

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

S88°17'08"E
52.00'

S43°17'08"E
56.57'

N 881020
E 880750



LEGEND	
EXISTING CONDITIONS / DEMOLITION PLAN	
ONSITE PROPERTY LINE / R.O.W. LINE	---
LEASE PROPERTY LINE	---
EX. EASEMENT	---
EX. ROADWAY CL.	---
EX. OVERHEAD ELECTRIC	—O—O—O—
EX. STORM SEWER	---
EX. SANITARY LINE	---
EX. WATER LINE	---
EX. RECLAIM WATER LINE	---
EX. FENCE	—X—X—X—
EX. SPOT ELEVATION	1.584 02 154
EX. TREE	14" PINE
TO BE REMOVED / TO BE RELOCATED	(TBR)(TRBL)
EX. TREE TO BE REMOVED	14" PINE

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	AH	KD
5	02/09/2026	BID SET	AB	KD

A PORTION OF
PARCEL A
WESTLAKE PLAZA
PB 132, PG 77-80

LANDS OF
PUBLIX SUPER MARKETS, INC.
ORB 32723, PG 670
PCN: 77-40-43-01-24-001-0000
AREA: 885,154 SF OR 20.320 AC (P)

SEMINOLE-PRATT WHITNEY ROAD

DEMOLITION NOTES

- BOHLER ENGINEERING FL, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER FL, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
 - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATE/CAAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL REGULATIONS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, XERIC UPLANDS, WETLANDS, CUTTHROAT GRASS SEEDS, HISTORICAL, AND ARCHAEOLOGICAL RESOURCES, OR CONES OF INFLUENCE FOR POTABLE WELLS, AQUIFER RECHARGE AREAS, SOIL TYPES, AND VEGETATIVE COVER LOCATED WITHIN PROJECT LIMITS.

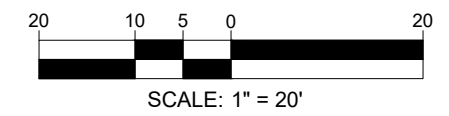
DATUM NOTE

ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS NO. D18238 WITH A PUBLISHED ELEVATION OF 21.01 FEET.

FEMA NOTE

THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 345 OF 1200", MAP NUMBER 12099C0345F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5, 2017.

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	AH	KD
5	02/09/2026	BID SET	AB	KD

811
KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	FLA230191.00-0A
DRAWN BY:	-AHM-V-
CHECKED BY:	-KDKM-
DATE:	3/20/2026
CAD ID:	P-CIVL-EXST

SITE CONSTRUCTION PLANS FOR



MAVIS TIRES & BRAKES - CITY OF WESTLAKE

16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER

600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101

FLORIDA BUSINESS CERT. OF AUTH. NO. 30780

EXISTING CONDITIONS / DEMOLITION PLAN

SHEET NUMBER:
C-201

REVISION 5 - 02/09/2026

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

S88°17'08"E
52.00'

S43°17'08"E
56.57'

S01°42'52"W
13.97'

S04°59'06"W
210.34'



LEGEND	
SITE PLAN	
EX PROPERTY LINE	---
LEASE PROPERTY LINE	---
EX ADJACENT PROPERTY LINE	---
EX ROAD CENTERLINE	---
PROP PROPERTY LINE	---
PROP BUFFER	---
PROP SETBACK	---
PROP PARKING COUNT	(X)
PROP SIGN	(S)
PROP BUILDING ENTRANCE	(▲)
PROP CONCRETE SIDEWALK	(■)
PROP HEAVY DUTY CONCRETE	(■)
PROP PAVERS	(■)

ZONING TABLE

ZONE: MIXED-USE (MU)
USE: AUTO REPAIR
SECTION 01, TOWNSHIP 43 SOUTH, RANGE 40 EAST

APPLICANT / OWNER INFORMATION

APPLICANT: MAVIS SOUTHEAST, LLC
100 HILLSIDE AVENUE, WHITE PLAINS, NY 10603

PARCEL NUMBER: 77-40-43-01-24-001-0000
SITE ADDRESS: 16775 PERSIMMON BLVD WESTLAKE, FL 33470
JURISDICTION: CITY OF WESTLAKE
FUTURE LAND USE: DOWNTOWN MIXED USE
EXISTING LAND USE: VACANT
PROPOSED LAND USE: COMMERCIAL - AUTO REPAIR
FEMA ZONE: ZONE X & ZONE AE

BULK REQUIREMENTS

ITEM	REQUIRED	PROPOSED
MIN. STRUCTURE SETBACKS		
FRONT	20FT	62.5FT
SIDE	INTERIOR SIDE: 10 FT STREET SIDE: 20FT	INTERIOR SIDE: 80.7FT STREET SIDE: 107.2FT
REAR	10FT	24.7FT
MIN. LANDSCAPE SETBACKS		
FRONT	0FT	0FT
SIDE	INTERIOR SIDE: 8 FT STREET SIDE: 10 FT	INTERIOR SIDE: 8 FT STREET SIDE: 10 FT
REAR	8FT	8FT
PERMITTED HEIGHT	65FT	24FT 4IN
MAX. IMPERVIOUS SURFACE AREA	75%	52%
RATIO (ISR)	25%	25%
ACCESS DRIVEWAY WIDTH	25FT	25FT

AREA CALCULATIONS

TOTAL PROJECT AREA	1.11 AC (48,352 SF)
EXISTING GREEN SPACE	1.11 AC (48,352 SF)
EXISTING POND AREA	0.00 AC (0 SF)
EXISTING TOTAL IMPERVIOUS AREA	0.00 AC (0 SF)
EXISTING BUILDING AREA	0.00 AC (0 SF)
EXISTING VUA AREA	0.00 AC (0 SF)
EXISTING IMPERVIOUS AREA	0.00 AC (0 SF)
PROPOSED GREEN SPACE	0.54 AC (23,505 SF)
PROPOSED POND AREA	0.00 AC (0 SF)
PROPOSED TOTAL IMPERVIOUS AREA	0.57 AC (24,847 SF)
PROPOSED BUILDING AREA	0.13 AC (5,636 SF)
PROPOSED VUA AREA	0.38 AC (16,597 SF)
PROPOSED OTHER IMPERVIOUS AREA	0.06 AC (2,614 SF)

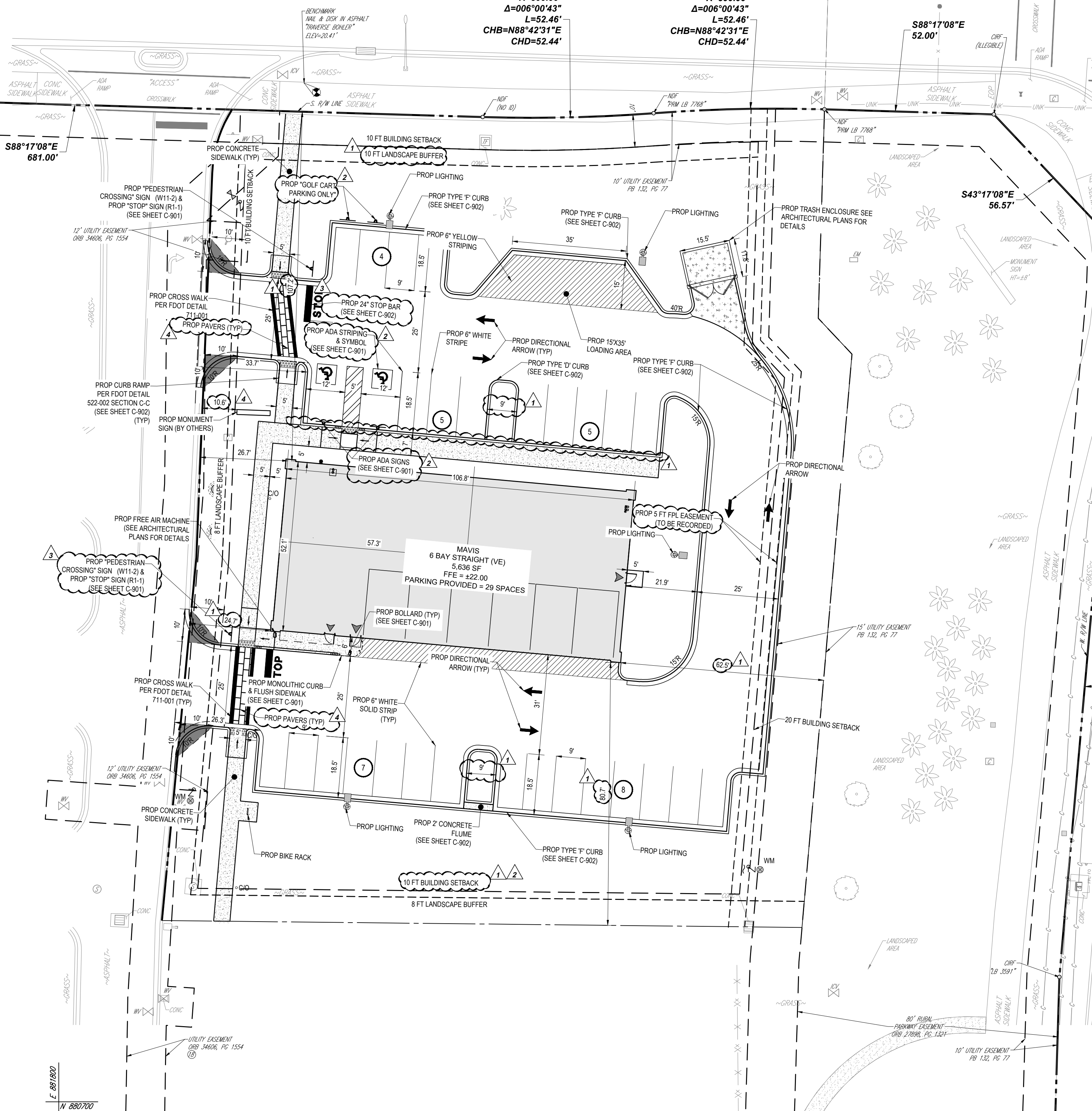
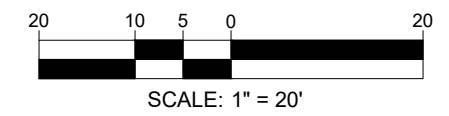
PARKING CALCULATIONS

REGULAR PARKING SPACES PROVIDED	27 SPACES
TOTAL ADA SPACES PROVIDED	2 SPACES
TOTAL SPACES PROVIDED	29 SPACES
REQUIRED PARKING SPACES	1 SPACE PER 300 SF, PLUS 1 SPACE PER SERVICE BAY FOR REPAIR PLUS 1 SPACE PER 5,400 SF OF OUTDOOR STORAGE (25 PARKING SPACES)

SITE NOTES

- THE PROPOSED ACTIVITIES SHALL COMPLY WITH CITY OF WESTLAKE DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS, AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH F.D.O.T. AND CITY OF WESTLAKE LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- ALL DIMENSIONS ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADI DIMENSIONS ARE 3' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
- A RIGHT-OF-WAY PERMIT WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT THE TIME OF PERMIT APPLICATION.
- CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE, OR SCREENING, ETC.
- IN THE EVENT THE PROJECT IS TERMINATED PRIOR TO CONSTRUCTION COMPLETION, THE PROJECT SHALL BE BROUGHT TO GRADE, SEED, AND ALL DEBRIS AND MATERIALS SHALL BE HAULED OFF-SITE AND DUMPED AT A STATE OF FLORIDA APPROVED FACILITY.
- ANY DAMAGED SIDEWALK OR CURB WITHIN THE F.D.O.T. RIGHT-OF-WAY SHALL BE REMOVED AND REPLACED.
- ALL DISTURBED AREAS WITHIN THE F.D.O.T. RIGHT-OF-WAY WILL BE SOODED.
- STANDARD INDICES REFER TO THE LATEST VERSION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- NO LANE CLOSURES ARE ALLOWED BETWEEN 5:00 A.M. AND 7:30 P.M. THE F.D.O.T. RESERVES THE RIGHT TO REQUIRE DIFFERENT HOURS OF LANE CLOSURE. ALL LANE CLOSURES MUST BE APPROVED BY THE DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE LANE CLOSURE IN ACCORDANCE WITH THE DISTRICT LANE CLOSURE POLICY.
- ALL POTABLE WATER, RECLAIMED WATER, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.
- FDEP WATER AND WASTEWATER PERMITS MUST BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- PROPER DOCUMENTATION FOR ALL PUBLIC UTILITY EASEMENTS SHALL BE PROVIDED TO THE PROPERTY MANAGEMENT DEPARTMENT PRIOR TO CERTIFICATE OF COMPLETION.
- UTILITY RECORD DRAWINGS ARE REQUIRED PRIOR TO PLACING THIS WATER AND WASTEWATER FACILITIES INTO SERVICE. PLEASE SEE THE ADDITIONAL INFORMATION SECTION FOR INSTRUCTIONS.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



RIGHT-OF-WAY NOTES

- A RIGHT-OF-WAY USE PERMIT WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT THE TIME OF PERMIT APPLICATION.
- ALL AREAS WITHIN THE COUNTY OR F.D.O.T. RIGHT-OF-WAY DISTURBED THROUGH THE COURSE OF CONSTRUCTION WILL BE RE-GRADED AND SOODED.
- IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO PROTECT ALL COUNTY OR F.D.O.T. OWNED AND/OR MAINTAINED INFRASTRUCTURE. ANY ALL COSTS ASSOCIATED WITH ALTERATIONS, RELOCATIONS, OR REPAIRS MADE NECESSARY BY THIS DEVELOPMENT SHALL BE BORNE BY EITHER THE OWNER, DEVELOPER, AND/OR CONTRACTOR. SPLICES IN THE FIBER OPTIC CABLE, SIGNALIZATION OR ROADWAY LIGHTING CONDUCTORS, OR THE ADDITION OF ADDITIONAL PULL/JUNCTION BOXES WILL NOT BE PERMITTED. IN THE EVENT A CABLE IS CUT, DAMAGED, OR REQUIRES RELOCATION, THE CABLE(S) SHALL BE RESTORED BACK TO THE ORIGINAL CONFIGURATION, ORIGINAL CONFIGURATION IS DEFINED AS SYSTEM STATUS, LAYOUT, AND DESIGN PRIOR TO ANY WORK COMMENCING.
- FOR UTILITIES TO BE RELOCATED BY THE UTILITY PROVIDER, CONTRACTOR SHALL COORDINATE DEMOLITION SCHEDULE WITH UTILITY PROVIDERS. DEMOLITION OF SIDEWALKS AND DRIVEWAYS SHALL OCCUR PRIOR TO UTILITY RELOCATIONS.

