

ALL WORK SHALL BE DONE IN ACCORDANCE WITH CODES, STANDARDS AND BUILDING TECHNIQUES WITHIN THE STATE, LOCAL AND COUNTY WISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RESPECTIVE AUTHORITIES. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF ALL CONDITIONS.

THE CONTRACTOR SHALL MAKE FIELD MEASUREMENTS FOR HIS WORK AND BE RESPONSIBLE FOR THE ACCURACY OF THOSE MEASUREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR THEIR AGENT OF ANY DISCREPANCIES IN THE PLANS AND/or SPECIFICATIONS PRIOR TO BIDDING AND INSTALLATION OF ANY OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ANY IN-SLUT UTILITIES IN AREAS WHERE IN-SLUT IS TO BE SAWCUT FOR NEW CONCRETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OWNERS OF ANY LOCATIONS OF ANY IN-SLUTS TO BE UNCOVERED UPON APPLYING ABOVE CODES AND SHALL BE PROPERLY INSPECTED.

WORK SHALL NOT START UNTIL CONTRACTOR RECEIVES NOTICE TO PROCEED.

EACH CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY SITE AND STORAGE AREA.

EACH CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTING AND SAFEGUING OF PRODUCTS STORED AT THE SITE.

THE CONTRACTOR SHALL POST AND MAINTAIN SIGNS, NOTICES AND OTHER SAFEGUARDS REQUIRED BY LAW OR ORDINANCE.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY SPECIFIC INSTRUCTIONS FOR THIS PROJECT, WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL, BY THE ARCHITECT, WILL VOID ANY CLAIMS AND LIABILITIES SET FORTH BY THE OWNER AND THE ARCHITECT.

LARGE SCALE DETAILS OF DRAWINGS SHALL GOVERN SCALE DRAWINGS FOR WHICH THEY ARE INTENDED TO AMPLIFY. DIMENSIONS SHALL GOVERN OVER ALL OTHER DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIED EQUIPMENT. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL MATERIALS AND EQUIPMENT.

EACH CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY THE ARCHITECT OF MATERIALS OR WORK SHOWN FOR WHICH NO QUALITY OR GRADE IS CLEARLY SHOWN ON CONTRACT DOCUMENTS. IT SHALL BE THE CONTRACTOR ASSUME GRADE OR QUALITY FOR PRODUCTS OR WORK SHOWN.

USE MEANS FOR EXCAVATION OF WORK AND FOR STORAGE AS DIRECTED BY THE OWNER DO NOT UNREASONABLY ENCOMPASS PREMISES AND ADJOINING STREETS WITH PRODUCTS OR EQUIPMENT UNDERGROUND OR ON THE SURFACE OF THE STREET OR ADJOINING STREETS TO POURING THE CONCRETE FLOOR SLAB.

SHOP DRAWINGS MUST BE SUBMITTED FOR REVIEW AND COMMENT PRIOR TO PROCEEDING WITH FABRICATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING OF NAIL HOLES, CRACKS, ETC., PRIOR TO FINAL APPLICATION OF FINISHES.

REFER TO REVISION SCHEDULE FOR NEW FINISHES

NOTICE TO ORDER MATERIALS TO BE BLOCKED OFF SHEET METAL, GAUGE TO MATCH GAUGE OF STUD, IN ORDER AS REQUIRED FOR INSTALLATION OF ALL ITEMS, WHETHER FURNISHED BY OWNER OR CONTRACTOR, INCLUDING TOOLS, ACCESSORIES, COUNTERS, SHELVING, CASEWORK, HANDRAILS, ETC.

ALL CONCEALED WOOD MUST BE FIRE RETARDANT.

ANY REQUIRED COMPACTION TESTS OR STRUT TESTS, ETC., SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.

IT IS UNDERSTOOD THAT THE CONTRACTORS ARE FAMILIAR WITH THE TERMS, DETAILS AND CONCEPTS IN THESE DRAWINGS, SPECIFICATIONS AND GENERAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CONTACT FOR CLARIFICATION NEEDED.











IT SHOULD BE UNDERSTOOD THAT THE CONTRACT AMOUNT NOTED BY EACH CONTRACTOR INCLUDES ALL ITEMS (BUILDERS RISK AND INSURANCE) AND GENERAL CONDITIONS. THE CONTRACTOR SHALL NOT INCURE ANY OTHER CHARGES WILL BE ACCEPTED BY THE OWNER.







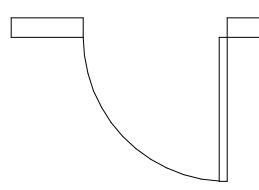

&	AND
∠	ANGLE
@	AT
AAP	ATTIC ACCESS PANEL
A/C	AIR CONDITIONING
AC, CLS	ACOUSTIC CEILING
AC	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE
AFB	ABOVE FINISHED FLOOR
AFP	ACCORDING FOLDING PARTITION
ALUM	ALUMINUM
ALT	ALTERNATE
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECT (ECTURAL)
AV	AUDIO/VISUAL OR AV
AWG	AMERICAN WIRE GAUGE

DI	INSIDE DIAMETER
DR	INCHES
OC	INCLUDED
INFO	INFORMATION
INSUL	INSULATION / INSULATOR
INT	INTERIOR
INV	INVERT
JC	JANITOR'S CLOSET
JT	JOINT
JB	JOIST BEARING
JS	JOIST SUBSTITUTE
KIT	KITCHEN
KIL	KILOWATTS
L	LENGTH / LONG
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LEG #	LEAVE
LH	LONG
LLV	LONG LEG VERTICAL
LXR	LONGER
LVR	LOUVER
LW	LOCKWAY
M	METER / THOUSAND
MA	MASONRY
MATB	MATERIAL
MAX	MAXIMUM
MXB	MASONRY BEARING
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
ML	MANHOLE
MM	MINIMUM
MIN	MIN
MMI	MINI
MISC	MISCELLANEOUS
ML	MILLIMETER
MLO	MASONRY OPENING
MTL	METAL
N	NORTH
N.I.C.	NOT IN CONTRACT
NO. OR #	NUMBERS
NOM	NOMINAL
NOTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OPG	OPENING
OP	OPPOSITE / OPPOSITE
OW	OWEN
OZ	OUNCE

	T o TR	TREAD
	TA	TOILET AC
	TB	TACK BOARD
	TE	TELEPHONE
	TELL	TERRAZZO
	TERR	TERRACE
	T & B	TOP & BOTTOM
	T & G	TONGUE
	TGC	TOP OF CG
	TGS	TOP OF GS
	TOF	TOP OF F
	TOM	TOP OF M
	TOS	TOP OF S
	TFXMR	TRANSFORMER
	TLS	TELEVISION
	TVB	TACKLEBOARD
	TV	TYPICAL
	UL	UNDERLAYER
	UNO	UNLESS
	URN	URNAL
	UV	UNIT VEN
	VERT	VERTICAL
	VIC	VINYL CL
	VCG	VINYL CO
	VIT	VITRIFIED
	VOL	VOLUME
	VRB	VENTED
	V RET	VAPOR RES
	VS	VENT STA
	VS	VERSUS
	VTR	VINYL TIL
	VT	VENT TIE
CEILING	W	WEST
	WI	WITH
	WA	WARDROOM
	WCB	WOOD CAB
	WC	WATER C
	WCOL	WOOD C
	WD	WOOD
	WH	WATER H
	WID	WITHOUT
	WIP	WORKINGS
	WR	WATER R
	WSP	WALL SF
	WWF	WELDED
	WWM	WOVEN
	YD	YARD / YAL

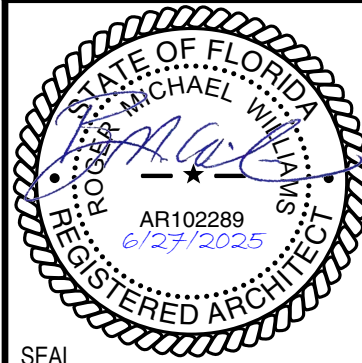
RY(IES)	
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 EXTERIOR ELEVATION INDICATOR

 INTERIOR ELEVATION INDICATOR

 BUILDING SECTION INDICATOR

 WALL SECTION INDICATOR

 DETAIL INDICATOR

 ENLARGED DETAIL INDICATOR

 NEW GRID INDICATOR

 EXISTING GRID INDICATOR

 FIRST FLOOR

 LEVEL ELEVATION INDICATOR

	KEYNOTE INDICATOR
	PARTITION TYPE INDICATOR
	RCP ROOM TAG (ROOM NAME, HEIGHT, FINISH OPTIONAL)
	FINISH INDICATOR
	WINDOW INDICATOR
	TOILET ACCESSORIES INDICATOR
	NEW DOOR INDICATOR
	EXISTING DOOR INDICATOR

3000 WESTINGHOUSE DRIVE,
SUITE 400
CRANBERRY TOWNSHIP, PA 1606

SUBCONSULTANT



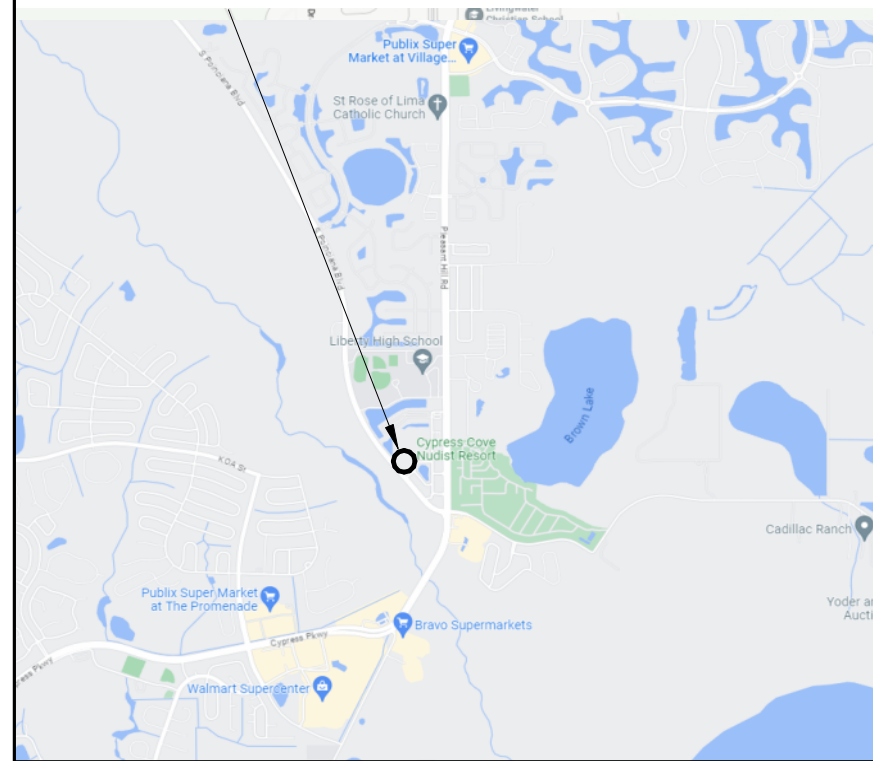
COMMENTS

RESPONSE TO COMMENTS

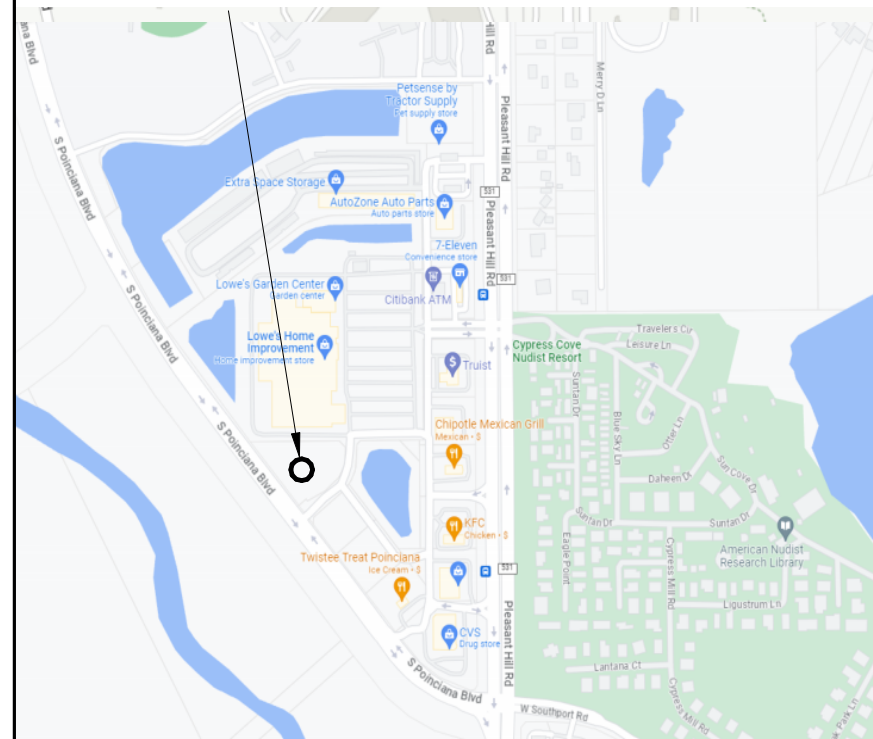
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PROJECT LOCATION



PROJECT LOCATION



Date: April 25, 2025

Project No.: 13427-001

Sheet No.:

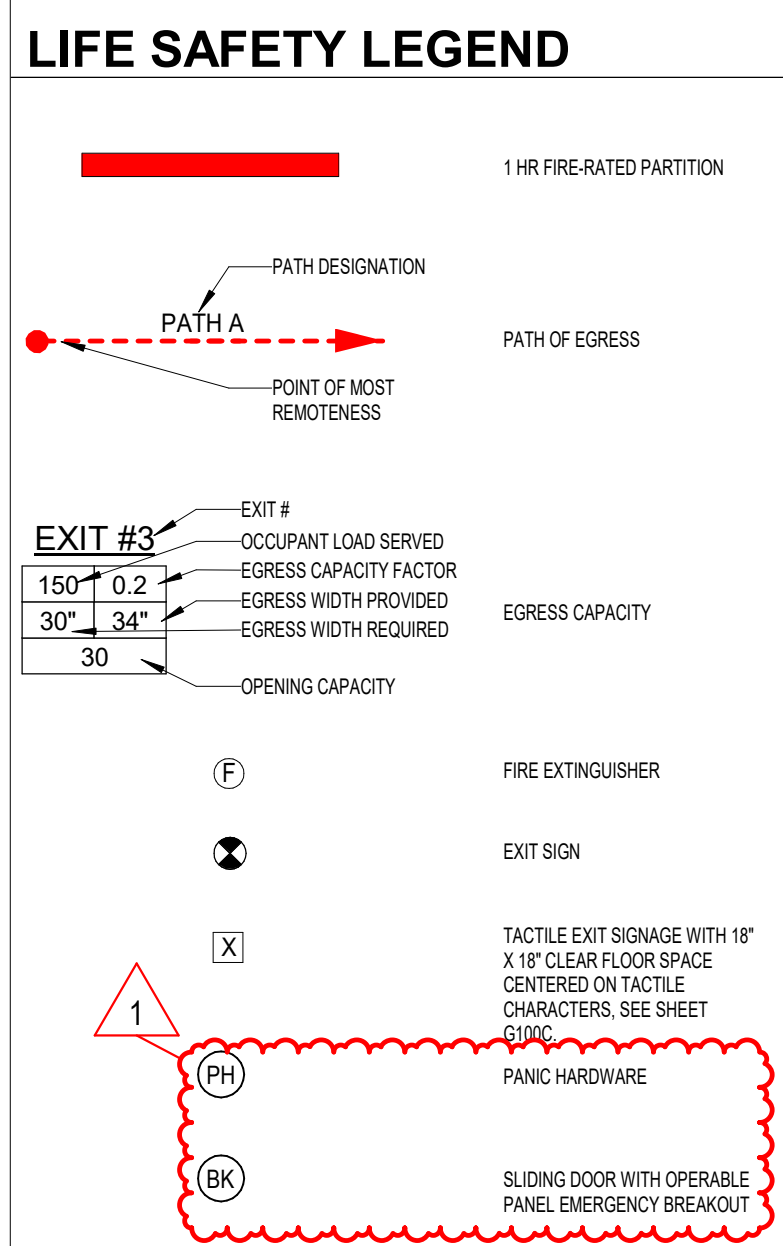
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PERMIT SET

