

**Project Number:** 



SCALE 1/8" = 1'-0"

## **GENERAL NOTES**

- A. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, 'A' SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS. F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND TILT-UP PANELS).
- G. APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- H. APPLY SEALANT AT ALL COUNTERTOPS AND BACK SPLASHES AT JUNCTURE WITH
- I ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S LIMITING HEIGHT L/120.
- ARCHITECT TO REVIEW. K. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT FLORIDA
- ACCESSIBILITY CODE AND FLORIDA BUILDING CODE. L. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR
- FINISHES AS SHOWN. M. ALL FURNITURE & WORK STATIONS PROVIDED & INSTALLED BY TENANT.
- N. PROVIDE GYPSUM BOARD, FURRING, AND INSULATION ON EXTERIOR WALL IN ALL CONDITIONED SPACE.
- O. PAINT INSIDE OF ALL HOLLOW METAL DOORS XP1.
- P. PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV & TELEPHONE. COORDINATE WITH OWNER.
- Q. ALL EXTERIOR LIGHTING FINISHES TO BE SELECTED BY OWNER AND ARCHITECT. R. NEW MECHANICAL RTU LOCATED ON THE ROOF WILL NOT BE VISIBLE FROM THE STREET. IN CASE IT BECOMES VISIBLE, MANUF. SCREENING WILL BE INSTALLED, PER MANUF. STANDARDS AND REQUIREMENTS OF THE AHJ.
- S. COORDINATE LOCATION OF ADDITIONAL OPENINGS IN WALLS WITH MECHANICAL & ELECTRICAL CONTRACTORS
- PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- U. PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS IN THE WAREHOUSE AS REQUIRED BY NFPA 10.
- V. PROVIDE 12'-0" CLEAR HEIGHT THROUGHOUT. DO NO INSTALL ANY MECHANICAL,
- ELECTRICAL, FIRE SPRINKLER, ETC. DEVICES BELOW THIS ELEVATION.

|--|

Key Value	Keynote Text
P1	ELECTRICAL PANEL- BUILD OUT FRAMED 4" WALL AND INSTALL FLUSH
P2	METAL COLUMN- REFER TO STRUCTURAL DRAWINGS FOR SIZING AND ADDITIONAL INFORMATION
R2	8"x 8" PREFABRICATED AND PREFINISHED KYNAR METAL DOWNSPOUT WITH PREFINISHED METAL CONDUCTOR HEAD. SEE 2/A201 FOR MORE INFORMATION. DOWNSPOUT TO CONNECT TO STORM; SEE CIVIL DRAWINGS

E(X)= ELEVATION NOTE P(X)= FLOOR PLAN NOTE R(X)= ROOF NOTE



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Project:

**PROVIDENCE** BLDG 1

**193 RONALD REGAN PARKWAY** 

DAVENPORT, FL 33837

Scope Drawings: These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of

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Drawing Title:

# **BUILDING FLOOR PLAN**

Revisions: 1 R.R. ADDITION

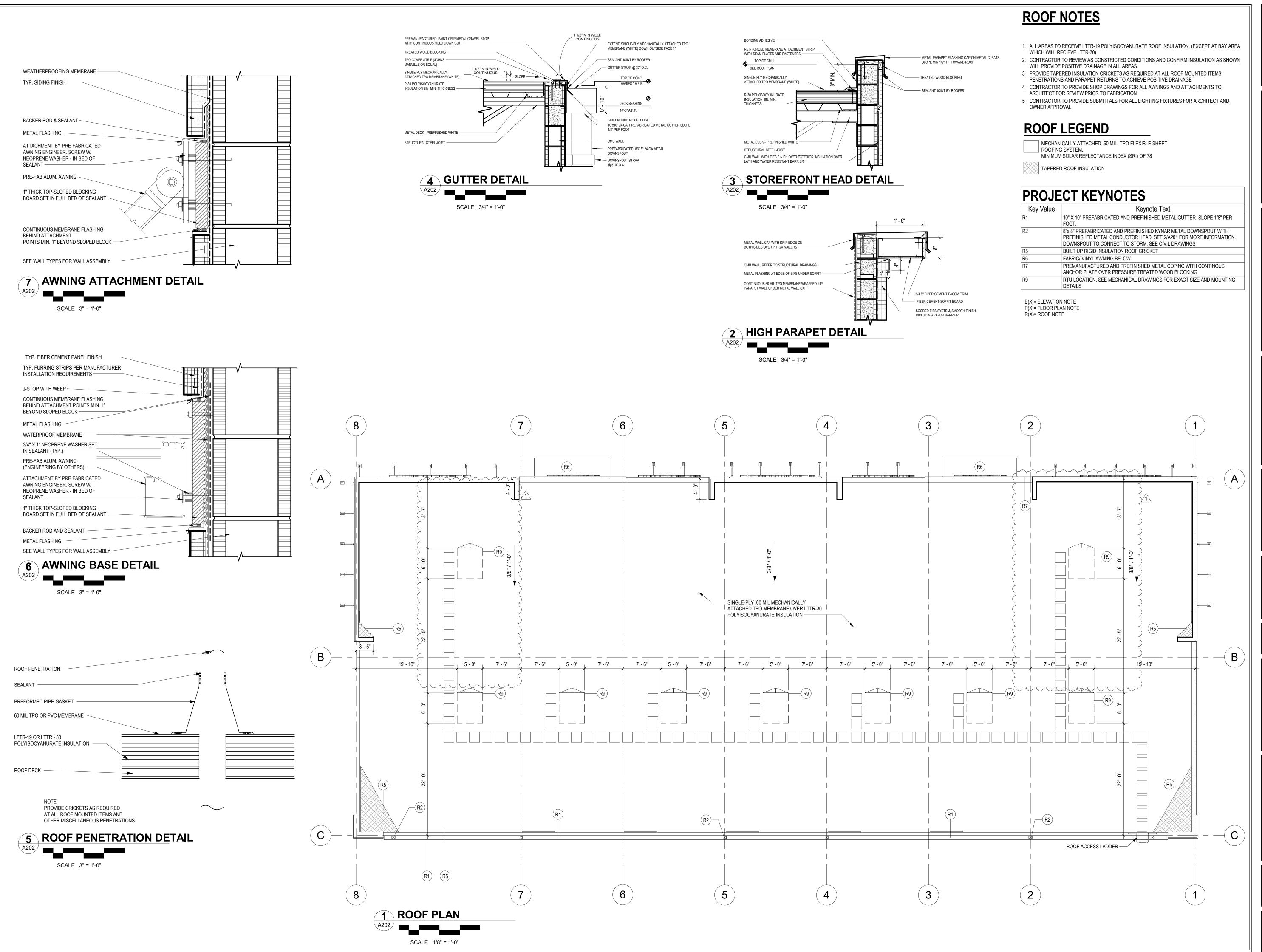
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> **Drawing Number: A201**

Project Number:



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OF
PROVIDENCE
BLDG 1

193 RONALD REGAN PARKWAY

DAVENPORT, FL 33837

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execution and completion of the work.

**Drawing Title:** 

III DINC DOCE

# BUILDING ROOF PLAN

R1 Revisions:

R.R. ADDITION 07/08/25

Issue Date: Drawn By: Checked By
02-14-2025 CRL JAG



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Drawing Number:

Project Number:

TC	OILET ACCESSORY SCHEDULE									
NO.	ITEM	MANUF.	CATALOG #	MOUNTING HT.						
T1	GRAB BAR- 36" STAINLESS STEEL	BRADLEY	8122-001360	33"-36"						
T2	GRAB BAR- 42" STAINLESS STEEL	BRADLEY	8122-001420	33"-36"						
T3	TOILET TISSUE DISPENSER	BRADLEY	5402	15"-19"						
T4	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	19"MIN.						
T5	TILT MIRROR WITH STAINLESS STEEL FRAME	BOBRICK	B-293 1830	40"MAX						
T6	CLASSICSERIES® SURFACE-MOUNTED SOAP DISPENSER	BOBRICK	B-2111	44"MAX						

Excel Dryer Wall Guard White

48"MAX

NOTE: MOUNTING HEIGHTS NOTED ARE TO BE USED ONLY WHEN MANUFACTURERS STANDARD MOUNTING HEIGHTS ARE NOT PROVIDED. ALL ACCESSORIES IN ACCESSIBLE STALL TO COMPLY WITH MANUFACTUERERS RECOMMENDED BARRIER FREE MOUNTING HEIGHTS. PROVIDE ADA RESTROOM SIGNAGE AT NEW RESTROOMS.

