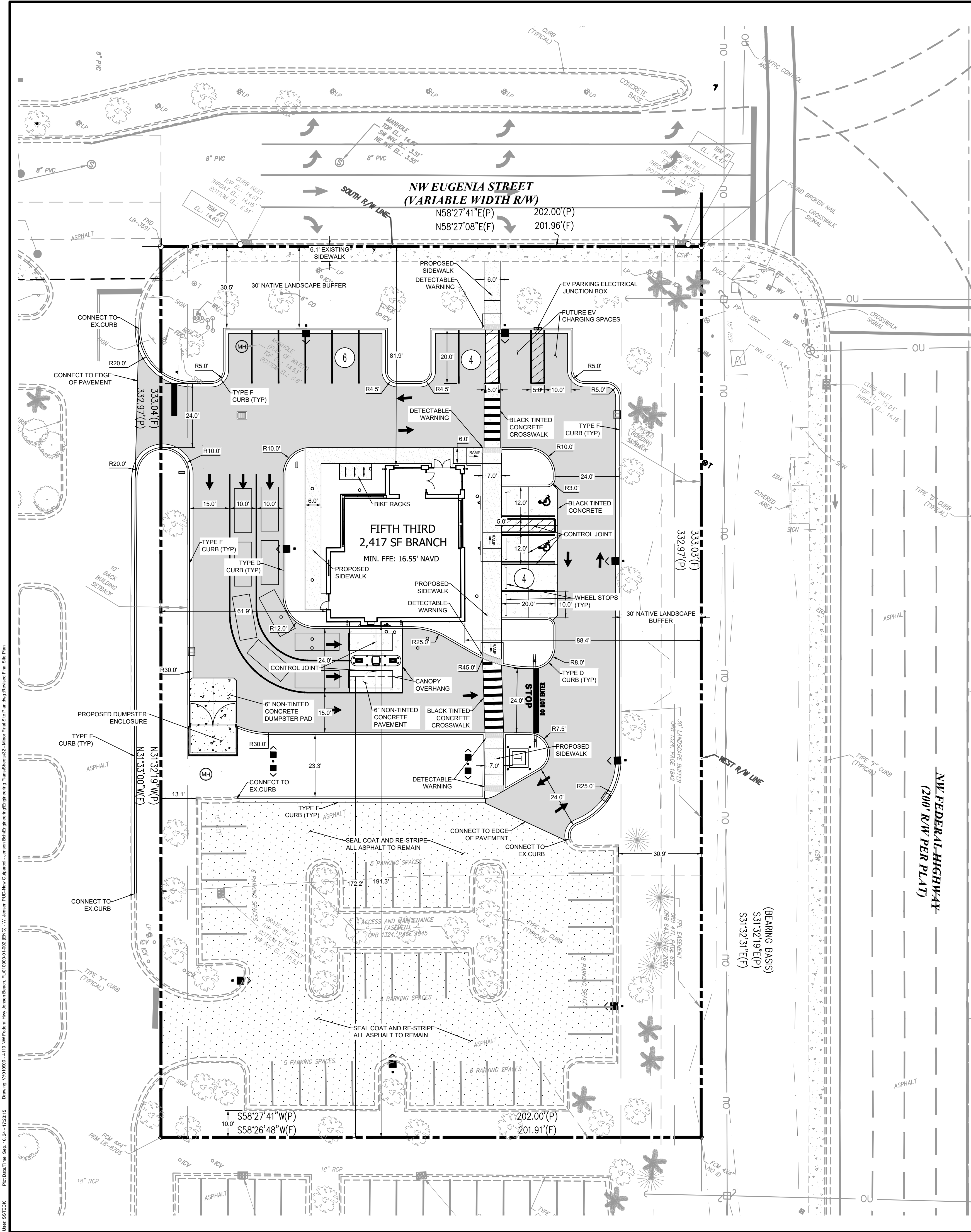




SITE SUMMARY	
JURISDICTION	MARTIN COUNTY
ZONING	PUD-WJ
FLU	GENERAL COMMERCIAL
USE	BANK/ FINANCIAL INSTITUTION
TYPE OF CONSTRUCTION	NEW
PARCEL ID	18374100600000100
LOT	
SIZE	67,252 SF (1.54 AC)
BUILDING	
SIZE	2,417 SF
HEIGHT	22' - 11 5/8" ± 1 STORY
MAX HEIGHT	40'
CONSTRUCTION TYPE	TYPE VB
PARKING	
STALL SIZE	10' X 20.0'

PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BANK AND FINANCIAL USE	2,417	1 SPACE PER 200 SF	12 SPACES
TOTAL PARKING REQUIRED			
STANDARD PARKING PROVIDED			47
HANDICAP PARKING REQUIRED			2
HANDICAP PARKING PROVIDED			2
FUTURE EV PARKING			2
TOTAL PARKING PROVIDED			49
EXISTING PARKING TO REMAIN			35
NEWLY CONSTRUCTED PARKING			14

AREA CALCULATIONS			
AREA	SF	ACRES	%
TOTAL AFFECTED AREA	67,252	1.54	100
PROP. Pervious AREA	26,831	0.62	39.9
PROP. LANDSCAPE AREA	16,641	0.38	24.7
PROP. DRY RETENTION AREA	0	0.00	0.0
PROP. BUFFER AREA	10,190	0.23	15.2
PROP. IMPERVIOUS AREA	40,421	0.93	60.1
PROP. BUILDING AREA	2,417	0.06	3.6
PROP. PAVEMENT AREA	38,004	0.87	56.5
EXIST. Pervious AREA	24,466	0.56	36.4
EXIST. IMPERVIOUS AREA	42,786	0.98	63.6
EXIST. BUILDING AREA	5,370	0.12	8.0
EXIST. PAVEMENT AREA	37,416	0.86	55.6