ADA ACCESSIBILITY NOTES

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO PRIMARY BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE, THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD

811 KNOW WHAT'S BELOW
ALWAYS CALL 811 BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDING AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191-00-0A
DRAWN BY: -AHM-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD ID: P-CIVL-SITE

SITE CONSTRUCTION PLANS

FOR

MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. NO. 30760

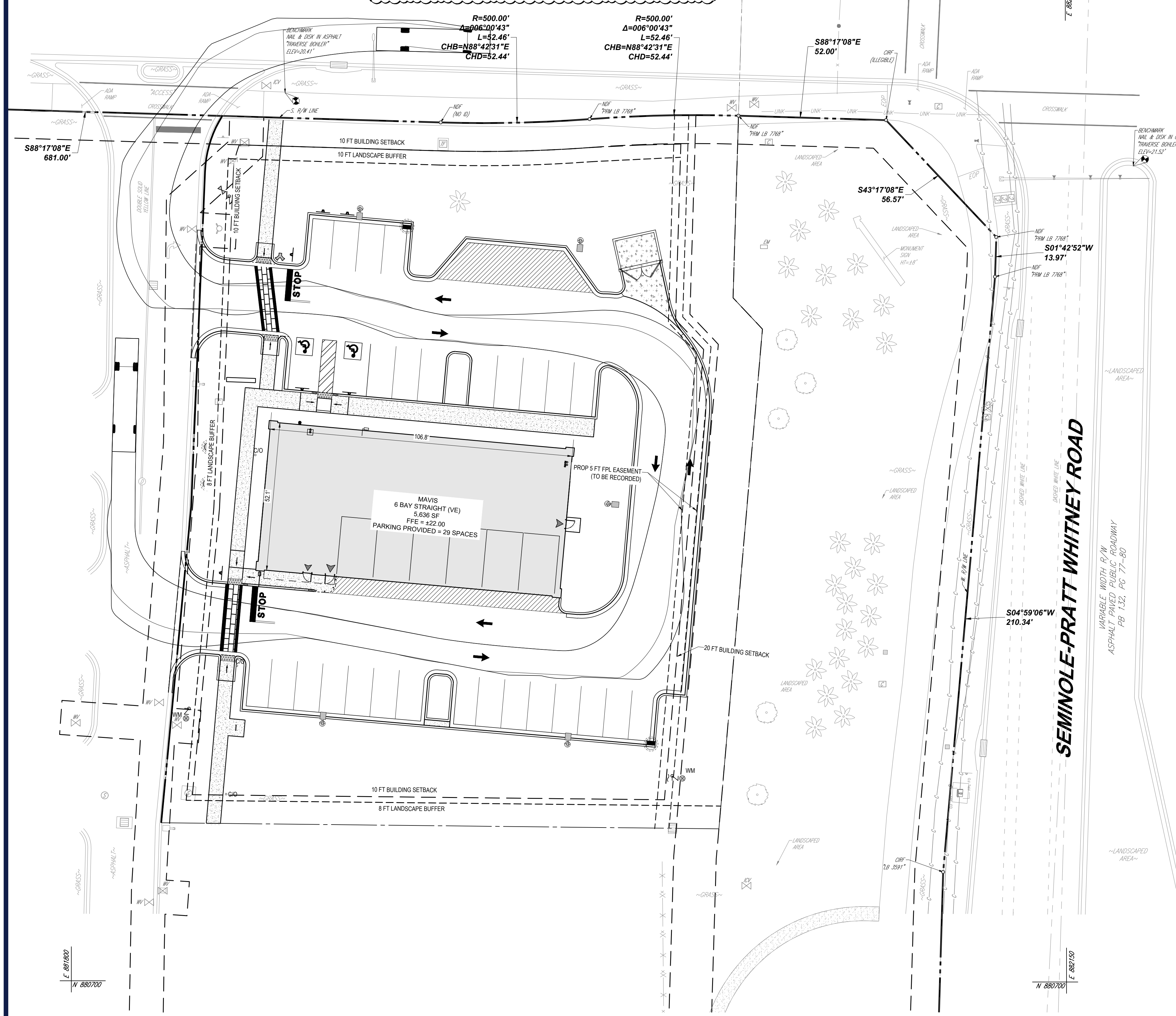
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-301

REVISION 5 - 02/09/2026

TOWN CENTER PARKWAY SOUTH

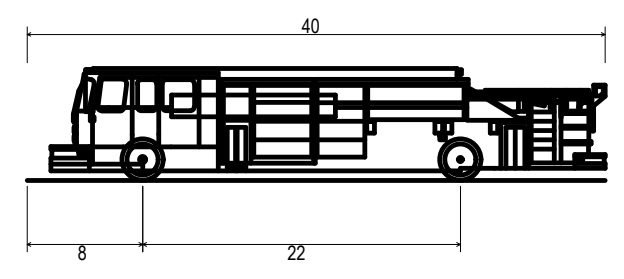
VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000



LEGEND	
SITE PLAN	
EX PROPERTY LINE	---
LEASE PROPERTY LINE	---
EX ADJACENT PROPERTY LINE	---
EX ROAD CENTERLINE	---
PROP PROPERTY LINE	---
PROP BUFFER	---
PROP SETBACK	---
PROP PARKING COUNT	(X)
PROP SIGN	▲
PROP BUILDING ENTRANCE	▲
PROP CONCRETE SIDEWALK	▨
PROP HEAVY DUTY CONCRETE	▨

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD



Pumper Fire Truck
Overall Length 40.00ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

811 KNOW WHAT'S BELOW
ALWAYS CALL 811 BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

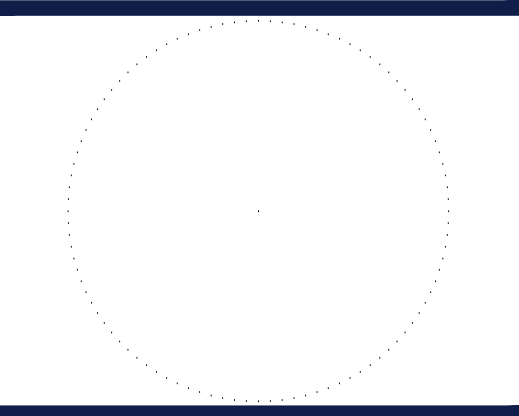
PROJECT No.: FLA230191.00-0A
DRAWN BY: -AHMV-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD ID: P-CIVL-SITE

SITE CONSTRUCTION PLANS
FOR



MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. No. 30780



SHEET TITLE:
FIRE TRUCK TURN PLAN

SHEET NUMBER:
C-302

REVISION 5 - 02/09/2026

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



Mar 06, 2026 H:\2025\PLA230191\00\ENGINEERING\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\REV. GMP-CIVL-SITE-FLA230191.00-0A-LAYOUT-C-302 SITE

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000

R=500.00'
Δ=0°06'00"43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

R=500.00'
Δ=0°06'00"43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

S88°17'08"E
52.00'

N 881020
E 688750



LEGEND	
GRADING PLAN	
PROPERTY LINE	---
LEASE PROPERTY LINE	---
PROP SPOT ELEVATION	○
EX STORM SEWER	---
PROP STORM SEWER	---
PROP GRATE INLET	⊠
PROP STORM CLEANOUT	○
PROP STORM MANHOLE	⊙
RIDGE LINE	---
SWALE LINE	---
EX BENCHMARK	⊕
PROP CONCRETE SIDEWALK	▨
PROP STANDARD DUTY CONCRETE	▨
PROP HEAVY DUTY CONCRETE	▨
PROP STANDARD DUTY ASPHALT	▨
PROP HEAVY DUTY ASPHALT	▨

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	CHECKED BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD

811 KNOW WHAT'S BELOW
ALWAYS CALL 811 BEFORE YOU DIG
www.call811shrine.com

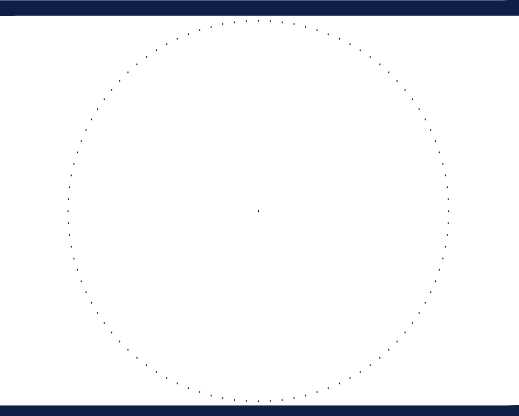
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191-00-A
DRAWN BY: -AHM-
CHECKED BY: 300/2026
DATE: P-CIVL-GRAD
CAD ID:

SITE CONSTRUCTION PLANS
FOR
MAVIS TIRES & BRAKES
MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. No. 30760



SHEET TITLE:
GRADING PLAN
SHEET NUMBER:
C-401
REVISION 5 - 02/09/2026

GENERAL NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CASTING STRUCTURES.
- COORDINATE ALL UTILITY LEADS AND BUILDING CONNECTIONS WITH THE ARCHITECTURAL PLANS.
- STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WILL NEED TO BE SODDED.

PAVING AND GRADING NOTES

- A. GENERAL:**
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
 - ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "TOP" = TOP OF CURB ELEVATION; "FS" = FINISHED GRADE; "MEG" = PROPOSED GRADE TO MATCH EXISTING GRADE; "TW" = TOP OF RETAINING WALL ELEVATION; "BW" = BOTTOM OF RETAINING WALL ELEVATION.
 - THE ALTAJACSM LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
 - ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
 - ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
 - WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAWCUT TO ENSURE A PROPER JOINT.
 - PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- B. MATERIALS:**
- BASE COURSE SHALL BE ABC-3 PER F.D.O.T. SPECIFICATIONS OR EQUIVALENT LIMEROCK THICKNESS W/ MINIMUM LBR-100 (MAX. 6" LIFTS).
 - ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. SHALL BE A MINIMUM OF 1-1/2" THICK, AND SHALL BE CONSTRUCTED IN TWO 3/4" LIFTS, WITH TACKCOAT BETWEEN LIFTS.
 - REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.
- C. INSTALLATION:**
- SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (ASHTO T-180), SHALL BE A MINIMUM 12", AND SHALL HAVE A MINIMUM LBR 40.
 - BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6" PLACED IN ONE LIFT. ADDITIONALLY, BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
 - BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER ASHTO T-180.
 - INSTALLATION OF THE WEARING SURFACE SHALL CONFORM TO THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.
- D. TESTING:**
- THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
 - DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
 - ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
 - DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO AND APPROVED BY THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER BEFORE ANY BASE IS CONSTRUCTED.
 - DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO AND APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

DATUM NOTE

ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS NO. DI8238 WITH A PUBLISHED ELEVATION OF 21.01 FEET.

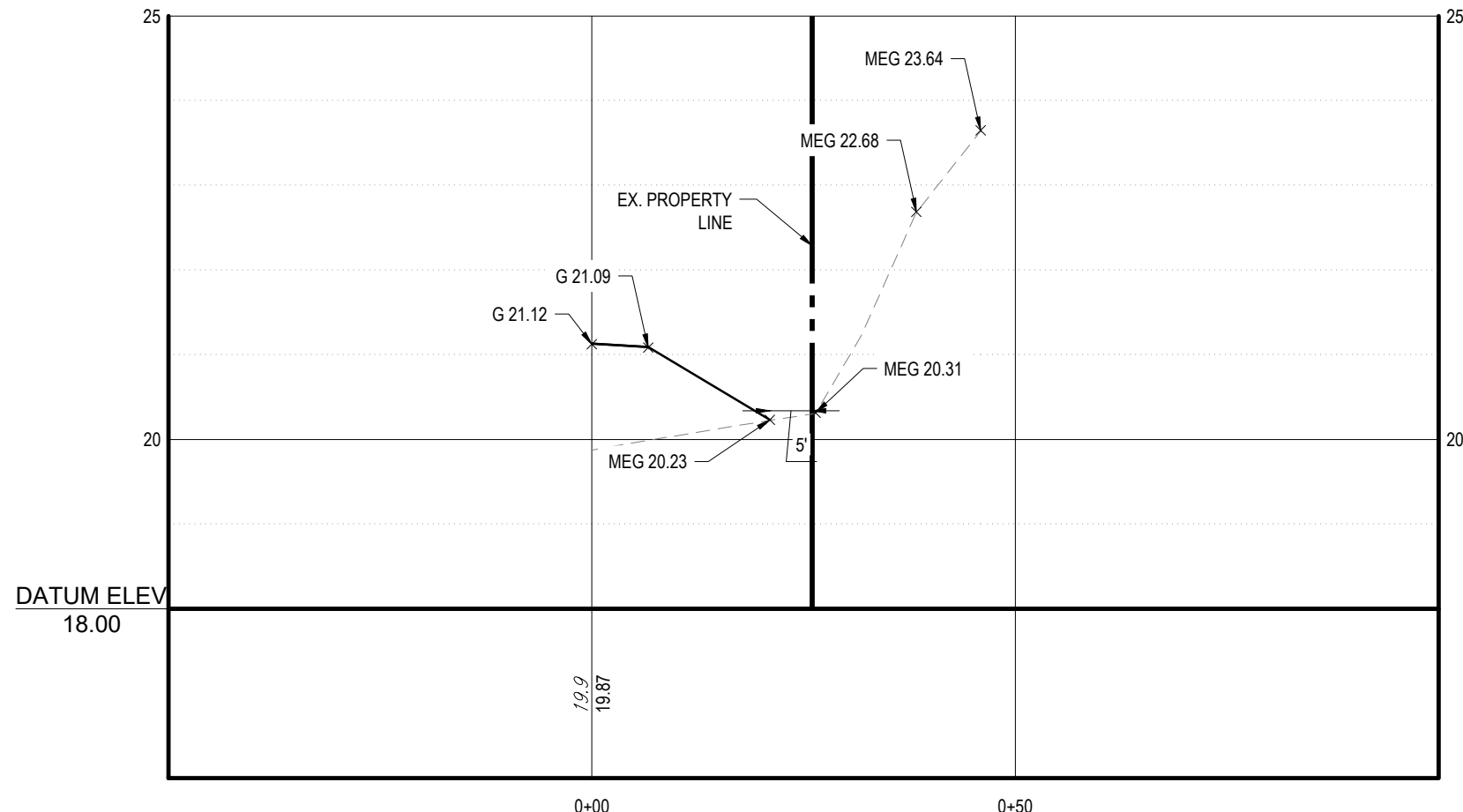
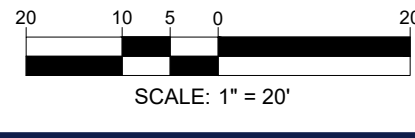
FEMA NOTE

THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 345 OF 1000", MAP NUMBER 12096C0345F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5, 2017.

DEWATERING NOTE

CONTRACTOR SHALL SUBMIT DEWATERING PLAN TO THE DISTRICT 14 DAYS PRIOR TO COMMENCEMENT. SUBJECT PLANS SHALL BE REVISED AS NECESSARY.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY



Section A-A
SCALE: 1"=20' HORIZONTAL
1"=2' VERTICAL

Mar 06, 2025
 H:\2025\FLA230191-00-A\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\REV. P&P\CIVL-GRAD\FLA230191-00-A-...-LAYOUT: C-401 GRAD

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

S88°17'08"E
52.00'

S43°17'08"E
56.57'

N 881200
E 882750

SEMINOLE-PRATT WHITNEY ROAD

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PB 153, PG 17-60

N 880700
E 882700



LEGEND	
UTILITY PLAN	
LEASE PROPERTY LINE	---
EX UNDERGROUND WATER LINE	—W—W—
EX UNDERGROUND ELECTRIC LINE	—E—E—
EX STORM SEWER	—SS—SS—
EX SANITARY SEWER MAIN	—S—S—
EX FORCE MAIN	—FM—FM—
EX OVERHEAD LINE	—OH—OH—
EX SANITARY MANHOLE	(S)
PROP UNDERGROUND WATER LINE	—W—W—
PROP UNDERGROUND ELECTRIC LINE	—E—E—
PROP STORM SEWER	—SS—SS—
PROP SANITARY SEWER MAIN	—S—S—
PROP TELECOM	—T—T—
PROP OVERHEAD LINE	—OH—OH—
PROP SANITARY CLEANOUT	(SC)
PROP BACKFLOW PREVENTER	(BFP)
PROP WATER METER	(M)
PROP WATER VALVE	(V)
PROP GREASE TRAP	(GT)

GENERAL NOTE

ALL ONSITE WATER AND SEWER DISTRIBUTION/COLLECTION LINES MAINS TO BE PRIVATELY OWNED & MAINTAINED UNLESS OR UNTIL A UTILITY EASEMENT IS DESCRIBED & APPROVED BY ALL INVOLVED PARTIES.

SANITARY SEWER NOTES

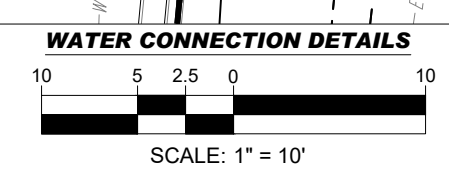
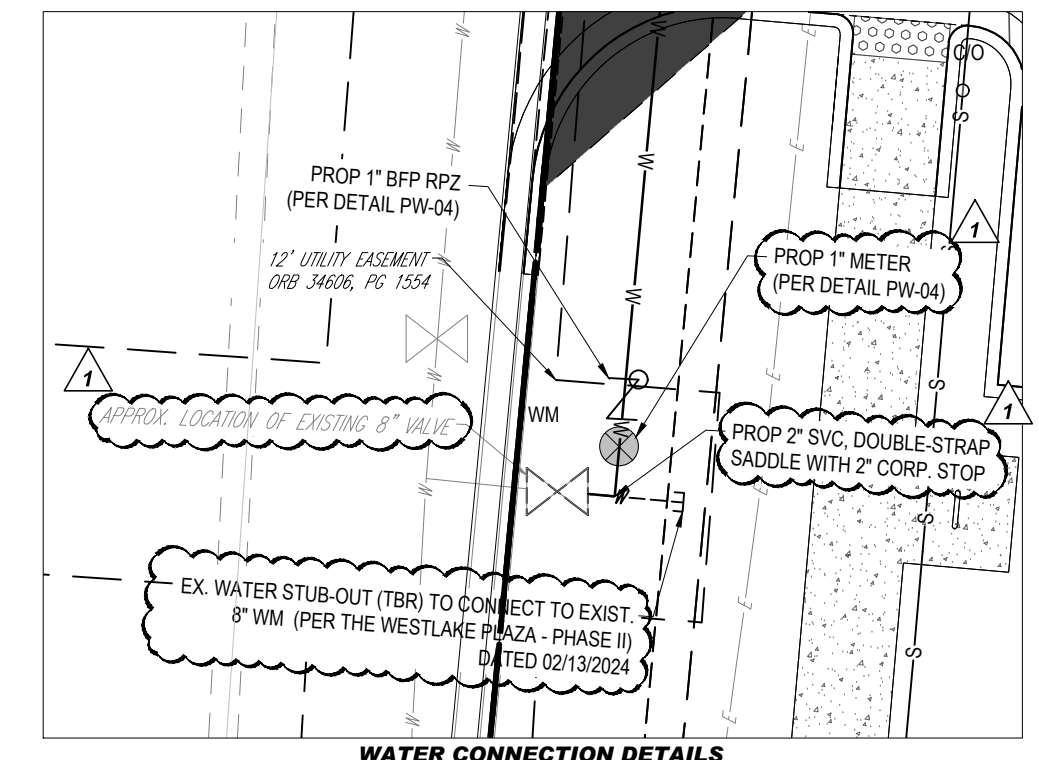
- GENERAL
 - DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.
 - PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEVIEW EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEVIEW THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBRIS WITHIN LINE.
 - EXISTING SERVICES WITHIN MANHOLES SHALL BE RELOCATED TO NEW SEWER.
 - BYPASS PUMPING MAY BE REQUIRED AND SANITARY SERVICE MAINTAINED WHILE EXISTING SEWER IS BEING REPLACED.
 - CONTRACTOR WILL BE REQUIRED TO COORDINATE WITH CITY WITH MAKING CONNECTION TO PUMP STATION / MANHOLE.
 - CONTRACTOR MUST COORDINATE WITH CITY AND SHOPPING CENTER AND PROVIDE AT LEAST 48-HOURS NOTICE PRIOR TO REPLACING SERVICES.
- MATERIALS:
 - ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLY(VINYL CHLORIDE) (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
 - ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.
 - ALL SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE A LID THAT IS H20 LOADING.
- INSTALLATION:
 - PIPE AND FITTINGS:
 - SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UN-BELL PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.
 - BEDDING AND INITIAL BACKFILL (12" OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER, PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
 - CLEANOUTS:
 - CLEANOUTS SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
 - ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
 - SERVICE:
 - MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE 1.00%.
 - EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
 - CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
- TESTING:
 - AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
 - AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
 - SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED.
 - CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO THE CERTIFICATION TO ANY AGENCY.
 - GENERAL CONTRACTOR SHALL EMPLOY AN INDEPENDENT INSPECTOR FOR 100% CONTINUOUS INSPECTION OF THE BEDDING AND BACKFILL OPERATION. COMPACTION TEST SHALL BE TAKEN AT THE BOTTOM OF TRENCH AND AT EACH LIFT OF BACKFILL.
 - GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR AS-BUILT TOP OF PIPE ELEVATIONS TAKEN WHEN BEDDING OPERATIONS IS 75% COMPLETE. THESE ELEVATIONS SHALL BE TAKEN AT POINTS OF CONNECTION, CHANGES IN DIRECTION AND AT MINIMUM 20' INTERVALS ALONG THE LENGTH OF THE PIPE. THESE ELEVATIONS SHALL BE RECORDED AS AS-BUILT DIMENSIONS ON SITE PLAN REVIEW BY PROJECT ENGINEER.
 - ALL SANITARY LINES ARE TO BE FLUSHED PRIOR TO CONTRACTOR TURNOVER OF THE FACILITY.