T7 XLERATOR Hand Dryer

## **INTERIOR FINISH SPECIFICATIONS**

NOTE: ALL FINISH MATERIAL ARE ASTM E83 CLASS 1 QUALIFIED

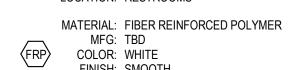
#### FLOOR FINISHES

**WALL FINISHES** 

#### MATERIAL: TILE MFG: TBD STYLE: MOSAIC COLOR: WHITE LOCATION: PER PLANS

BASE FINISHES

MATERIAL: PAINT MFG: TBD COLOR: WHITE FINISH: SATIN LOCATION: RESTROOMS



MATERIAL: TILE COVE BASE MFG: TBD STYLE: MOSAIC COLOR: WHITE

FINISH: SMOOTH LOCATION: RESTROOM WET WALL

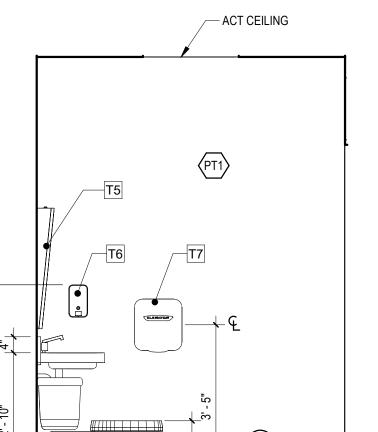
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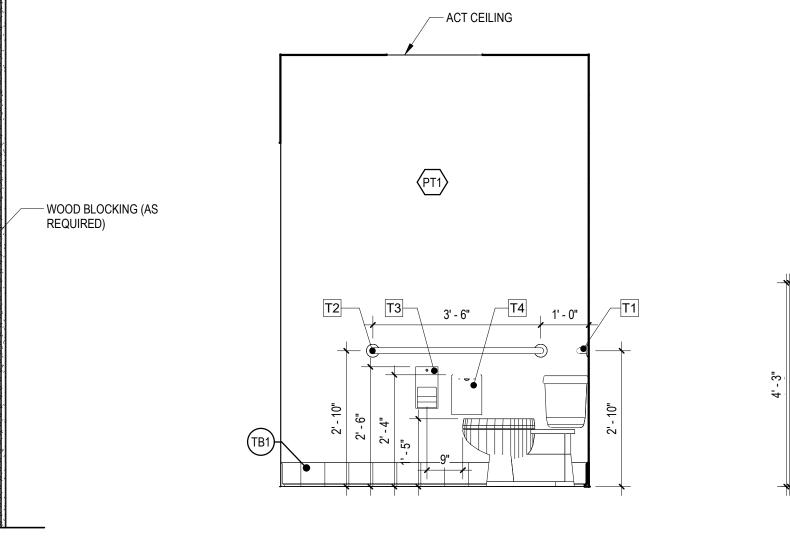
WOOD DOORS TO BE BIRCH, UNLESS NOTED OTHERWISE - FINISHED ALL SIX SIDES. FRAMES TO BE PAINTED P3.

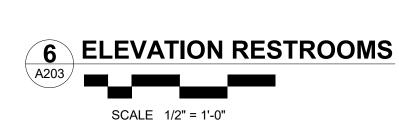
DEMISING & THE SHARED WAREHOUSE GYPSUM WALL BETWEEN THE OFFICE & WAREHOUSE TO BE PAINTED P4.

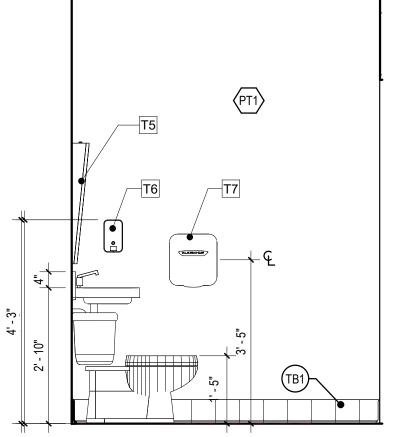
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- G. APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL. H. APPLY SEALANT AT ALL COUNTERTOPS AND BACK SPLASHES AT JUNCTURE WITH WALL.
- I ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S LIMITING HEIGHT L/120.
- J. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW. K. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING
  - CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT FLORIDA ACCESSIBILITY CODE AND FLORIDA BUILDING CODE.
  - L. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
  - M. ALL FURNITURE & WORK STATIONS PROVIDED & INSTALLED BY TENANT.
  - N. PROVIDE GYPSUM BOARD, FURRING, AND INSULATION ON EXTERIOR WALL IN ALL
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  - T. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
  - U. PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS IN THE WAREHOUSE AS
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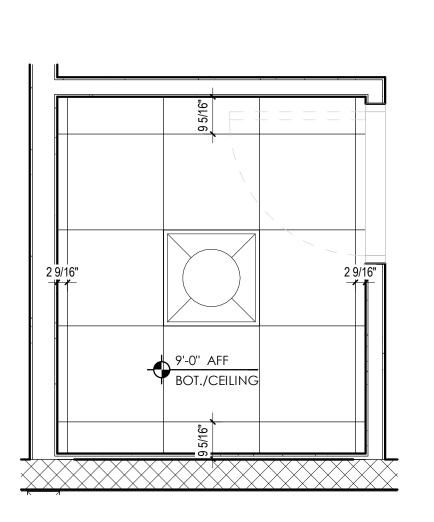






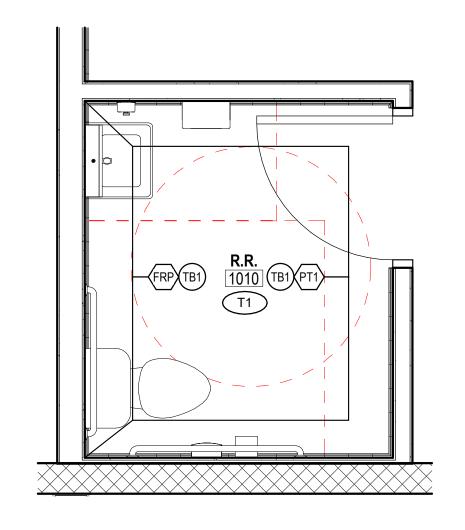


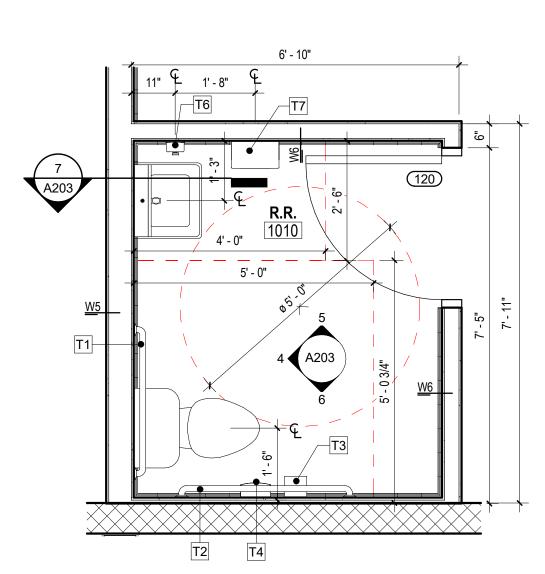


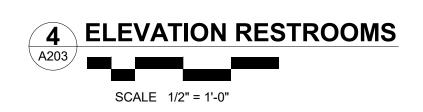


SCALE 1" = 1'-0"

LAVATORY MILLWORK SECTION







1' - 3"

— ACT CEILING







**ENLARGED FLOOR PLAN TYP. RESTROOM** 

SCALE 1/2" = 1'-0"

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Project:

**PROVIDENCE** BLDG 1

**193 RONALD REGAN PARKWAY** 

DAVENPORT, FL 33837

Scope Drawings:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

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execution and completion of the work. Drawing Title:

**ENLARGED RESTROOMS AND DETAILS** 

Revisions: 1 R.R. ADDITION

02-14-2025 Author



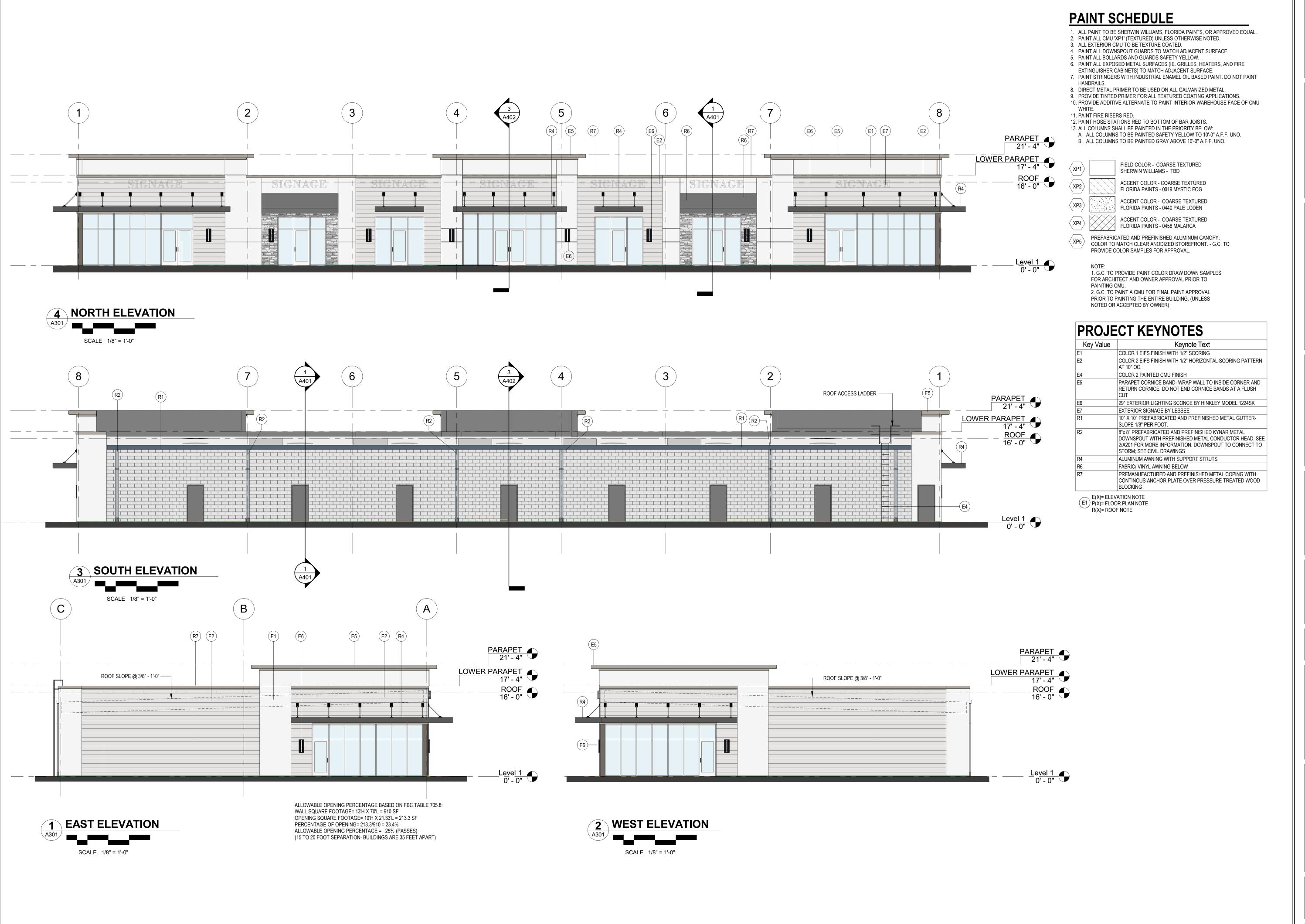
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**A203** 

