



|                                                                                    |                                                                     |                        |
|------------------------------------------------------------------------------------|---------------------------------------------------------------------|------------------------|
|  | <b>SITE LOCATION DIAGRAM</b>                                        | ENGINEER<br>GL5        |
|                                                                                    | <b>Fisherman's Wharf - Jupiter</b>                                  | SCALE<br>1" = 150'     |
|                                                                                    | <b>Fisherman's Way &amp; E Indiantown Rd Int., Jupiter, Florida</b> | PROJECT NO.<br>25:4465 |
|                                                                                    | <b>Spina O Rourke</b>                                               | SHEET<br>1             |
|                                                                                    |                                                                     | DATE<br>1/27/2026      |



## BORING LOCATION DIAGRAM

### Fisherman's Wharf - Jupiter

Fisherman's Way & E Indiantown Rd Int., Jupiter, Florida  
Spina O Rourke



|             |
|-------------|
| ENGINEER    |
| GL5         |
| SCALE       |
| 1" = 50'    |
| PROJECT NO. |
| 25:4465     |
| SHEET       |
| 2           |
| DATE        |
| 1/27/2026   |

Site Data - West Parcel (Parcel 4)

|                           |                         |
|---------------------------|-------------------------|
| Total Site Area           | .72 Acres, 31,339 s.f.  |
| Existing Use              | Parking Lot             |
| Existing Zoning           | C-2; General Commercial |
| Existing Future Land Use  | Commercial              |
| I.O.Z. District           | Parkway                 |
| Existing Parking Provided | 67 Spaces               |
| Proposed Parking Provided | 64 Spaces               |

Green Space Data

|                      |                            |
|----------------------|----------------------------|
| Green Space Existing | 5,714 s.f.; 18.2% (Min.)   |
| Green Space Required | 9,401.7 s.f.; 30.0% (Min.) |
| Green Space Provided | 7,563 s.f.; 24.1%          |

Site Data - East Parcel (Parcels 1, 2 & 3)

|                          |                               |
|--------------------------|-------------------------------|
| Total Site Area          | 3.90 Acres, 169,961.7 s.f.    |
| Existing Zoning          | C-2; General Commercial       |
| Existing Future Land Use | Commercial                    |
| I.O.Z. District          | Parkway                       |
| Bldg. Lot Coverage       | 23,240 s.f., 13.7% (35% Max.) |

Parking Required

|                |             |              |               |
|----------------|-------------|--------------|---------------|
| Office Use     | 17,212 s.f. | (1/250 s.f.) | 68.85 Spaces  |
| Restaurant Use | 9,353 s.f.  | (1/85 s.f.)  | 110.04 Spaces |
| Outdoor Dining | 5,621 s.f.  | (1/85 s.f.)  | 66.13 Spaces  |
| Tiki Bar       | 1,175 s.f.  | (1/85 s.f.)  | 13.82 Spaces  |
|                | 33,361 s.f. |              | 259 Spaces    |

Total Parking Required 197 Shared Spaces (259 Code Req'd Spaces)

Parking Provided

|                             |            |
|-----------------------------|------------|
| West Parcel Surface Parking | 64 Spaces  |
| East Parcel Surface Parking | 112 Spaces |
| Parking Garage              | 23 Spaces  |
| Total Parking Provided      | 199 Spaces |
| Handicap Parking Required   | 6 Spaces   |
| Handicap Parking Provided   | 6 Spaces   |