WATER DISTRIBUTION NOTES

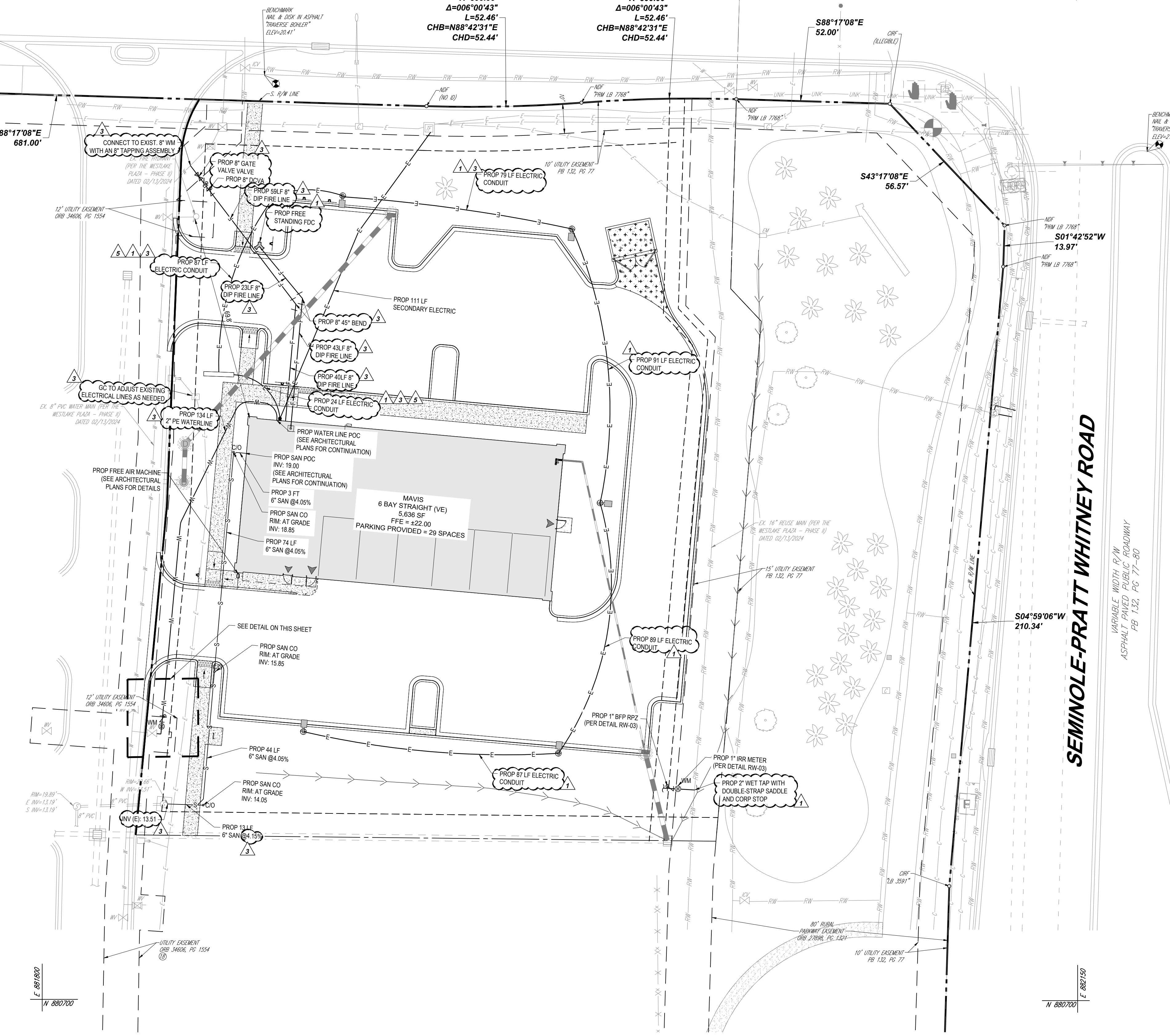
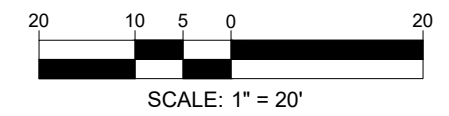
- CONTRACTOR SHALL FOLLOW GUIDELINES AND PROCEDURES OUTLINED BY UTILITY PROVIDER, AND HAVE UTILITY PROVIDER'S MANUAL ON-SITE AT ALL TIMES. THIS POLICY MANUAL SHALL BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS AS IT PERTAINS TO APPROVED MATERIALS, INSTALLATION METHODS, INSPECTION NOTIFICATION, AND AS-BUILT/PROJECT CLOSEOUT REQUIREMENTS.
- ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-294 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.
- CONTRACTOR TO COORDINATE WITH COUNTY AND ADJACENT PROPERTY OWNERS AND BUSINESSES FOR ANY ANTICIPATED WATER INTERRUPTIONS FOR CONNECTION TO EXISTING WATER LINE.
- CONTRACTOR TO DEFLECT OR BEND WATER LINES AS NECESSARY TO MAINTAIN 12" VERTICAL SEPARATION FROM STORM SEWER PER FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

SANITARY SEWER GRAVITY NOTES

- IF REQUIRED, THE CONTRACTOR SHALL RECONSTRUCT THE BENCH IN THE EXISTING MANHOLE TO ACCOMMODATE THE NEW FLOW DIRECTION.
- WASTEWATER FLOW IN THE EXISTING SEWER MUST BE MAINTAINED DURING THE INSTALLATION OF THE LATERAL. IF A BY-PASS IS REQUIRED, THE CONTRACTOR MUST SUBMIT DETAILS OF THE SYSTEM FOR REVIEW AND APPROVAL TO THE CITY OF WESTLAKE PUBLIC WORKS DEPARTMENT PRIOR TO STARTING CONSTRUCTION.



THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY



DATUM NOTE

ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS NO. D18238 WITH A PUBLISHED ELEVATION OF 21.01 FEET.

FEMA NOTE

THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 345 OF 1200", MAP NUMBER 12099C0345F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5, 2017.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: FLA230191-00-0A
DRAWN BY: -AHMV-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD ID: P-CIVL-UTIL

SITE CONSTRUCTION PLANS FOR

MAVIS TIRES & BRAKES
DISCOUNT PRICES

MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER

600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101

FLORIDA BUSINESS CERT. OF AUTH. NO. 30760

SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

C-501

REVISION 5 - 02/09/2026

Mar 06, 2025
 H:\2025\PLA230191-00\ENGINEERING\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\REV. PAMP. CIVL-UTIL-PLA230191-00-0A-...-LAYOUT: C-501.UPL

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000



LEGEND	
SOIL EROSION AND SEDIMENT CONTROL PLAN PHASE I	
ON-SITE PROPERTY LINE / R.O.W. LINE	---
LEASE PROPERTY LINE	---
NEIGHBORING PROPERTY LINE	---
EX. EASEMENT	---
EX. ROADWAY C/L	---
EX. OVERHEAD ELECTRIC	---
EX. STORM SEWER	---
EX. SANITARY LINE	---
EX. FENCE	---
EX. SPOT ELEVATION	---
EX. TREE	---
EX. CONCRETE	---
TO BE REMOVED/ TO BE RELOCATED	(TBR)(TRL)
SOIL TRACKING PREVENTION MAT	---
PROP. SILT FENCE	SF
PROP. INLET PROTECTION	---
EX. TREE TO BE REMOVED	---

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD

811 KNOW WHAT'S BELOW
ALWAYS CALL 811 BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191.00-0A
DRAWN BY: -AHMV-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD ID: P-CIVIL-EROS

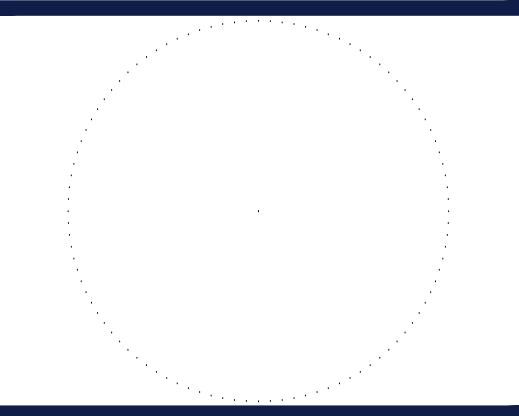
SITE CONSTRUCTION PLANS FOR



MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER

600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101



SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN PHASE I

SHEET NUMBER:
C-801

REVISION 5 - 02/09/2026

KEYNOTES:

- IP INLET PROTECTION
- SF SILT FENCE
- CEC CONSTRUCTION ENTRANCE

DEMOLITION NOTES

- BOHLER ENGINEERING FL, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER ENGINEERING FL, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
 - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
 - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATE/CAAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL REGULATIONS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, XERIC UPLANDS, WETLANDS, CUTTHROAT GRASS SEEPS, HISTORICAL, AND ARCHAEOLOGICAL RESOURCES, OR CONES OF INFLUENCE FOR POTABLE WELLS, AQUIFER RECHARGE AREAS, SOIL TYPES, AND VEGETATIVE COVER LOCATED WITHIN PROJECT LIMITS.

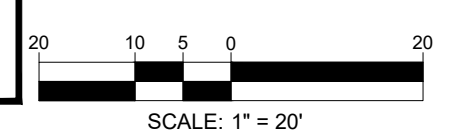
DATUM NOTE

ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS NO. D18238 WITH A PUBLISHED ELEVATION OF 21.01 FEET.

FEMA NOTE

THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 345 OF 1200", MAP NUMBER 12099C0345F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5, 2017.

THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



A PORTION OF
PARCEL A
WESTLAKE PLAZA
PB 132, PG 77-80

LANDS OF
PUBLIX SUPER MARKETS, INC.
ORB 32723, PG 670
PCN: 77-40-43-01-24-001-0000
AREA: 885,154 SF OR 20.320 AC (P)

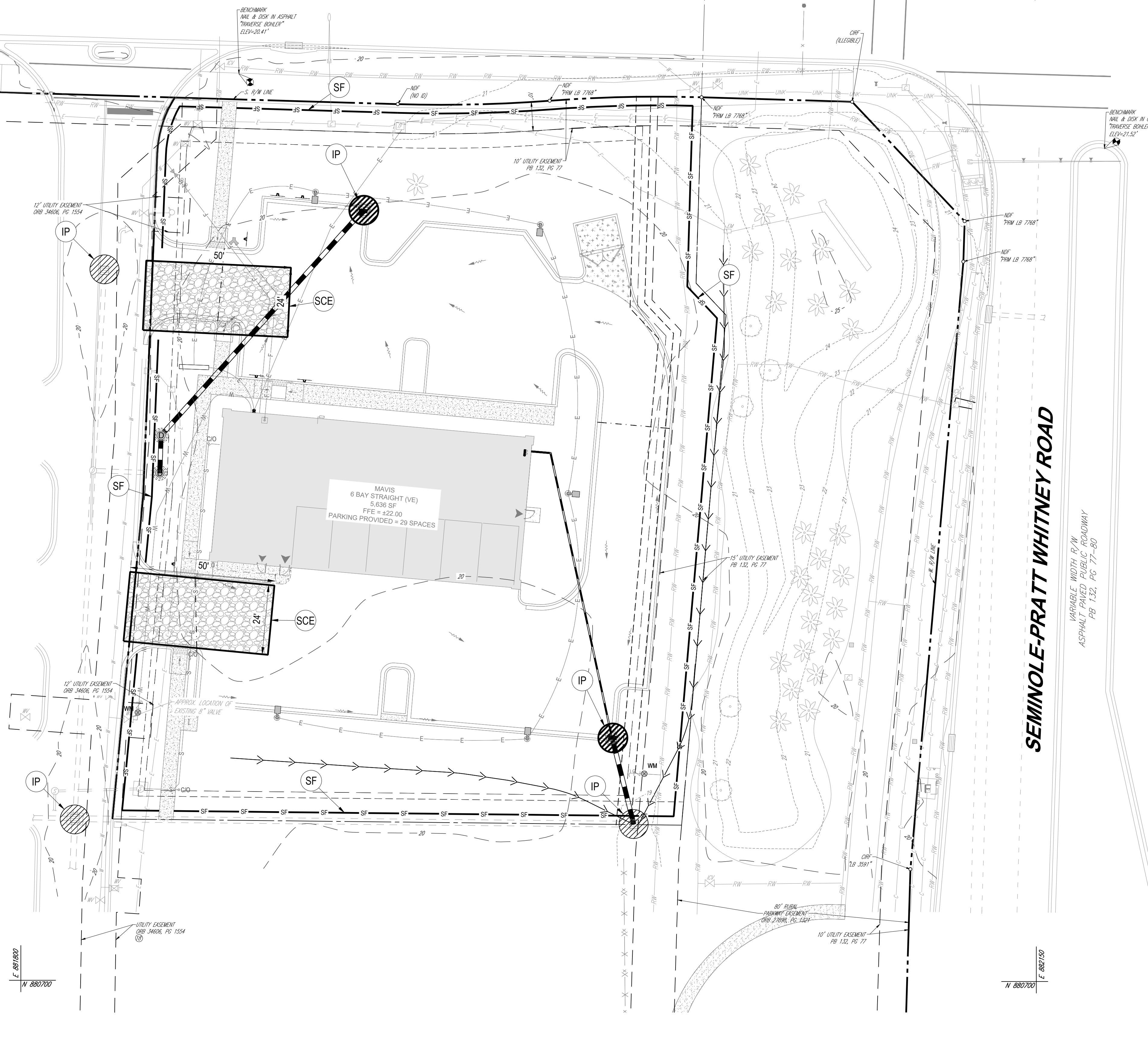
SEMINOLE-PRATT WHITNEY ROAD

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PB 132, PG 77-80

Mar 06, 2025
 H:\2025\PLA230191\00\ENGINEERING\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\REV. 0-601\00-0A---J-LAYOUT: C-801 ERO1

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000



- KEYNOTES:**
- IP INLET PROTECTION
 - SF SILT FENCE
 - SCE CONSTRUCTION ENTRANCE

POLLUTION PREVENTION NOTES

- EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS. OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH FEDERAL, STATE, AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.)
- OFF SITE SURFACE WATER DISCHARGES, DISCHARGES TO ONSITE WETLANDS, OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 20 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)1, F.A.C. BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
- IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE AND WATER RESOURCES SHALL BE CONTACTED.
- PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
 - NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C.
 - A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(A) PART III.C.2, F.A.C.
 - A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART III.D, F.A.C.
 - THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART V.D.6, F.A.C.
 - A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS.
- THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE PERMITTING DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.