FLORIDA PRODUCT APPROVALS											
SUBDIVISION	SUBDIVISION NAME	PRODUCT DESCRIPTION	BASIS OF DESIGN (MFR)	MODEL/DESIGN/TYPE	REMARKS / COMMENTS	SUBMITTAL REQUIRED (Y/N)	APPROVED EQUAL SUBSTITUTE	FPA#	FPA EXPIRATION	NOA#	NOA EXPIRATION
04 70 00.C	MANUFACTURED MAS.	SYNTHETIC STONE VENEER	CORONADO STONE	ANTIQUE CREAM	INSTALL PER MFR'S STANDARDS	N	N	FL31373-R1	2025/12/31	N/A	N/A
06 10 00.A	ROUGH CARPENTRY	FRT EXTERIOR PLYWOOD	NON-SPECIFIC	VARIES, REF: DRAWINGS	FIRE RATED	N	N	N/A	N/A	N/A	N/A
06 10 00.B	ROUGH CARPENTRY	CDX EXTERIOR PLYWOOD	NON-SPECIFIC	VARIES, REF: DRAWINGS	NON-FIRE RATED	N	N	N/A	N/A	N/A	N/A
07 10 00.E	DAMP-PROOFING / WATER PROOFING	TPO SINGLE PLY ROOF MEMBRANE	CARLISLE SYNTREC (SURE WELD)	60MIL, FULLY ADHERED/MECH. FASTENED	INSTALL PER MFR'S STANDARDS	Y	N	FL- 1601.2	2025/07/06	VARIES PER TYPE	N/A
07 20 00.H	THERMAL PROTECTION	ROOF INSULATION	NON-SPECIFIC	VARIES, REF: DRAWINGS	INSTALL PER MFR'S STANDARDS	N	N	N/A	N/A	N/A	N/A
07 21 40	THERMAL PROTECTION	WALL INSULATION	NON-SPECIFIC	VARIES, REF: DRAWINGS	INSTALL PER MFR'S STANDARDS	N	Y	N/A	N/A	N/A	N/A
07 24 00	THERMAL PROTECTION	EXTERIOR INSULATION & FINISH SYST.	STOTHERM CI	VARIES, REF: DRAWINGS	INSTALL PER MFR'S STANDARDS	Y	N	FL20110-R3	2024/01/17	N/A	N/A
08 10 00.B	DOORS & FRAMES	HOLLOW MTL DOOR INSULATED	ALLEGION-SCHLAG LOCK COMPANY	OUTSWING GLAZED SINGLE DOOR & HARDWARE	INSTALL PER MFR'S STANDARDS	Y	Y	FL 10356.6	2023/12/31	N/A	N/A
08 81 23	ENTRANCE STOREFRONTS & CURTAIN WALLS	STOREFRONT SYSTEM	KAWNEER	TRIFAB 451 W/MS 350 DOORS	INSTALL PER MFR'S STANDARDS	Y	Y	FL 7237.1	2023/12/31	N/A	N/A
08 81 23	GLAZING	EXTERIOR GLAZING	GUARDIAN GLASS	1" INSULATED IGU SNX 51/23 CLEAR, W/LOW E COATING ON #2 SURFACE	INSTALL PER MFR'S STANDARDS	N	Y	N/A	N/A	N/A	N/A
09 20 00.C	PLASTER & GYP BOARD	ACRYLIC TEXTURED FINISH	STOLIT 1.5 STO. CORP.	5/8" OR 7/8"	INSTALL PER MFR'S STANDARDS	Y (ONLY FOR COLOR)	Y	N/A	N/A	N/A	N/A

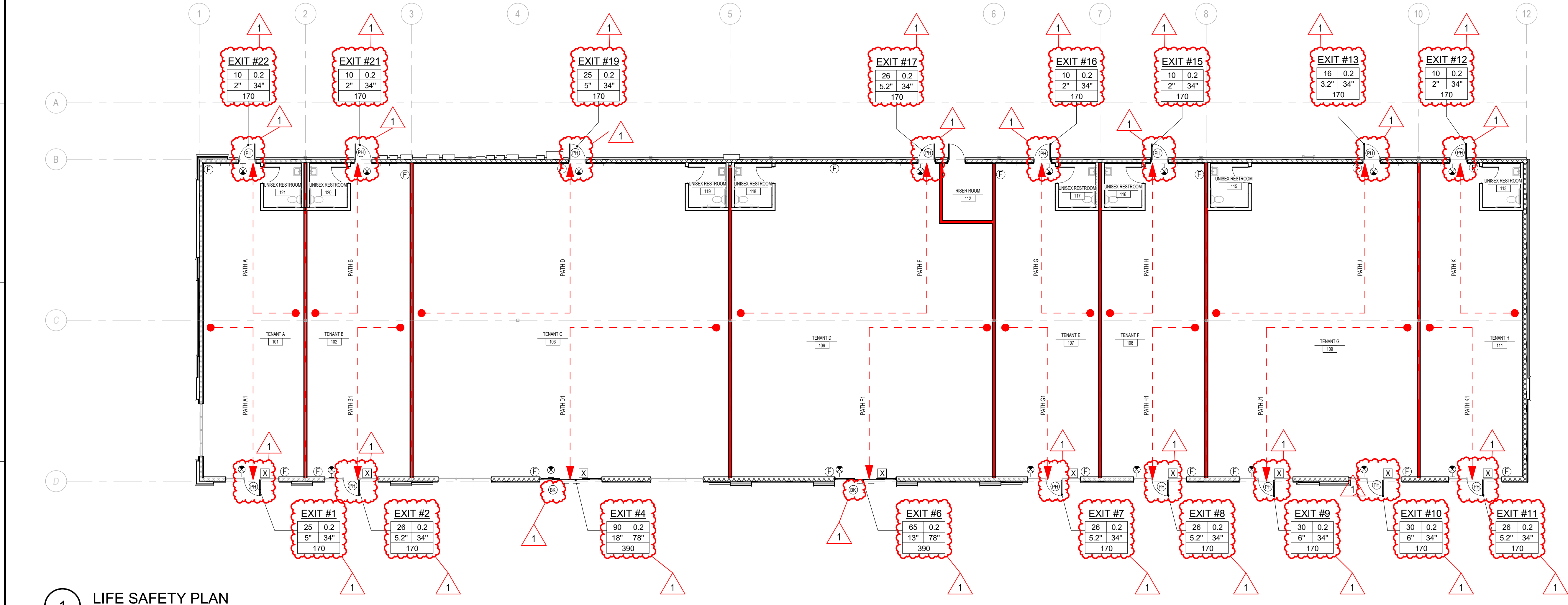
- LIFE SAFETY NOTES**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE.
 - APPROVED FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY GC. PROVIDE MINIMUM 3A-40B-C EXTINGUISHERS, WALL MOUNTED ON STANDARD BRACKETS.
 - SHELL SCOPE INCLUDES POTENTIAL OCCUPANCY INFORMATION ONLY. FINAL OCCUPANT LOAD CALCULATIONS AND EGRESS CALCULATIONS TO BE COMPLETED BY SEPARATE TENANT IMPROVEMENT PACKAGES FOR EACH OCCUPANCY.
 - SHELL CERTIFICATE OF COMPLETION ONLY. SEPARATE PERMITS WILL BE REQUIRED TO OBTAIN A CERTIFICATE OF OCCUPANCY.

BUILDING CODE SUMMARY	
PROJECT DATA:	NAME OF PROJECT: PONCIANA MULTI-TENANT STREET ADDRESS: S PONCIANA BLVD, KISSIMMEE FL 34746 (ADDRESS TO BE ASSIGNED DURING PERMIT REVIEW) COUNTY: OSCEOLA COUNTY PROPOSED USE: RETAIL, MIXED USE, SEPARATED FIRE SUPPRESSION: SPRINKLERED BUILDING CODE: FLORIDA BUILDING CODE (2023) ACCESSIBILITY CODE: FLORIDA ACCESSIBILITY CODE (2023) ENERGY CODE: FBC ENERGY CONSERVATION CODE (2023) MECHANICAL CODE: FLORIDA MECHANICAL CODE (2023) PLUMBING CODE: FLORIDA PLUMBING CODE (2023) ELECTRICAL CODE: FLORIDA ELECTRICAL CODE (2023) FIRE CODE: FLORIDA FIRE CODE (2023) EXISTING BUILDING CODE: N/A
SCOPE OF WORK:	THE SCOPE OF THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A GROUND UP BUILDING WITH 15,000SF. DIVIDED INTO TEN (8) 1,200 SF BAYS AND A 3,000 SF SPACE CONTAINING A DRIVE THRU THIS SCOPE OF WORK IS FOR A SHELL SPACE CERTIFICATE OF COMPLETION ONLY WORK INCLUDES THE BUILDING SHELL COMPONENTS AND DEMISING WALLS. INTERIOR FIT-OUT AND OTHER INTERIOR CONSTRUCTION ARE PART OF SEPARATE TENANT FIT-OUTS AND WILL BE SUBMITTED SEPARATELY.
USE & OCCUPANCY CLASSIFICATION: (CHAPTER 3)	ALL CODE CHAPTERS, SECTIONS AND TABLES INDICATED BELOW IN PARENTHESES () REFERENCE FLORIDA BUILDING CODE, BUILDING, 7TH EDITION (2023) UNLESS OTHERWISE INDICATED. POTENTIAL PROPOSED USE GROUPS: A-2 ASSEMBLY GROUP (308.1, 303.3) B BUSINESS GROUP (304.1) M MERCANTILE GROUP (SECTION 308.1) SECTION 508 (MIXED USE AND OCCUPANCY) SECTION 508.2 (ACCESSORY OCCUPANCIES), AND SECTION 508.4 (SEPARATED OCCUPANCIES).
BUILDING HEIGHT: (TABLES 504.3 & 504.4)	ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (SPRINKLERED): 75' ALLOWABLE NUMBER OF STORES ABOVE GRADE PLANE (SPRINKLERED): 3 ACTUAL BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (SPRINKLERED): 24' ACTUAL NUMBER OF STORES ABOVE GRADE PLANE (SPRINKLERED): 1
ALLOWABLE BUILDING AREA: (SECTION 506 & TABLE 506.2)	CONSTRUCTION TYPE: IB INITIAL ALLOWABLE AREA (TABLE 506.2): 50,000 SF PROVIDED BUILDING AREA: 15,000 SF
CONSTRUCTION TYPE: (SECTION 602)	TYPE IIB
FIRE-RESISTANCE RATING: (TABLES 601 & 602)	STRUCTURAL FRAME: 0 HOURS ROOF CONSTRUCTION: 0 HOURS EXTERIOR/INTERIOR BEARING WALLS: 0 HOURS EXTERIOR/INTERIOR NON-BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS
OCCUPANT LOAD: (SECTION 1004)	REFER TO OCCUPANCY SCHEDULE ON THIS SHEET FOR ASSUMED OCCUPANT LOADS. FINAL OCCUPANT LOAD CALCULATIONS TO BE PROVIDED FOR EACH TENANT UNDER SEPARATE PERMIT.
MEANS OF EGRESS SIZING: (SECTION 1005)	REQUIRED EGRESS CAPACITY BASED ON OCCUPANT LOAD (SECTION 1005.3): EGRESS CAPACITY FACTOR (STAIRWAYS): 0.3 EGRESS CAPACITY FACTOR (OTHER EGRESS COMPONENTS): 0.2
MINIMUM NUMBER OF EXITS: (TABLES 1006.2.1 & 1006.3.2)	MINIMUM OF TWO (2) EXITS REQUIRED FOR ROOMS AND SPACES WITH OCCUPANT LOAD BETWEEN 1 - 500 OCCUPANTS PER STORY MINIMUM OF THREE (3) EXITS REQUIRED FOR ROOMS AND SPACES WITH OCCUPANT LOAD BETWEEN 501 - 1,000 OCCUPANTS PER STORY MINIMUM OF FOUR (4) EXITS REQUIRED FOR ROOMS AND SPACES WITH OCCUPANT LOAD MORE THAN 1,000 OCCUPANTS PER STORY GROUP M OCCUPANCIES WITH A MAXIMUM OCCUPANT LOAD OF 49 AND MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE OF 75 FEET SHALL BE PERMITTED TO HAVE ONE EXIT STORAGE ROOMS WITH A MAXIMUM OCCUPANT LOAD OF 29 AND MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE OF 100 FEET SHALL BE PERMITTED TO HAVE ONE EXIT EXITS, EXIT ACCESS DOORWAYS AND EXIT ACCESS STAIRWAYS SHALL BE PLACED A MINIMUM OF 1/3 OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
EXIT ACCESS CONFIGURATION: (SECTION 1007.1.1)	EGRESS DOORS SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD GREATER THAN 49 PERSONS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL.
DOOR SWING: (SECTION 1010.1.2.1)	WITH SPRINKLER SYSTEM: M OCCUPANCIES: 25' A-2 OCCUPANCIES: 25' B OCCUPANCIES: 30'
EXIT ACCESS TRAVEL DISTANCE: (TABLE 1017.2)	



EGRESS SCHEDULE	
EGRESS ROUTE	TRAVEL DISTANCE
PATH A	36'-3"
PATH A1	36'-8"
PATH B	36'-3"
PATH B1	36'-8"
PATH D	56'-3"
PATH D1	60'-2"
PATH F	63'-4"
PATH F1	50'-9"
PATH G	37'-5"
PATH G1	36'-8"
PATH H	36'-3"
PATH H1	36'-8"
PATH J	56'-3"
PATH J1	55'-6"
PATH K	36'-6"
PATH K1	36'-8"

OCCUPANCY SCHEDULE / FBC 2023 8TH EDITION TABLE 1004.5								
OCCUPANT LOAD CALCULATIONS			REQUIRED EGRESS WIDTH CALCULATIONS					
RM. NO.	ROOM NAME	AREA	OCCUPANT LOAD		WIDTH FACTOR	WIDTH REQUIRED (INCHES)	WIDTH PROVIDED (INCHES)	DOOR NUMBER & SIZES
			LOAD FACTOR	OCCUPANTS				
101	TENANT A	1,044 SF	30	35	0.2	32" (MIN.)	68"	EXIT #1 - 34"; EXIT #22 - 34"
102	TENANT B	1,075 SF	30	36	0.2	32" (MIN.)	68"	EXIT #2 - 34"; EXIT #21 - 34"
103	TENANT C	3,443 SF	30	115	0.2	32" (MIN.)	112"	EXIT #4 - 34"; EXIT #19 - 34"
106	TENANT D	2,717 SF	30	91	0.2	32" (MIN.)	112"	EXIT #6 - 48"; EXIT #17 - 34"
107	TENANT E	1,074 SF	30	36	0.2	32" (MIN.)	68"	EXIT #7 - 34"; EXIT #16 - 34"
108	TENANT F	1,074 SF	30	36	0.2	32" (MIN.)	68"	EXIT #8 - 34"; EXIT #15 - 34"
109	TENANT G	2,259 SF	30	76	0.2	32" (MIN.)	68"	EXIT #9 - 34"; EXIT #10 - 34"; EXIT #13 - 34"
111	TENANT H	1,084 SF	30	36	0.2	32" (MIN.)	68"	EXIT #11 - 34"; EXIT #12 - 34"
Grand Total				451				