Green Space Data

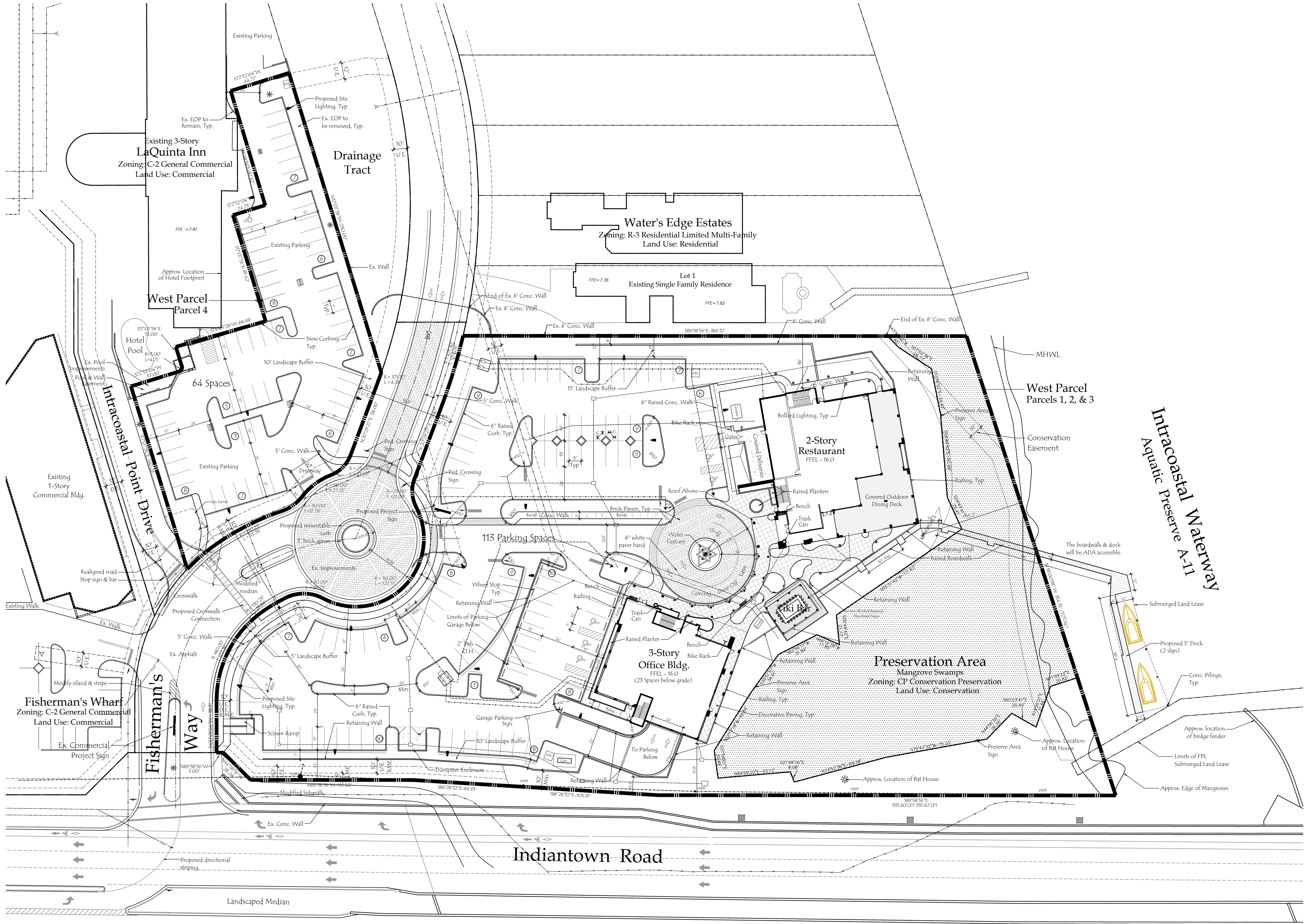
|                      |                             |
|----------------------|-----------------------------|
| Green Space Required | 50,988.5 s.f.; 30.0% (Min.) |
| Green Space Provided | 92,630 s.f.; 54.5%          |