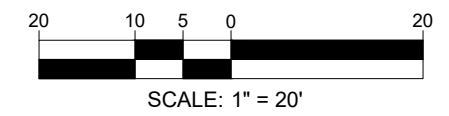
MAINTENANCE NOTES

- N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY A NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5" OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE N.P.D.E.S. COMPLIANCE.
- INSPECTIONS BY CONTRACTOR MUST OCCUR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM EVENT 0.5" OR GREATER.
 - THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ONTO EXISTING ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
 - CATCH BASIN INLET AND CONCRETE FLUME FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT BY CONTRACTOR.
 - CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED BY CONTRACTOR. REFRESH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER, OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
 - SILT FENCE IS TO BE INSPECTED DAILY BY CONTRACTOR AND EVERY 7 CALENDAR DAYS BY N.P.D.E.S. QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT. WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE, CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO REINSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
 - SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
 - THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE, INCLUDING CONSTRUCTION ENTRANCES, IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON-SITE IN ACCORDANCE WITH THE N.P.D.E.S. PERMIT. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF N.P.D.E.S. GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

SEQUENCE OF CONSTRUCTION

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER/PARKING, LAYDOWN, PORTABLE RESTROOMS, WHEELED WASTE DISPOSAL DUMPSTERS), WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THEIR LOCATIONS ON THE SITE MAP.
- PHASE 1:
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND INSTALL SILT FENCE.
 - INSTALL INLET PROTECTION AT EXISTING INLET(S).
 - PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.
 - INSTALL STORMWATER CONVEYANCE STRUCTURES AND CULVERTS, ENSURE THAT NEW INLETS ARE PROTECTED PRIOR TO MAKING THE OUTFALL CONNECTION.
- PHASE 2:
- PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - START CONSTRUCTION OF THE PROPOSED BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED WITH PURE LIVE SEED THROUGHOUT THE CONSTRUCTION DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE AS REQUIRED BY THE GENERIC PERMIT.

THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



LEGEND	
SOIL EROSION AND SEDIMENT CONTROL PLAN PHASE II	
ON-SITE PROPERTY LINE / R.O.W. LINE	---
LEASE	---
PROPERTY LINE	---
NEIGHBORING PROPERTY LINE	---
EX. OVERHEAD ELECTRIC	—O— O— O—
EX. SPOT ELEVATION	5.584 OR 5.584
PROP. STORM SEWER	—S—S—S—
RIDGE LINE	---
PROP. SILT FENCE	—SF—SF—
PROP. INLET PROTECTION	⊗
SOIL TRACKING PREVENTION MAT	▨



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH
2	8/11/2025	2ND ROUND OF COMMENTS	AH
3	08/14/2025	QA/QC COMMENTS	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD
5	02/09/2026	BID SET	AB

811 KNOW WHAT'S BELOW
ALWAYS CALL 811 BEFORE YOU DIG
www.call811.com

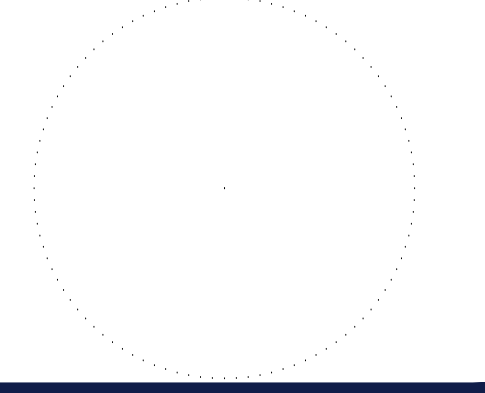
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191.00-0A
DRAWN BY: -AHM/V-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD LID: P-CIVL-EROS

SITE CONSTRUCTION PLANS
FOR
MAVIS TIRES & BRAKES
MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

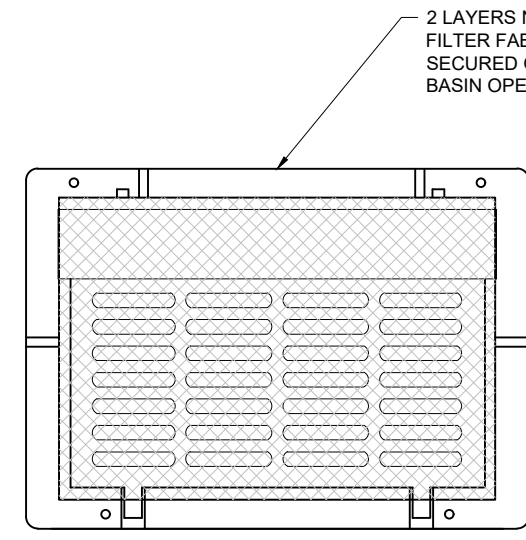
BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. No. 30760



SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE 2

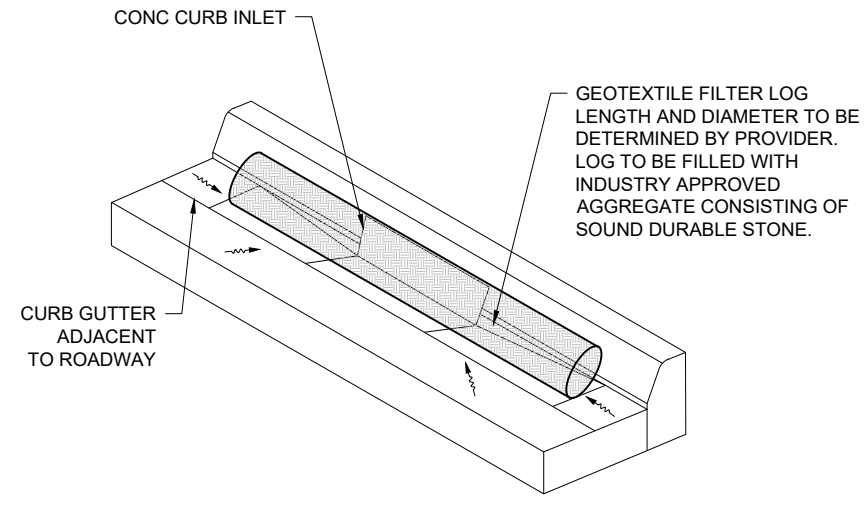
SHEET NUMBER:
C-802

REVISION 5 - 02/09/2026



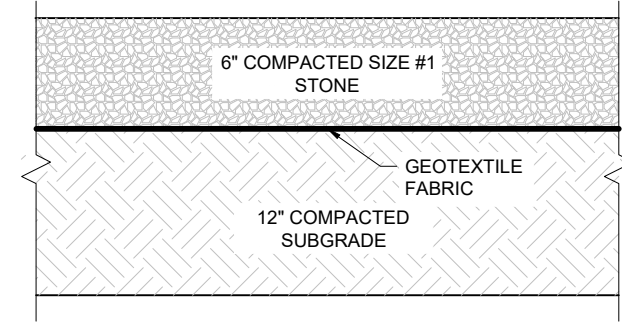
INLET PROTECTION

NOT TO SCALE (FL-0050102 - 09/2024)



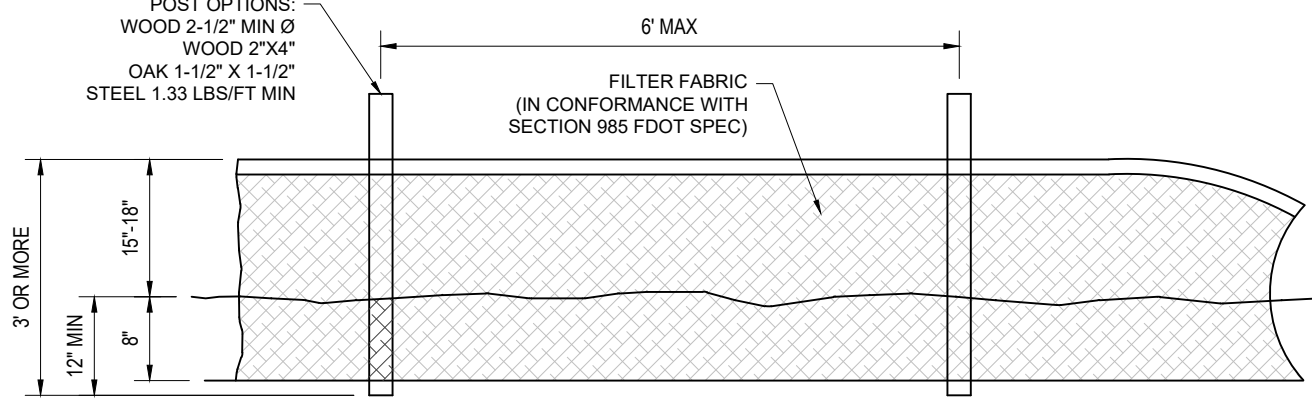
CURB INLET FILTER LOG

NOT TO SCALE (FL-0050101 - 09/2024)



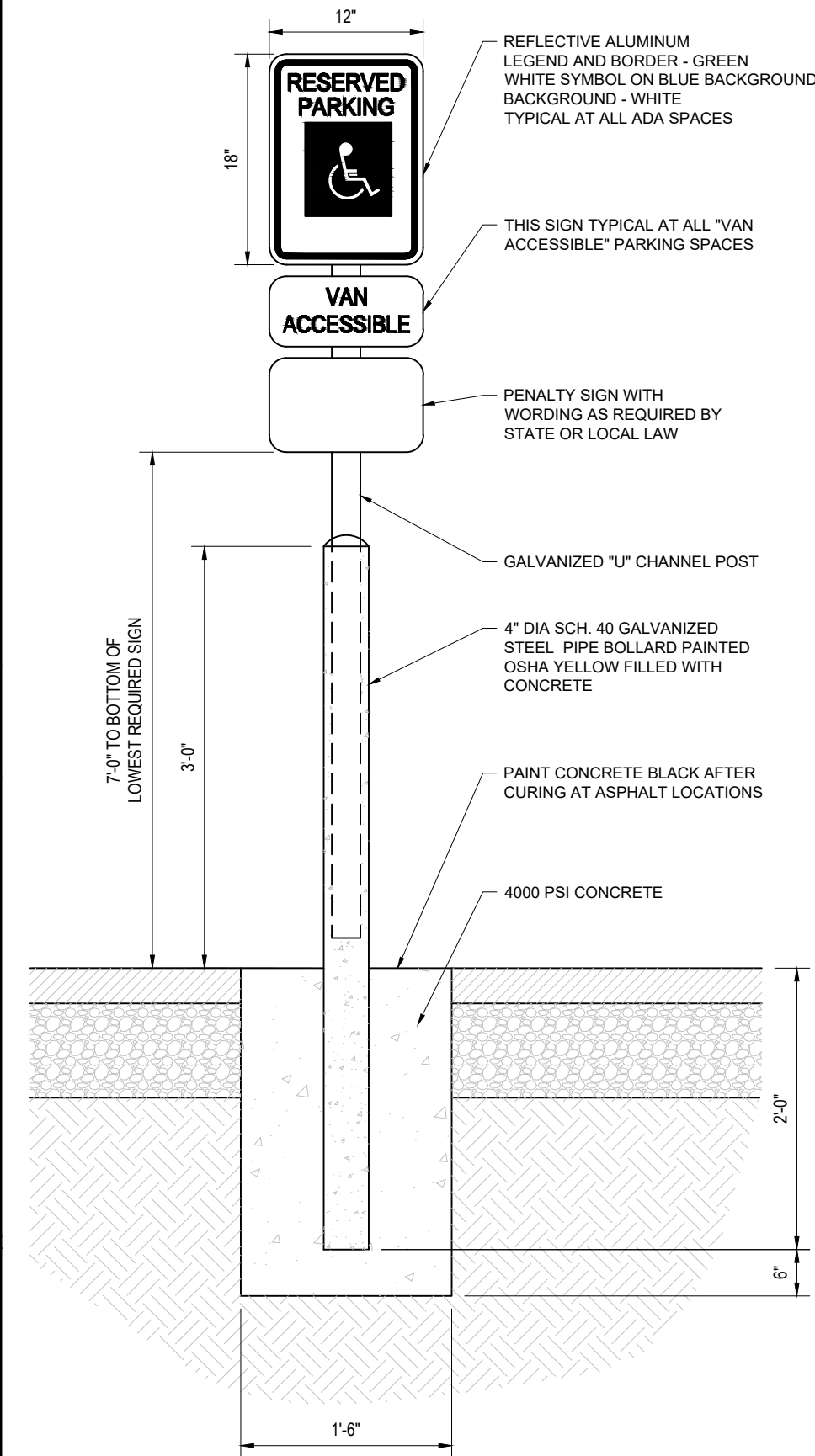
SOIL TRACKING PAD

NOT TO SCALE (FL-0020101 - 09/2024)



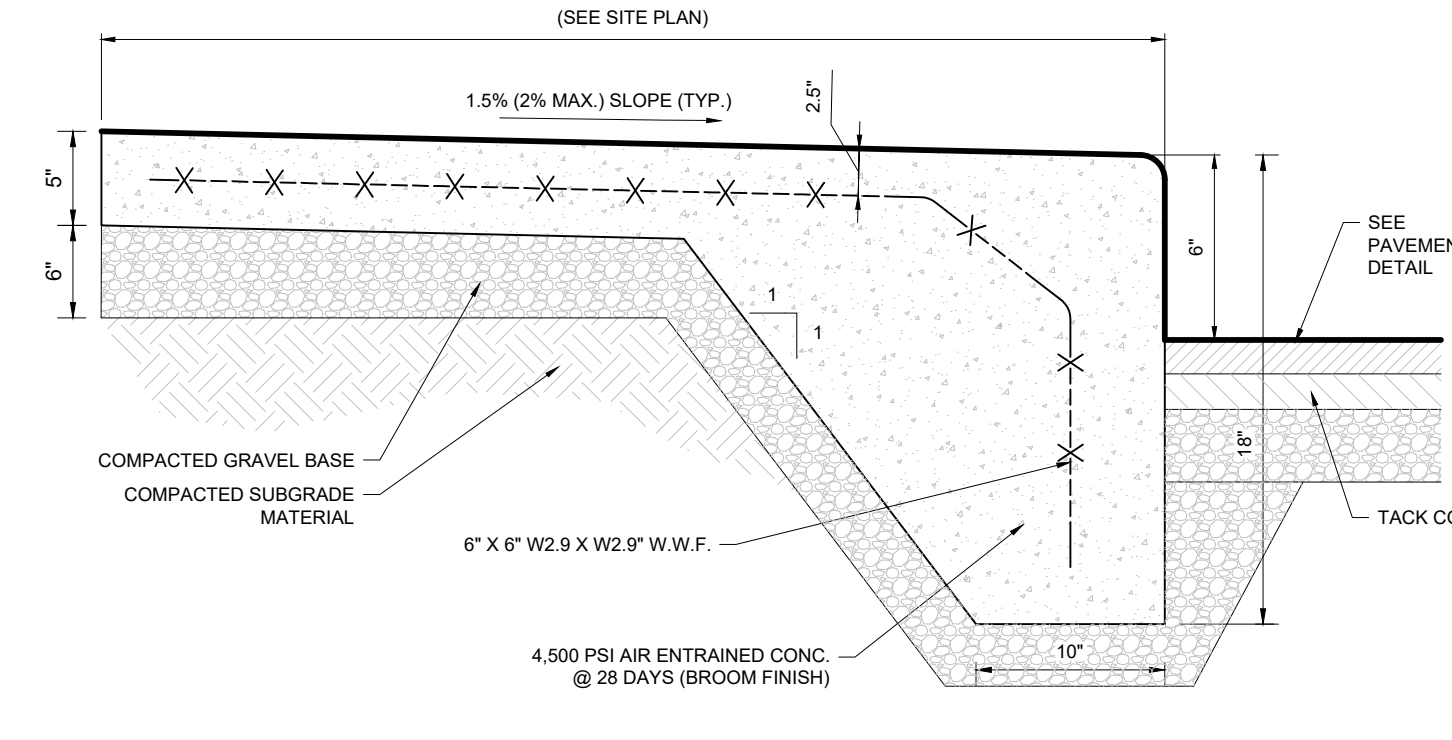
SILT FENCE

NOT TO SCALE (FL-0040101 - 09/2024)