ENERGY CODE SUMMARY			
PROJECT DATA:	COUNTY:	OSCEOLA	
	CLIMATE ZONE:	2A-WARM HUMID	
	C401.2 APPLICATION COMPLIANCE:	2. COMPLIANCE WITH SECTIONS C402, C403, C404, C405, AND C408. THIS COMMERCIAL BUILDING WILL ALSO COMPLY WITH C406 AND FUTURE TENANT SPACES MUST COMPLY WITH C406.1.1	
C402 BUILDING ENVELOPE REQUIREMENTS:	C402.1 GENERAL (PRESCRIPTIVE):	THIS BUILDING WILL COMPLY WITH THE FOLLOWING REQUIREMENTS BASED ON COMPLIANCE PATH 2 FOR ENVELOPE REQUIREMENTS: 1. THE OPAQUE PORTIONS OF THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE SPECIFIC REQUIREMENTS OF SECTION C402.2 AND THE THERMAL REQUIREMENTS OF THE R-VALUE BASED METHOD OF SECTION C402.1.3 2. ROOF SOLAR REFLECTANCE AND THERMAL EMITTANCE SHALL COMPLY WITH SECTION C402.3 3. FENESTRATION IN BUILDING ENVELOPE ASSEMBLIES SHALL COMPLY WITH SECTION C402.4 4. AIR LEAKAGE OF BUILDING ENVELOPE ASSEMBLIES SHALL COMPLY WITH SECTION C402.5	
	C402.1.3 INSULATION COMPONENT R-VALUE BASED METHOD	TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS: R-VALUE METHOD	
		REQUIRED	PROVIDED
	INSULATION ENTIRELY ABOVE DECK	MINIMUM R-25ci	R-25ci
	WALLS ABOVE GRADE: MASS: METAL FRAMED:	MINIMUM R5.7ci* MINIMUM R-13 + R-5ci	SEE EXCEPTION FOR FILLED CELLS IN CMU WALLS; NOT APPLICABLE
	WALLS BELOW GRADE:	NOT REQUIRED	NOT PROVIDED
	FLOORS: MASS: JOIST / FRAMING:	MINIMUM R6.3ci MINIMUM R-30	NOT APPLICABLE NOT APPLICABLE
	SLAB ON GRADE FLOORS: UNHEATED SLABS: HEATED SLABS:	NOT REQUIRED MINIMUM R-7.5 FOR 12" BELOW	NOT PROVIDED NOT APPLICABLE
	OPAQUE DOORS: NONSWINGING:	MINIMUM R-4.75	R-5
		*EXCEPTION FOR MASS WALLS ABOVE GRADE: R-5.7ci IS ALLOWED TO BE SUBSTITUTED WITH CONCRETE BLOCK WALLS COMPLYING WITH ASTM C90, UNROUTED OR PARTIALLY GROUTED AT 32 INCHES OR LESS ON CENTER VERTICALLY AND 48 INCHES OR LESS ON CENTER HORIZONTALLY, WITH UNROUTED CORES FILLED WITH MATERIALS HAVING A MAXIMUM THERMAL CONDUCTIVITY OF 0.44 Btu-in/h-ft ² -F (U-FACTOR OF .44 PER INCH). THE CMU WALLS WILL BE FILLED IN ALL UNROUTED CORES WITH A FOAMED-IN PLACE INSULATION THAT HAS A R-VALUE OF 4.91 PER INCH (U-FACTOR OF .20 PER INCH).	
C402.3 MINIMUM ROOF REFLECTANCE AND EMITTANCE OPTIONS	LOW SLOPED ROOFS DIRECTLY ABOVE COOLED CONDITIONED SPACES IN CLIMATE ZONES 1, 2, AND 3 SHALL COMPLY WITH ONE OR MORE OPTIONS IN TABLE C402.3 (BELOW)		
	A. THREE-YEAR AGED SOLAR REFLECTANCE OF .55 AND A THREE-YEAR AGED THERMAL EMITTANCE OF .75		
	B. THREE-YEAR AGED SOLAR REFLECTIVE INDEX OF 64	THREE-YEAR AGED SRI - 85	
C402.4 FENESTRATION (PRESCRIPTIVE):	FENESTRATION WILL COMPLY WITH SECTIONS C402.4 THROUGH C402.4.4 AND TABLE C402.4		
	REQUIRED	PROVIDED	
U-FACTORS			
FIXED FENESTRATION	MAXIMUM .50	.28	
OPERABLE FENESTRATION	MAXIMUM .45	N/A	
ENTRANCE DOORS	MAXIMUM .83	.50	
SHGC (MOST RESTRICTIVE)			
ORIENTATION (SEW)	MAXIMUM .25	.23	
PROJECTION FACTOR < 0.2			
SKYLIGHTS	MAXIMUM .65	N/A	
U-FACTOR	MAXIMUM .35	N/A	
SHGC			
C402.4.1 MAXIMUM AREA	MAX VERTICAL FENESTRATION AREA SHALL NOT BE GREATER THAN 30 % OF THE GROSS ABOVE-GRADE AREA.		OVERALL VERTICAL GLAZING AREA = 700 SF GLAZING / 6,000 SF FLOOR = 12%
	SKYLIGHT AREA SHALL NOT BE GREATER THAN 3% OF THE GROSS ROOF AREA.		N/A

Larson Design Group
3000 WESTINGHOUSE DRIVE, SUITE 400
CRANBERRY TOWNSHIP, PA 16006

SUBCONSULTANT

SEAL

COMMENTS

RESPONSE TO COMMENTS

DATE

MARK

LIFE SAFETY PLAN

PONCIANA MULTI-TENANT
4423-4443 S PONCIANA BOULEVARD
KISSIMMEE, FLORIDA 34758

Date: April 25, 2025
Project No.: 13427-001
Sheet No.: **G-002**

PERMIT SET

1. DOTS TO BE 0.09" (2.2 MM) TO 0.1" (2.5 MM) ON CENTER IN EACH CELL.
2. 0.241" (6.1 MM) TO 0.3" (7.6 MM) SPACE BETWEEN CELLS HORIZONTALLY.
3. 0.395" (10 MM) TO 0.4" (10.2 MM) SPACE BETWEEN CELLS VERTICALLY.
4. DOTS RAISED 0.025" (0.6 MM) TO 0.037" (0.9 MM) ABOVE BACKGROUND.
5. DOTS BASE DIAMETER TO BE 0.059" (1.5 MM) TO 0.063" (1.6 MM).

1. CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.
2. WHERE DOORS OPEN ONTO, BUT NOT INTO, A CORRIDOR THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48"

GENERAL RESTROOM SIGNAGE

STAIR HANDRAILS

MAXIMUM FORWARD REACH OVER AN OBSTRUCTION

SIDE REACH OVER AN OBSTRUCTION

(WHERE INDICATED)
A NARROW FRAME WITH A BEVELED TOP EDGE
(60 DEGREE MAXIMUM BEVEL TO HORIZONTAL
PLANE)
INSTALLED AT THE BOTTOM OF A GLASS DOOR
(WITH NO SIDE FRAMES) MAY BE USED IN LIEU
OF PROVIDING THE REQUIRED 10-INCH
UNINTERRUPTED SURFACE AT THE BOTTOM OF
THE DOOR.

NOT ALL HANDICAP COMPONENTS MAY BE
USED IN THIS PROJECT. THIS SHEET IS
PROVIDED FOR GENERAL REFERENCE
ONLY.



COMMENTS

RESPONSE TO COMMENTS

2025.06.2

1

POINCIANA MULTI-TENANT

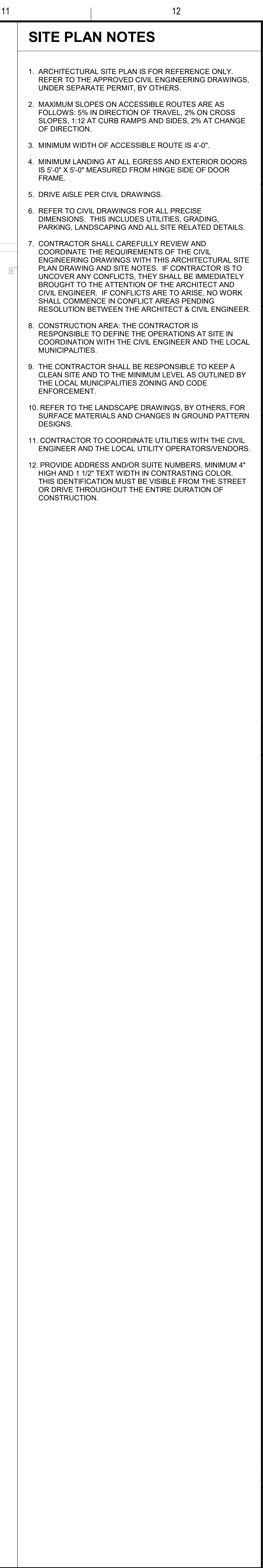
ACCESSIBILITY STANDARDS

Sheet No.:

G-003

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PERMIT SET



1. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY. REFER TO THE APPROVED CIVIL ENGINEERING DRAWINGS, UNDER SEPARATE PERMIT, BY OTHERS.
2. MAXIMUM SLOPES ON ACCESSIBLE ROUTES ARE AS FOLLOWS: 1% IN DIRECTION OF TRAVEL, 2% ON CROSS SLOPES, 1:12 AT CURB RAMPS AND SIDES, 2% AT CHANGE OF DIRECTION.
3. MINIMUM WIDTH OF ACCESSIBLE ROUTE IS 4'-0".
4. MINIMUM LANDING AT ALL EGRESS AND EXTERIOR DOORS IS 5'-0" X 5'-0" MEASURED FROM HINGE SIDE OF DOOR FRAME.
5. DRIVE ASILE PER CIVIL DRAWINGS.
6. REFER TO CIVIL DRAWINGS FOR ALL PRECISE DIMENSIONS. THIS INCLUDES UTILITIES, GRADING, PARKING, LANDSCAPING AND ALL SITE RELATED DETAILS.
7. CONTRACTOR SHALL CAREFULLY REVIEW AND COORDINATE THE REQUIREMENTS OF THE CIVIL ENGINEERING DRAWINGS WITH THIS ARCHITECTURAL SITE PLAN DRAWING AND SITE NOT. IF CONTRACTOR IS TO UNCOVER ANY CONFLICTS, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND COORDINATION WITH THE ARCHITECT. NO WORK SHALL COMMENCE IN CONFLICT AREAS PENDING RESOLUTION BETWEEN THE ARCHITECT & CIVIL ENGINEER.
8. CONSTRUCTION AREA: THE CONTRACTOR IS RESPONSIBLE TO DEFINE THE OPERATIONS AT CONSTRUCTION WITH THE CIVIL ENGINEER AND THE LOCAL MUNICIPALITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP A CLEAN SITE AND TO THE MINIMUM LEVEL AS OUTLINED BY THE LOCAL MUNICIPALITIES ZONING AND CODE ENFORCEMENT.
10. REFER TO THE LANDSCAPE DRAWINGS, BY OTHERS, FOR SURFACE MATERIALS AND CHANGES IN DRAIN PATTERN DESIGNS.
11. CONTRACTOR TO COORDINATE UTILITIES WITH THE CIVIL ENGINEER AND THE LOCAL UTILITY OPERATORS/VENDORS.
12. PROVIDE ADDRESS AND/OR SUITE NUMBERS, MINIMUM 4" HIGH AND 1 1/2" TEXT WIDTH IN CONTRASTING COLOR. THIS IDENTIFICATION MUST BE VISIBLE FROM THE STREET THROUGHOUT THE ENTIRE DURATION OF CONSTRUCTION.

POINCIANA MULTI-TENANT
4423-4443 S POINCIANA BOULEVARD
KISSIMEE, FLORIDA 34758

ARCHITECTURAL SITE PLAN

ARCHITECTURAL SITE PLAN

A-001


PERMIT SET

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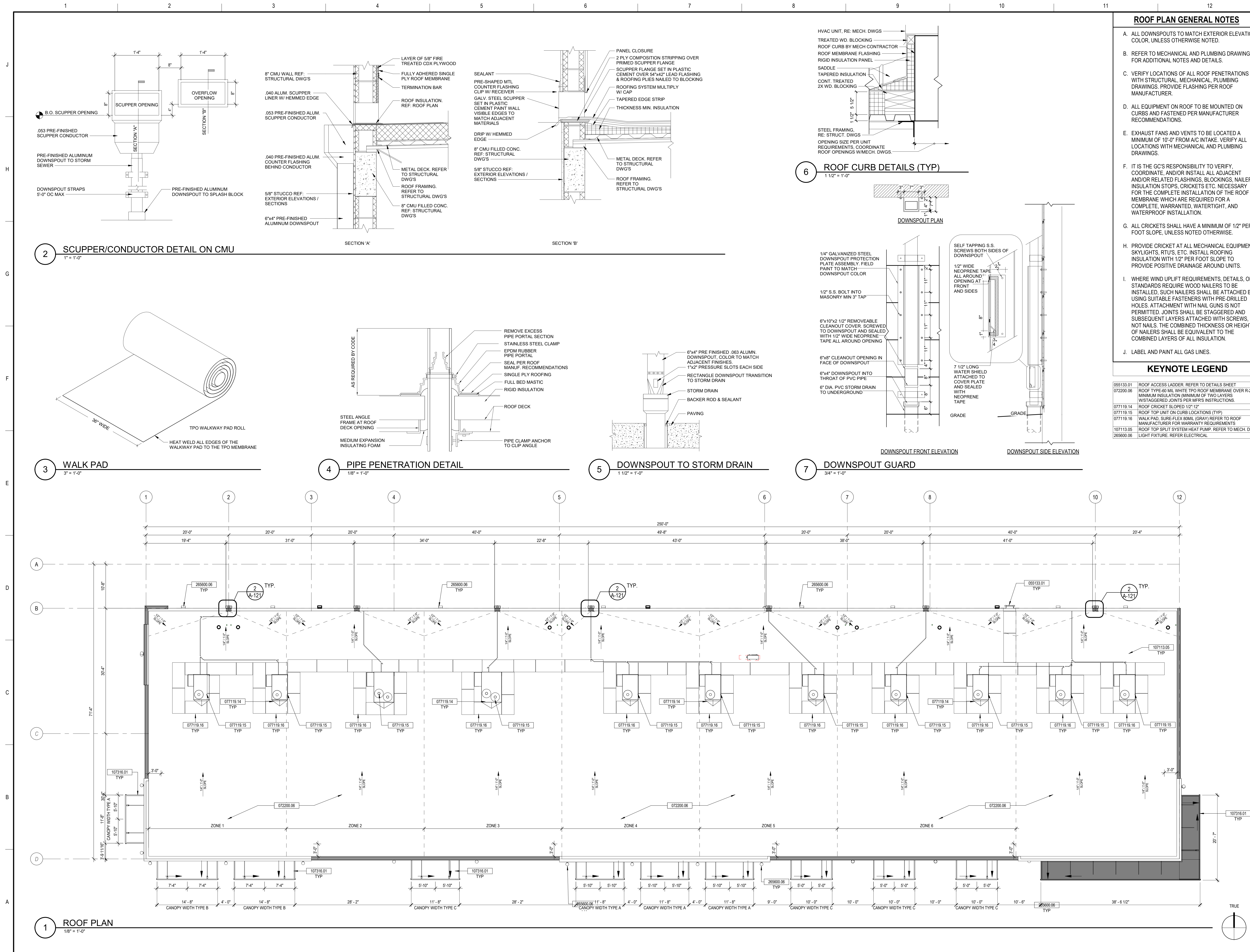


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POINCIANA MULTI-TENANT
4423-4443 S POINCIANA BOULEVARD
KISSIMEE, FLORIDA 34758

ROOF PLAN

Date: April 25, 2025
Project No.: 13427-001
Sheet No.:

A-121

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LDG
Larson Design Group
3000 WESTINGHOUSE DRIVE, SUITE 400
CRANBERRY TOWNSHIP, PA 16006