Building Setback Data

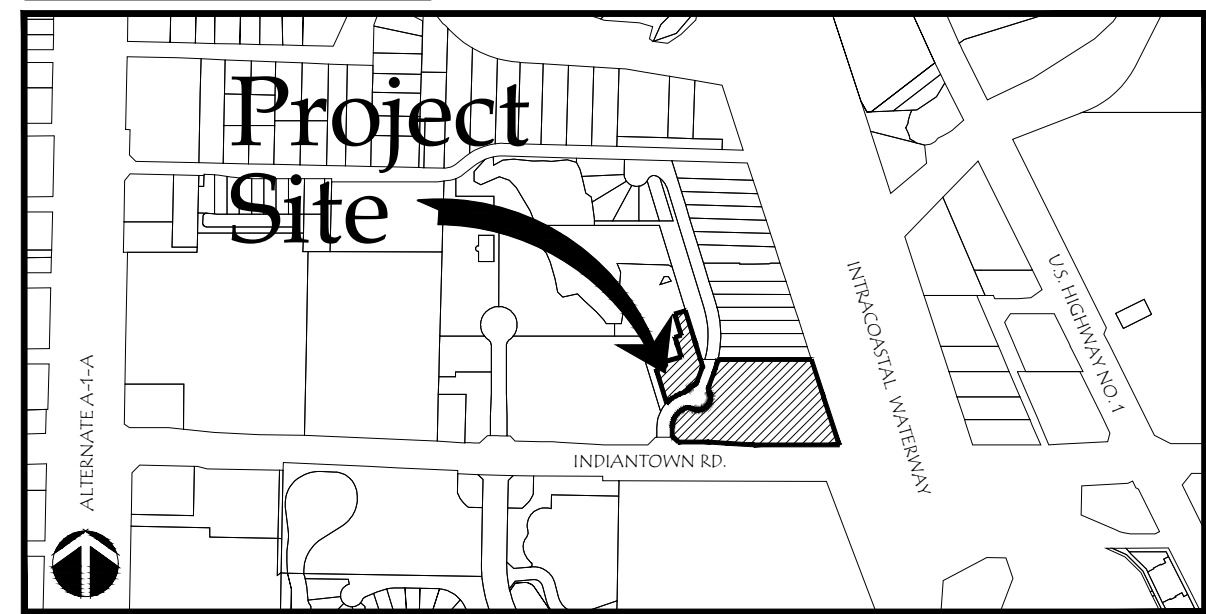
| Setbacks      |                                | Required By Code | Proposed |
|---------------|--------------------------------|------------------|----------|
| Front         | (South, Indiantown Road)       | 35'              | 37.8'    |
| Rear          | (North, Water's Edge Estates)  | 30'              | 38'      |
| Side          | (East, Intracoastal Waterway)  | 20'              | 75.2'    |
| Side Interior | (West, Intracoastal Point Dr.) | 35'              | 149.3'   |

Pedestrian Amenity Data

| Restaurant Use                        | 16,532 s.f. | Required    | Provided    |
|---------------------------------------|-------------|-------------|-------------|
| Bike Racks (1 per 12,500 s.f.)        |             | 1 (5 bikes) | 1 (5 bikes) |
| Benches (1 per 12,500 s.f.)           |             | 2           | 2           |
| Trash Receptacles (1 per 25,000 s.f.) |             | 1           | 1           |
| Office Use                            | 17,198 s.f. | Required    | Provided    |
| Bike Racks (1 per 12,500 s.f.)        |             | 1 (5 bikes) | 1 (5 bikes) |
| Benches (1 per 12,500 s.f.)           |             | 1           | 1           |
| Trash Receptacles (1 per 25,000 s.f.) |             | 1           | 1           |



Location Map



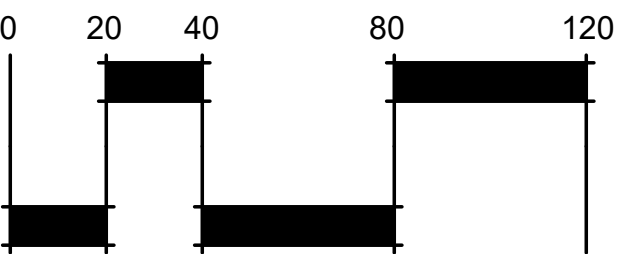
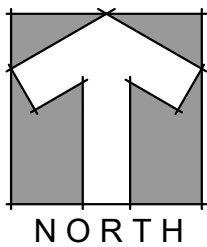
Shared Parking Analysis