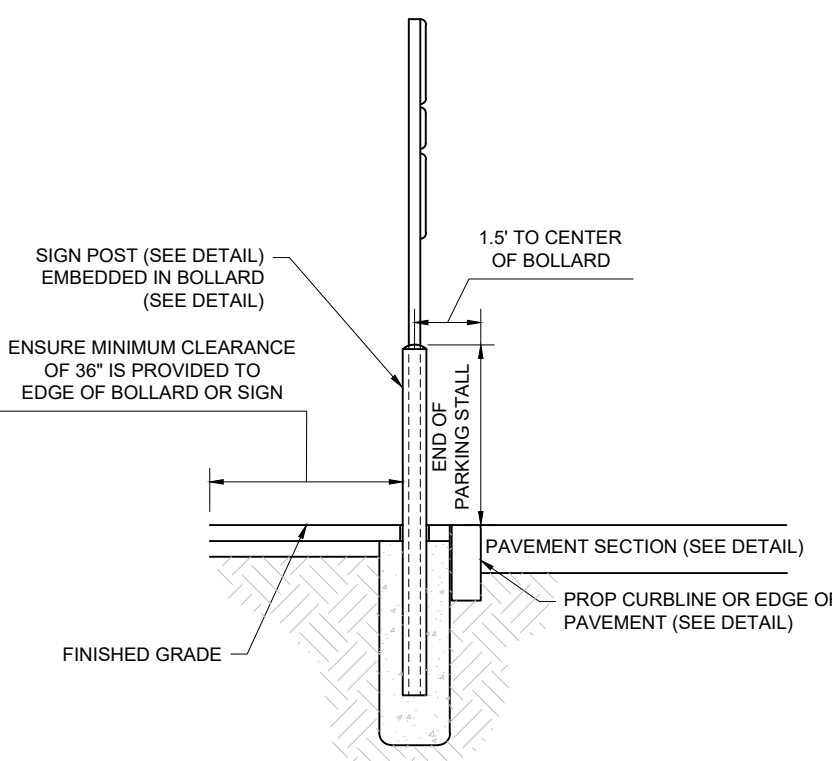
BOLLARD MOUNTED ADA PARKING SIGN

NOT TO SCALE (FL-S000101 - 09/2024)



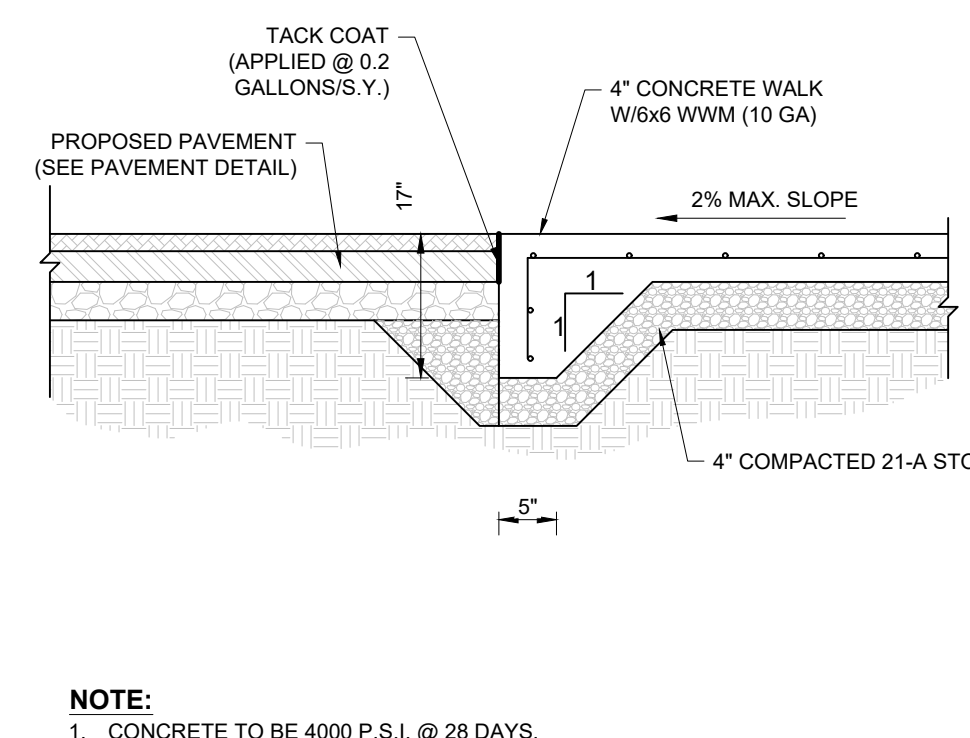
MONOLITHIC CURB AND SIDEWALK

NOT TO SCALE (BE-S030201 - 09/2024)



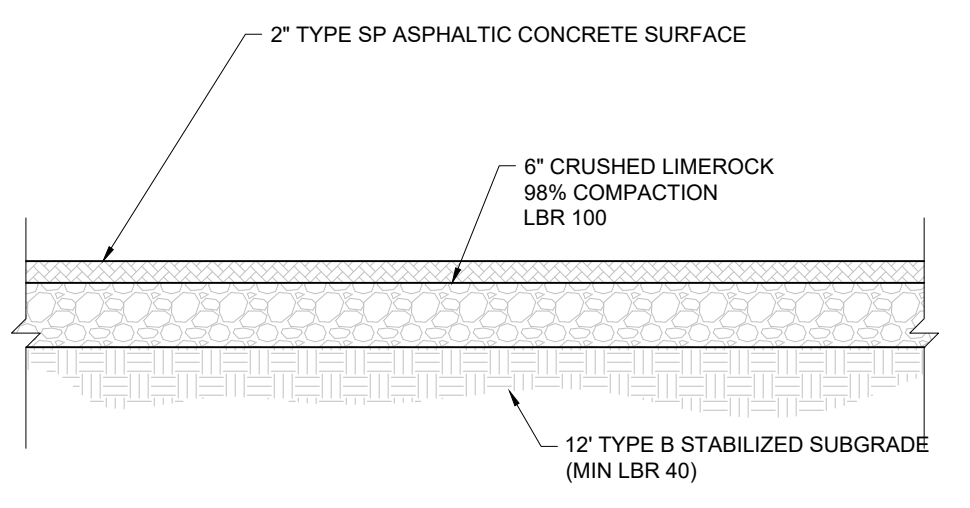
RESERVED PARKING SIGN

NOT TO SCALE (BE-S060101 - 11/2024)



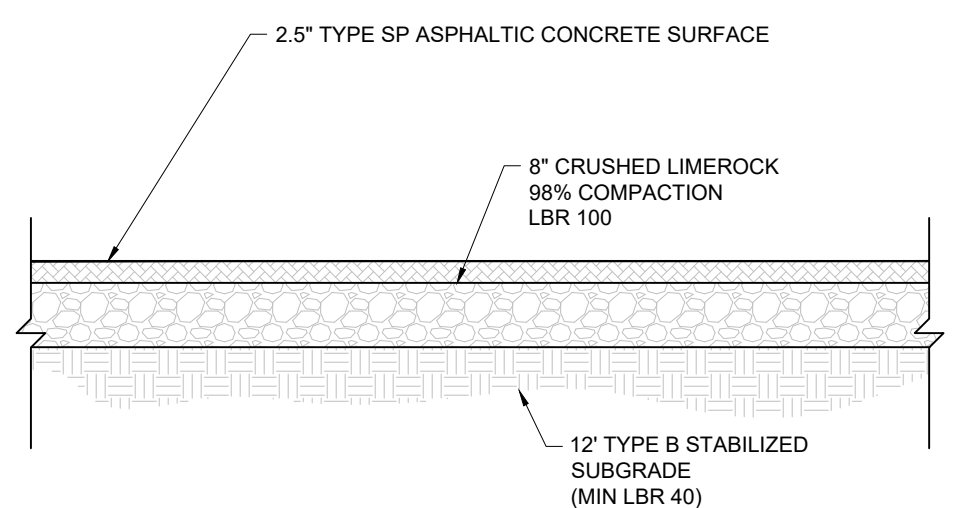
MONOLITHIC CURB AND FLUSH SIDEWALK

NOT TO SCALE (MS-S040201 - 09/2024)



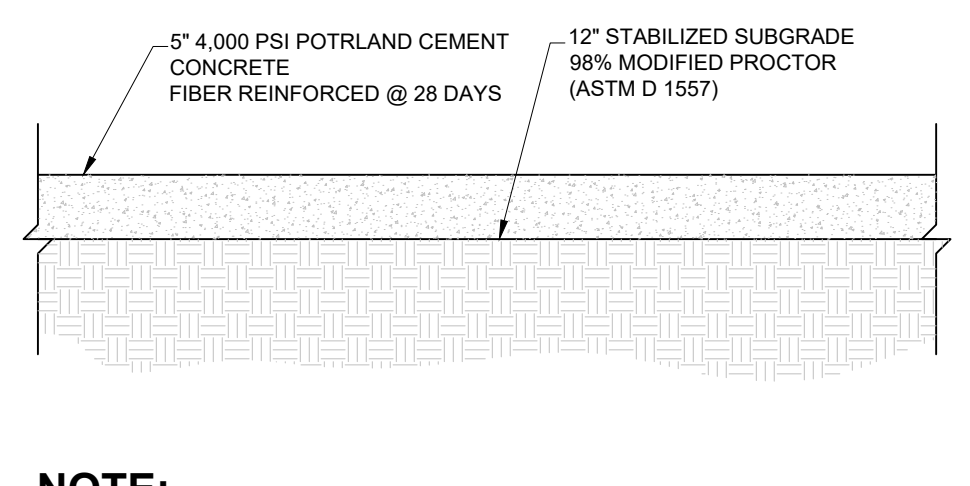
STANDARD DUTY ASPHALT PAVEMENT

NOT TO SCALE (MS-S010101 - 06/2023)



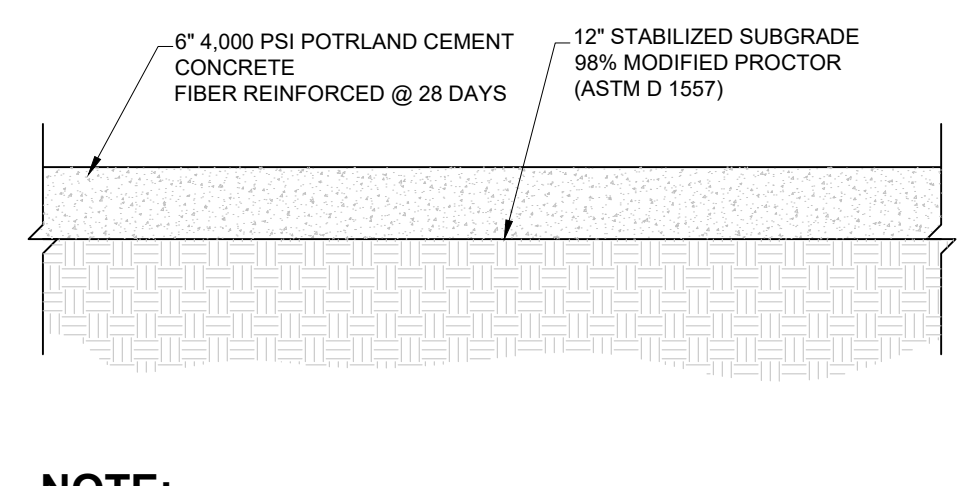
HEAVY DUTY ASPHALT PAVEMENT

NOT TO SCALE (MS-S010102 - 06/2023)



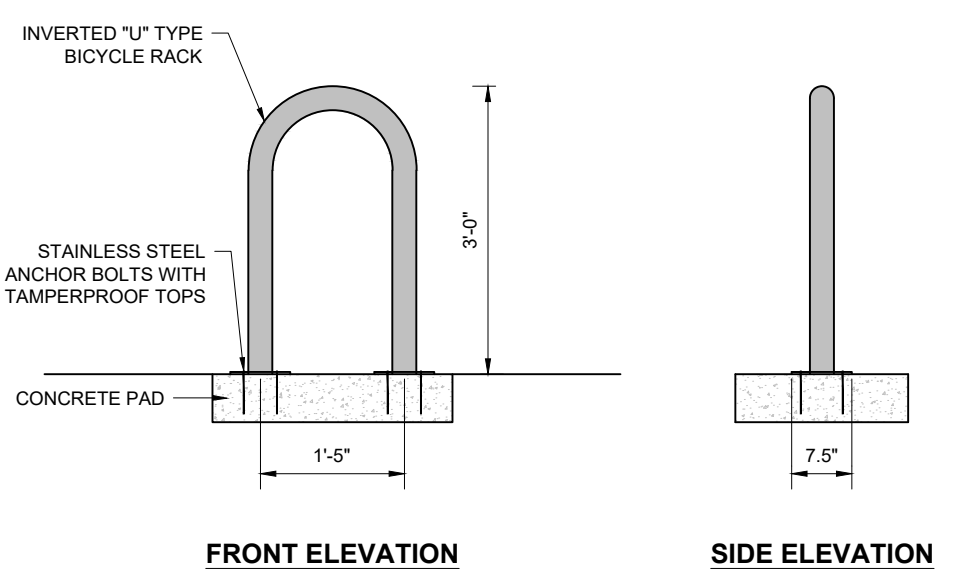
STANDARD DUTY CONCRETE PAVEMENT

NOT TO SCALE (MS-S010201 - 06/2023)



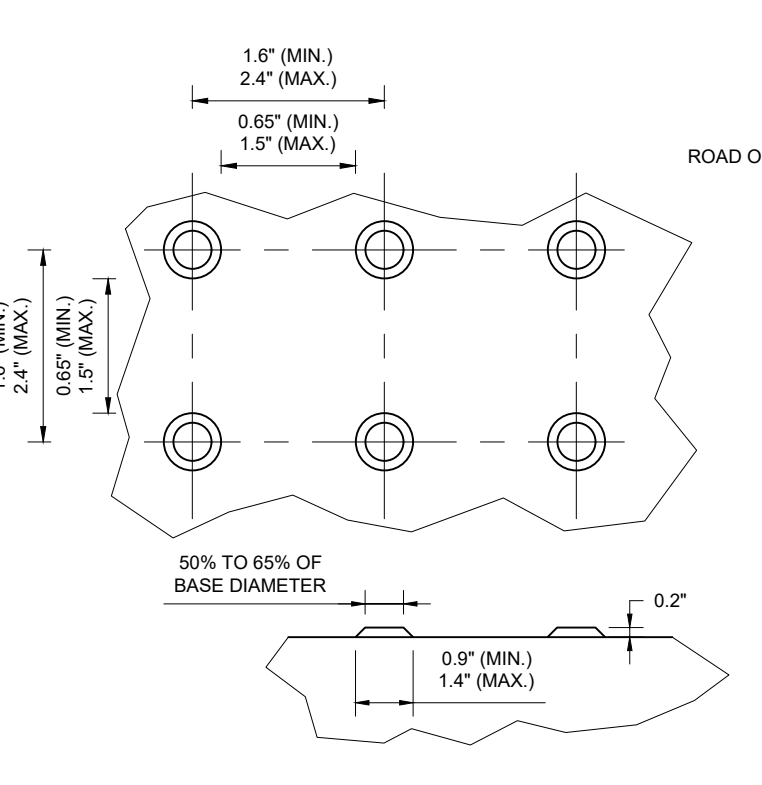
HEAVY DUTY CONCRETE PAVEMENT

NOT TO SCALE (MS-S010202 - 06/2023)



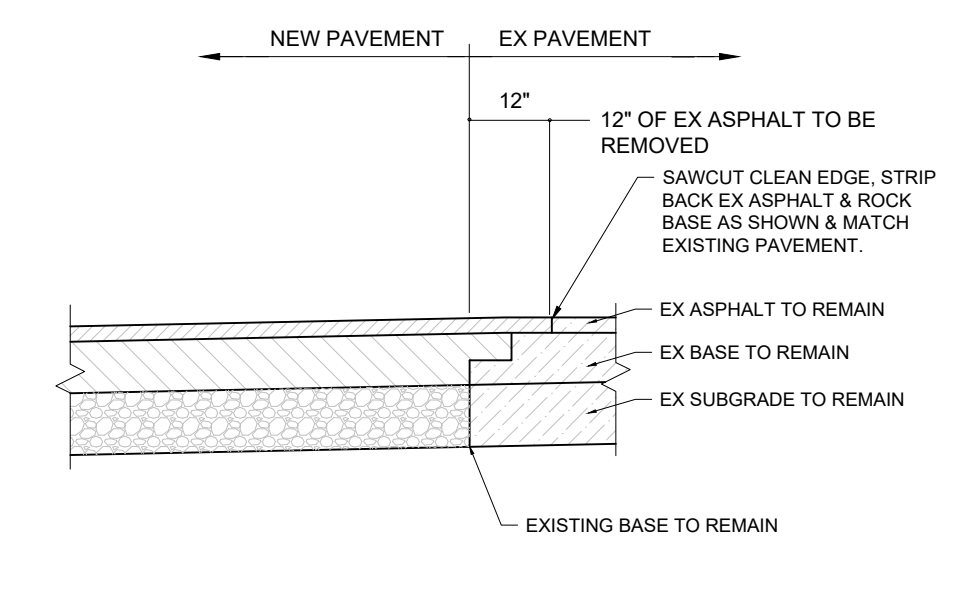
BIKE RACK SURFACE MOUNTED WITH CIRCULAR BASE

NOT TO SCALE (FL-S999902 - 02/2025)