SUBCONSULTANT
MICHAEL J. LARSON
ARCHITECT
P.A.
AR102289
REGISTERED ARCHITECT
PENNSYLVANIA

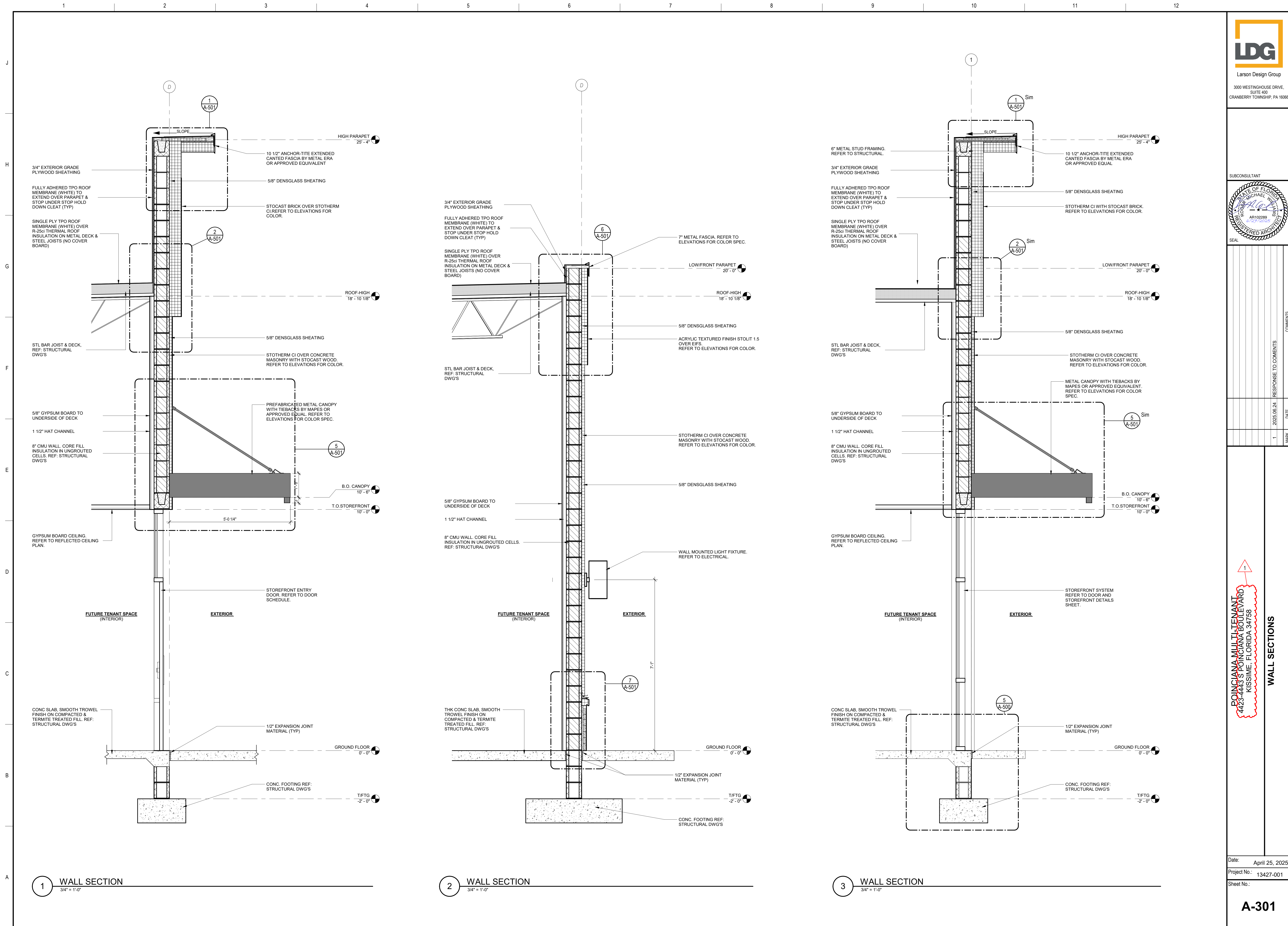
NO.	DATE	REVISION	BY	CHKD.	APP'D.
1	2025.06.24	RESPONSE TO COMMENTS			

PERMIT SET



MATERIAL SCHEDULE					
SAMPLE	MARK	MATERIAL	MANUFACTURER	DESCRIPTION & COLOR	CONTACT
	EF01	STOCAST WOOD ON STOTHERM CI SYSTEM	STO CORP. OR APPROVED EQUAL	ALDER VT192393	
	EF02	STOCAST BRICK ON STOTHERM CI SYSTEM	STO CORP. OR APPROVED EQUAL	BRIGHTON S9.4748. GROUT COLOR: GRAPHITE 2061	
	EF03	STOCAST WOOD ON STOTHERM CI SYSTEM	STO CORP. OR APPROVED EQUAL	GREY 38101	
	EF04	ACRYLIC TEXTURED FINISH STOLIT 1.5 OVER EIFS PAINTED.	STO CORP. OR APPROVED EQUAL	PAINT COLOR: SW 9563 (BEDROCK)	
	CMU	8" CMU PAINTED		COLOR: SW 7064 (PASSIVE)	
	CNP	MAPES OR APPROVED ARCHITECTURAL CANOPY		COLOR: SW 6991 (BLACK MAGIC)	
	AL 1	KAWNEER ALUMINUM STOREFRONT SYSTEM		COLOR: #29 BLACK	
	M1	COPING CAP/FASCIA		COLOR: SW 6991 (BLACK MAGIC)	
	M2	10 1/2" ANCHOR-TITE EXTENDED CANTED FASCIA	METAL ERA OR APPROVED EQUAL	COLOR: TO MACTH SW 6991 (BLACK MAGIC)	
	ST1	QUICKSTACK STONE VENEER	CORONADO	COLOR: ANTIQUE CREAM	

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Multi-tenant\\13427-001_Poinciana_Arch_V22.rvt



MARK	DATE	RESPONSE TO COMMENTS	COMMENTS
1	2025.06.24		

1
POINCIANA MULTI-TENANT
4423-4443 S POINCIANA BOULEVARD
KISSIMEE, FLORIDA 34758

WALL SECTIONS

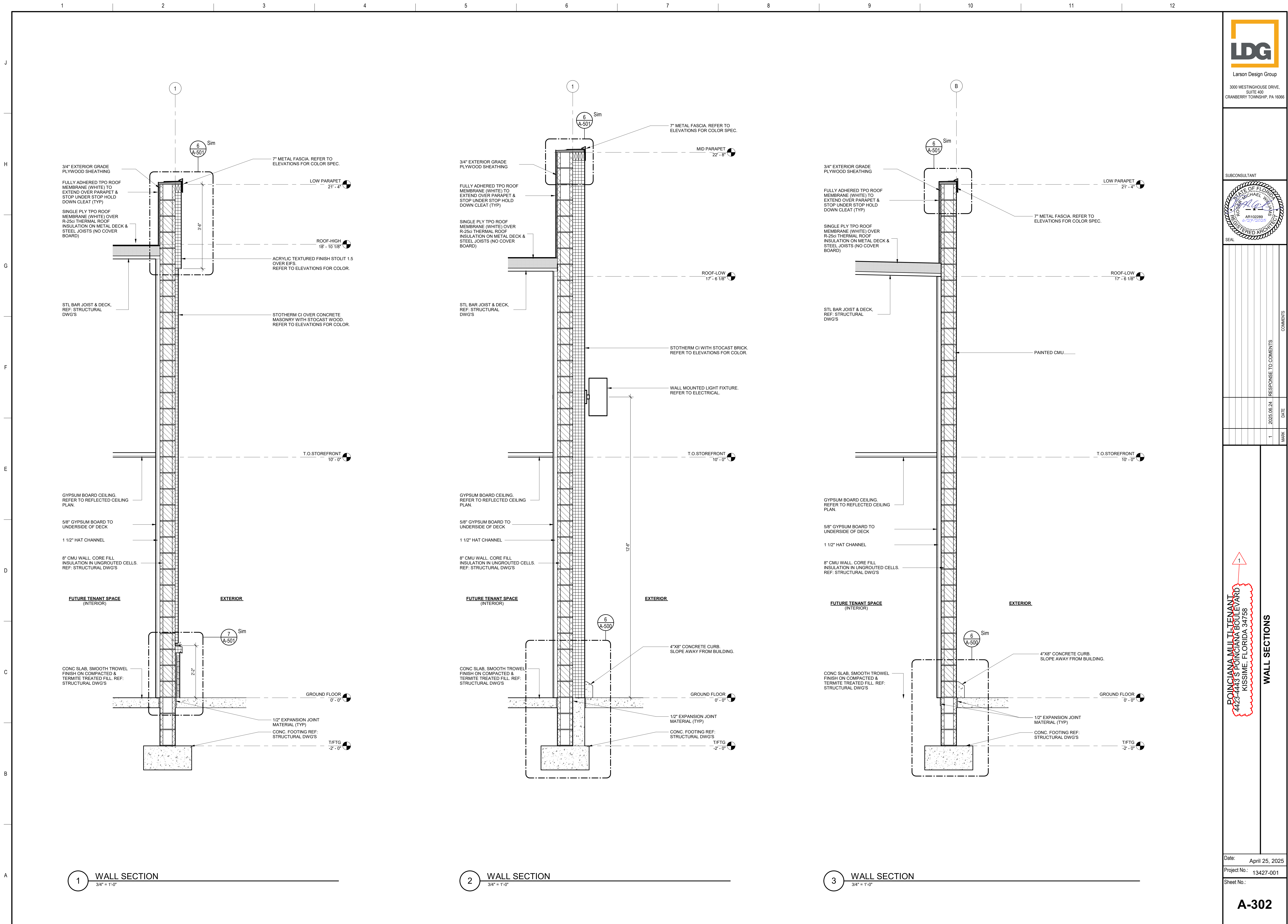
Date: April 25, 2025
Project No.: 13427-001
Sheet No.:

A-301

PERMIT SET

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MARK	DATE	COMMENTS
1	2025.06.24	RESPONSE TO COMMENTS

POINCIANA MULTI-TENANT
4423-4443 S POINCIANA BOULEVARD
KISSIMEE, FLORIDA 34758

WALL SECTIONS

<u>WATER CLOSET</u> <u>CLEARANCE</u>	<u>WATER CLOSET STALL</u> <u>CLEARANCE</u>

URINAL CLEARANCE

DRINKING
FOUNTAIN PLAN

<u>WATER CLOSET</u>	<u>WATER CLOSET STALL</u>
<u>TOE CLEARANCE</u>	

URINALS

LAVATORIES

DRINKING FOUNTAIN
ELEVATION

ACCESSORY MOUNTING DIAGRAMS

5 ELEVATION D
3/4" = 1'-0"

4 ELEVATION C
3/4" = 1'-0"

3 ELEVATION B
3/4" = 1'-0"

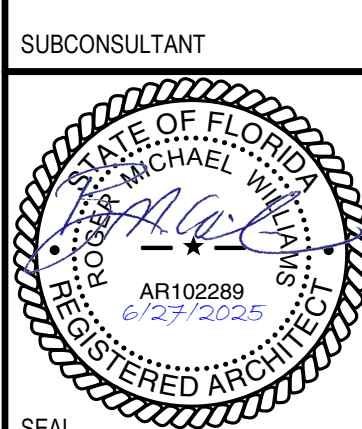
2 ELEVATION A
3/4" = 1'-0"

1 ENLARGED RESTROOMS PLAN
3/4" = 1'-0"



Larson Design Group

3000 WESTINGHOUSE DRIVE,
SUITE 400
CRANBERRY TOWNSHIP, PA 1606



35

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POINCIANA MIJ TI-TENANT
4423-4443 S POINCIANA BOULEVARD

ENLARGED PLANS & DETAILS

Date: April 25, 2025

Project No.: 10487-001

Sheet No.:

A-401

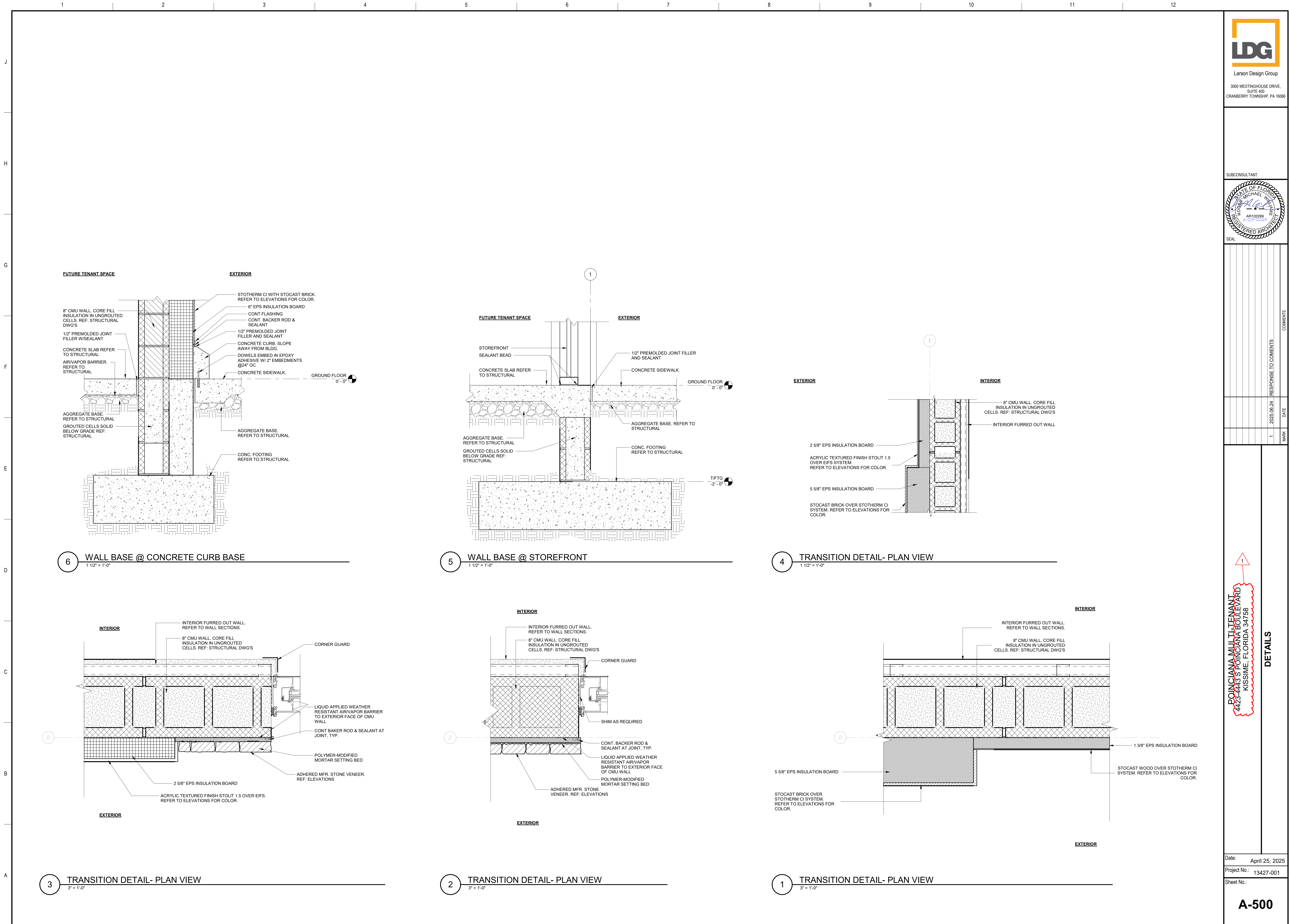
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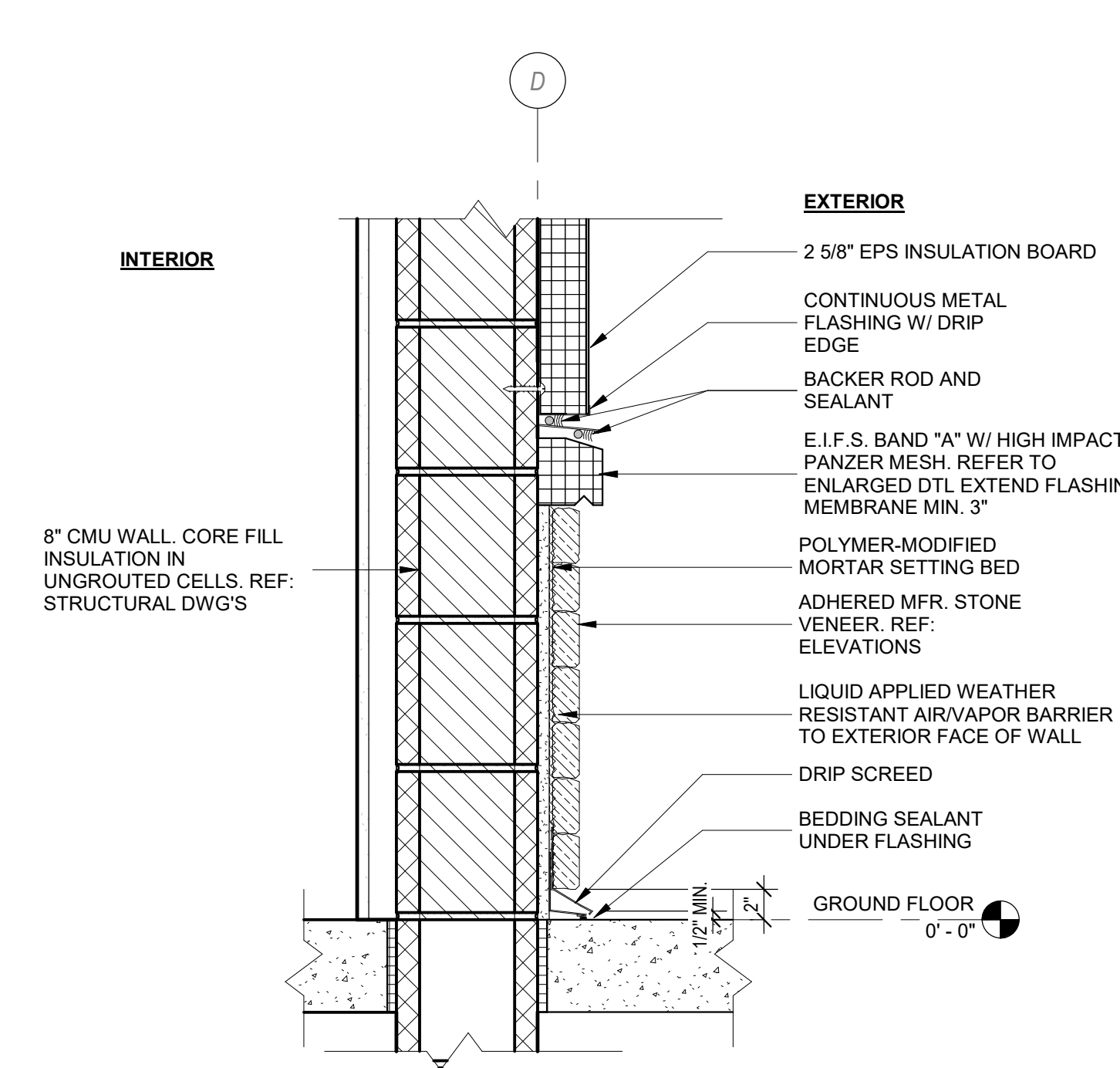
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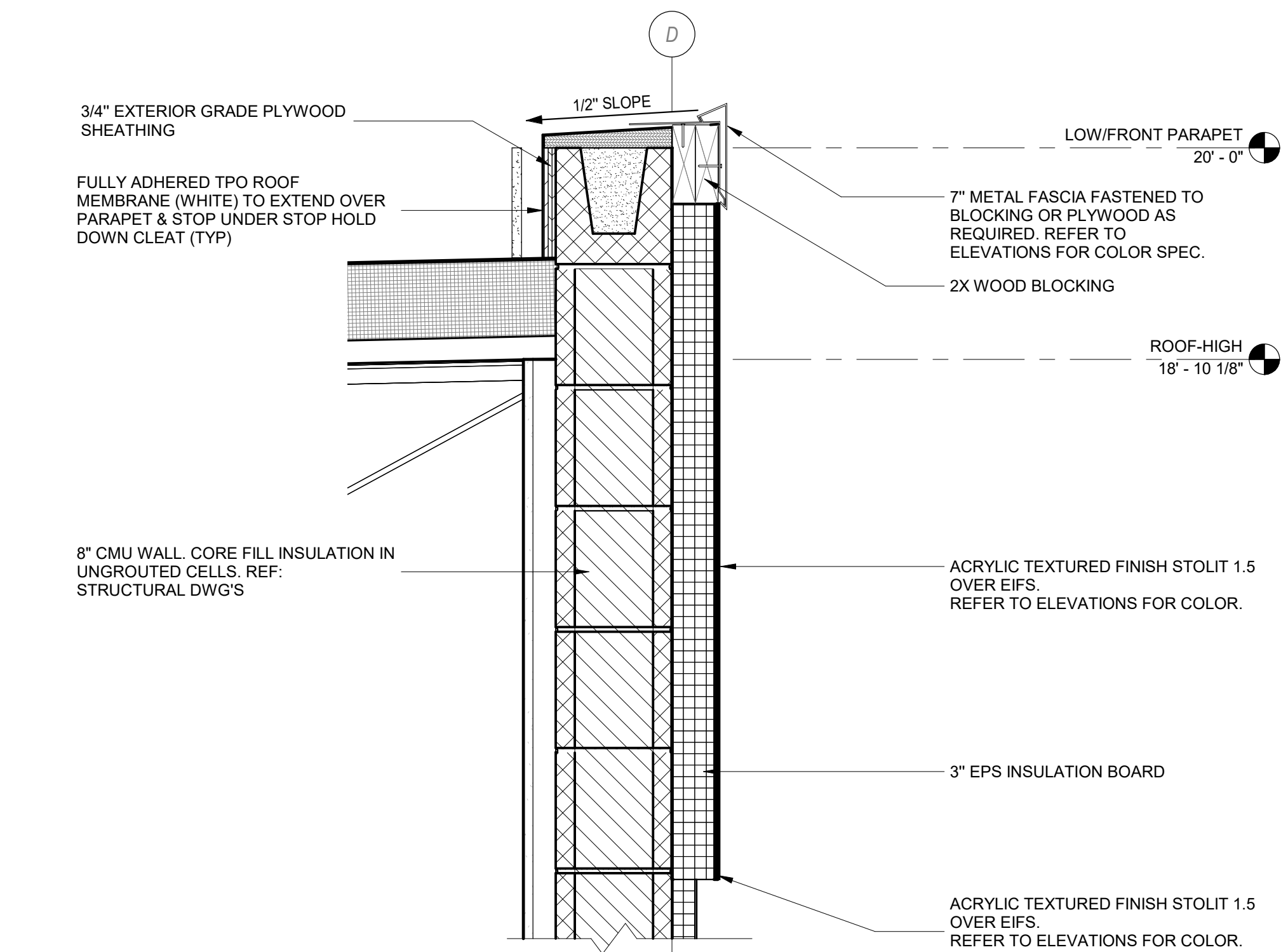
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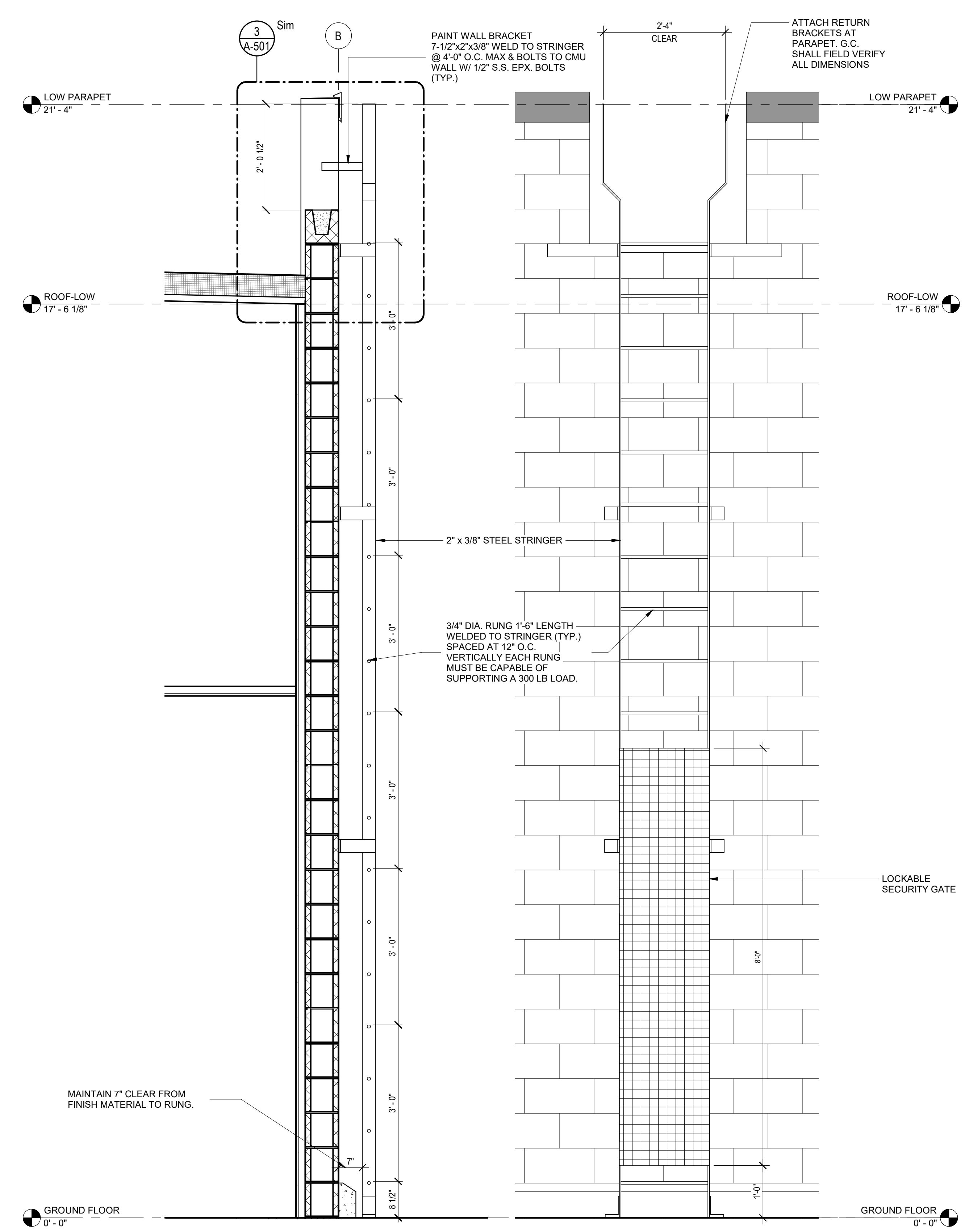




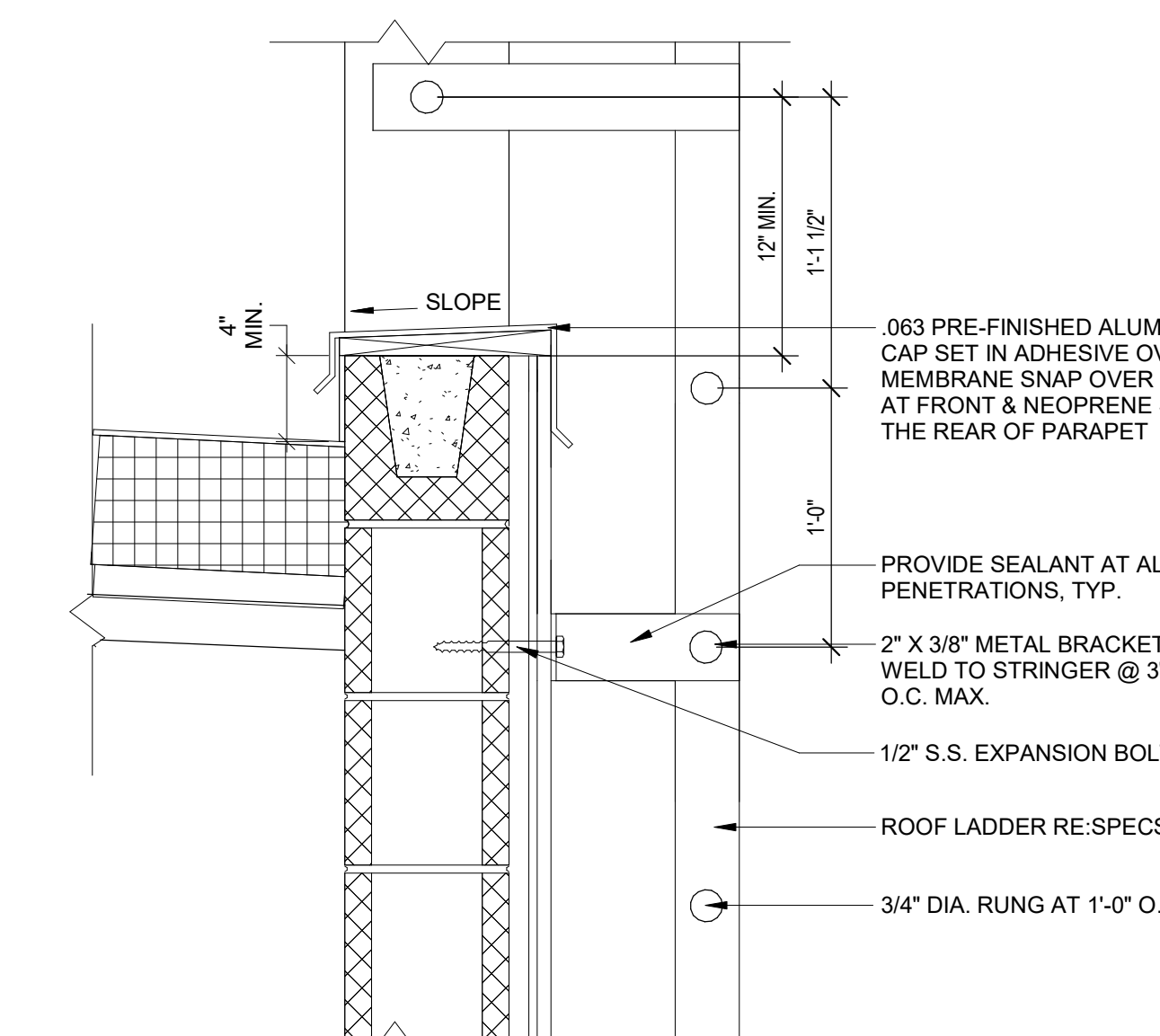
7 STONE VENEER @ METAL STUD WALL
1 1/2" = 1'-0"



