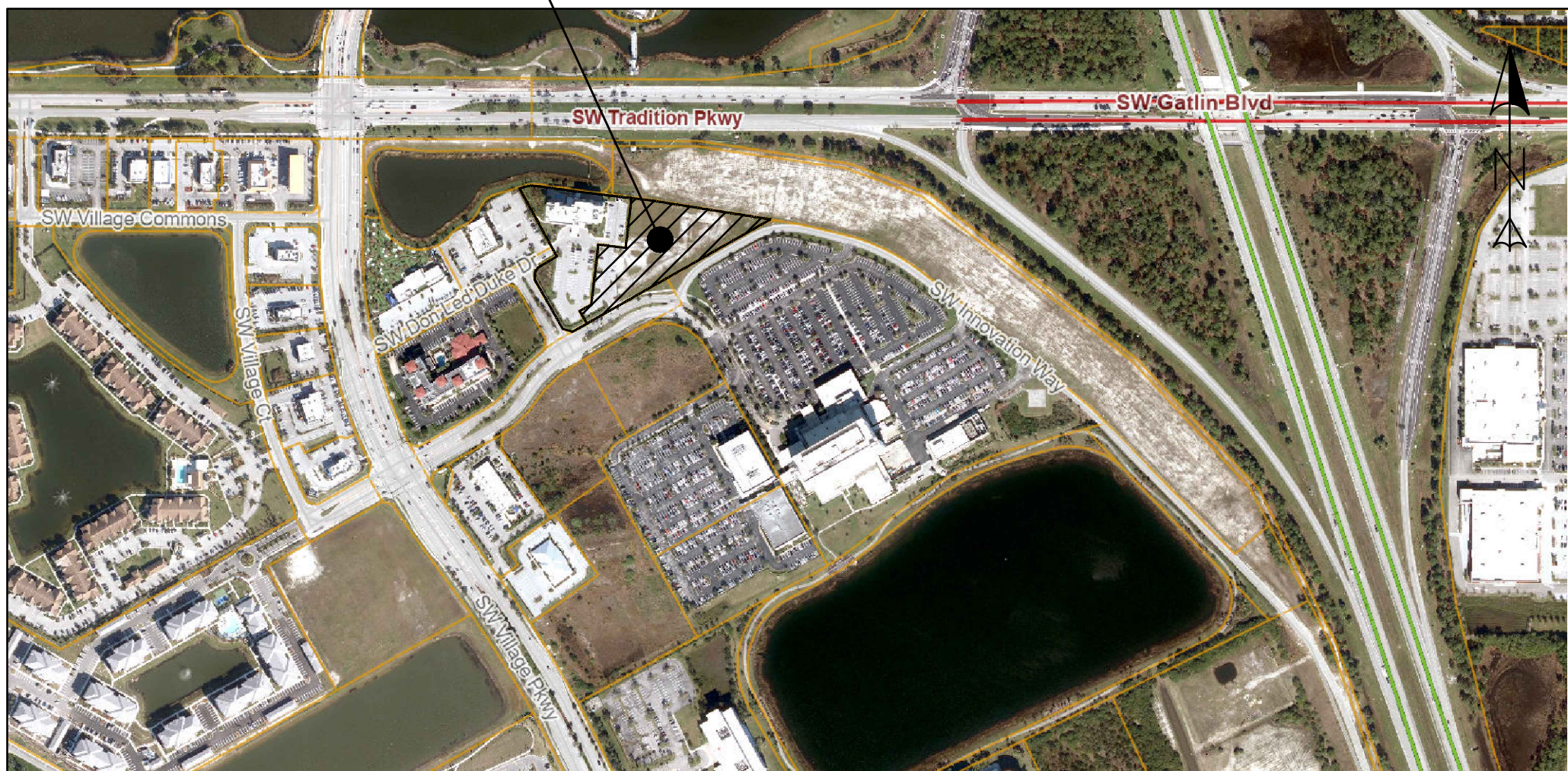


CONSTRUCTION PLANS AND SPECIFICATIONS

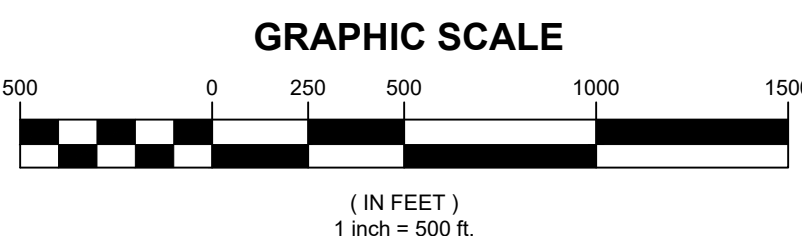
BBL MEDICAL OFFICE

SECTION 15, TOWNSHIP 37S, RANGE 39E
PORT SAINT LUCE, FLORIDA

PROJECT LOCATION



LOCATION MAP



PROJECT INFORMATION

HW PROJECT NO: 25-135
PARCEL ID#: 4315-612-0002-000-2
ZONING INFO: MPUD
OWNERSHIP: ST. LUCIE HOSPITALITY AT TRADITION, LLC.
302 WASHINGTON AVE EXTENSION
ALBANY, NY 12203