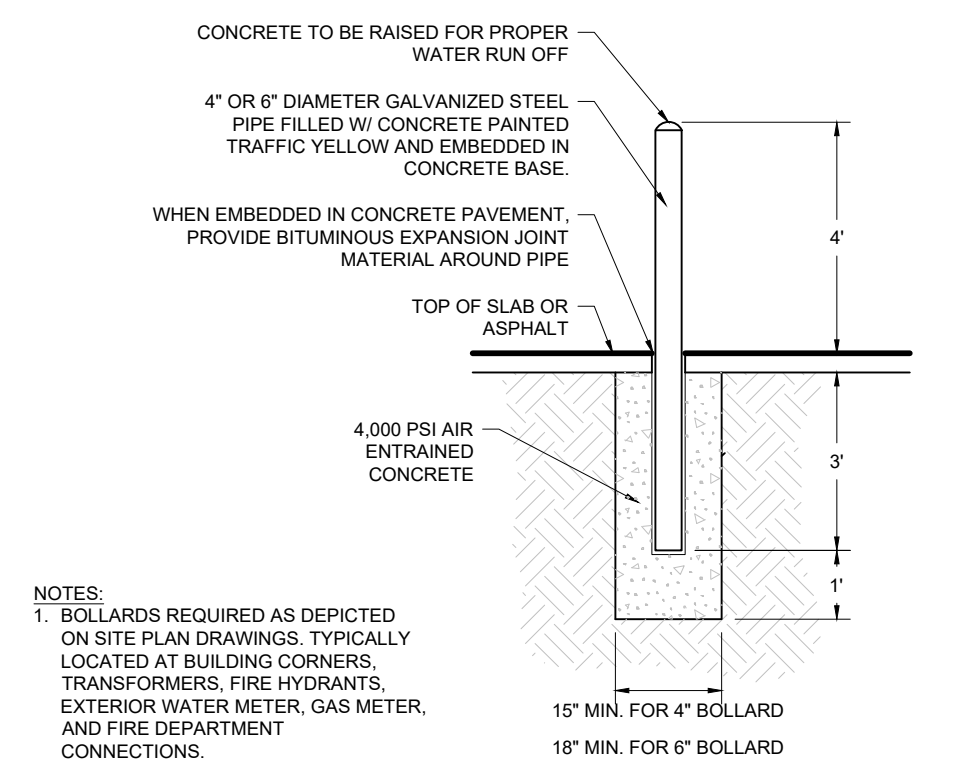
DETECTABLE WARNING SURFACE (DWS)

NOT TO SCALE (BE-S030509 - 09/2023)



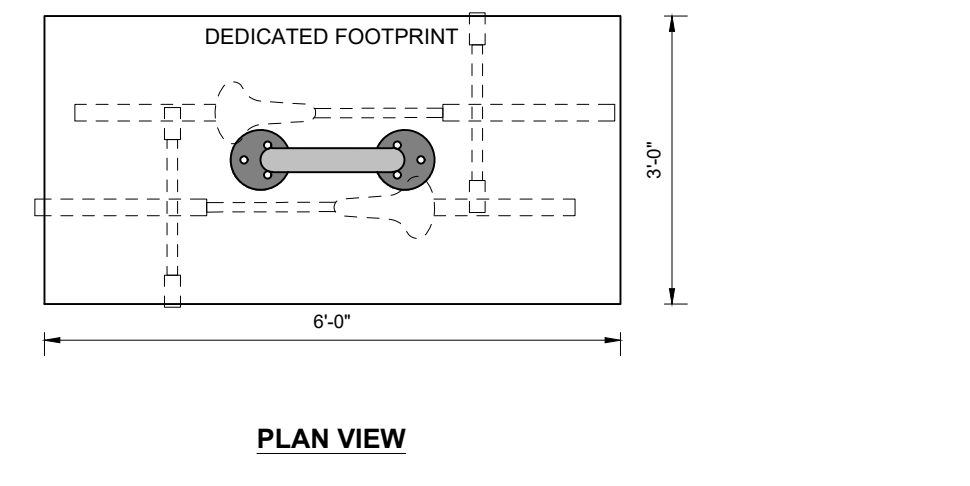
ASPHALT SAWCUT

NOT TO SCALE (FL-S010103 - 09/2024)



4" OR 6" BOLLARD

NOT TO SCALE (NJ-S070102 - 07/2023)

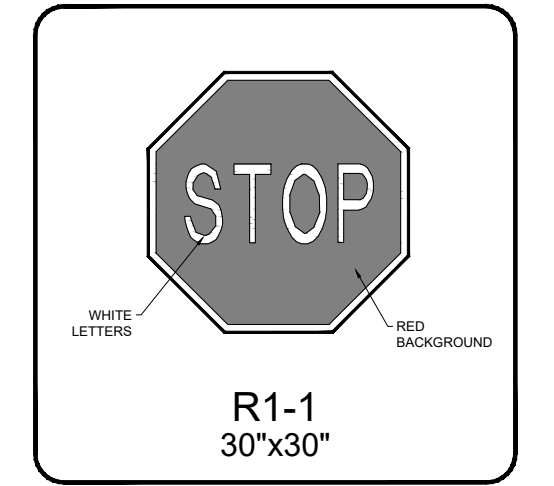


BIKE RACK SURFACE MOUNTED WITH CIRCULAR BASE

NOT TO SCALE (FL-S999902 - 02/2025)



GOLF CART PARKING ONLY



STOP
R1-1
30"x30"

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD

811 KNOW WHAT'S BELOW
ALWAYS CALL 811 BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

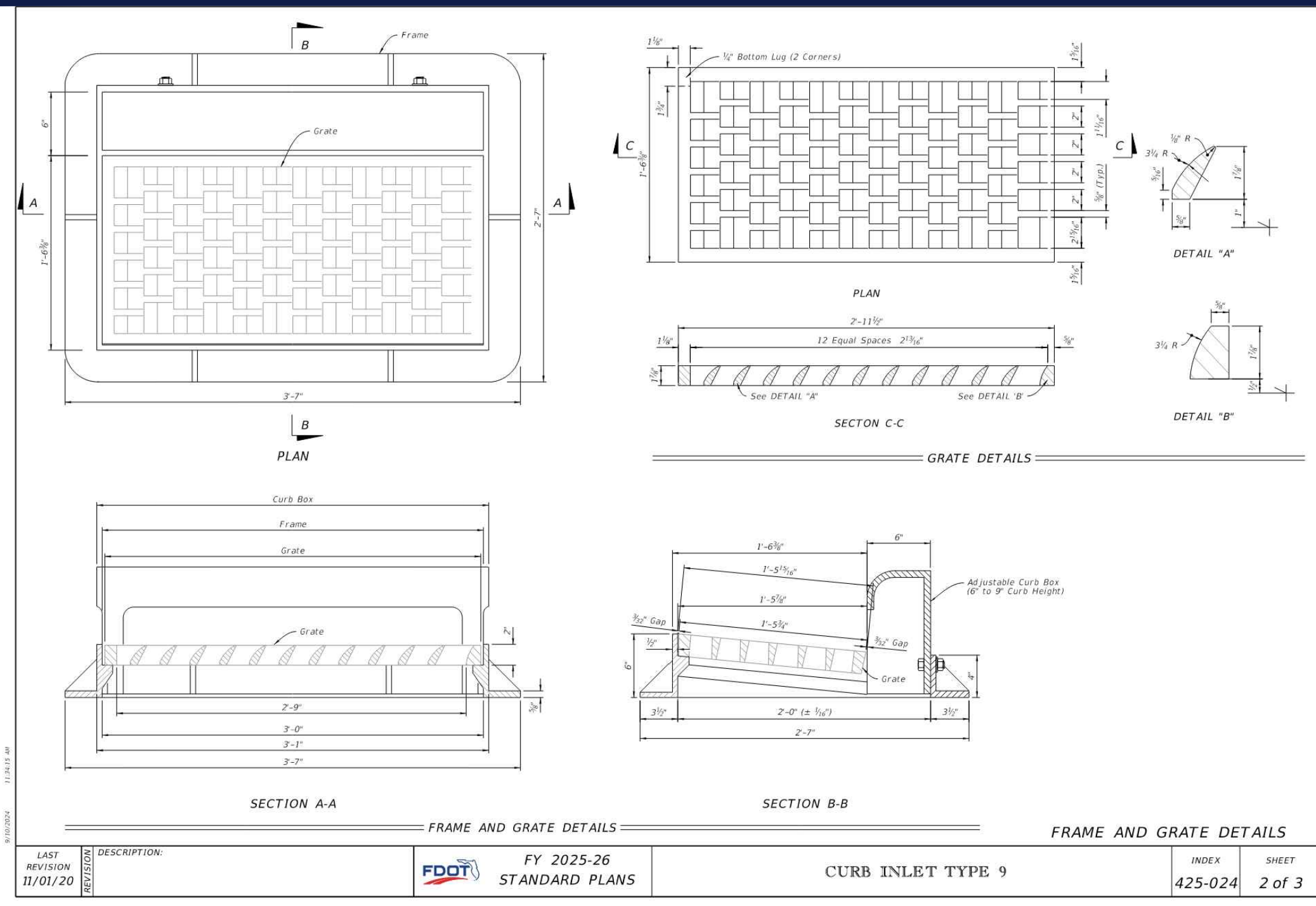
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191-00-0A
DRAWN BY: -AH/MV-
CHECKED BY: -KD/KM-
DATE: 3/6/2026
CAD ID: P-CIVL-CND5

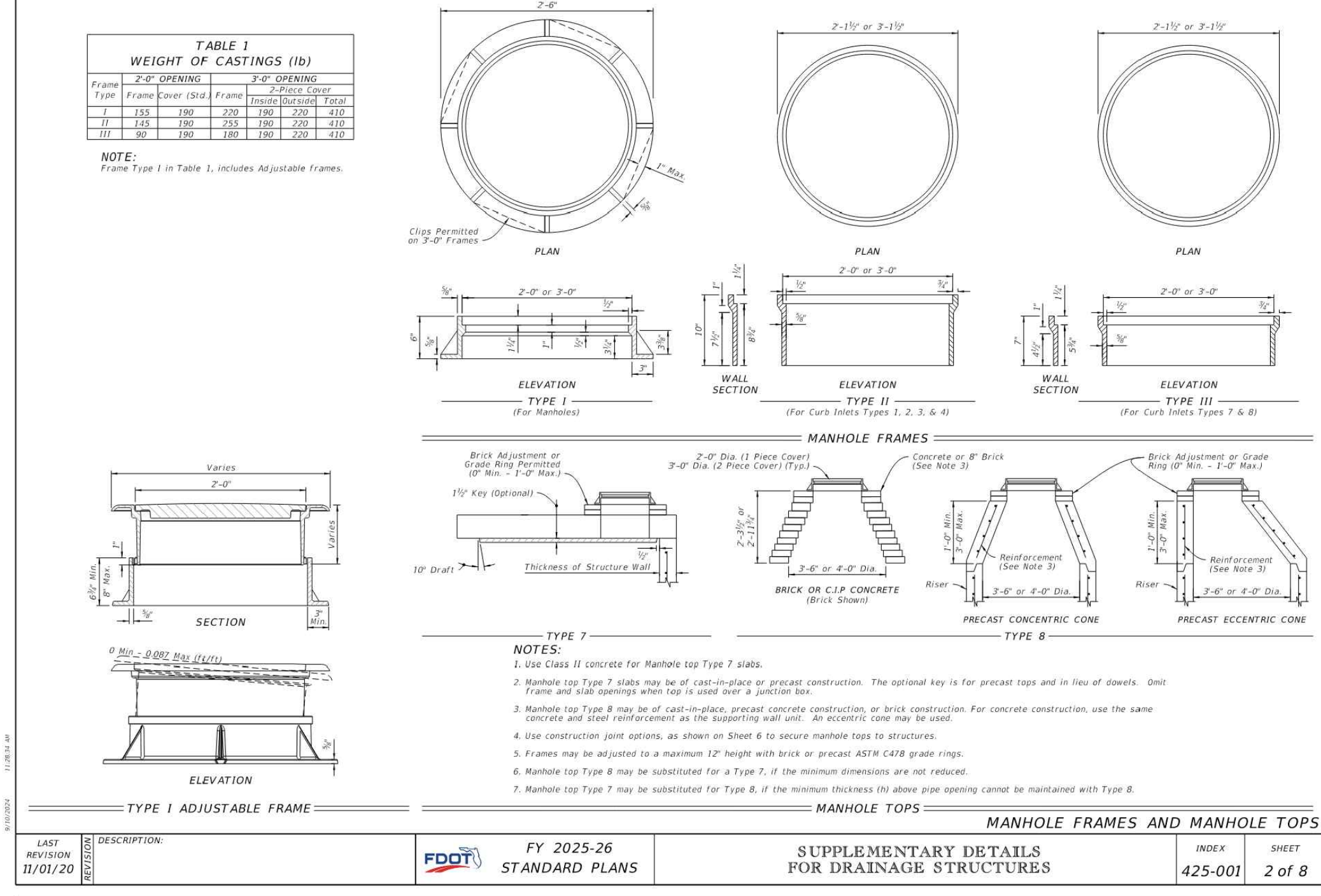
SITE CONSTRUCTION PLANS
FOR
MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. No. 30780

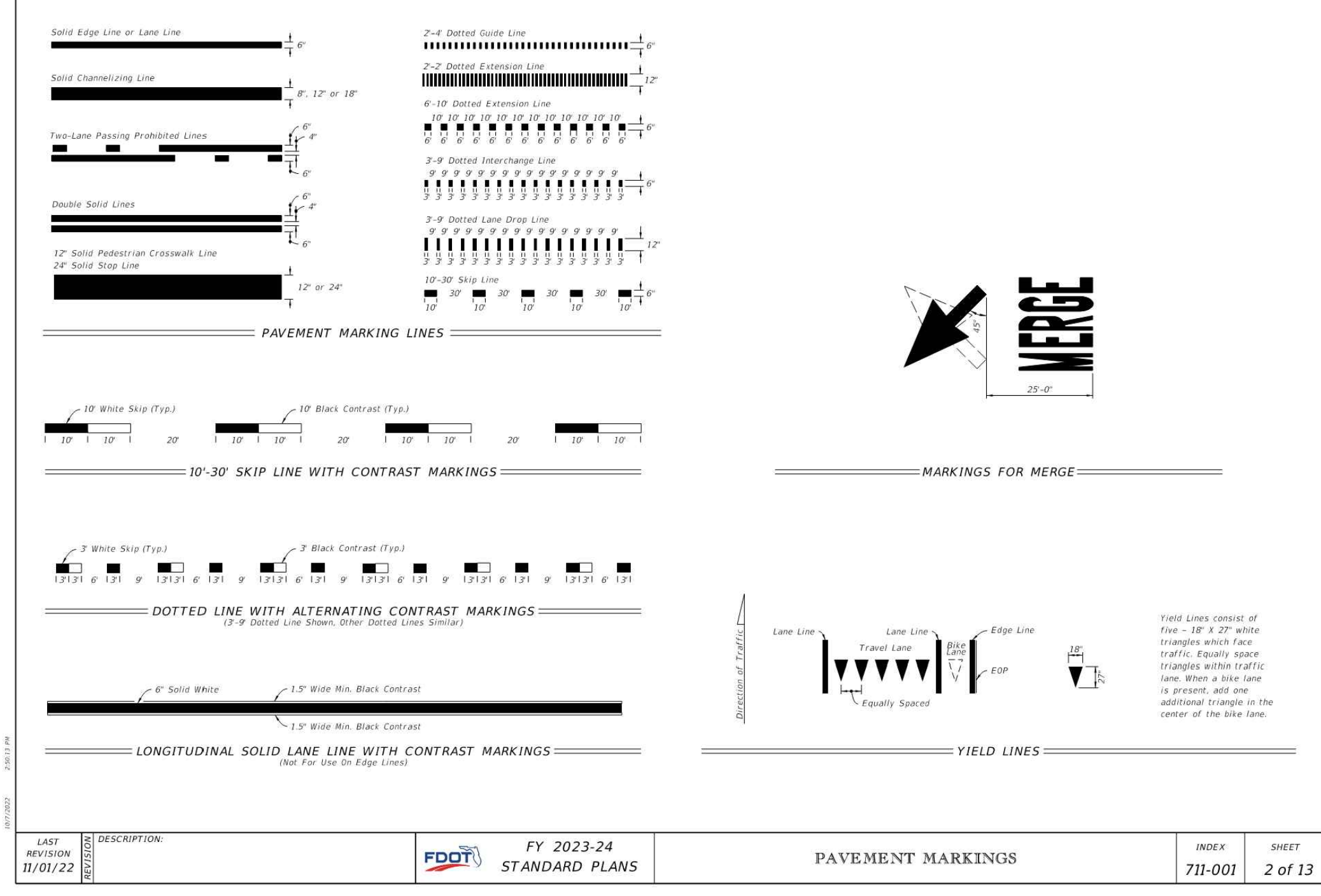
SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NUMBER:
C-901
REVISION 5 - 02/09/2026