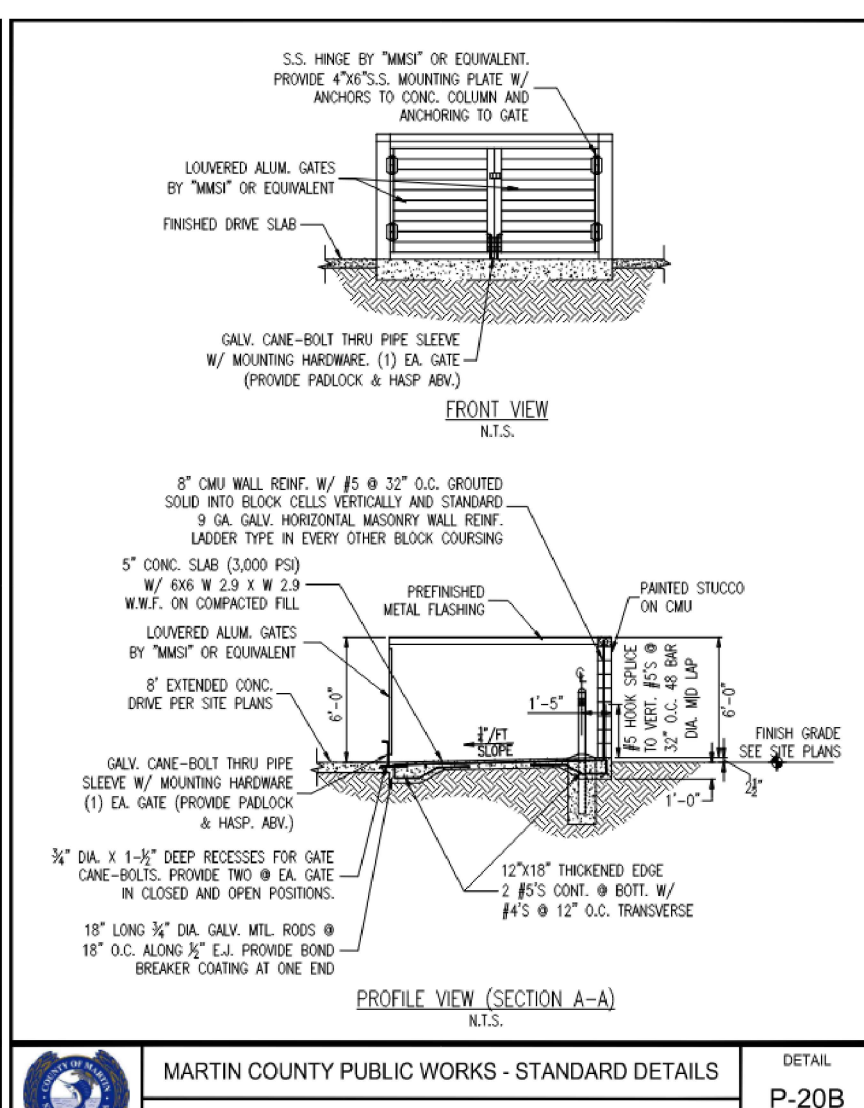
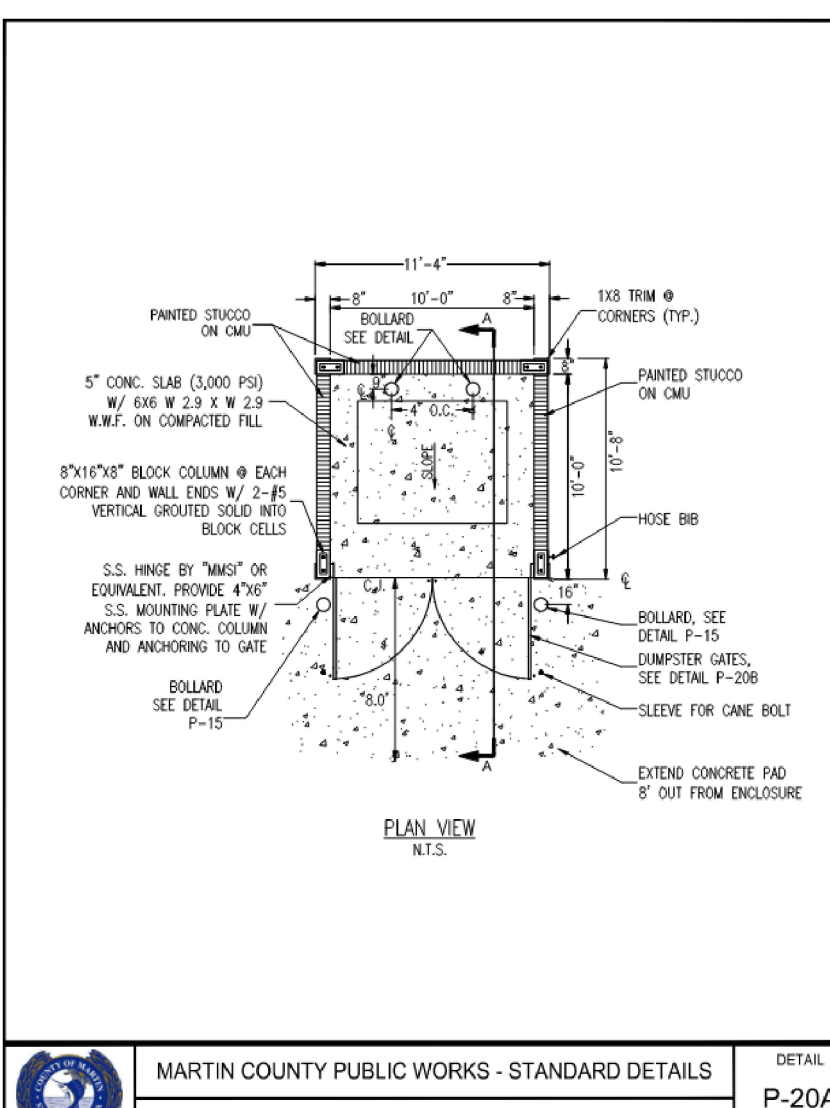
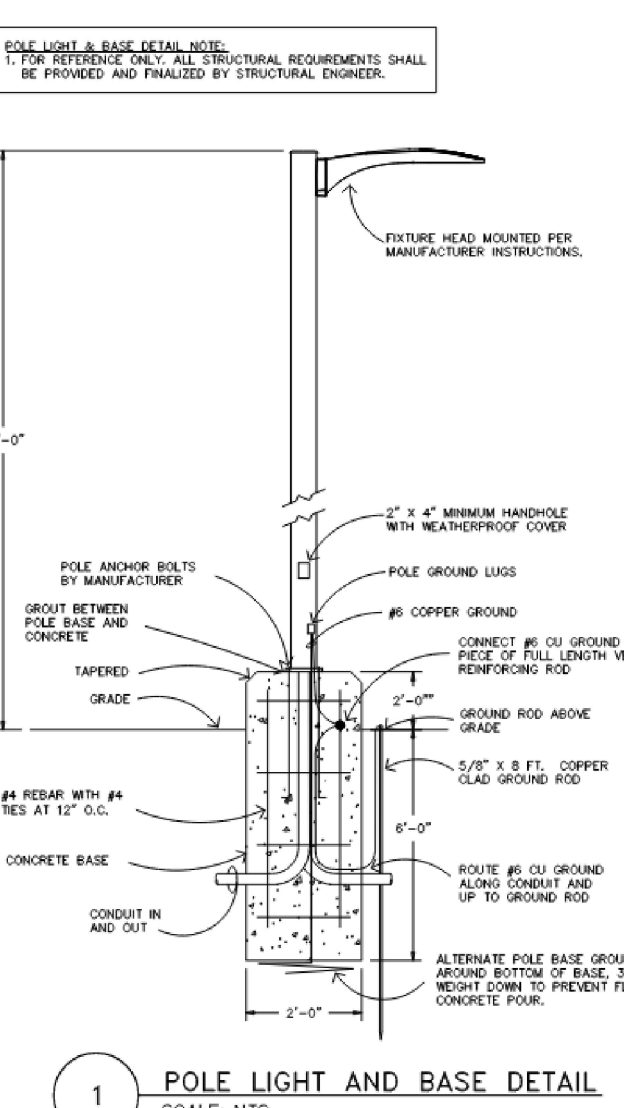
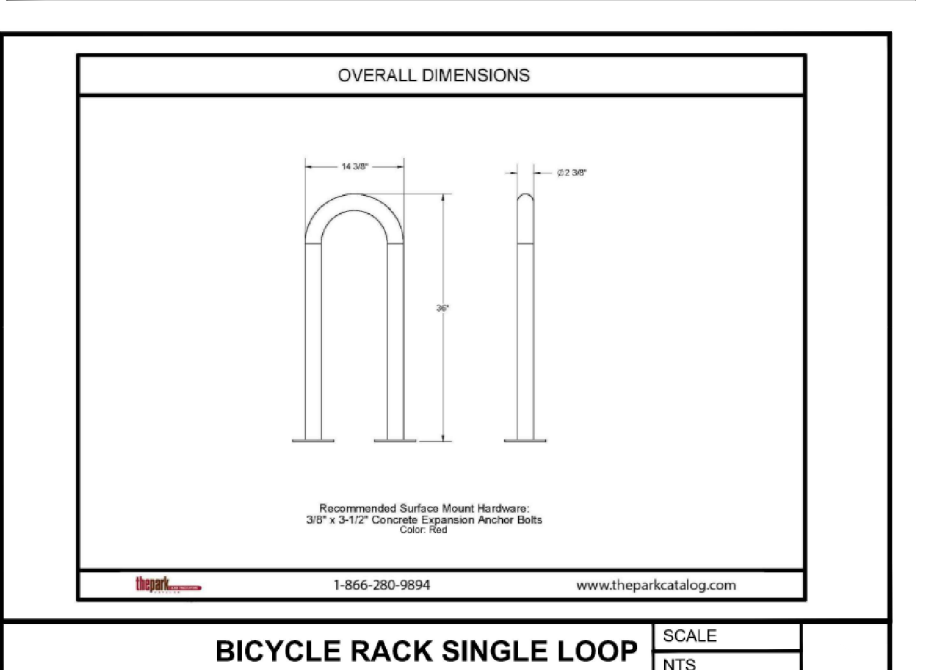