| Use                | Code        | WEEKDAY             |                    |                     |                    |                     |                    | WEEKEND             |                    |                     |                    |        |  |
|--------------------|-------------|---------------------|--------------------|---------------------|--------------------|---------------------|--------------------|---------------------|--------------------|---------------------|--------------------|--------|--|
|                    |             | NIGHT               |                    | DAY                 |                    | EVENING             |                    | DAY                 |                    | EVENING             |                    |        |  |
|                    |             | Midnight - 6:00am   |                    | 9:00am - 4:00pm     |                    | 6:00pm - Midnight   |                    | 9:00am - 4:00pm     |                    | 6:00pm - Midnight   |                    |        |  |
|                    |             | Percent<br>Required | Spaces<br>Required | Percent<br>Required | Spaces<br>Required | Percent<br>Required | Spaces<br>Required | Percent<br>Required | Spaces<br>Required | Percent<br>Required | Spaces<br>Required |        |  |
| Prof. Office       | 17,212 S.F. | 68.85               | 5%                 | 3.44                | 100%               | 68.85               | 10%                | 6.88                | 10%                | 6.88                | 5%                 | 3.44   |  |
| 1 sp. per 250 S.F. |             |                     |                    |                     |                    |                     |                    |                     |                    |                     |                    |        |  |
| Restaurant         | 9,353 S.F.  | 110.04              | 10%                | 11.00               | 50%                | 55.02               | 100%               | 110.04              | 50%                | 55.02               | 100%               | 110.04 |  |
| 1 sp. per 85 S.F.  |             |                     |                    |                     |                    |                     |                    |                     |                    |                     |                    |        |  |
| Outdoor Dining     | 5,621 S.F.  | 66.13               | 10%                | 6.61                | 50%                | 33.06               | 100%               | 66.13               | 50%                | 33.06               | 100%               | 66.13  |  |
| 1 sp. per 85 S.F.  |             |                     |                    |                     |                    |                     |                    |                     |                    |                     |                    |        |  |
| Tiki Bar           | 1,175 S.F.  | 13.82               | 10%                | 1.38                | 50%                | 6.91                | 100%               | 13.82               | 50%                | 6.91                | 100%               | 13.82  |  |
| 1 sp. per 85 S.F.  |             |                     |                    |                     |                    |                     |                    |                     |                    |                     |                    |        |  |
| TOTALS             | 33,361 S.F. | 259                 |                    | 22                  |                    | 164                 |                    | 197                 |                    | 102                 |                    | 193    |  |

MINIMUM ALLOWABLE PARKING SPACES 197  
Parking Provided 199 Spaces (23.1% Reduction) 25% Max. (15% Max. staff approval)

General Notes:

- PARKING AREAS TO BE SINGLE STRIPED AS PER JUPITER CODE.
- FREE STANDING SIGNAGE TO MEET TOWN OF JUPITER SIGN CODE.
- HANDICAPPED & DIRECTIONAL SIGNAGE WILL BE PROVIDED ON SITE & WILL MEET ALL STATE & LOCAL CODES.
- ALL PARKING AREAS SHALL BE ASPHALT PAVED.
- SIX (6) INCH RAISED CONC. CURBING SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL VEHICLE USE AREAS.
- THE DIRECTION OF ALL PROPOSED LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES.
- IRRIGATION SOURCE SHALL BE POTABLE WATER.
- ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM, EQUIPPED WITH A RAIN SENSOR.
- ALL MECHANICAL/ELECTRICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
- ON THREE (3) SIDES WITH AN APPROVED HEDGE MATERIAL, HEIGHT OF HEDGE SHALL BE EQUAL TO OR GREATER THAN THE HEIGHT OF THE UTILITY BEING SCREENED.
- ALL UTILITIES ABUTTING THE PARCEL WILL BE PLACED UNDERGROUND.



Fisherman's Wharf  
Restaurant/Office  
Jupiter, Florida

Designed: MTH  
Drawn: MTH  
Approved: MTH  
Date: 11/14/22  
Job no:  
Revisions: 12/7/23  
5/20/26

Cad no. CAD0

Seal

LC C000530

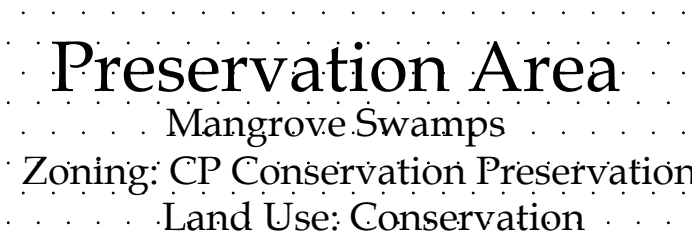
Sheet Title:  
Site  
Development  
Plan

Scale: 1" = 40'

Sheet No.

SP-1

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**Section 3. The Owner and Applicant, and their successors or assigns shall comply with and maintain the following conditions:**

1) The Owner shall install and maintain all improvements in compliance with the following conditions:

- a) Site Plan and Details, prepared by Gentile, Holloway & O'Mahoney & Associates, Inc., referenced as "SP-1, SP-2, SP-3," dated 05/18/23 received by the Planning and Zoning Department 05/19/23;
- b) Landscape Plan and Details, prepared by Gentile, Holloway & O'Mahoney & Associates, Inc., referenced as "LP-1, LP-2, LP-3," dated 05/18/23;
- c) Architecture Plan, prepared by Gentile, Holloway & O'Mahoney & Associates, Inc., referenced as "AP-1, AP-2," dated 05/18/23 received by the Planning and Zoning Department 5/19/23;
- d) Conceptual Engineering Plan, prepared by Gentile, Holloway & O'Mahoney & Associates, Inc., referenced as "CEP-1," dated 05/17/23 received by the Planning and Zoning Department 5/19/23;
- e) Section Conceptual Engineering Plan, prepared by Gentile, Holloway & O'Mahoney & Associates, Inc., referenced as "a through d" through "d" dated 05/17/23 received by the Planning and Zoning Department 5/19/23;
- f) Statement of Use, prepared by Gentile, Holloway & O'Mahoney & Associates, Inc., referenced as "Page 1 of 17" through "Page 17 of 17," dated 05/17/23 received by the Planning and Zoning Department 5/19/23;
- g) Traffic Impact Analysis, prepared by Linda Troutman Consulting, Inc., referenced as "TIA-1," dated 05/17/23 received by the Planning and Zoning Department 04/05/23.

2) The Uses conducted on the subject property shall be consistent with the Statement of Use, dated 05/19/23. Any revisions to the site plan, Statement of Use, or other details submitted as part of the Application, including but not limited to the design of the property or any additional, revised, or deleted covenants, materials, or structures, or changes to how the uses operate, shall be subject to the Planning and Zoning Department's review and approval. The subject property shall be subject to its review and approval.

**Indiantown Road Overlay Zoning District regulations (underground utilities)**

- a) Prior to the issuance of any development permits, the Owner shall submit the design of the underground utilities to the Planning and Zoning District and secure necessary permits for undergrounding from FPL, Palm Beach County, the Town and any other applicable agencies.
- b) The issuance of a Certificate of Zoning Ordinance, including which shall complete the undergrounding of the overhead utilities.

3) **Site Plan.** Prior to the issuance of any development permits, the Applicant shall obtain approval from the Fisherman's Wharf Property Owner's Association, Inc. ("FWPOA") prior to plan to increase the amount of parking spaces on the site of the traffic circle by extending the landscape buffer on the south side of the parking lot to the existing central median. The extended landscaping area shall incorporate additional vegetation to the existing landscape. The FWPOA shall review the traffic circle area. The final design shall be subject to the review and approval of the Town Engineer. Should the Fisherman's Wharf Property Owner's Association, Inc. deny the modification, the Applicant shall not be required to revise the entry driveway.

4) **Landscape.** Prior to the issuance of any development permits, the Applicant shall increase the western landscape buffer along the westernmost row of eight palm trees to meet the minimum required setbacks.

5) **Outdoor Seating.** The outdoor seating area of the restaurant shall be closed by 10 PM daily.

6) **Architectural.**

- a) Prior to the issuance of any development permits, the Applicant shall submit the blank permit form (PMP) to the Planning and Zoning Department service area with architectural details that are consistent with the architectural language of the building, such as an isothermal green wall, a trellis, and/or additional landscaping.
- b) Prior to the issuance of any development permits, the Applicant shall submit the architectural details of the building, including the design of the two large landscaping areas referenced as the North Elevation on page 14." c) Prior to the issuance of any development permits, the Applicant shall submit the Roof-top Equipment Plan, referenced as "RTEP-1," which shall be subject to the review and approval of the Planning & Zoning Department. (the Department).

7) **Environmental Protection.**

- a) Prior to the issuance of any development permits, the Applicant shall receive approvals from the Department of Environmental Protection (DEP) and South Florida Water Management District (SFWMD) for the installation of a stormwater management system, including a detention pond and wetland buffer, and provide a copy of the DEP and SFWMD written approvals.
- b) Prior to the submission of the Applicant's final plans and prior to the issuance of any development permits, the Applicant shall submit a draft environmental impact buffer assessment, per the Universal Effect Exhibit to the Department. Upon the Department's approval of the transitional impact buffer assessment, the Owner shall record an executed copy of it in the public records of Palm Beach County. The Department shall review the draft assessment and shall not be issued until the Department has received the recorded assessment.
- c) Prior to the issuance of any development permits, the Applicant shall provide a draft Environmental Stewardship Plan which includes a draft Environmental Management Plan (EMP) and Environmental Stewardship Plan to the review and approval of the Department. The EMP shall describe how the preserve and upland buffers shall be maintained and maintained by the Department. The EMP shall describe the installation and maintenance of bar boxes adjacent to the preserve area and the upland buffer. The Marine Stewardship Plan shall describe the installation and maintenance of the bar boxes, the permitting and construction of artificial reef modules, and the installation of educational signage related to environmental stewardship. Prior to the issuance of any development permits, the Applicant shall submit the Environmental Stewardship Plan to the Department which shall be subject to its approval.