Project Number:



Owner:

ARCHITECTURE

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Project:

SHOPPES OF PROVIDENCE

193 RONALD REGAN PARKWAY

BLDG 1

DAVENPORT, FL 33837

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Drawing Title:

EXTERIOR ELEVATIONS

Revisions:

Issue Date: Drawn By: Checked By: 02-14-2025 CRL JAG

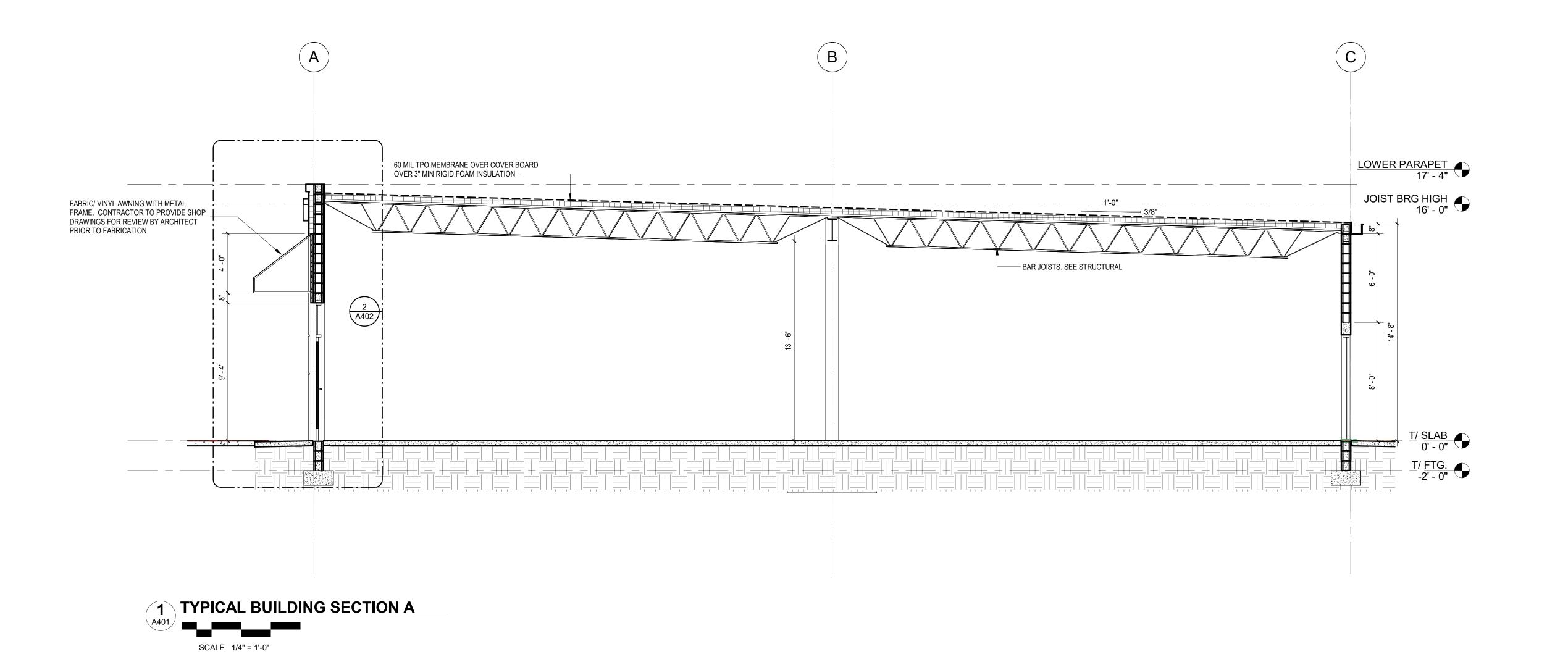


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Drawing Number:

Project Number:



Owne



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Project:

# SHOPPES OF PROVIDENCE BLDG 1

193 RONALD REGAN PARKWAY

DAVENPORT, FL 33837

#### Scope Drawings:

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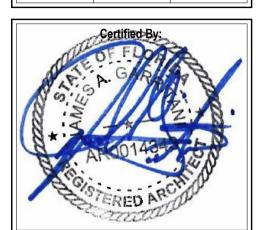
On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

BUILDING SECTION

Revisions:

Issue Date: Drawn By: Checked
02-14-2025 CRL JAC

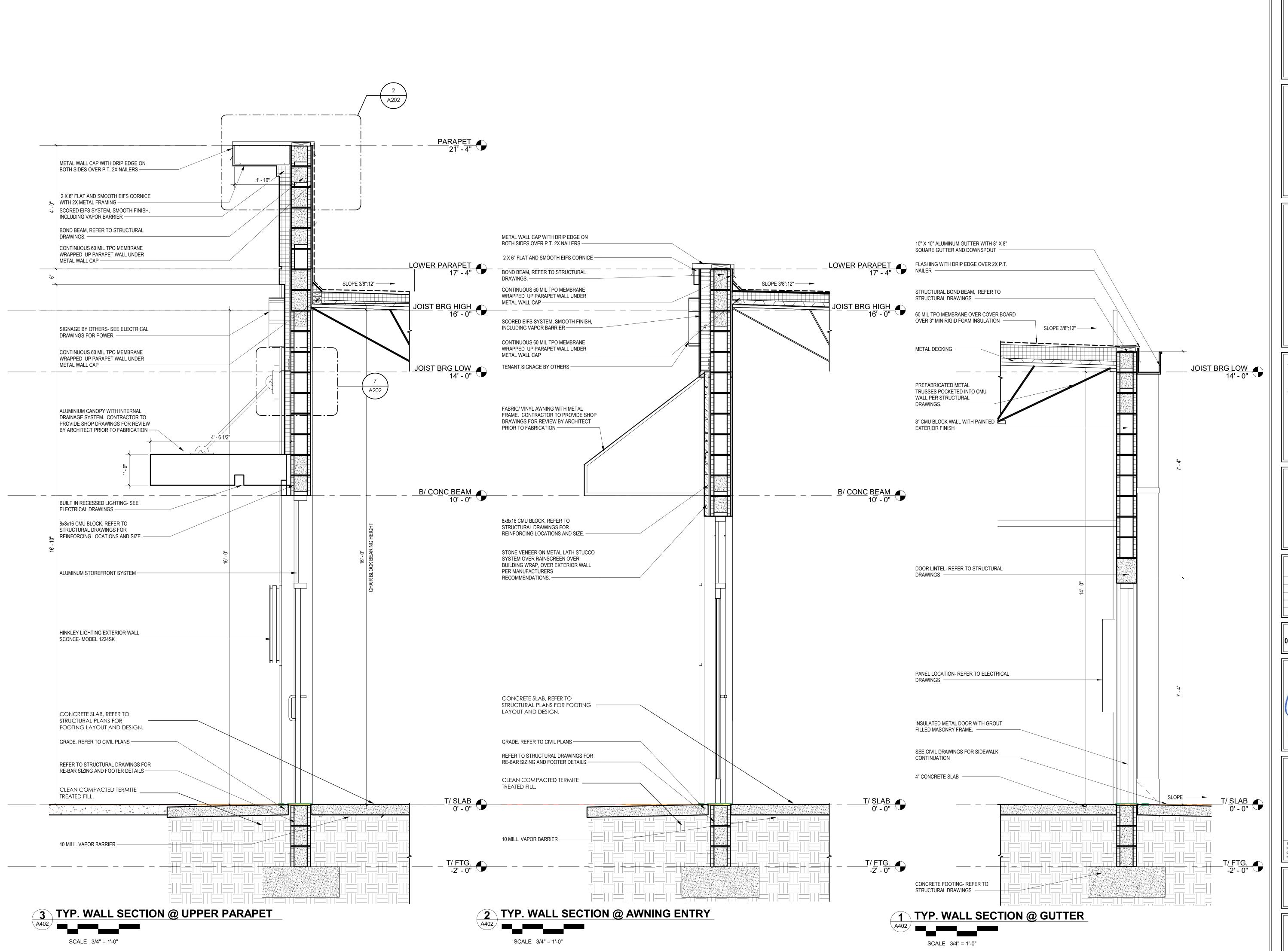


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A401

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ARCHITECTURE

Project:

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SHOPPES OF PROVIDENCE BLDG 1

193 RONALD REGAN PARKWAY

DAVENPORT, FL 33837

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Drawing Title:

\_\_\_\_\_

BUILDING AND WALL SECTIONS

Revisions:

Issue Date: Drawn By: Checked By: 02-14-2025 CRL JAG

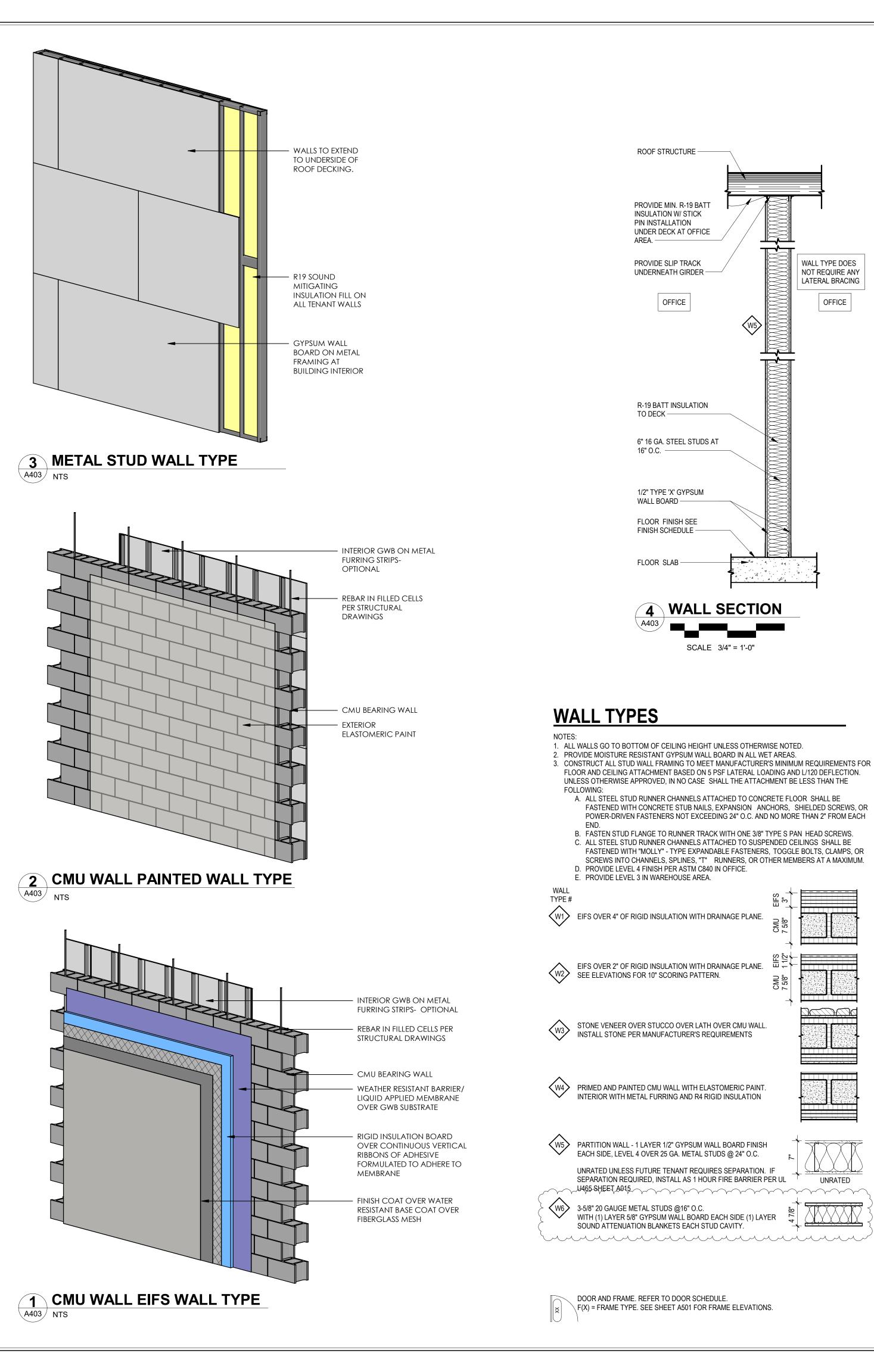


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Drawing Number:

Project Number:



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WALL TYPE DOES

NOT REQUIRE ANY

LATERAL BRACING

OFFICE

SHOPPES OF

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**PROVIDENCE** BLDG 1

**PARKWAY** 

**193 RONALD REGAN** 

DAVENPORT, FL 33837

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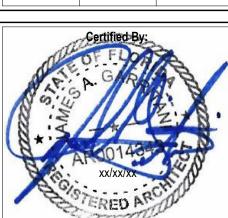
execution and completion of the work.

**Drawing Title:** 

**WALL TYPES** 

Revisions:

Issue Date: Drawn By: Checked By: 02-14-2025 CRL

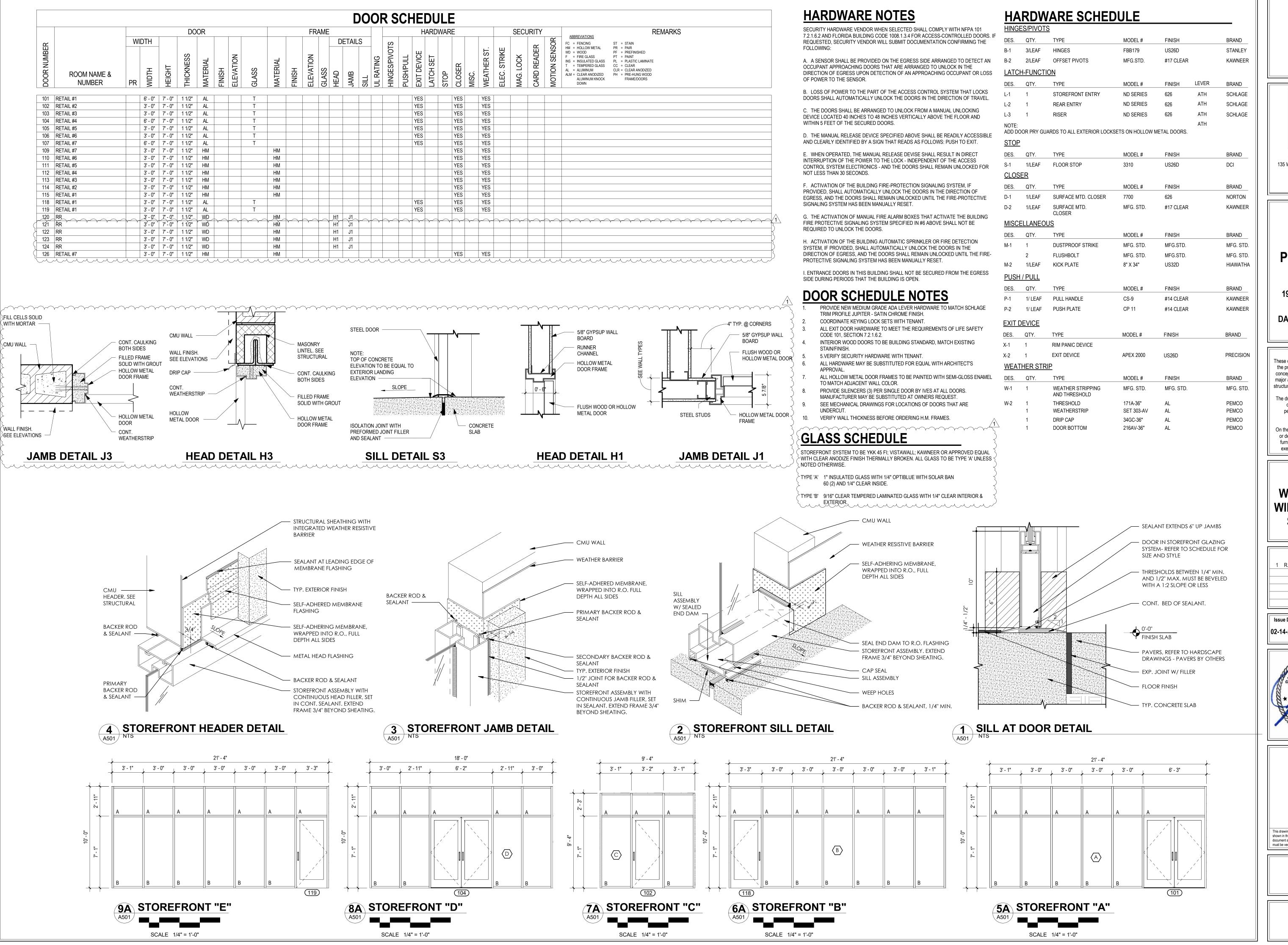


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> Drawing Number: A403

Project Number:



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SHOPPES OF PROVIDENCE BLDG 1

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Drawing Title:

WALL DETAILS, WINDOW & DOOR SCHEDULES

Revisions:
1 R.R. ADDITION 07/08/25

Issue Date: Drawn By: Checked By: 02-14-2025 CRL JAG



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Drawing Number:

A501

Project Number:

1. Floor and Ceiling Runners — (Not Shown) — Changel shaped runners, 3-5/8 in. deep (min), 1-1/4 in. legs, formed from min No. 25 MSG galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max. 1A. Framing Members\* — Floor and Ceiling Runners — (Not Shown) — As an alternate to Item 1 — Channel shaped, min 3-5/8 in. deep,

attached to floor and ceiling with fasteners 24 in. OC. max. ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20

CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME D24/30EQD and Type SUPREME D20

QUAIL RUN BUILDING MATERIALS INC — Type SUPREME D24/30EQD and Type SUPREME D20 SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME D24/30EQD and Type SUPREME D20

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME D24/30EQD and Type SUPREME D20

TELLING INDUSTRIES L L C — Type SUPREME D24/30EQD and Type SUPREME D20

UNITED METAL PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20 1B. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2B, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

CEMCO, LLC — Viper20™ Track

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track

1C. Floor and Ceiling Runners — (Not Shown) — For use with Item 2C — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, min depth to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners spaced max 24 in. OC. 1D. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1C — For use with Item 2D and 4G only, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and

ceiling with fasteners spaced 24 in. OC max. CLARKDIETRICH BUILDING SYSTEMS — CD ProTRAK DMFCWBS L L C — ProTRAK

MBA METAL FRAMING — ProTRAK

RAM SALES L L C — Ram ProTRAK STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProTRAK

1E. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1D — For use with Item 2E and 4I only, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

TELLING INDUSTRIES L L C — TRUE-TRACK™ 1F. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1E — For use with Item 2, channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 25 MSG steel, attached to floor and ceiling with fasteners spaced 24 in. OC

KIRII (HONG KONG) LTD — Type KIRII 1G. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1F — For use with Item 2, channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide, attached to floor and ceiling with fasteners spaced 24 in. OC max.

STUDCO BUILDING SYSTEMS — CROCSTUD Track 1H. Floor and Ceiling Runners — (Not Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min width to accommodate stud size, with min 1 in. long legs, for use with studs specified below and fabricated from min 0.02 in. galv steel or thicker, attached to floor and

ceiling with fasteners spaced max 24 in. OC. MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track VT100

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track VT100 11. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2H, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track 1J. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 — For use with Item 2 L, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced

24 in. OC max. RESCUE METAL FRAMING, L L C — AlphaTRAK 1K. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2M, proprietary channel shaped

runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness), attached to floor and ceiling with fasteners spaced 24 in. OC max. CEMCO, LLC — Viper X Track

1L. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2N, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in OC max. CRACO MFG INC — SmartTrack20™

1M. Framing Members\* - Floor and Ceiling Runners - Not shown - In lieu of Items 1 through 1L - For use with Item 2O, proprietary channel shaped runners, min 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 20 MSG galv steel (0.0329 in. min bare metal thickness), attached to floor and ceiling with fasteners spaced 24 in. OC max. PANEL REY S A – SUPRA Track 20/33 mil

1N. Framing Members\* — Floor and Ceiling Runner — Not Shown — In lieu of Item 1 – For use with Item 2P, proprietary channel shaped runners, 1-1/4 in. wide by min. 3-5/8 in. deep fabricated from min 0.019 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in OC max. PANEL REY S A – SUPRA Track 20EQ/19 mil

10. Framing Members\* — Floor and Ceiling Runner — (Not Shown — Alternate to Item 1) — For use with Item 2Q, channel shaped runners preequipped with proprietary attachment clips. Min. 3-5/8 in. wide. Legs of top runners minimum 3-1/4 in. wide. Legs of bottom runners minimum 1-1/2 in. wide. Runners attached to floor and ceiling with fasteners 24 in. OC max. HYPERFRAME INC - Hypertrack

1P. Framing Members\* — Floor and Ceiling Runner — Not Shown — In lieu of Item 1 – For use with Item 2R, proprietary channel shaped runners, 1-1/4 in. wide by min. 3-5/8 in. deep fabricated from min. 20 EQ/22 mils. (min. 0.0221 in. thick) galvanized steel, attached to floor and ceiling with fasteners spaced 24 in, OC max.

JJC INTERNATIONAL DISTRIBUTORS — Non-structural Tracks 3-5/8" and 6". 2. Steel Studs — Channel shaped, 3-5/8 in. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. Studs to be cut 3/4 in.

less than assembly height. 2A. Framing Members\* — Steel Studs — As an alternate to Item 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.

ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20 CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME D24/30EQD and Type SUPREME D20

QUAIL RUN BUILDING MATERIALS INC — Type SUPREME D24/30EQD and Type SUPREME D20 SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME D24/30EQD and Type SUPREME D20

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME D24/30EQD and Type SUPREME D20 TELLING INDUSTRIES L L C — Type SUPREME D24/30EQD and Type SUPREME D20

UNITED METAL PRODUCTS INC — Type SUPREME D24/30EQD and Type SUPREME D20

**2B.** Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1B, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CEMCO, LLC — Viper20™ CRACO MFG INC — SmartStud20™

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ IMPERIAL MANUFACTURING GROUP INC — Viper20™

2C. Steel Studs — (As an alternate to Item 2, For use with Item 1C) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and ceiling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height. See materials in Item(s) 4 that require Item 2C studs.

2D. Framing Members\* — Steel Studs — As an alternate to Items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. CLARKDIETRICH BUILDING SYSTEMS — CD ProSTUD

DMFCWBS L L C — ProSTUD MBA METAL FRAMING — ProSTUD

RAM SALES L L C — Ram ProSTUD

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProSTUD

2E. Framing Members\* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. TELLING INDUSTRIES L L C — TRUE-STUD™

2F. Framing Members\* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. KIRII (HONG KONG) LTD — Type KIRII

**2G.** Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 through 2F — For use with Item 1G. Proprietary channel shaped studs, minimum 3-5/8 in. wide, Studs to be cut 1/2 in. less than the assembly height. STUDCO BUILDING SYSTEMS — CROCSTUD

2H. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 11, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™

21. Framing Members\* — Steel Studs — In lieu of Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosionprotected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height. FB MFTAL INC. — NITROSTUD

2J. Framing Members\* — Steel Studs — In lieu of Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosionprotected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height. OLMAR SUPPLY INC — PRIMESTUD

2K. Framing Members\* — Steel Studs — As an alternate to Item 2 — For use with Item 1B (3-5/8 in. wide track), channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4

MARINO/WARE, DIV OF WARE INDUSTRIES INC — StudRite™ 2L. Framing Members\* — Steel Studs — As an alternate to Items 2 — For use with Item 1J, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.

RESCUE METAL FRAMING, L L C — AlphaSTUD 2M. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min

1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height. CEMCO, LLC — Viper X

2N. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CRACO MFG INC — SmartStud20™

20. Framing Members\* - Steel Studs - Not Shown - In lieu of Items 2 through 2N - For use with Item 1M, proprietary channel shaped steel studs, min 1-5/8 in. wide by min 3-5/8 in. deep fabricated from min 20 MSG galv steel (0.0329 in. min bare metal thickness) spaced 24 in. OC max. Studs cut 3/4 in. less in length than assembly height. PANEL REY S A – SUPRA Stud 20/33 mil

2P. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 – For use with Item 1N, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep with 1/4 in. return lips fabricated from min 0.019 in. thick galv steel, spaced 24 in. OC max. Studs cut 3/4 in, less in length than assembly height. PANEL REY S A - SUPRA Stud 20EQ/19 mil

2Q. Framing Members\* — Steel Studs — (Not Shown — Alternate to Item 2, For use with Item 10) — Channel shaped steel studs with attachment clips at top and bottom, min 3-5/8 in. depth, spaced a max of 24 in. OC. Studs clipped into floor and ceiling runners (Item 10). Max 2-3/8 in. extension reveal from top of stud to inside of ceiling runner. HYPERFRAME INC— Hyperstud

2R. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 – For use with Item 1P, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min. 20 EQ/22 mils. (min. 0.0221 in. thick) galvanized steel, spaced 24 in. OC max. Studs cut 3/4 in. less in length than assembly height. JJC INTERNATIONAL DISTRIBUTORS — Non-structural Studs 3-5/8" and 6".

3. Batts and Blankets\* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity.

See Batts and Blankets (BZJZ) category for names of Classified companies. ROCKWOOL — Type AFB, min. density 1.69 pcf / 27.0 kg/m<sup>3</sup>

ROCKWOOL MALAYSIA SDN BHD — Type Acoustical Fire Batts 3A. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft3. Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft3, in accordance with the application instructions supplied with the product

Applegate Greenfiber Acquisition LLC — Insulmax and SANCTUARY for use with wet or dry application. **3B.** Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 3) — Spray applied cellulose insulation material. The fiber is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed

cavity. Minimum dry density of 4.3 pounds per cubic ft. NU-WOOL CO INC — Cellulose Insulation **3C.** Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 3) — Spray applied cellulose fiber. The fiber is applied with water to

completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall INTERNATIONAL CELLULOSE CORP — Celbar-RL

3D. Batts and Blankets\* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, friction fit between the studs and floor and See Batts and Blankets (BZJZ) category for names of manufacturers.

3E. Batts and Blankets\* — For use with Item 4R and 4S. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance. See Batts and Blankets (BKNV or BZJZ) Categories for names of Classified companies.