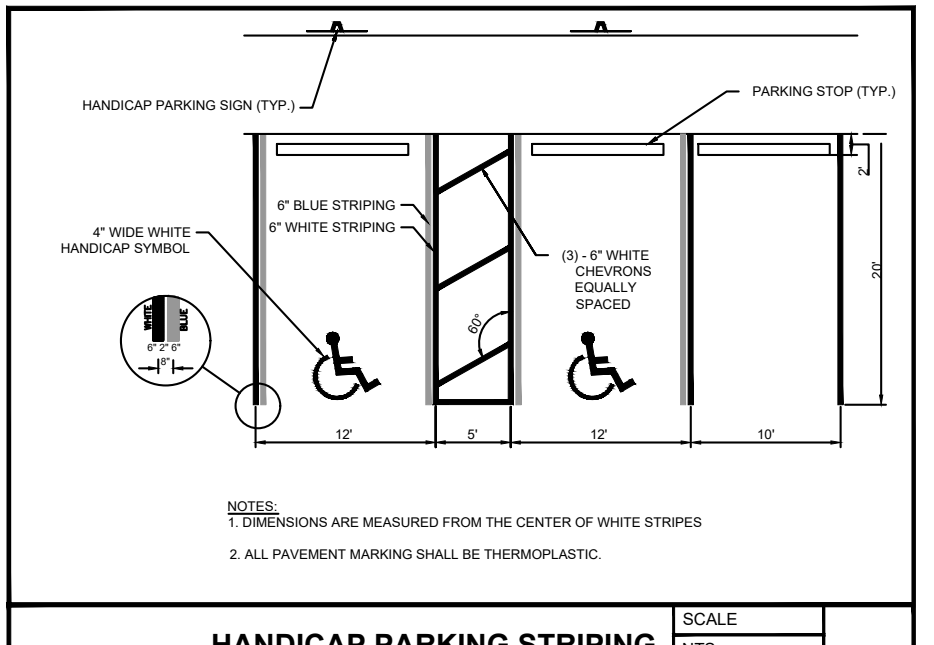
AREA CALCULATIONS			
AREA	REQUIRED	SF	ACRES
BUILDING COVERAGE	MAX. 60%	2,417	0.06
OPEN SPACE	MIN. 20%	26,831	0.62