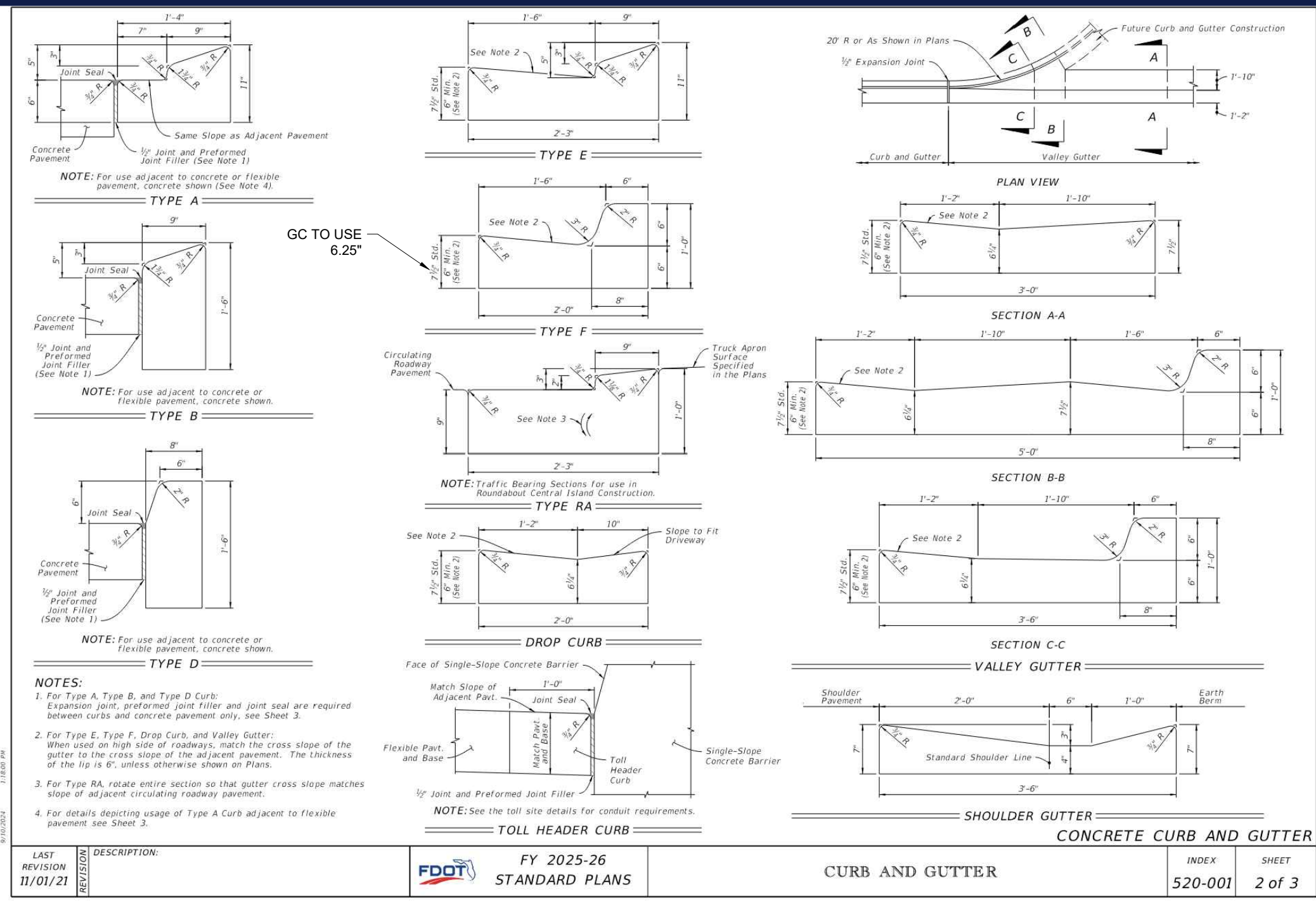
LAST REVISION: 11/01/20	DESCRIPTION: CURB INLET TYPE 9	FY 2025-26 STANDARD PLANS	INDEX: 425-024	SHEET: 2 of 3
-------------------------	--------------------------------	---------------------------	----------------	---------------



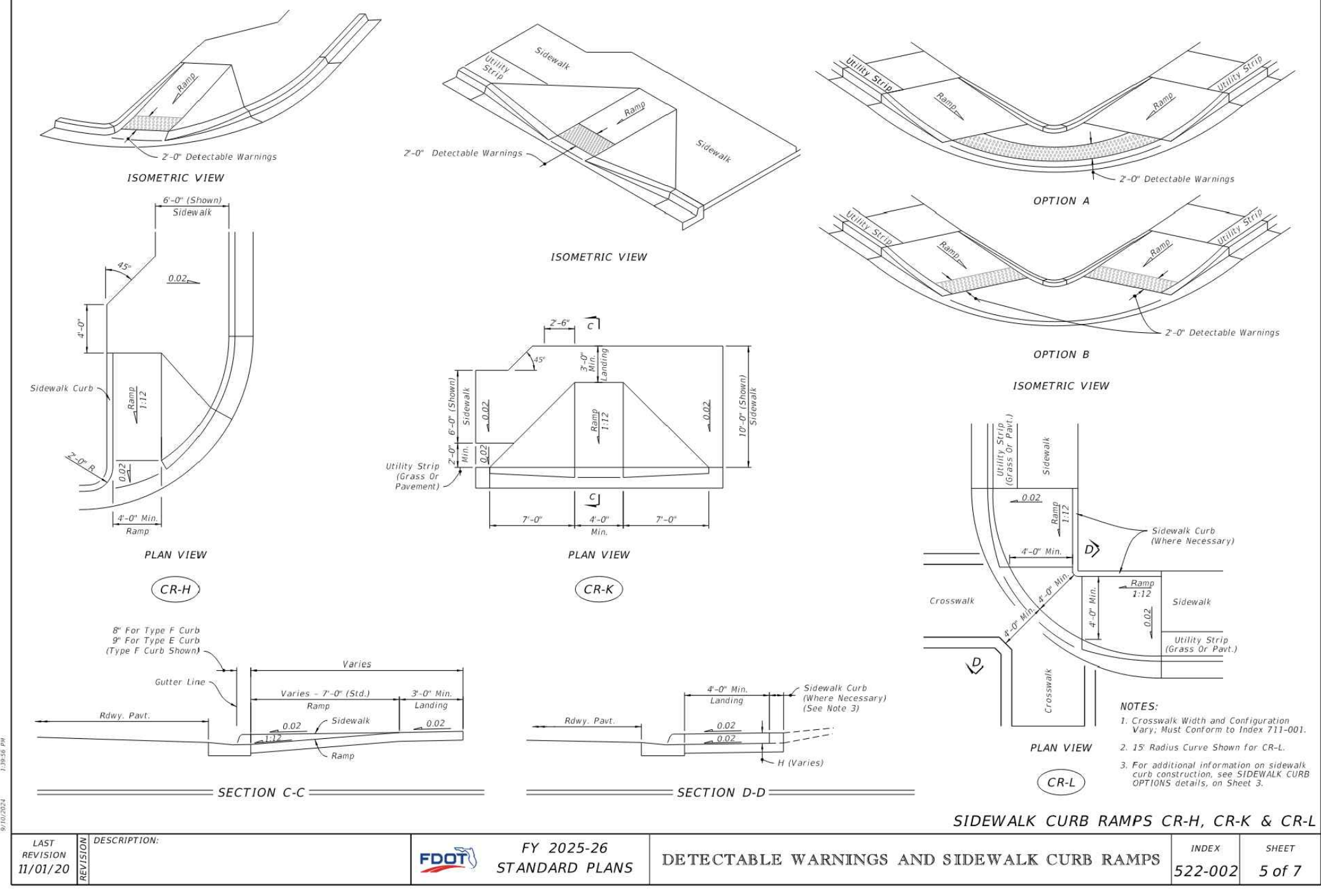
LAST REVISION: 11/01/20	DESCRIPTION: SUPPLEMENTARY DETAILS FOR DRAINAGE STRUCTURES	FY 2025-26 STANDARD PLANS	INDEX: 425-001	SHEET: 2 of 8
-------------------------	--	---------------------------	----------------	---------------



LAST REVISION: 11/01/22	DESCRIPTION: PAVEMENT MARKINGS	FY 2023-24 STANDARD PLANS	INDEX: 711-001	SHEET: 2 of 13
-------------------------	--------------------------------	---------------------------	----------------	----------------



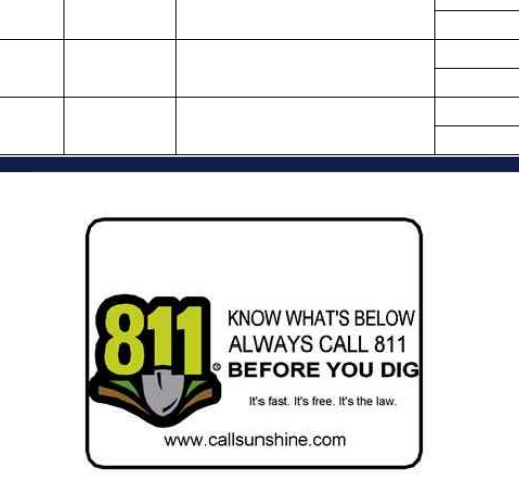
LAST REVISION: 11/01/21	DESCRIPTION: CURB AND GUTTER	FY 2025-26 STANDARD PLANS	INDEX: 520-001	SHEET: 2 of 3
-------------------------	------------------------------	---------------------------	----------------	---------------



LAST REVISION: 11/01/20	DESCRIPTION: DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	FY 2025-26 STANDARD PLANS	INDEX: 522-002	SHEET: 5 of 7
-------------------------	--	---------------------------	----------------	---------------



REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH	KD
2	8/11/2025	2ND ROUND OF COMMENTS	AH	KD
3	08/14/2025	QA/QC COMMENTS	AH	KD
4	10/23/2025	3RD ROUND OF COMMENTS	KD	KD
5	02/09/2026	BID SET	AB	KD



ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191.00-0A
 DRAWN BY: -AHMV-
 CHECKED BY: -KDKM-
 DATE: 3/6/2026
 CAD LID: P-CIV-LOCS

SITE CONSTRUCTION PLANS

FOR

MAVIS TIRES & BRAKES - CITY OF WESTLAKE

16775 PERSIMMON BLVD
 WESTLAKE, FL 33470
 CITY OF WESTLAKE
 S 01, T 43S, R 40E

BOHLER

600 N. WESTSHORE BLVD. SUITE 950
 TAMPA, FLORIDA 33609
 Phone: (813) 812-4100
 Fax: (813) 812-4101

FLORIDA BUSINESS CERT. OF AUTH. No. 30780

SHEET TITLE:

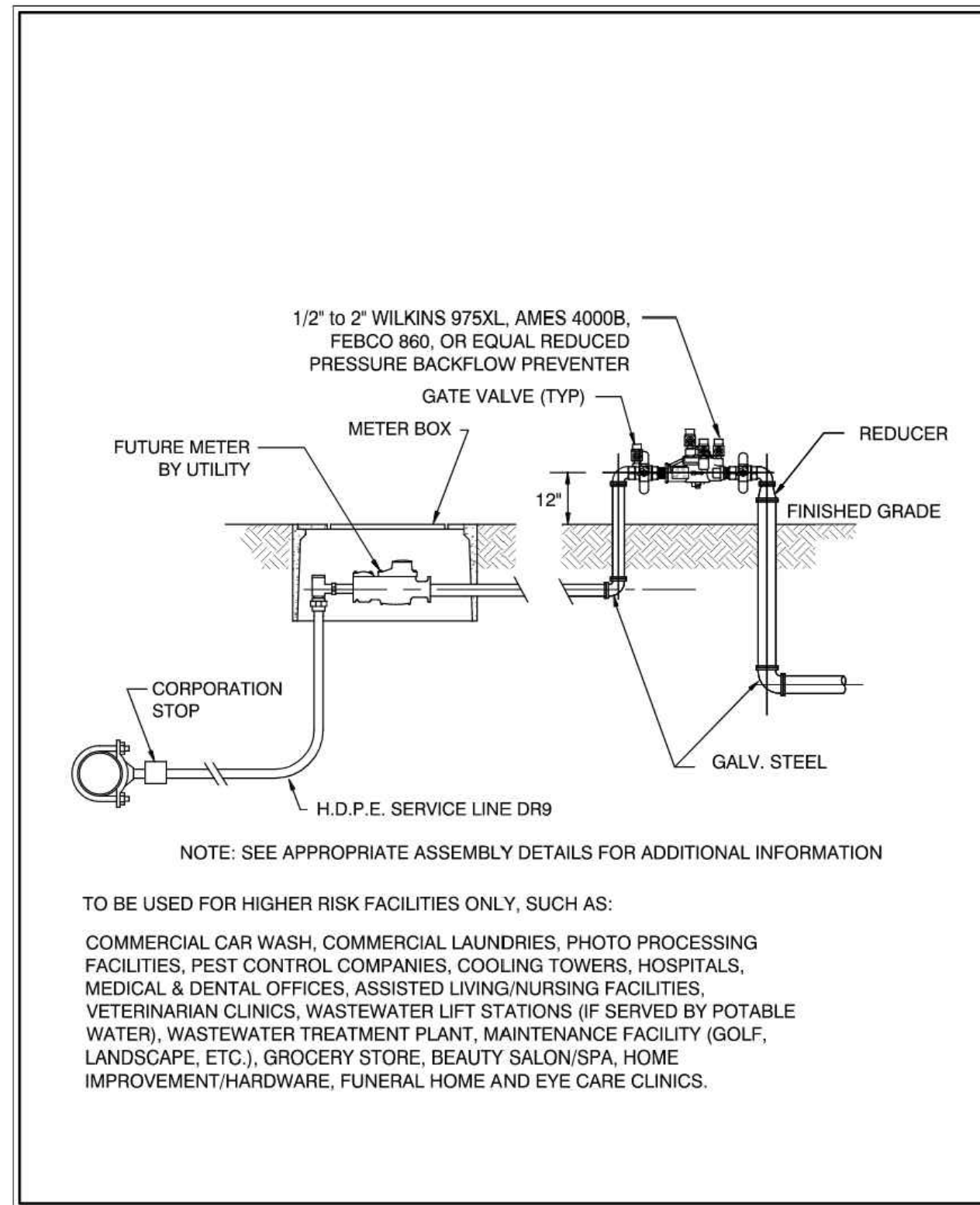
FDOT DETAILS

SHEET NUMBER:

C-902

REVISION 5 - 02/09/2026

11/02/25 P:\A320191\00\ENGINEERING\CAD\DRAWINGS\PLAN SETS\CIVIL\LOCS\FLA230191.00-0A-...-LAYOUT-C-902.CDRS
 11/06/2025
 AH



LATEST REVISION DATE: 09/05/18 NOT TO SCALE

CALLFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
2000 GLADES ROAD - SUITE 100
P.O. BOX 16108 - PALM BEACH, FLORIDA 33416
PHONE: (561) 392-1999 / FAX: (561) 750-1432

BACKFLOW PREVENTER ASSEMBLY DETAIL

SEMIOLE IMPROVEMENT DISTRICT
PW-07

GENERAL REUSE AND NON-POTABLE IRRIGATION NOTES

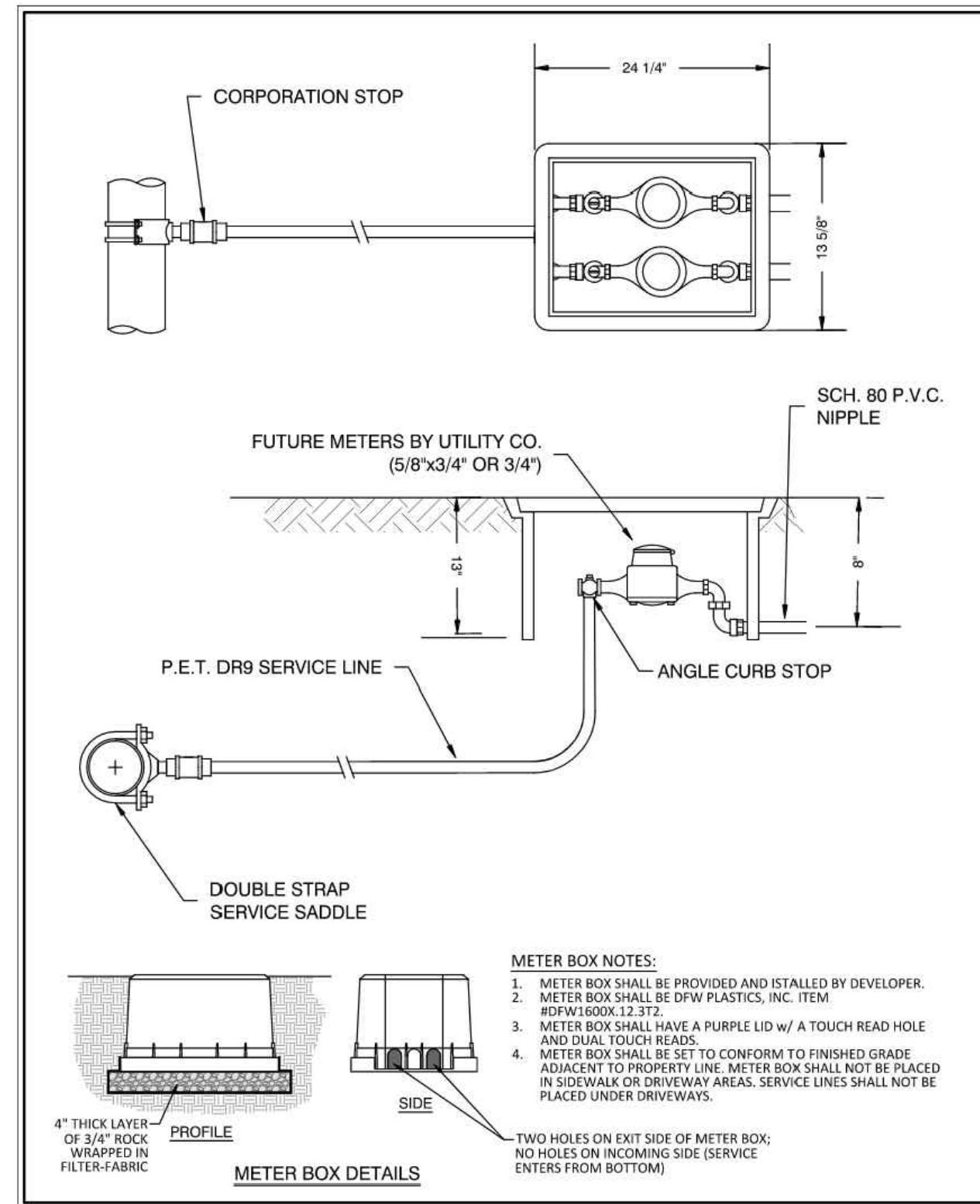
- ALL REUSE AND NON-POTABLE IRRIGATION PIPING TO BE A SOLID PURPLE COLOR.
- REUSE MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 18. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S LATEST RECOMMENDATIONS.
- DEPTH OF REUSE AND NON-POTABLE IRRIGATION LINES TO BE 48" BELOW FINISHED GRADE.
- ALL REUSE AND NON-POTABLE IRRIGATION MAINS THAT ARE NOT PURPLE PVC SHALL BE INSTALLED WITH IDENTIFIER TAPE LOCATED ON TOP OF PIPE & SECURED TAPE SHALL BE 3" VINYL PURPLE IN COLOR WITH LETTERING INDICATING "REUSE" OR "NON-POTABLE IRRIGATION" AT TWO FOOT INTERVALS ALONG TAPE.