**3G.** Foamed Plastic\* — As an alternate to Batts and Blankets (Item 3), for use with Item 4U — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity. When foamed plastic is used, minimum stud depth shall be 3-1/2 in. CARLISLE SPRAY FOAM INSULATION — Types SealTite ONE, SealTite Pro Closed Cell (CC), SealTite Pro Open Cell (OC), SealTite Pro OCX, SealTite Pro No Trim 21, SealTite Pro One Zero, Foamsulate Closed Cell, Foamsulate OCX, Foamsulate 70, and Foamsulate HFO. **3H.** Foamed Plastic\* — As an alternate to Batts and Blankets (Item 3), for use with Item 4W — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity. When foamed plastic is used, minimum stud depth shall be 3-1/2 in. with min. 20

MSG thickness. BASF CORP - Enertite® NM, Enertite® G, FE178®, Spraytite® 178, Spraytite® 81206, Walltite® 200, Walltite® US, Walltite® US-N, Walltite® HP+, FE137®, FE158®, Spraytite® 158, Spraytite® SP, Spraytite® 81205, Spraytite® Comfort XL, and Walltite® XL

4. Gypsum Board\* — 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly. When Steel Framing Members\* (Item 6 or any alternate clips) are used, gypsum board is screw attached to furring channels with 1 in. long, Type S steel screws spaced 12 in. OC.

AMERICAN GYPSUM CO — Types AG-C, AGX-1, M-Glass, LightRoc BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO — Type DBX-1

CABOT MANUFACTURING ULC — Type X, 5/8 Type X, Type Blueglass Exterior Sheathing CGC INC — Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, ULIX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional for use with Type USGX)

CERTAINTEED GYPSUM INC — Types EGRG, GlasRoc, Type X-1, Type C, 5/8" Easi-Lite Type X, Easi-Lite Type X-2, Type LWTX CERTAINTEED GYPSUM INC — Types LGFC2A, LGFC6A, LGFC-C/A, LGFC-WD, LGLLX

GEORGIA-PACIFIC GYPSUM L L C — Types 5, 6, 9, C, DAP, DD, DA, DAPC, DGG, DS, GPFS6, LS, Type X, Veneer Plaster Base - Type X, Water Rated - Type X, Sheathing - Type X, Soffit - Type X, TG-C, GreenGlass Type X, Type X ComfortGuard Sound Deadening Gypsum Board, Type LWX, Veneer Plaster Base-Type LWX, Water Rated-Type LWX, Sheathing Type-LWX, Soffit-Type LWX, Type DGLW, Water Rated-Type DGLW,

Sheathing Type-DGLW, Soffit-Type DGLW, Type LW2X, Veneer Plaster Base - Type LW2X, Water Rated - Type LW2X, Sheathing - Type LW2X, Soffit - Type LW2X, Type DGL2W, Water Rated - Type DGL2W, Sheathing - Type DGL2W NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSM-C, FSW-C, FSW-G, FSW-3, FSW-5, FSW-6, FSW-8, FSL, RSX.

NATIONAL GYPSUM CO — Riyadh, Saudi Arabia — Type FR, or WR PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Types PG-C, PG-9, PG-11, PGS-WRS, PGI

PANEL REY S A — Types GREX, GRIX, PRC, PRC2, PRX, RHX, MDX, ETX, PRX2 SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV'Air. Gyproc FireStop MR ACTIV'Air, Gyproc FireStop M2TECH ACTIV'Air, Gyproc DuraLine, Gyproc DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV'Air, Gyproc DuraLine MR ACTIV'Air, Gyproc DuraLine M2TECH ACTIV'Air

THAI GYPSUM PRODUCTS PCL — Type X and Type C, M2Tech Type C UNITED STATES GYPSUM CO — Type AR, C, FRX-G, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, ULIX, USGX, WRC, WRX, (Joint tape and compound, Item 5, optional for use with Type USGX)

USG BORAL DRYWALL SFZ LLC — Types C, SCX, USGX (Joint tape and compound, Item 5, optional for use with Type USGX) USG MEXICO S A DE C V — Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional for use with Type USGX) **4A.** Gypsum Board\* — (As alternate to Item 4) — Nom 5/8 in. thick gypsum panels with beveled, square or tapered edges, applied vertically

or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Panels attached to steel studs and floor runner with 1 in. long Type S steel screws spaced 8 in. OC when applied horizontally, or 8 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. When used in widths other than 48 in., gypsum panels to be installed horizontally. When using ULIX, panels need not be staggered in horizontal applications and screw spacing can be increased to 12 in. OC in field and perimeter. CERTAINTEED GYPSUM INC — Type X-1, Type C, Type EGRG/ GlasRoc, GlasRoc-2, Type SilentFX, Easi-Lite Type X-2

CGC INC — Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, ULIX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional for use

CERTAINTEED GYPSUM INC — Types LGFC2A, LGFC6A, LGFC-C/A, LGFC-WD GEORGIA-PACIFIC GYPSUM L L C — Types DAP, DAPC, DGG, DS

SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV'Air, Gyproc FireStop MR ACTIV'Air, Gyproc FireStop M2TECH ACTIV'Air, Gyproc DuraLine, Gyproc DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV'Air, Gyproc DuraLine MR ACTIV'Air, Gyproc DuraLine M2TECH ACTIV'Air THAI GYPSUM PRODUCTS PCL — Type X and Type C, M2Tech Type C

UNITED STATES GYPSUM CO — Types AR, C, FRX-G, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, ULIX, USGX, WRC, WRX (Joint tape and compound, Item 5, optional for use with Type USGX) USG BORAL DRYWALL SFZ LLC — Types C, SCX, USGX (Joint tape and compound, Item 5, optional for use with Type USGX) USG MEXICO S A DE C V — Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional

for use with Type USGX) 4B. Gypsum Board\* — (As an alternate to Items 4 or 4A) — Nom 3/4 in. thick, 4 ft wide, installed as described in Item 4A with screw length increased to 1-1/4 in.

CGC INC — Types AR, IP-AR UNITED STATES GYPSUM CO — Types AR, IP-AR USG MEXICO S A DE C V — Types AR, IP-AR

USG BORAL DRYWALL SFZ LLC — Type SCX

4C. Gypsum Board\* — As an alternate to Items 4, 4A, and 4B — Nom. 5/8 in. thick gypsum panels, with square edges, applied horizontally. Gypsum panels fastened to framing with 1 in. long bugle head steel screws spaced a max 8 in. OC, with last 2 screws 3/4 in. and 4 in. from each edge of board. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs on interior walls need not be staggered or backed by steel framing. GEORGIA-PACIFIC GYPSUM L L C — Type DGG, GreenGlass Type X

4D. Gypsum Board\* — As an alternate to Items 4, 4A, 4B, 4C, 4G — Nom. 5/8 in. thick gypsum panels applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Gypsum panels fastened to framing with 1 in. long Type S steel screws 12 in. OC along vertical edges and in the field, and 12 in. along the top and bottom of the wall. When used in widths other than 48 in., aypsum panels to be installed horizontally. When studs (Item 2) spaced a max 16 in. OC, 5/8 in. thick gypsum panels applied vertically or horizontally, 1 in. long spaced 16 in. OC along vertical edges and in the field, and 16 in. OC along top and bottom of wall. NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSW-C, FSW-G, FSW-3, FSW-3, FSW-5, FSW-6, FSMR-C

4E. Gypsum Board\* — (As an Alternate to Items 4 through 4D) – Installed as described in item 4. 5/8 in. thick, 4 ft wide, applied vertically only and fastened to the studs and plates with 1 in. long Type S steel screws spaced 12 in. OC. When studs (Item 2) spaced a max 16 in. OC, 5/8" in. thick gypsum panels applied vertically or horizontally with 1 in. long Type S steel screws spaced 16 in. OC along vertical edges and in the field, and 16 in. OC along top and bottom of wall.

NATIONAL GYPSUM CO — Type SBWB 4F. Gypsum Board\* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C) - Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied

vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. RAY-BAR ENGINEERING CORP — Type RB-LBG 4G. Gypsum Board\* — (As an alternate to Items 4 through 4F) — For use with Items 1D and 2D only, 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board and 12 in. OC in the field of the

board. Joints oriented vertically and staggered on opposite sides of the assembly. When using Types eXP-C, FSK, FSK-C, FSK-G, FSW-G, FSW-G, FSW, FSW-3, FSW-5, FSW-6, FSMR-C and ULIX, panels need not be staggered in horizontal applications and screw spacing can be increased to 12 in, OC in field and perimeter. CGC INC — Type SCX, ULIX

CERTAINTEED GYPSUM INC — Type LGFC6A, LGFC-C/A NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSW-C, FSW-G, FSW, FSW-3, FSW-5, FSW-6, and FSMR-C UNITED STATES GYPSUM CO — Type SCX, ULIX

4H. Gypsum Board\* — (As an alternate to Items 4 through 4G) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically and secured as described in Item 4. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock ES

**4I. Gypsum Board\*** — (As an alternate to Items 4 through 4F) — 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly. When using ULIX, panels need not be staggered in horizontal applications and screw spacing can be increased to 12 in. OC in field and perimeter. When using ULIX, panels need not be staggered in horizontal applications and screw spacing can be increased to 12 in. OC in field and perimeter. CGC INC — Types SCX, ULIX