EXISTING LEGEND		PROPOSED LEGEND	
	PROPERTY LINE		PROPOSED ASPHALT PAVEMENT
	EXISTING SIGN		PROPOSED CONCRETE PAVEMENT
	EXISTING WATER METER		PROPOSED BLACK TINTED CONCRETE PAVEMENT
	EXISTING WATER VALVE		SEAL COATED AND RE-STRIPED ASPHALT
	EXISTING LIGHT POLE		PROPOSED "D" CURB
	EXISTING SEWER MANHOLE		PROPOSED "F" CURB
	EXISTING STORM STRUCTURE		PROPOSED SIGN (SEE SIGN PACKAGE FOR MORE DETAIL)
	EXISTING GRATE INLET		PARKING COUNT
	EXISTING TRANSFORMER		PROPOSED MANHOLE
	EXISTING CURB		PROPOSED INLET
	EXISTING CONCRETE BLOCK WALL		
	EXISTING FIRE HYDRANT		
	EXISTING BACKFLOW PREVENTER		
	EXISTING CABLE RISER		
	TRAFFIC SIGNAL JUNCTION BOX		
	TRAFFIC SIGNAL POLE		

PARKING SETBACKS		
SETBACK	REQUIRED (FT)	PROVIDED (FT)
SIDE (NORTH)	10	30.5
FRONT (EAST)	10	30.9
REAR (WEST)	10	13.1
SIDE (SOUTH)	10	10.0