LATEST REVISION DATE: 09/05/18 NOT TO SCALE

CALLFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
2000 GLADES ROAD - SUITE 100
P.O. BOX 16108 - PALM BEACH, FLORIDA 33416
PHONE: (561) 392-1999 / FAX: (561) 750-1432

RECLAIMED WATER NOTES

SEMIOLE IMPROVEMENT DISTRICT
RW-01

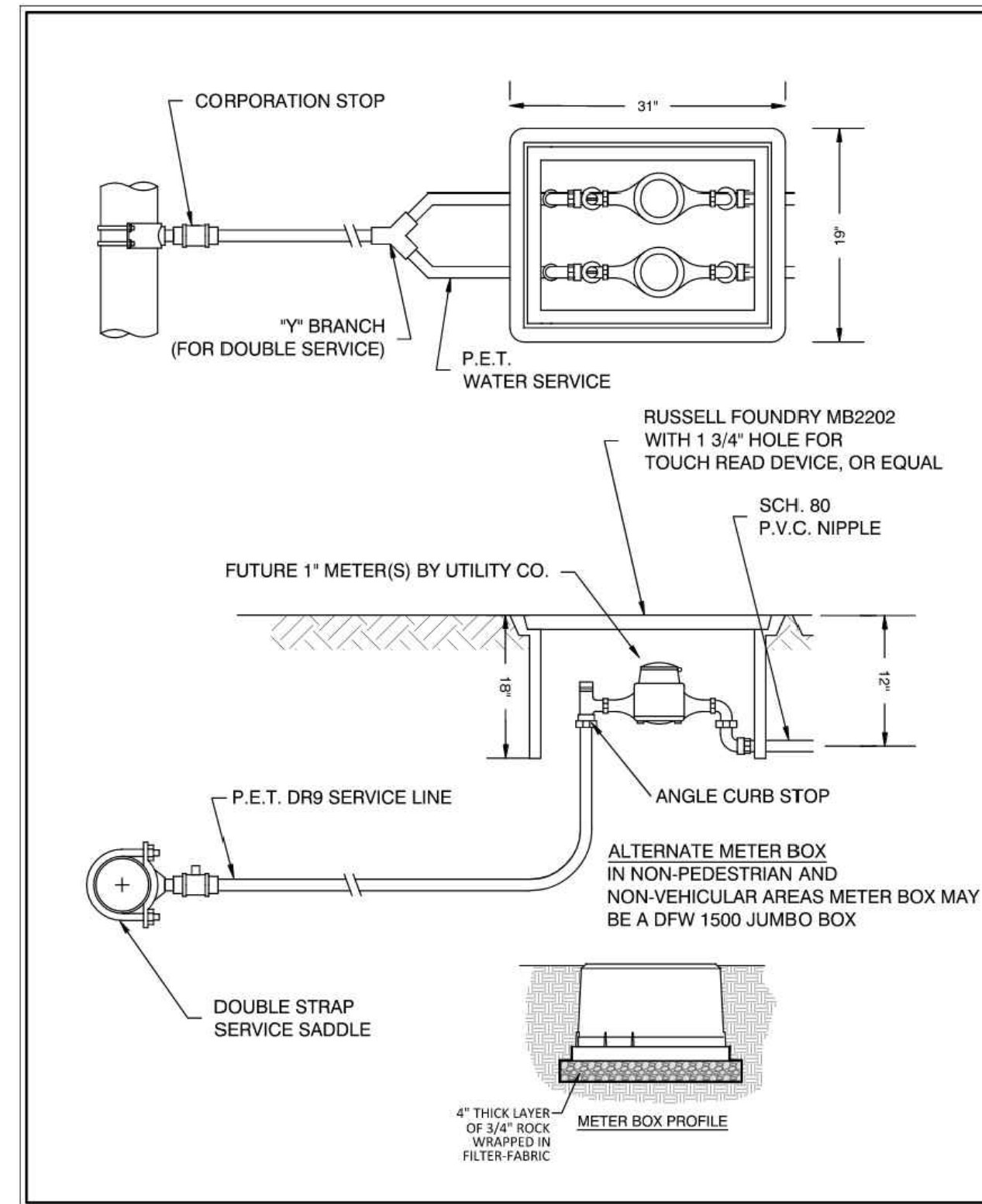


LATEST REVISION DATE: 05/04/2021 NOT TO SCALE

CALLFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
2000 GLADES ROAD - SUITE 100
P.O. BOX 16108 - PALM BEACH, FLORIDA 33416
PHONE: (561) 392-1999 / FAX: (561) 750-1432

RECLAIMED WATER METER ASSEMBLY DETAIL

SEMIOLE IMPROVEMENT DISTRICT
RW-02



LATEST REVISION DATE: 05/04/2021 NOT TO SCALE

CALLFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
2000 GLADES ROAD - SUITE 100
P.O. BOX 16108 - PALM BEACH, FLORIDA 33416
PHONE: (561) 392-1999 / FAX: (561) 750-1432

1 IN. RECLAIMED WATER METER ASSEMBLY DETAIL

SEMIOLE IMPROVEMENT DISTRICT
RW-03

SAFL BAFFLE BRACING REQUIREMENTS

Rev A (11-12-2020)

Guidance for Cross Bracing - SAFL Baffle

Pipe Inside Diameter (Inches)	Bracing Needed Above This Flow (CFS)	Max Flow with 2 Braces (1 top, 2 bottom)	Max Flow with 4 Braces (2 top, 2 bottom)
24	20	30	40
30	30	45	60
36	40	60	75
42	55	70	90
48	75	105	130
60	110	160	200

Note: Flows shown are maximum design flows with a slope of less than 3%. Contact Upstream Technologies if pipe slopes are 3% or greater.

Also see: [Stacking Guide](#) & [Sizing Guide](#)

PATENT PROTECTED Patents: US #8663466B2 - US #8715507B2 - US #9506237B2 - CA #2742207

This generic detail does not encompass the siting, fit, and applicability of the SAFL Baffle for this specific project. It is the ultimate responsibility of the design engineer to assure that the design is in compliance with all applicable laws and regulations. The SAFL Baffle is a patented technology of Upstream Technologies, Inc. Upstream Technologies does not approve plans, siting, or system designs.

SAFL BAFFLE BRACING DETAIL
UPSTREAM TECHNOLOGIES INC.
5201 East River Road, Suite 303
Fridley, MN 55421
651-237-5123

SAFL BAFFLE STACKING REQUIREMENTS

Rev A (11-12-2020)

Dimension	Requirement
A	0 - 6"
B	2" minimum
C	0 - 1"
D	12"

Bracing for Stacked Baffles

Also see: [Bracing Guide](#) & [Sizing Guide](#)

PATENT PROTECTED Patents: US #8663466B2 - US #8715507B2 - US #9506237B2 - CA #2742207

This generic detail does not encompass the siting, fit, and applicability of the SAFL Baffle for this specific project. It is the ultimate responsibility of the design engineer to assure that the design is in compliance with all applicable laws and regulations. The SAFL Baffle is a patented technology of Upstream Technologies, Inc. Upstream Technologies does not approve plans, siting, or system designs.

SAFL BAFFLE STACKING DETAIL
UPSTREAM TECHNOLOGIES INC.
5201 East River Road, Suite 303
Fridley, MN 55421
651-237-5123
www.upstreamtechnologies.us

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH
2	8/11/2025	2ND ROUND OF COMMENTS	KD
3	08/14/2025	QA/QC COMMENTS	AH
4	10/23/2025	3RD ROUND OF COMMENTS	KD
5	02/09/2026	BID SET	AB

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
www.callsunshine.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191.00-0A
DRAWN BY: -AHMV-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD ID: P-CIVL-OCDS

SITE CONSTRUCTION PLANS
FOR
MAVIS TIRES & BRAKES - CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. No. 30760

SHEET TITLE:
SEMIOLE IMPROVEMENT DISTRICT DETAILS
SHEET NUMBER:
C-904
REVISION 5 - 02/09/2026

TOWN CENTER PARKWAY SOUTH

VARIABLE WIDTH R/W
ASPHALT PAVED PUBLIC ROADWAY
PCN: 77-40-43-01-22-001-0000

R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

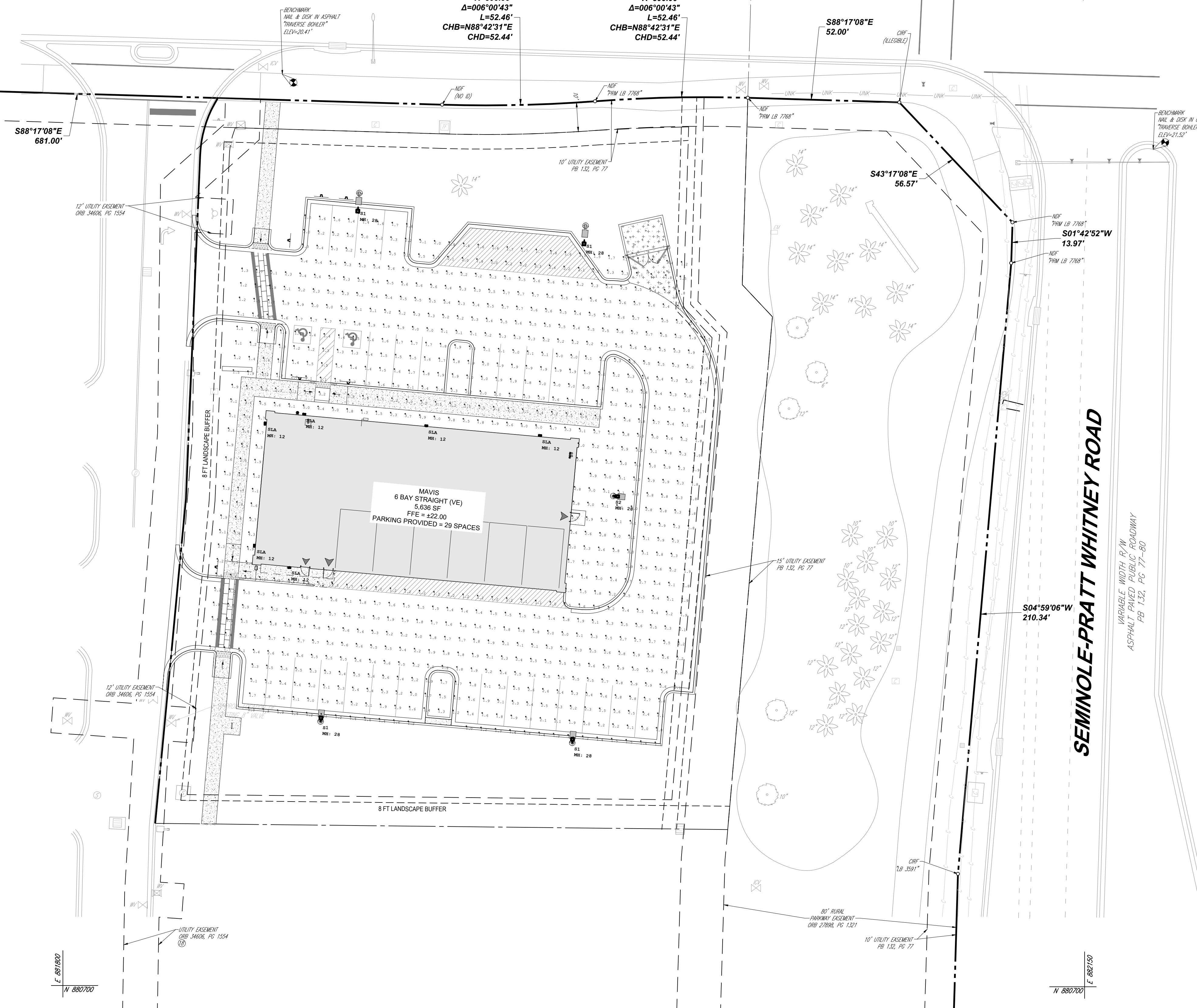
R=500.00'
Δ=006°00'43"
L=52.46'
CHB=N88°42'31"E
CHD=52.44'

S88°17'08"E
52.00'

CRF
(ALLEGORIE)

S43°17'08"E
56.57'

N 881250
E 882750



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	7/14/2025	1ST ROUND OF COMMENTS	AH
2	8/11/2025	2ND ROUND OF COMMENTS	KD
3	08/14/2025	QA/QC COMMENTS	AH
4	10/23/2025	3RD ROUND OF COMMENTS	KD
5	02/09/2026	BID SET	AB

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
www.call811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

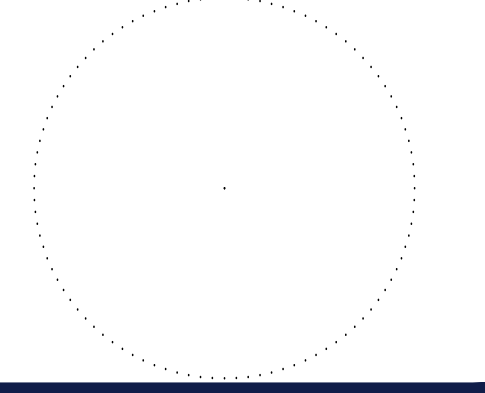
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLA230191.00-0A
DRAWN BY: -AHMV-
CHECKED BY: -KDKM-
DATE: 3/6/2026
CAD ID: P-CIVIL-LGHT

SITE CONSTRUCTION PLANS
FOR

MAVIS TIRES & BRAKES
CITY OF WESTLAKE
16775 PERSIMMON BLVD
WESTLAKE, FL 33470
CITY OF WESTLAKE
S 01, T 43S, R 40E

BOHLER
600 N. WESTSHORE BLVD. SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101
FLORIDA BUSINESS CERT. OF AUTH. No. 30760



SHEET TITLE:
LIGHTING PLAN
SHEET NUMBER:
L-201
REVISION 5 - 02/09/2026

Symbol	Qty	Tag	[MANUFAC]	Description	LLF	Luminaire Lumens	Luminaire Watts	Mounting Height	BUG Rating	IES Class
WPX1	6	SLA	Lithonia Lighting	WPX1 LED P2 30K Mvolt	0.900	2749	23.26	12	B1-U0-G1	Type III
MRS-LED-15L-SIL-FIT-40-70CRI-IL	4	S1	LSI INDUSTRIES, INC.	MRS-LED-15L-SIL-FIT-40-70CRI-IL	0.900	9900	111	28	B1-U0-G2	Type III
MRS-LED-15L-SIL-2-40-70CRI	1	S2	LSI INDUSTRIES, INC.	MRS-LED-15L-SIL-2-40-70CRI	0.900	15167	111	28	B3-U0-G2	Type II

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site_Planar	Illuminance	Fc	2.24	5.6	1.0	2.24	5.60

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

Mar 06, 2026
 H:\2025\PLA230191\00\ENGINEERING\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\REV. OMP-CIVIL-LGHT-FLA230191.00-0A-...-LAYOUT: L-201 LGHT