USG BORAL DRYWALL SFZ LLC — Type SCX 4J. Gypsum Board\* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C) — Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edaes, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. To be used with Lead Batten Strips (see Item 9A) or Lead Discs (see Item 10A). MAYCO INDUSTRIES INC — Type X-Ray Shielded Gypsun

**4K. Gypsum Board\*** — (As an alternate to Item 4 and 4A, not for use with Items 1D, 1E, 2D and 2E) — Nom. 5/8 in. thick gypsum panels with beveled, square or tapered edges installed as described in Item 4 and 4A. CGC INC — Type ULX

UNITED STATES GYPSUM CO — Type ULX USG MEXICO S A DE C V — Type ULX

UNITED STATES GYPSUM CO — Types SCX, ULIX

4L. Gypsum Board\* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C). Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in, long Type S-12 steel screws gypsum panel steel screws spaced 8 in, OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 8 ft long with a max thickness of 0.14 in. placed on the face of studs and attached to the stud with construction adhesive and two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs, nominal 3/8 in. diam by max 0.085 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips and discs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C"

RADIATION PROTECTION PRODUCTS INC — Type RPP - Lead Lined Drywall **4M.** Gypsum Board\* — (For use with Item 8) — 5/8 in. thick, 4 ft wide, applied vertically over Mineral and Fiber Board (Item 8) with vertical joints located anywhere over stud cavities. Secured to mineral and fiber boards with 1-1/2 in. Type G Screws spaced 8 in. OC along edges of each vertical joint and 12 in. OC in intermediate field of the Mineral and Fiber Board (Item 8). Secured to outermost studs and floor and ceiling runners with 2 in. long Type S screws spaced 8 in. OC. Gypsum Board joints covered with paper tape and joint compound. Screw heads covered with joint compound.

AMERICAN GYPSUM CO — Type AG-C CERTAINTEED GYPSUM INC — Type C CGC INC — Types C, IP-X2, IPC-AR

CERTAINTEED GYPSUM INC — Type LGFC-C/A GEORGIA-PACIFIC GYPSUM L L C — Types 5, DAPC, TG-C

NATIONAL GYPSUM CO — Types eXP-C, FSK-C, FSW-C PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type PG-C

PANEL REY S A — Types PRC, PRC2 SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV'Air, Gyproc FireStop MR ACTIV'Air, Gyproc FireStop M2TECH ACTIV'Air, Gyproc DuraLine, Gyproc DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV'Air, Gyproc DuraLine MR ACTIV'Air, Gyproc DuraLine M2TECH ACTIV'Air THAI GYPSUM PRODUCTS PCL — Type C, M2Tech Type C

USG BORAL DRYWALL SFZ LLC — Type C USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR

UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR, ULIX

4N. Wall and Partition Facings and Accessories\* — (As an alternate to Item 4) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically and secured as described in Item 4.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock 527 40. Gypsum Board\* — As an alternate to Items 4, 4A, 4B, and 4C — Two layers Nom. 5/16 in. thick gypsum panels applied vertically or horizontally. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Horizontal joints on the same side need not be staggered. When applied horizontally, both layers of gypsum board fastened to each side of framing with 1 in. long Type S steel screws spaced 8 in. OC and staggered 4 in. OC between layers. When applied vertically, both layers of gypsum board fastened to each side of framing with 1 in. long Type \$ steel screws spaced 8 in. OC along vertical edges and 12 in. OC in the field, staggered 4 in. OC between layers. Screws spaced a max 12 in. along the top and bottom edges of the wall. NATIONAL GYPSUM CO — Type FSW

4P. Gypsum Board\* — As an alternate to Item 4. Nom 5/8 in. thick, 4 ft wide, Nom 5/8 in. thick gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Panels attached to steel studs and runners with 1 in. long Type S steel screws spaced 12 in. OC when applied horizontally or vertically. When used in widths other than 48 in., gypsum panels to be installed horizontally. CGC INC — Type ULIX

UNITED STATES GYPSUM CO — Types ULIX 4Q. Gypsum Board\* — 3/4 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track as described in Item 4 with screw length increased to min. 1-1/8 in.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type PG-13 4R. Gypsum Board\* — As an alternate to Item 4D. For use with Item 3E, Batts and Blankets\* — 5/8 in. thick, 4 ft wide, installed as described in Item 4. When studs (Item 2) spaced a max 16 in. OC, 5/8 in. thick gypsum panels applied vertically or horizontally, 1 in. long spaced 16 in. OC along vertical edges and in the field, and 16 in. OC along top and bottom of wall.

NAL GYPSUM CO — IVDE FSLX. **4S. Gypsum Board\*** — As an alternate to Item 4. For use with Item 3E, Batts and Blankets\* — 5/8 in. thick, 4 ft wide, installed as described in Item 4A. CERTAINTEED GYPSUM INC — Type CLLX.

4T. Wall and Partition Facinas and Accessories\* — (As an alternate to 5/8 in. thick board as outlined in Item 4) — Nominal 1-3/8 in. thick, 4 ft wide panels, applied vertically or horizontally. Fastened with #6 x 2 in. long drywall screws spaced 8 in. OC along the perimeter and 12 in, OC in the field. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock 545 4U. Gypsum Board\*— (As an alternate to Item 4 when Foam Plastic insulation Item 3G is used) — Any 5/8 in. thick, 4 ft. wide,

Gypsum Board listed in Item 4 above. Applied vertically with vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Gypsum panels secured to studs with 1 in. long Type S steel screws spaced 8 in. OC at perimeter and in the field. For 2 layer assemblies outer layer will be attached to studs over inner layer with the 1-5/8 in. long steel screws spaced **4V. Gypsum Board\*** — (As an alternate to Item 4, for 1 hr. rating) — Nom. 5/8 in. thick gypsum panels applied vertically or

horizontally. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Gypsum panels fastened to framing with 1 in. long Type S steel screws 12 in. OC along vertical edges and in the field. Screws spaced a max 12 in. along the top and bottom edges of the wall for both vertical and horizontal applications. CERTAINTEED GYPSUM INC — Type X-1, SilentFX, GlasRoc, Type C 4W. Gypsum Board\*— (As an alternate to Item 4 when Foam Plastic insulation Item 3H is used) — Any 5/8 in. thick, 4ft. wide, Gypsum Board listed in Item 4 above. Applied vertically with vertical joints centered over studs and staggered one stud cavity

and in the field. **5. Joint Tape and Compound** — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw heads; paper tape, 2 in. wide, embedded in first layer of compound over all joints. As an alternate, nominal 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced. Paper tape and joint compound may be omitted when gypsum boards are supplied with square edges.

6. Resilient Channel — (Optional — Not Shown) — 25 MSG galv steel resilient channels spaced vertically max 24 in. OC, flange portion attached to each intersecting stud with 1/2 in. long type S-12 pan head steel screws. May not be used with Item 4F, 4J or 6A. Steel Framing Members\* — (Optional, Not Shown, As an alternate to Item 6) — Furring channels and Steel Framing Members

as described below: a. Furring Channels — Formed of No. 25 MSG galv steel, 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Not for use with Items 4F, 4J, or 4L. b. Framing Members\* — Used to attach furring channels (Item a) to studs (Item 2). Clips spaced 48 in. OC., and secured to studs

with 1-5/8 in. wafer or hex head Type S steel screw through the center grommet. Furring channels are friction fitted into clips. RSIC-1 clip for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) clip for use with 2-23/32 in. wide furring channels. PAC INTERNATIONAL L L C — Types RSIC-1, RSIC-1 (2.75) 6B. Framing Members\* — (Optional on one or both sides, Not Shown, As an alternate to Item 6) — Furring channel and Steel Framing Members as described below:

a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to

studs. Channels secured to studs as described in Item b. Gypsum board attached to furring channels as described in Item 4. Not for use with Items 4F, 4J, or 4L. o. Steel Framing Members\* — Used to attach furring channels (Item 6Ba) to studs (Item 2). Clips spaced max. 48 in. OC. GENIECLIPS secured to studs with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center grommet. Furring channels are friction fitted into clips.

PLITEQ INC — Type Genie Clip 6C. Steel Framing Members\* — (Optional, Not Shown, As an alternate to Item 6) — Furring channels and Steel Framing Members

a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 4. Not for use

with Items 4F, 4J, or 4L. b. Steel Framing Members\* — Used to attach furring channels (Item 6Ca) to studs. Clips spaced 48 in. OC., and secured to studs with 2 in. coarse drywall screw with 1 in. diam washer through the center hole. Furring channels are friction fitted into clips

STUDCO BUILDING SYSTEMS — RESILMOUNT Sound Isolation Clips - Type A237R 6D. Steel Framing Members\* — (Optional, Not Shown As an alternate to Item 6) — Furring channels and Steel Framing Members as described below:

a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 6Db. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 4. Not for use with Items 4F, 4J, or 4L. b. Steel Framing Members\* — UUsed to attach furring channels (Item 6Da) to studs. Clips spaced 48 in. OC, and

secured to studs with No.8 x 2-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted REGUPOL AMERICA — Type SonusClip

**6E.** Steel Framing Members\* — (Optional, Not Shown As an alternate to Item 6) — Resilient channels and Steel Framing Members as described below:

a. Resilient Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, and perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in place with two No. 8 15 x 1/2 in. Philips Modified Truss screws spaced 2-1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 4. Not for use with Items 4F, 4J, or 4L. b. Steel Framing Members\* — Used to attach resilient channels (Item 6Ea) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to