BUILDING SETBACKS		
SETBACK	REQUIRED (FT)	PROVIDED (FT)
SIDE (NORTH)	10	81.9
FRONT (EAST)	10	88.4
REAR (WEST)	10	61.9
SIDE (SOUTH)	10	172.2

LANDSCAPE BUFFERS		
BUFFER	REQUIRED (FT)	PROVIDED (FT)
SIDE (NORTH)	30	30.5
FRONT (EAST)	30	30
REAR (WEST)	10	10
SIDE (SOUTH)	NA	9.7

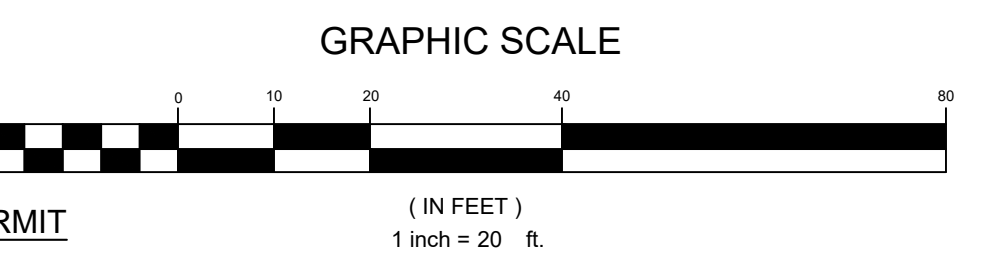


PROJECT TEAM

PROPERTY OWNER: BW JENSEN FEDERAL, LLC 3708 W SWANN AVE #200 TAMPA, FL 33609	SURVEYOR: EBI SURVEYING 8415 SUNSTATE STREET TAMPA, FL 33635 PHONE: (813) 886-6080	LANDSCAPE ARCHITECT: HOLE MONTES A BOWMAN COMPANY 950 ENCORE WAY NAPLES, FL 34111 PHONE: (239) 254-2000 CONTACT: WILLIAM E. PRYSI
PROPERTY DEVELOPER: BRIGHTWORK RE FOUR HARVARD CIRCLE, SUITE 800 WEST PALM BEACH, FL 33409 PHONE: (260) 316-4302 EMAIL: R.CARLSON@BRIGHTWORKRE.COM CONTACT: RONNIE CARLSON	CIVIL ENGINEER: BOWMAN 910 SE 17TH STREET SUITE 300 FORT LAUDERDALE, FL 33316 PHONE: (954) 314-8466 CONTACT: KRISTIAN MORALES	ARCHITECT: BDG ARCHITECTS 400 N. ASHLEY DRIVE, SUITE 600 TAMPA, FL 33602 PHONE: (813) 323-9233

REVISED FINAL SITE PLAN

DESIGN STANDARDS AND PLACEMENT OF SIGNS SHALL BE REVIEWED VIA SEPARATE BUILDING PERMIT



Bowman

CERTIFICATE OF AUTHORIZATION LICENSE NO. 30462

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WEST JENSEN PUD, PHASE 1B
PARCEL 12.7, REVISED FINAL SITE PLAN
FIFTH THIRD BANK
4110 NW FEDERAL HWY.
JENSEN BEACH, FL 34957

MARTIN COUNTY, FL

010900-01-002
BOWMAN PROJECT NUMBER

01/15/24	SITE PLAN REVISION
05/09/24	COUNTY COMMENTS
05/13/24	SITE PLAN REVISION
07/23/24	COUNTY COMMENTS

J.P.	J.P.	K.M.
DESIGN	DRAWN	CHKD

JOB No. 010900-01-002

DATE: 9/10/2024

FILE: 32 - Minor Final Site Plan.dwg

SHEET