8) **Parking.**

- a) Prior to the issuance of any development permits, the Applicant shall submit a paved parking plan, which shall be subject to the review and approval of the Department. The Applicant shall not be entitled to a Certificate of Occupancy until the parking plan is approved. The Applicant shall submit a paved parking plan, which shall be subject to the review and approval of the Department. Until the new paved parking plan is approved, no paved parking shall be authorized.
- b) Upon the submission of the Applicant's final plans and prior to the issuance of any development permits, the Owner shall submit to the Department a proposed Shared Parking Agreement with the Town of Palm Beach Section 27-28.03. The proposed Shared Parking Agreement shall be subject to the review of the Town Attorney. Upon the approval of the Shared Parking Agreement, the Applicant shall record an executed copy of it in the public records of Palm Beach County, Florida. The Department shall review the Shared Parking Agreement and shall record a certified copy of the executed and recorded Shared Parking Agreement.
- c) Prior to the issuance of any development permits the statement of use and the office building plans shall be updated to include that the stairwell and elevator on the north side of the building shall be maintained and maintained for open direct access between the underground parking and the plaza between the two buildings.

9) **Stormwater and Utilities.** The Owner shall pay all connection fees and an amendment to water service agreement within 60 days of the effective date of the Certificate of Occupancy.

10) **Signage.**

- a) Prior to the issuance of any development permits, the Applicant shall submit a Signage Plan to the Department, which shall be subject to its review and approval.
- b) No lighter signage facing north towards the residential units is permitted.
- c) The freestanding sign shall not be taller than 10 feet and the sign shall be located at least 84 inches from the ground. The sign shall be architecturally compatible with the site.
- d) Upon submission of the final plans and prior to the issuance of any development permits, the Applicant shall submit proposed signage for the entrance of the parking garage stating that the underground parking garage is available for both the residential and commercial uses.

11) **Miscellaneous.** Prior to beginning any development, the Applicant shall install the landscaping buffer and wall along the north of the property.



**Fisherman's Wharf  
Restaurant/Office**  
Jupiter, Florida

Designed: \_\_\_\_\_ MTH  
 Drawn: \_\_\_\_\_ MTH  
 Approved: \_\_\_\_\_ MTH  
 Date: \_\_\_\_\_ 11/14/22  
 Job no. \_\_\_\_\_  
 Revisions: \_\_\_\_\_ 12/7/23  
                   \_\_\_\_\_ 5/20/26  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Cad no. \_\_\_\_\_ CADO

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LC C000530

Sheet Title:  
Tiki Area  
Enlargement  
Plan

Scale: 1" = 10'

Sheet No. \_\_\_\_\_

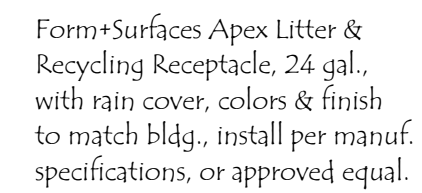
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SP-2

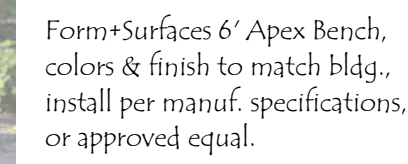
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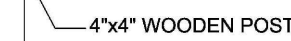
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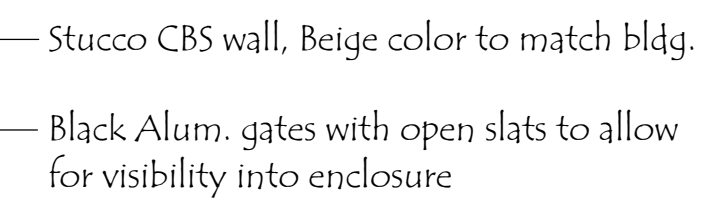
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N.T.S.



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N.T.S.



N.T.S.