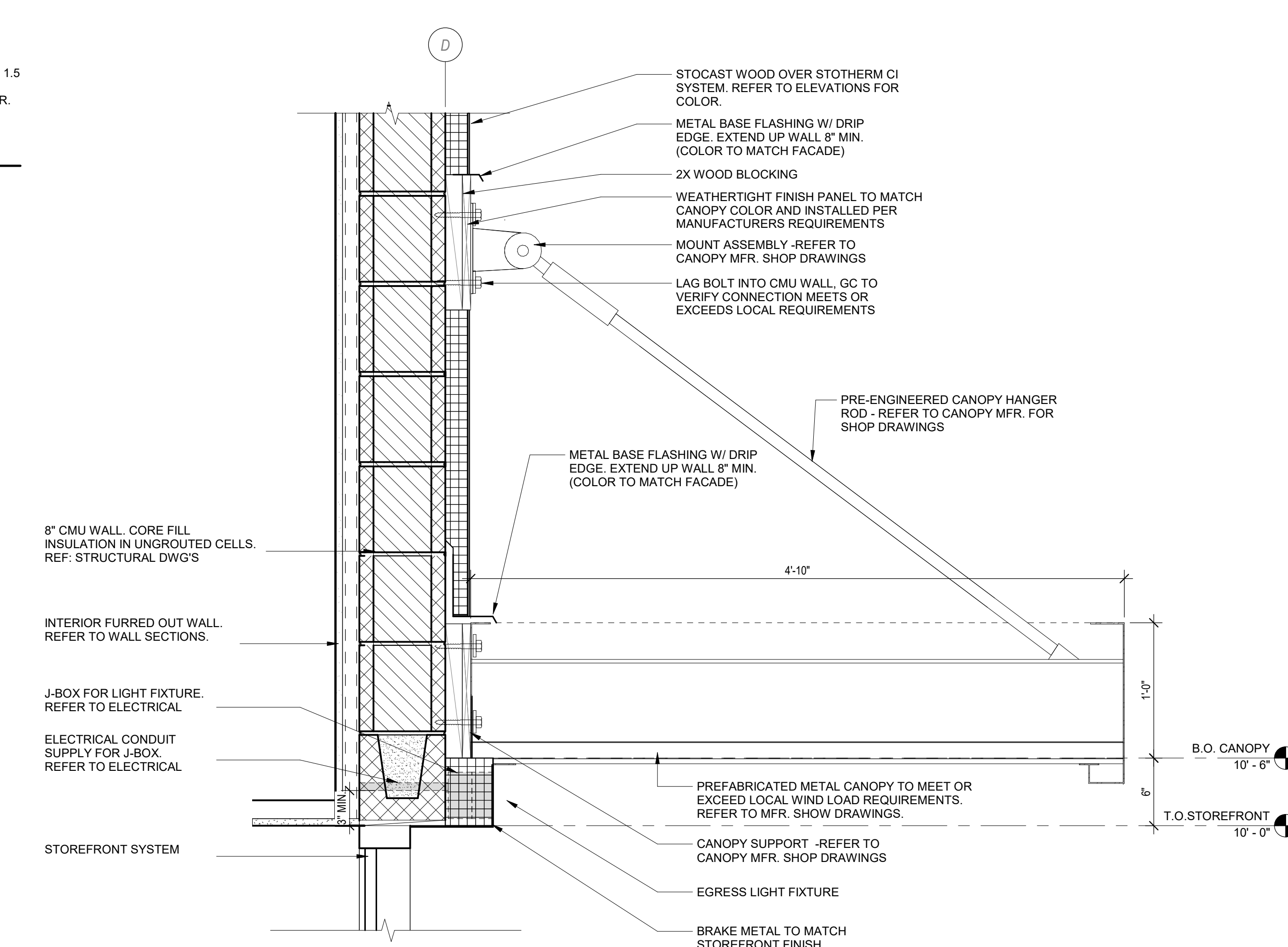
6 PARAPET DETAIL



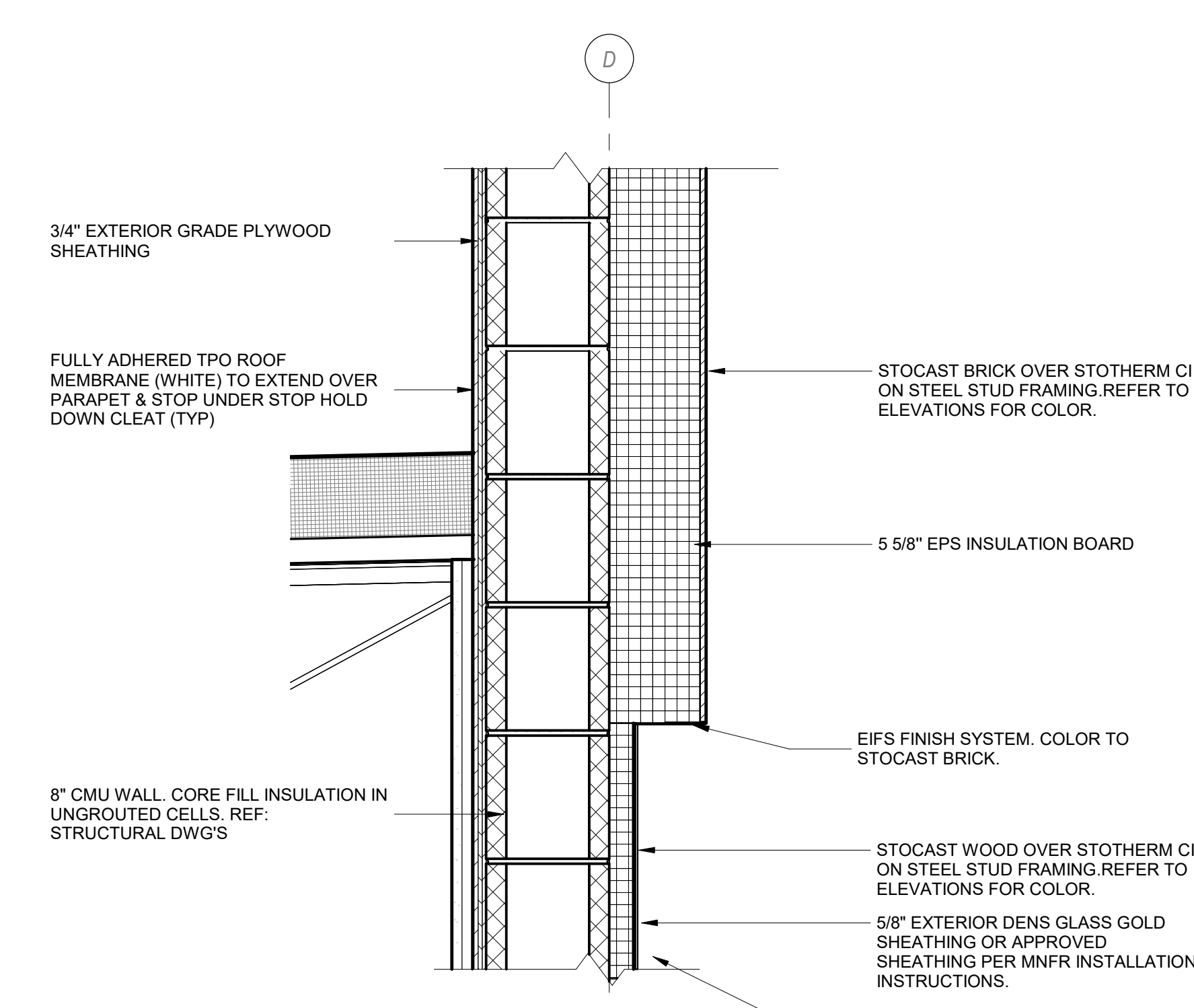
4 ROOF ACCESS LADDER - DETAILS



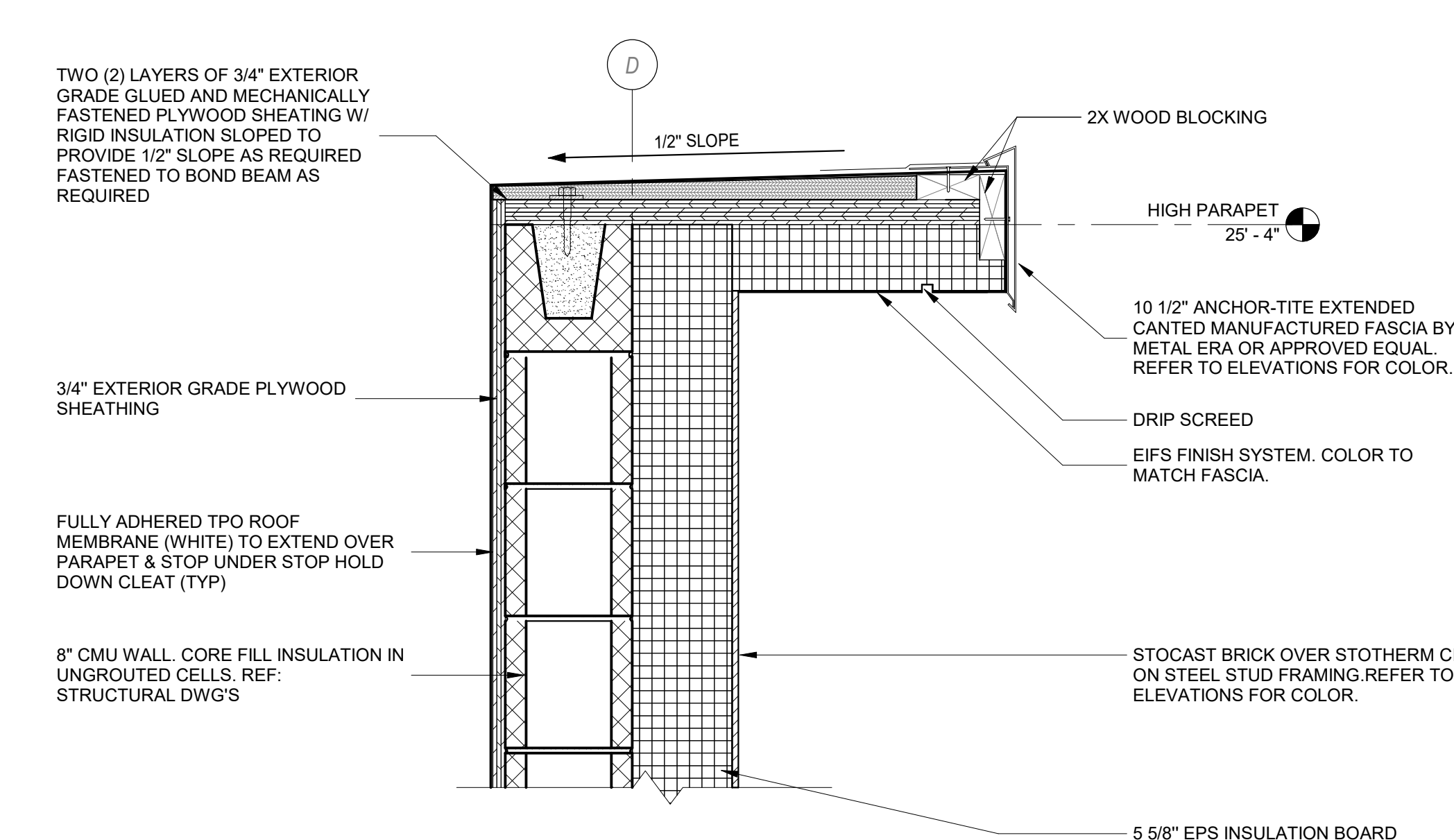
3 ROOF LADDER DETAIL.
1 1/2" = 1'-0"



5 CANOPY DETAIL
1 1/2" = 1'-0"



2 TRANSITION DETAIL
1 1/2" = 1'-0"



1 PARAPET DETAIL
1 1/2" = 1'-0"

HARDWARE SCHEDULE**HARDWARE SET #1**

PAIR EXTERIOR ALUMINUM DOOR - ADA ACCESSIBLE

QTY	HARDWARE	SPEC.	FINISH	MANUFACTURER	REMARKS
6	HINGES	TA2314 NRP	US26D	MCKINNEY	
2	PULL	BF158	US32D	ROCKWOOD	
1	PUSH	47	US32D	ROCKWOOD	
1	DEADLOCK	MS1850	US28	ADAMS RITE	
2	DOOR CLOSER	1431 PS	EN	SARGENT	
1	THRESHOLD	200SAT x LAR	AL	PEMCO	

HARDWARE SET #2

SINGLE EXTERIOR ALUMINUM DOOR - ADA ACCESSIBLE

QTY	HARDWARE	SPEC.	FINISH	MANUFACTURER	REMARKS
1	CLOSER	LCN 4021 X 18	693 BLACK	ALLEGION/LCN	
3	HINGES OFFSET PIVOT	ANSI -A-156.4 GRADE 1	#29 BLACK	SUPPLIED BY DOOR MNF (KAWNEER OR APPROVED EQUIVALENT)	
1	PUSH/PULL HANDLE	KAWNEER #CO-9 OR HAGER PUSH/PULL SET 164D/VB.	TO MATCH STOREFRONT DOOR	KAWNEER OR HAGER	
1	PANIC HARDWARE	MFG. CO. 8800 SERIES WITH OUTSIDE CYLINDER	TO MATCH STOREFRONT DOOR	ADAMS RITE	
1	THRESHOLD	1013-74 74" MILL ALUMINUM SADDLE THRESHOLD, 74" WIDE x 1/2" RISE (ADA ACCESSIBLE)	ALUMINUM	NATIONAL GUARD	
1	WEATHER STRIPPING				PROVIDE COMPRESSION WEATHER STRIPPING AGAINST FIXED STOPS. AT OTHER EDGES PROVIDE SLIDING WEATHER STRIPPING RETAINED IN ADJUSTABLE STRIP MORTISED INTO DOOR EDGE. PROVIDE EPDM OR VINYL GASKET WEATHER STRIPPING IN BOTTOM DOOR RAIL ADJUSTABLE FOR CONTACT W/ THRESHOLD.
1	SIGN	MOUNT ONTO DOOR			SIGN MOUNT ONTO DOOR, TO READ "THIS DOOR MUST REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED/DURING BUSINESS HOURS."

HARDWARE SET #3

SINGLE EXTERIOR TENANT REAR EXIT

QTY	HARDWARE	SPEC.	FINISH	MANUFACTURER	REMARKS
3	HINGES	FBB191, 4 1/2" X 4 1/2" NRP(1 1/2" PAIR)	US32D	STANLEY	
1	KICKPLATE	K1050 8"X DOOR WIDTH (MINUS 2")	US32D	ROCKWOOD	
1	ALARM EXIT LOCK	LOCK-SGL ECL-230D-PH ECL-1995	GRAY	DETEX	
1	CHAIN CRASH STOP	IVES#CS115 X 25 1/2"	US26D	PEMCO	
1	PULL	ROCKWOOD 131	US26D	ROCKWOOD	
1	WEATHERSTRIPPING (INCLUDES) :	NATIONAL GUARD C627A (BRUSH SEAL) NATIONAL GUARD MODEL 16A (DRIP CAP) NATIONAL GUARD 122NA (HEAD & JAMB GASKETING) NATIONAL GUARD 424E (THRESHOLD)		NATIONAL GUARD	

HARDWARE SET #4

SINGLE INTERIOR RESTROOM

QTY	HARDWARE	SPECS	FINISH	MANUFACTURER	REMARKS
3	HINGES	TA2714	US26D	MCKINNEY	
1	PRIVACY LEVER LOCKSET (IND)	YPL02 AU	626	YALE	
1	STOP	409/411 AS REQ'D	US32D/26D	ROCKWOOD	
3	SILENCERS	608	--	ROCKWOOD	

HARDWARE SET #5

QTY	HARDWARE	SPECS	FINISH	MANUFACTURER	REMARKS
1	LOCK L9010 #06 LEVER BOTH SIDES	LOCK L9010 #06	US 26D	SCHLAGE	
1-1/2	PR. BUTTS - BB1191 4.5 x 4.5 NRP	BB1191 4.5 x 4.5 NRP	USP	HAGER	

HARDWARE SET #6

QTY	HARDWARE	SPECS	FINISH	MANUFACTURER	REMARKS
1	MORTISE CYLINDER #1E-7-6-C181-RP1 X L/C	#1E-7-6-C181-RP1 X L/C	626	BEST	SLIDE DOOR SYSTEM/DURA-STORM 2000 SERIES (STANLEY). THRESHOLD & MOTOR HEADER INCLUDED. TRANSOM SUPPLIED AND INSTALLED BY STANLEY (UP TO 12" HIGH). INCLUDES BREAKOUT FOR EMERGENCY AT SLIDING PANELS.
1	TURNKNOB #1EA-6-A4-C413-RP2	#1EA-6-A4-C413-RP2	626	BEST	

GENERAL NOTES:

- A. ALL EXTERIOR DOOR LOCKS SHALL COMPLY WITH FFPC 7TH EDITION INCLUDING NFPA 1 & 101. 2018 EDITION THUMB TURN LOCKS TO COMPLY WITH EXCEPTION #2. INDICATING LOCKS ARE REQUIRED ON ALL ENTRANCE DOOR INTERIORS.
- B. THE PROJECT COMPLIES W/ ADA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
- C. (XXX) DENOTES BUILDING ADDRESS. VERIFY ADDRESS & INSTALL VINYL NUMBERS IN SIZE AND COLOR SPECIFIED BY LOCAL BUILDING DEPARTMENT.
- D. VERIFY ALL DIMENSIONS IN FIELD. DO NOT SCALE DRAWINGS.
- E. ALL REAR EXITS TO HAVE A CONTROL JOINT IN SLAB AT THRESHOLD.
- F. ALL DOORS & OTHER OPENINGS, SIZE QUANTITY, LOCATION, & SPECIFICATION TO BE COORDINATED W/ OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO CONSTRUCTION.
- G. HOLLOW METAL DOORS TO HAVE U-VALUE OF U-0.83 MAX & SOLAR HEAT GAIN COEFFICIENT (SHGC SEW) 0.25.