KEENE BUILDING PRODUCTS CO INC — Type RC+ Assurance Clip 6F Steel Framing Members\* — (Optional, Not Shown, As an alternate to Item 6) — Furring channels and Steel Framing Members as described below:

clips with one No. 10 x 1/2 in. pan-head self-drilling screw.

a Furring Channels — Formed of No. 25 MSG galv steel. 2-23/32 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Gypsum board attached to furring channels as described in Item 4.

b Steel Framing Members\* — Used to attach furring channels (Item 6Fa) to studs. Clips spaced maximum 48 in. OC. Clips secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center grommet. Furring channels are friction fitted into clips. CLARKDIETRICH BUILDING SYSTEMS — Type ClarkDietrich Sound Clip

6F. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as described a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 4. Not for use

with Items 4F, 4J, or 4L. b. Steel Framing Members\* — Used to attach furring channels (Item 6Fa) to studs. Clips spaced 48 in. OC., and secured to studs with No. 10 x 2 in. screw through the center hole. Furring channels are friction fit into clips. MASON INDUSTRIES INC — Type CWC-50

7. Wall and Partition Facings and Accessories\* — (Optional, Not Shown) — Nominal 1/2 in. thick, 4 ft wide panels, for optional use as an additional layer on one or both sides of the assembly. Panels attached in accordance with manufacturer's recommendations. When the QR-500 or QR-510 panel is installed between the steel framing and the UL Classified gypsum board, the required UL Classified gypsum board layer(s) is/are to be installed as indicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock QR-500 and QR-510

8. Mineral and Fiber Board\* — (Optional, Not Shown) — For optional use as an additional layer on one side of wall. Nom 1/2 in. thick, 4 ft wide with long dimension parallel and centered over studs. Attached to studs and floor and ceiling runners with 1-5/8 in. long Type S steel screws, spaced 12 in. OC and 24 in. OC along all intermediate framing. The required UL Classified gypsum board layer (Item 4M) is to be installed over the Mineral and Fiber Boards. Batts and Blankets, Item 3D, and Adhesive, Item 11, are required. HOMASOTE CO — Homasote Type 440-32

8A. Mineral and Fiber Board — (Optional, Not Shown) — For optional use as an additional layer on one side of wall -Nom 1/2 in. thick, 4 ft wide, square edge fiber boards applied vertically to studs on one side of the wall in between the wood studs and the UL Classified Gypsum Board (Item 4). Fiber boards installed with 1-1/4 in. long, Type S steel screws spaced 12 in, OC max, with the last screws spaced 2 in, and 6 in, from edge of board. Gypsum board (Item 4) installed as indicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. Not evaluated for use with Item 4M.

BLUE RIDGE FIBERBOARD INC — SoundStop 8B. Mineral and Fiber Board\* — (Optional, Not Shown) — For optional use as an additional layer on one side of wall. Nom 1/2 in. thick, 4 ft wide with long dimension parallel and centered over studs. Attached to studs and floor and ceiling runners with 1-5/8 in, long Type S steel screws, spaced 12 in, OC and 24 in, OC along all intermediate framing. The required UL Classified gypsum board layer is to be installed over the Mineral and Fiber Boards and secured to studs with length of fasteners increased by 1/2 in. over the length specified for installation of the gypsum boards. otherwise required. Not for use with Items 4F, 4J, 4L, and 4M. HOMASOTE CO — Homasote Type 440-32

9. Lead Batten Strips — (Not Shown, For Use With Item 4E) — Lead batten strips, min 1-1/2 in. wide, max 10 ft long with a max thickness of 0.125 in. Strips placed on the interior face of studs and attached from the exterior face of the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead batten strips to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". Lead batten strips required behind vertical joints of lead backed gypsum board (Item 4E) and optional at remaining stud locations. Required behind vertical joints.

**9A.** Lead Batten Strips — (Not Shown, for use with Item 4J) — Lead batten strips, 2 in. wide, max 10 ft long with a max thickness of 0.140 in. Strips placed on the face of studs and attached to the stud with two min. 1 in. long min. Type S-8 pan head steel screws, one at the top of the strip and one at the bottom of the strip or with one min. 1 in. long min. Type S-8 pan head steel screw at the top of the strip. Lead batten strips to have a purity of 99.5% meeting the Federal specification QQ-L-201f, Grades "B, C or D". Lead batten strips required behind vertical joints of lead backed gypsum wallboard (Item 4J) and optional at remaining stud locations.

10. Lead Discs or Tabs — (Not Shown, For Use With Item 4E) — Used in lieu of or in addition to the lead batten strips (Item 8) or optional at other locations - Max 3/4 in. diam by max 0.125 in. thick lead discs compression fitted or adhered over steel screw heads or max 1/2 in by 1-1/4 in by max 0.125 in thick lead tabs placed on avosum boards (Item 4E) underneath screw locations prior to the installation of the screws. Lead discs or tabs to have a purity of on opposite sides of studs. Gypsum panels secured to studs with 1-1/4 in. long Type S steel screws spaced 8 in. OC at perimeter 99.9% meeting the Federal specification QQ-L-201f, Grade "C".

10A. Lead Discs — (Not Shown, for use with Item 4J) — Max 5/16 in. diam by max 0.140 in. thick lead discs compression fitted or adhered over steel screw heads. Lead discs to have a purity of 99.5% meeting the Federal Specification QQ-L-201f, Grades "B, C or D".

11. Adhesive — Not Shown — (For use with Item 8) — Construction grade adhesive applied in vertical, serpentine, nominal 3/8 in. wide beads down the length of both vertical edges of Mineral and Fiber Board (Item 8).

12. Wall and Partition Facings and Accessories\* — (CLBV) (Optional, Not Shown) — For use with Items 1 to 11, Items 2 to 2J, Item 3, Items 4 to 4I, Item 5 and Item 6. For maximum fire rating of 1 hour. On one side of the wall, over the first layer of Gypsum Board (Item 4 to Item 4I), install RefleXor membrane with the gold side facing outwards. Membrane installed with T50 staples spaced 12 inches on center in both directions as per manufacturer's instructions, seams in membrane to be overlapped by 2 inches. When RefleXor membrane is used an additional layer of Gypsum Board that is identical to the one used in the first layer and as specified in Item 4 to Item 4 Ishall be installed over the membrane. The additional layer of Gypsum Board to be installed through the membrane to the stud as specified in Item 4 to Item 4I except the fastener length shall be increased by a minimum of 5/8 inch. Install Batts and Blankets in the stud cavity as per Item 3.

panel. Over the SONOpan panel install the same Gypsum Board as specified in Item 4 to Item 4l with the fastener length increased by minimum 3/4 inch. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board. Alternately, on the other side of the wall prior to the installation of the Gypsum Board, install 3/4 in. thick SONOpan panels, secured to one side of studs either horizontally or vertically. Panels secured to each stud with min. 1-1/4 in. long drywall screws spaced 12 in. OC. Over the SONOpan, install 25 MSG galv steel, Resilient Channels, spaced vertically 24 in. OC. Resilient Channels fastened through panels to each stud with min. 2 in. long drywall screws or self-tapping screws. Over the Resilient Channels install Gypsum Board as specified in Item 4 to Item 4l with the

specified drywall screws. Panels not evaluated or intended as a substitute for the required layer(s) of UL Classified

MSL — RefleXor membrane, SONOpan panel

On the other side of the wall, prior to the installation of the Gypsum Board, install Resilient Channels as per Item 6.

Over the Resilient Channels install 3/4 inch thick SONOpan panel secured to the Resilient Channels with min. 1-1/4 in.

long drywall screws and washers spaced at 16 in. OC on the perimeter of the panel and 8 in. OC in the field of the

13. Barrier Mesh — (Optional, Not Shown) - Attached to steel studs on one or both sides of the wall using Barrier Mesh Clips spaced at maximum 12 inches on center vertically, using a flat head type screw penetrating through the steel at least 3/8 of an inch. For Steel Studs less than 0.033 inches in thickness, use self-piercing screws. For Steel Studs equal to or greater than 0.033 inches in thickness, use steel drill screws (self-tapping). Gypsum Board (Item 4) to be installed directly over the Barrier Mesh using prescribed screw patterns with lengths increased by a minimum 1/8 in. Barrier Mesh may be installed with the long dimension of the diamond pattern positioned vertically or horizontally. Barrier Mesh joints may occur as butt joints at the framing members and secured using the Barrier Mesh Clips or occur in between framing members as overlapping joints secured using 18 SWG wire ties spaced a maximum 12 in. on CLARKDIETRICH BUILDING SYSTEMS — Barrier Mesh, Barrier Mesh Clips

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Project:

193 RONALD REGAN **PARKWAY** 

DAVENPORT, FL 33837

Scope Drawings: These drawings indicate the general scope of

the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems. The drawings do not necessarily indicate or

describe all work required for full

performance and completion of the

requirements of the contract.

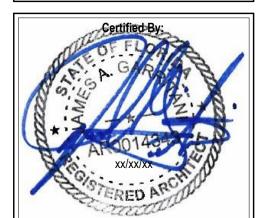
On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:

**UL VERTICAL DETAILS** 

Revisions:

Issue Date: Drawn By: Checked By: ||02-14-2025| CRL



**Electronic Signature:** 

his drawing has been electronically signed and sealed on the date shown in the seal, using a digital signature. Printed copies of this document are not considered signed and sealed and the signature

ust be verified on any electronic copies.

**Project Number:**