Fisherman's Wharf  
Restaurant/Office  
Jupiter, Florida

Designed: MTH  
Drawn: MTH  
Approved: MTH  
Date: 11/14/22  
Job no.  
Revisions: 12/7/23  
5/20/26

Cad no. CADPO

Seal

LC C000530

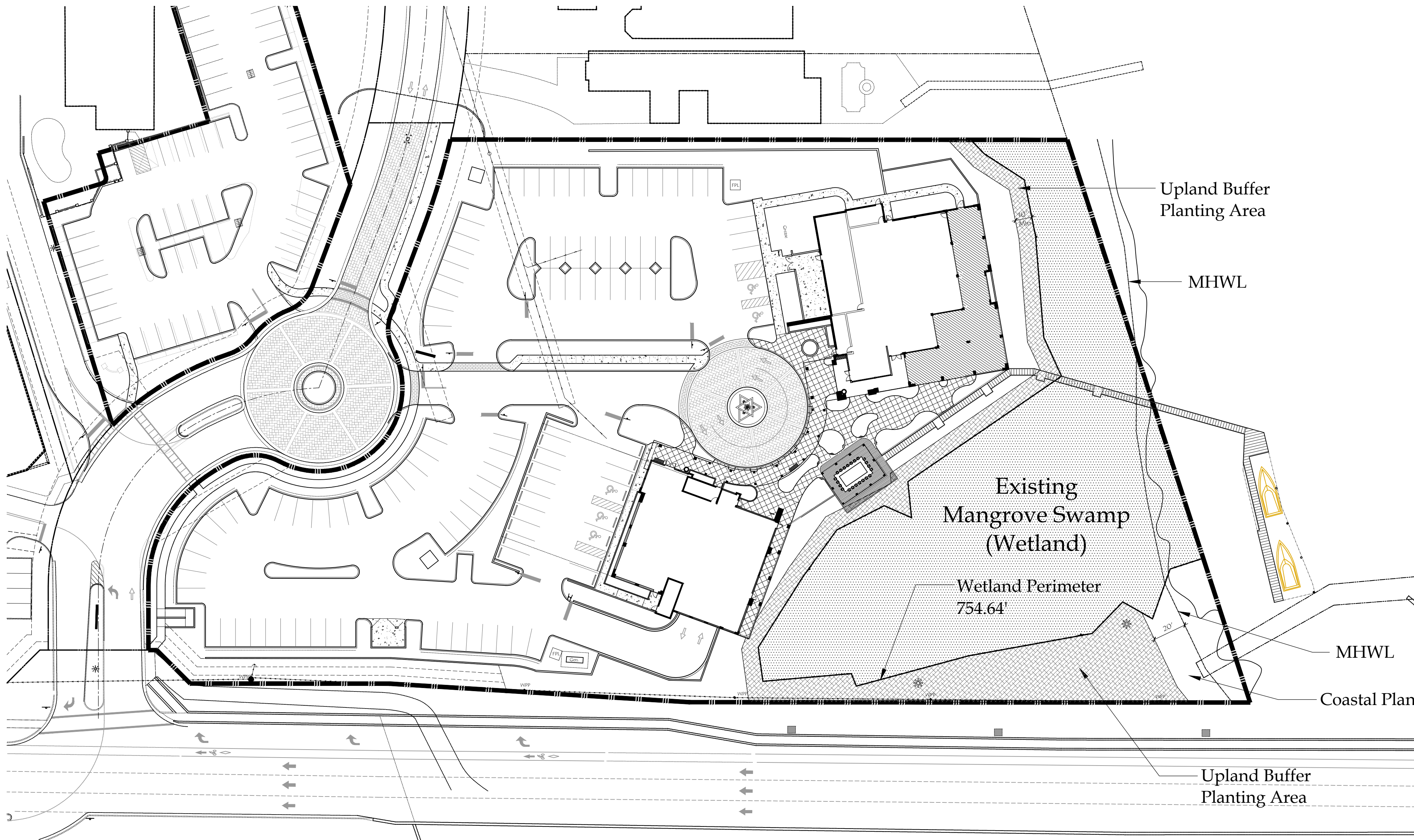
Sheet Title:  
Upland  
Buffer  
Exhibit

Scale: 1" = 30'

Sheet No.

UB-1

00-0000



Upland Buffer Data

Wetland Area .80 Ac.  
Wetland Perimeter 754.64 L.F.  
Upland Buffer Required 7,546.4 S.F. Min. (10 s.f. per l.f.)  
Upland Buffer Provided 11,413 S.F.

\* No less than 50% of the perimeter shall be buffered by a minimum of 10 foot upland buffer.