DOOR AND FRAME SCHEDULE																
DOOR NO.	ROOM NAME	TYPE	DOOR			GLASS			Frame Type	FRAME			FIRE RATING	HARDWARE		NOTES
			SGL / PR / PR-U	WIDTH	HEIGHT	MATERIAL	TYPE	SIZE		MATERIAL	JAMB DETAIL	HEAD DETAIL		SET #	FUNCTION	
100	TENANT A	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
101	TENANT B	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
102	TENANT C	B	PR	11'-8"	7'-11"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	6	MAIN ENTRY	4
105	TENANT D	B	PR	11'-8"	7'-11"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	6	MAIN ENTRY	4
106	TENANT E	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
107	TENANT F	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
108	TENANT G	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
109	TENANT G	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
110	TENANT H	A	SGL	3'-0"	7'-0"	AL	TEMPERED	SEE DOOR TYPES 1	1	AL	5/A-602	6/A-602	---	2	MAIN ENTRY	4
111	TENANT H	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
112	TENANT H	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
113	TENANT G	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
114	TENANT G	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
117	TENANT F	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
118	TENANT F	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
119	TENANT E	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
120	TENANT E	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
121	TENANT D	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
122	TENANT D	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
123	TENANT C	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
125	TENANT C	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
129	TENANT B	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
130	TENANT B	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
131	TENANT A	C	SGL	3'-0"	7'-0"	WD			1	HM	2/A-602	3/A-602	---	4	PRIVACY	1.3
132	TENANT A	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4
212	RISER ROOM	C	SGL	3'-0"	7'-0"	HM			2	HM	8/A-602	9/A-602	---	3	REAR EGRESS	2.4

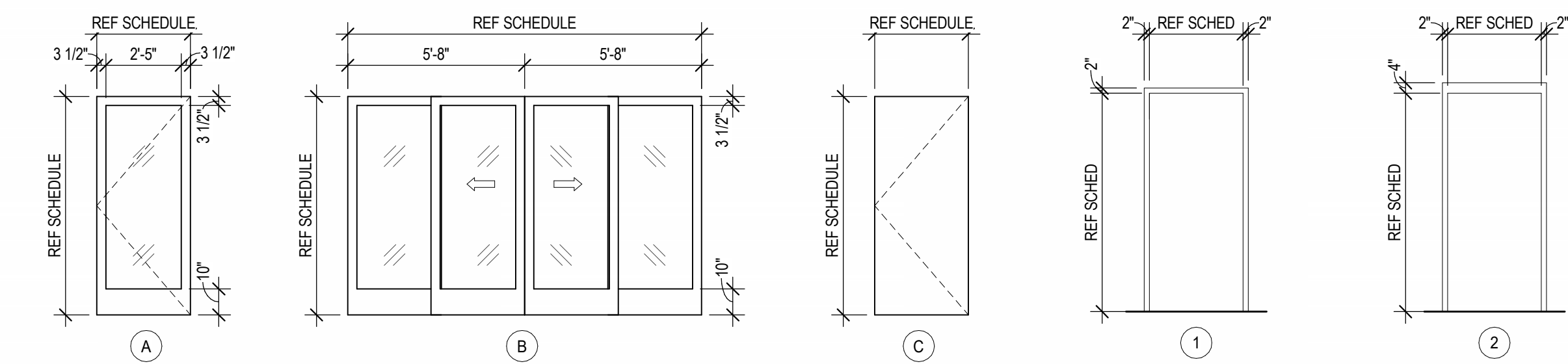
DOOR & FRAME SCHEDULE NOTES

- UNDERCUT DOOR 1" TO ALLOW FOR FUTURE FLOORING.
- HM DOORS TO BE SHOP PRIMED, FIELD PAINTED AS NOTED ON PLANS.
- WOOD DOORS TO BE HOLLOW CORE, PAINT GRADE FINISH.
- INSTALL EXTERIOR DOORS AND FRAMES PER APPROVED FLORIDA PRODUCT APPROVAL INSTALLATION REQUIREMENTS TO MEET WIND DESIGN PRESSURES SPECIFIED ON STRUCTURAL DRAWINGS.
- NO SUBSTITUTIONS OR ALTERNATES ARE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE OWNER. ANY APPROVED ALTERNATES OR SUBSTITUTION AFTER THE BID DATE, THE OWNER SHALL RECEIVE FULL VALUE OF THE DIFFERENCE, INCLUDING ALL PROFIT.

GLAZING NOTES

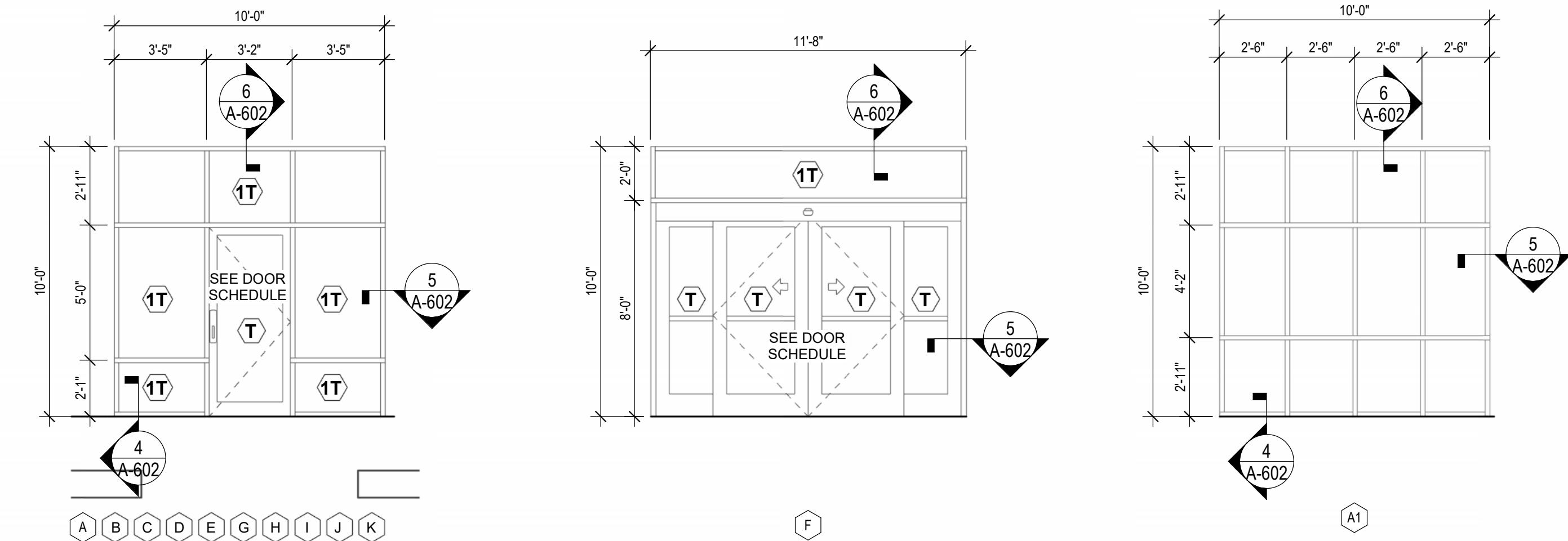
- EXTERIOR STOREFRONT SHALL MEET THE REQUIREMENTS OF THE FBC ENERGY CODE. REFER TO ENERGY CODE REVIEW.
- ALUMINUM STOREFRONT FINISH TO BE BLACK ANODIZED.
- CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF SIGNED & SEALED SHOP DRAWINGS FOR REVIEW & SUBMISSION TO AUTHORITIES HAVING JURISDICTION.
- EXTERIOR STOREFRONT FRAMING SYSTEM MATERIALS, MEMBERS, AND ATTACHMENT SHALL MEET APPLICABLE WIND LOADING SHOWN ON THE STRUCTURAL DRAWINGS.

	TEMPERED SAFETY GLASS
	1" INSULATED TEMPERED GLASS



DOOR TYPES

FRAME TYPES

DOOR AND FRAME TYPES

STOREFRONT ELEVATIONS



Larson Design Group

3000 WESTINGHOUSE DRIVE,
SUITE 400
CRANBERRY TOWNSHIP, PA 16006

SUBCONSULTANT



SEAL

COMMENTS

RESPONSE TO COMMENTS

MARK

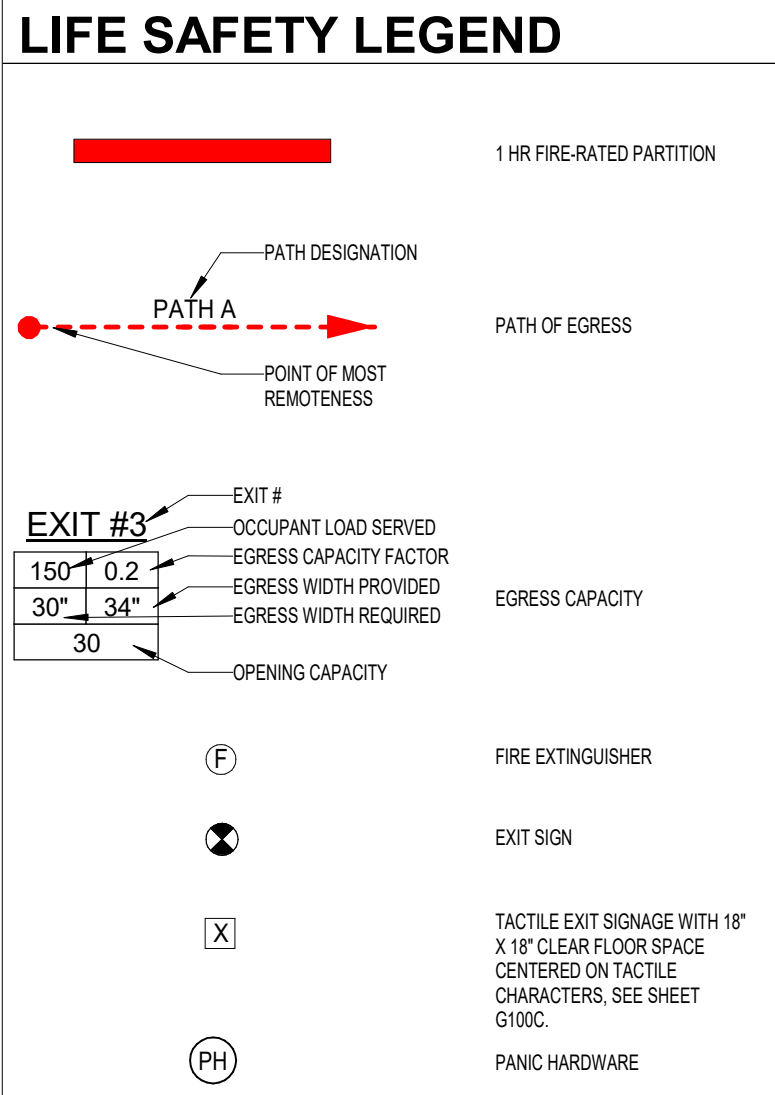
DOOR SCHEDULE, DOOR & FRAME TYPES, DETAILS

POINCIANA MULTI-TENANT
4423-4443 S POINCIANA BOULEVARD
KISSIMEE, FLORIDA 34758Date: April 25, 2025
Project No.: 13427-001
Sheet No.:**A-601**

FLORIDA PRODUCT APPROVALS											
SUBDIVISION	SUBDIVISION NAME	PRODUCT DESCRIPTION	BASIS OF DESIGN (MFR)	MODEL/DESIGN/TYPE	REMARKS / COMMENTS	SUBMITTAL REQUIRED (Y/N)	APPROVED EQUAL SUBSTITUTE	FPA#	FPA EXPIRATION	NOA#	NOA EXPIRATION
04 70 00.C	MANUFACTURED MAS.	SYNTHETIC STONE VENEER	CORONADO STONE	ANTIQUE CREAM	INSTALL PER MFR'S STANDARDS	N	N	FL31373-R1	2025/12/31	N/A	N/A
06 10 00.A	ROUGH CARPENTRY	FRT EXTERIOR PLYWOOD	NON-SPECIFIC	VARIES, REF: DRAWINGS	FIRE RATED	N	N	N/A	N/A	N/A	N/A
06 10 00.B	ROUGH CARPENTRY	CDX EXTERIOR PLYWOOD	NON-SPECIFIC	VARIES, REF: DRAWINGS	NON-FIRE RATED	N	N/A	N/A	N/A	N/A	N/A
07 10 00.E	DAMP-PROOFING / WATER PROOFING	TPO SINGLE PLY ROOF MEMBRANE	CARLISLE SYNTREC (SURE WELD)	60MIL, FULLY ADHERED/MECH. FASTENED	INSTALL PER MRF'S STANDARDS	Y	N	FL- 1601.2	2025/07/06	VARIES PER TYPE	N/A
07 20 00.H	THERMAL PROTECTION	ROOF INSULATION	NON-SPECIFIC	VARIES, REF: DRAWINGS	INSTALL PER MFR'S STANDARDS	N	N	N/A	N/A	N/A	N/A
07 21 40	THERMAL PROTECTION	WALL INSULATION	NON-SPECIFIC	VARIES, REF: DRAWINGS	INSTALL PER MFR'S STANDARDS	N	Y	N/A	N/A	N/A	N/A
07 24 00	THERMAL PROTECTION	EXTERIOR INSULATION & FINISH SYST.	STOTHERM CI	VARIES, REF: DRAWINGS	INSTALL PER MFR'S STANDARDS	Y	N	FL20110-R3	2024/01/17	N/A	N/A
08 10 00.B	DOORS & FRAMES	HOLLOW MTL DOOR INSULATED	ALLEGION-SCHLAG LOCK COMPANY	OUTSWING GLAZED SINGLE DOOR & HARDWARE	INSTALL PER MFR'S STANDARDS	Y	Y	FL 10356.6	2023/12/31	N/A	N/A
08 81 23	ENTRANCE STOREFRONTS & CURTAIN WALLS	STOREFRONT SYSTEM	KAWNEER	TRIFAB 451 W/MS 350 DOORS	INSTALL PER MFR'S STANDARDS	Y	Y	FL 7237.1	2023/12/31	N/A	N/A
08 81 23	GLAZING	EXTERIOR GLAZING	GUARDIAN GLASS	1" INSULATED IGU SNX 51/23 CLEAR, W/LOW E COATING ON #2 SURFACE	INSTALL PER MFR'S STANDARDS	N	Y	N/A	N/A	N/A	N/A
09 20 00.C	PLASTER & GYP BOARD	ACRYLIC TEXTURED FINISH	STOLIT 1.5 STO. CORP.	5/8" OR 7/8"	INSTALL PER MFR'S STANDARDS	Y (ONLY FOR COLOR)	Y	N/A	N/A	N/A	N/A

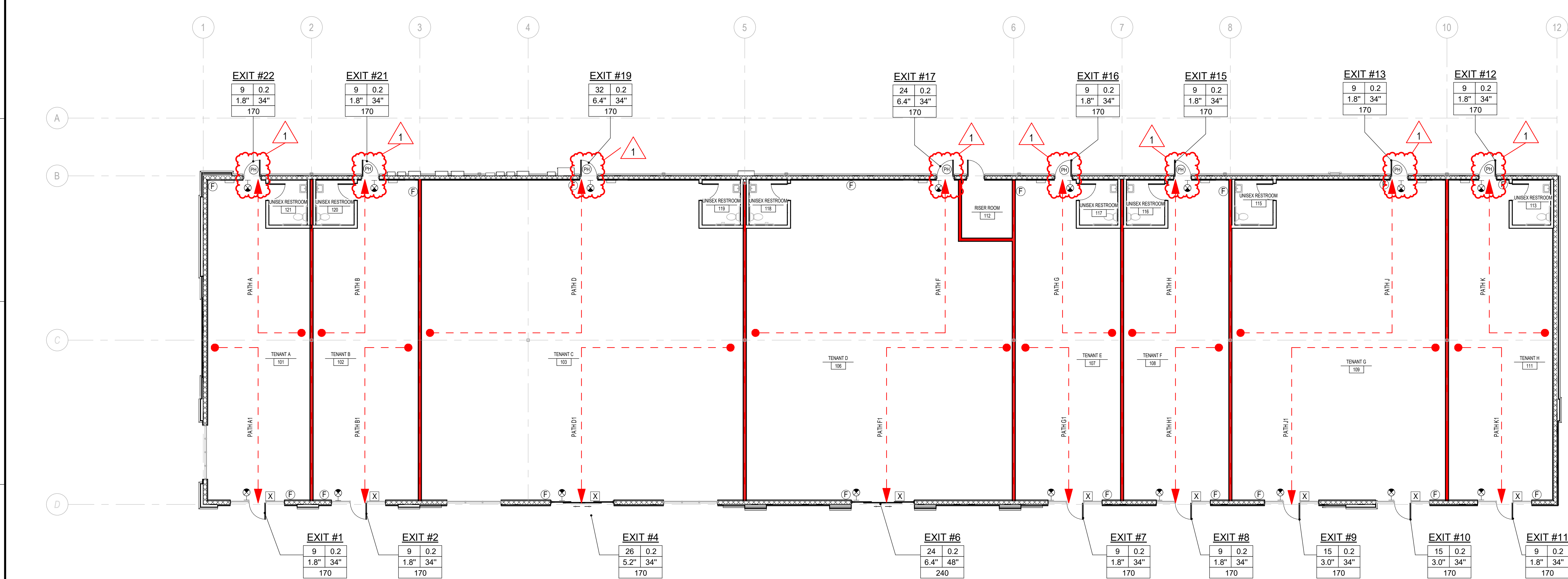
OCCUPANCY SCHEDULE / FBC 2023 8TH EDITION TABLE 1004.5									
OCCUPANT LOAD CALCULATIONS				REQUIRED EGRESS WIDTH CALCULATIONS					
RM. NO.	ROOM NAME	AREA	OCCUPANT LOAD		WIDTH FACTOR	WIDTH REQUIRED (INCHES)	WIDTH PROVIDED (INCHES)	DOOR NUMBER & SIZES	
			LOAD FACTOR	OCCUPANTS					
101	TENANT A	1,044 SF	60	18	0.2	32" (MIN.)	68"	EXIT #1 - 34" - EXIT #22 - 34"	
102	TENANT B	1,075 SF	60	18	0.2	32" (MIN.)	68"	EXIT #2 - 34" - EXIT #21 - 34"	
103	TENANT C	3,443 SF	60	58	0.2	32" (MIN.)	68"	EXIT #4 - 34" - EXIT #19 - 34"	
106	TENANT D	2,717 SF	60	46	0.2	32" (MIN.)	68"	EXIT #6 - 48" - EXIT #17 - 34"	
107	TENANT E	1,074 SF	60	18	0.2	32" (MIN.)	68"	EXIT #7 - 34" - EXIT #16 - 34"	
108	TENANT F	1,074 SF	60	18	0.2	32" (MIN.)	68"	EXIT #8 - 34" - EXIT #15 - 34"	
109	TENANT G	2,259 SF	60	38	0.2	32" (MIN.)	68"	EXIT #9 - 34" - EXIT #10 - 34" - EXIT #13 - 34"	
111	TENANT H	1,084 SF	60	18	0.2	32" (MIN.)	68"	EXIT #11 - 34" - EXIT #12 - 34"	
Grand Total		13,792 SF		232					

- ### LIFE SAFETY NOTES
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE.
 - APPROVED FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY GC. PROVIDE MINIMUM 3A-40B-C EXTINGUISHERS, WALL CALCULATIONS AND EGRESS CALCULATIONS TO BE COMPLETED BY SEPARATE TENANT IMPROVEMENT PACKAGES FOR EACH OCCUPANT.
 - SHELL CERTIFICATE OF COMPLETION ONLY. SEPARATE PERMITS WILL BE REQUIRED TO OBTAIN A CERTIFICATE OF OCCUPANCY.



BUILDING CODE SUMMARY	
PROJECT DATA:	NAME OF PROJECT: PONCIANA MULTI-TENANT STREET ADDRESS: S PONCIANA BLVD, KISSIMMEE FL 34746 (ADDRESS TO BE ASSIGNED DURING PERMIT REVIEW) COUNTY: OSCEOLA COUNTY PROPOSED USE: RETAIL, MIXED USE, SEPARATED FIRE SUPPRESSION: SPRINKLERED BUILDING CODE: FLORIDA BUILDING CODE (2023) ACCESSIBILITY CODE: FLORIDA ACCESSIBILITY CODE (2023) ENERGY CODE: FBC ENERGY CONSERVATION CODE (2023) MECHANICAL CODE: FLORIDA MECHANICAL CODE (2023) PLUMBING CODE: FLORIDA PLUMBING CODE (2023) ELECTRICAL CODE: FLORIDA ELECTRICAL CODE (2023) FIRE CODE: FLORIDA FIRE CODE (2023) EXISTING BUILDING CODE: N/A
SCOPE OF WORK:	THE SCOPE OF THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A GROUND UP BUILDING WITH 15,000SF. DIVIDED INTO TEN (8) 1,200 SF BAYS AND A 3,000 SF SPACE CONTAINING A DRIVE THRU THIS SCOPE OF WORK IS FOR A SHELL SPACE CERTIFICATE OF COMPLETION ONLY WORK INCLUDES THE BUILDING SHELL COMPONENTS AND DEMISING WALLS. INTERIOR FIT-OUT AND OTHER INTERIOR CONSTRUCTION ARE PART OF SEPARATE TENANT FIT-OUTS AND WILL BE SUBMITTED SEPARATELY.
USE & OCCUPANCY CLASSIFICATION: (CHAPTER 3)	ALL CODE CHAPTERS, SECTIONS AND TABLES INDICATED BELOW IN PARENTHESES () REFERENCE FLORIDA BUILDING CODE, BUILDING, 7TH EDITION (2023) UNLESS OTHERWISE INDICATED. POTENTIAL PROPOSED USE GROUPS: A-2 ASSEMBLY GROUP (308.1, 303.3) B BUSINESS GROUP (304.1) M MERCANTILE GROUP (SECTION 309.1) SECTION 508 (MIXED USE AND OCCUPANCY) SECTION 508.2 (ACCESSORY OCCUPANCIES), AND SECTION 508.4 (SEPARATED OCCUPANCIES).
BUILDING HEIGHT: (TABLES 504.3 & 504.4)	ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (SPRINKLERED): 75' ALLOWABLE NUMBER OF STORES ABOVE GRADE PLANE (SPRINKLERED): 3 ACTUAL BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (SPRINKLERED): 24' ACTUAL NUMBER OF STORES ABOVE GRADE PLANE (SPRINKLERED): 1
ALLOWABLE BUILDING AREA: (SECTION 506 & TABLE 506.2)	CONSTRUCTION TYPE: IB INITIAL ALLOWABLE AREA (TABLE 506.2): 50,000 SF PROVIDED BUILDING AREA: 15,000 SF
CONSTRUCTION TYPE: (SECTION 602)	TYPE IIB
FIRE-RESISTANCE RATING: (TABLES 601 & 602)	STRUCTURAL FRAME: PROVIDED 0 HOURS ROOF CONSTRUCTION: 0 HOURS EXTERIOR/INTERIOR BEARING WALLS: 0 HOURS EXTERIOR/INTERIOR NON-BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS
OCCUPANT LOAD: (SECTION 1004)	REFER TO OCCUPANCY SCHEDULE ON THIS SHEET FOR ASSUMED OCCUPANT LOADS. FINAL OCCUPANT LOAD CALCULATIONS TO BE PROVIDED FOR EACH TENANT UNDER SEPARATE PERMIT.
MEANS OF EGRESS SIZING: (SECTION 1005)	REQUIRED EGRESS CAPACITY BASED ON OCCUPANT LOAD (SECTION 1005.3): 0.3 EGRESS CAPACITY FACTOR (STAIRWAYS): 0.2 EGRESS CAPACITY FACTOR (OTHER EGRESS COMPONENTS): 0.2
MINIMUM NUMBER OF EXITS: (TABLES 1006.2.1 & 1006.3.2)	MINIMUM OF TWO (2) EXITS REQUIRED FOR ROOMS AND SPACES WITH OCCUPANT LOAD BETWEEN 1 - 500 OCCUPANTS PER STORY MINIMUM OF THREE (3) EXITS REQUIRED FOR ROOMS AND SPACES WITH OCCUPANT LOAD BETWEEN 501 - 1,000 OCCUPANTS PER STORY MINIMUM OF FOUR (4) EXITS REQUIRED FOR ROOMS AND SPACES WITH OCCUPANT LOAD MORE THAN 1,000 OCCUPANTS PER STORY GROUP M OCCUPANCIES WITH A MAXIMUM OCCUPANT LOAD OF 49 AND MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE OF 75 FEET SHALL BE PERMITTED TO HAVE ONE EXIT STORAGE ROOMS WITH A MAXIMUM OCCUPANT LOAD OF 29 AND MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE OF 100 FEET SHALL BE PERMITTED TO HAVE ONE EXIT EXITS, EXIT ACCESS DOORWAYS AND EXIT ACCESS STAIRWAYS SHALL BE PLACED A MINIMUM OF 1/3 OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
EXIT ACCESS CONFIGURATION: (SECTION 1007.1.1)	EGRESS DOORS SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD GREATER THAN 49 PERSONS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL.
DOOR SWING: (SECTION 1010.1.2.1)	WITH SPRINKLER SYSTEM: 250' WITHOUT SPRINKLER SYSTEM: 250' WITH SPRINKLER SYSTEM: 300'
TRAVEL DISTANCE: (TABLE 1017.2)	250' 300'

ENERGY CODE SUMMARY			
PROJECT DATA:		COUNTY: OSCEOLA CLIMATE ZONE: 2A-WARM HUMID C402.1 APPLICATION COMPLIANCE: 2. COMPLIANCE WITH SECTIONS C402, C403, C404, C405, AND C408. THIS COMMERCIAL BUILDING WILL ALSO COMPLY WITH C406 AND FUTURE TENANT SPACES MUST COMPLY WITH C406.1.1.	
C402 BUILDING ENVELOPE REQUIREMENTS:	C402.1 GENERAL (PRESCRIPTIVE):	THIS BUILDING WILL COMPLY WITH THE FOLLOWING REQUIREMENTS BASED ON COMPLIANCE PATH 2 FOR ENVELOPE REQUIREMENTS: 1. THE OPAQUE PORTIONS OF THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE SPECIFIC REQUIREMENTS OF SECTION C402.2 AND THE THERMAL REQUIREMENTS OF THE R-VALUE BASED METHOD OF SECTION C402.1.3 2. ROOF SOLAR REFLECTANCE AND THERMAL EMITTANCE SHALL COMPLY WITH SECTION C402.3 3. FENESTRATION IN BUILDING ENVELOPE ASSEMBLIES SHALL COMPLY WITH SECTION C402.4 4. AIR LEAKAGE OF BUILDING ENVELOPE ASSEMBLIES SHALL COMPLY WITH SECTION C402.5	
	C402.1.3 INSULATION COMPONENT R-VALUE BASED METHOD	TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD:	
	REQUIRED		PROVIDED
	INSULATION ENTIRELY ABOVE DECK	MINIMUM R-25ci	R-25ci
	WALLS ABOVE GRADE: MASS: METAL FRAMED:	MINIMUM R5.7ci MINIMUM R-13 + R-5ci	SEE EXCEPTION FOR FILLED CELLS IN CMU WALLS; NOT APPLICABLE
	WALLS BELOW GRADE:	NOT REQUIRED	NOT PROVIDED
	FLOORS: MASS: JOIST / FRAMING:	MINIMUM R6.3ci MINIMUM R-30	NOT APPLICABLE NOT APPLICABLE
	SLAB ON GRADE FLOORS UNHEATED SLABS HEATED SLABS:	NOT REQUIRED MINIMUM R-7.5 FOR 12" BELOW	NOT PROVIDED NOT APPLICABLE
	OPAQUE DOORS NONSWINGING	MINIMUM R-4.75	R-5
	"EXCEPTION FOR MASS WALLS ABOVE GRADE: R-5.7ci IS ALLOWED TO BE SUBSTITUTED WITH CONCRETE BLOCK WALLS COMPLYING WITH ASTM C90, UNROUTED OR PARTIALLY GROUTED AT 32 INCHES OR LESS ON CENTER VERTICALLY AND 48 INCHES OR LESS ON CENTER HORIZONTALLY, WITH UNROUTED CORES FILLED WITH MATERIALS HAVING A MAXIMUM THERMAL CONDUCTIVITY OF 0.44 Btu-in/h P2-F (U-FACTOR OF .44 PER INCH). THE CMU WALLS WILL BE FILLED IN ALL UNROUTED CORES WITH A FOAMED-IN PLACE INSULATION THAT HAS A R-VALUE OF 4.91 PER INCH (U-FACTOR OF .20 PER INCH)."		
C402.3 MINIMUM ROOF REFLECTANCE AND EMITTANCE OPTIONS		LOW SLOPED ROOFS DIRECTLY ABOVE COOLED CONDITIONED SPACES IN CLIMATE ZONES 1, 2, AND 3 SHALL COMPLY WITH ONE OR MORE OPTIONS IN TABLE C402.3 (BELOW) A. THREE-YEAR AGED SOLAR REFLECTANCE OF .55 AND A THREE-YEAR AGED THERMAL EMITTANCE OF .75 B. THREE-YEAR AGED SOLAR REFLECTIVE INDEX OF 64 THREE-YEAR AGED SRI - 85	
C402.4 FENESTRATION (PRESCRIPTIVE):		FENESTRATION WILL COMPLY WITH SECTIONS C402.4 THROUGH C402.4.4 AND TABLE C402.4	
		REQUIRED	PROVIDED
U-FACTORS	FIXED FENESTRATION	MAXIMUM .50	.28
	OPERABLE FENESTRATION	MAXIMUM .55	N/A
SHGC (MOST RESTRICTIVE) ORIENTATION (SEW) PROJECTION FACTOR < 0.2	ENTRANCE DOORS:	MAXIMUM .83	.50
SKYLIGHTS	U-FACTOR	MAXIMUM .25	.23
	SHGC	MAXIMUM .35	N/A
C402.4.1 MAXIMUM AREA	U-FACTOR		N/A
	SHGC		
C402.4.1 MAXIMUM AREA		MAX VERTICAL FENESTRATION AREA SHALL NOT BE GREATER THAN 30 % OF THE GROSS ABOVE-GRADE AREA. OVERALL VERTICAL GLAZING AREA = 700 SF GLAZING / 6,000 SF WALLS = 12% SKYLIGHT AREA SHALL NOT BE GREATER THAN 3% OF THE GROSS ROOF AREA.	
		N/A	



Larson Design Group
3000 WESTINGHOUSE DRIVE, SUITE 400
CRANBERRY TOWNSHIP, PA 16006

SUBCONSULTANT

SEAL

DATE: 2025.06.24

MARK

RESPONSE TO COMMENTS

DATE

COMMENTS

1

PONCIANA MULTI-TENANT
4423-4443 S PONCIANA BOULEVARD
KISSIMMEE, FLORIDA 34758

LIFE SAFETY PLAN

Date: April 25, 2025
Project No.: 13427-001
Sheet No.: G-002

PERMIT SET