LEGAL DESCRIPTION: SOUTHERN GROVE PLAT NO. 25 (PB 82-24) TRACT 2 (2,585 AC - 112,603 SF)

HW PROJECT NO: 18-341

PARCEL ID#: 4315-612-0001-000-5
ZONING INFO: MPUD
OWNERSHIP: TRADITION HOTEL HOLDINGS LLC
302 WASHINGTON AVENUE EXT
ALBANY, NY 12203-7306

LEGAL DESCRIPTION: SOUTHERN GROVE PLAT NO. 25 (PB 82-24) TRACT 1 (2,351 AC - 102,410 SF)

PROJECT DATUM AND COORDINATE SYSTEM:
HORIZONTAL: FLORIDA STATE PLANE NAD83 (FL83-EF)
VERTICAL: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

GOVERNING STANDARDS & SPECIFICATIONS:
FLORIDA DEPARTMENT OF TRANSPORTATION, FY2024-25 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
CONSTRUCTION AT THE FOLLOWING WEBSITE:
<https://www.fdot.gov/programmanagement/Implemented/SpecBooks>
(EFFECTIVE: JULY 2024-2025)

LAND DEVELOPMENT TO CONFORM TO THE CURRENT PORT SAINT LUCIE ENGINEERING DEPARTMENT STANDARDS.

UTILITY CONSTRUCTION TO CONFORM TO THE CURRENT EDITION OF THE CONSTRUCTION STANDARDS AND
DETAILS (EFFECTIVE: 2019 WITH 2024 AMENDMENT)

ISSUED FOR REGULATORY REVIEW
FOR PERMIT

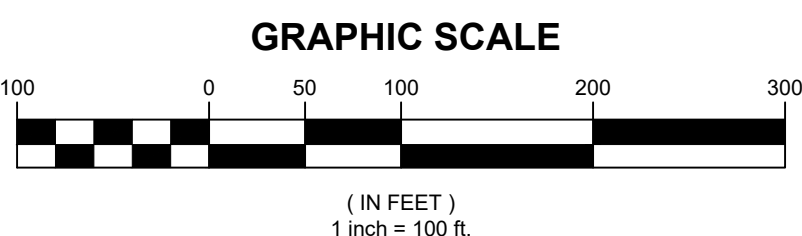
REVISIONS

REV.	DATE	COMMENT
0	2025.06.13	ISSUED FOR REGULATORY REVIEW FOR PERMIT
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT LOCATION



PROJECT AREA



INDEX OF DRAWINGS

C-100	COVER SHEET
C-101	EXISTING CONDITIONS & STORMWATER POLLUTION PREVENTION PLAN & DETAILS
C-102	DEMOLITION PLAN
C-103	HORIZONTAL CONTROL PLAN
C-104	PAVING, GRADING & DRAINAGE PLAN
C-105	UTILITY PLAN
C-106	STRIPING & SIGNAGE PLAN
C-501	PAVING, GRADING & DRAINAGE DETAILS
C-502	UTILITY DETAILS
C-503	SPECIFICATIONS

FILE LOCATION: Z:\EDC-002505-135-BBL-FLORIDA CANCER SPECIALIST ENGINEERING\AUTOCAD\DWG\025-135 CONST PLANS.DWG, 2025.06.16, 2:44 PM

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED
AND SEALED BY J.R. HARRISON, P.E. #82270 ON JUNE 16,
2025. PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PSLUSD FILE # 5289
PLANNING & ZONING DEPT.
PSL PROJECT # P18-100 A3

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
LAND PLANNING | INTERIOR DESIGN
10250 Village Parkway, Suite 201
Port Saint Lucie, Florida 34987
772.462.2455

PROJECT: BBL MEDICAL OFFICE
PORT SAINT LUCIE, FLORIDA

DATE: 2025.06.13

25-135 Const Plans

C-100

REV: 0

J.R. HARRISON, P.E. (DATE)
#82270
10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

GENERAL NOTES EROSION CONTROL

1.0 SITE DESCRIPTION

1.a Nature of Construction Activities

Development of approximately 4.94 acres of Lot 4 for a Hotel and Medical Office Building. Project will create drainage system including a series of swales that will outfall to an existing drainage system through one control structure.

1.b Sequence of Major Soil Disturbing activities:

The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal or exceeds the erosion and sediment control practices described in this document, and is approved by the Engineer. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for providing a detailed sequence of construction for all construction activities.

- 1- Clearing and grubbing of site
- 2- Excavation general grading
- 3- Installation of underground utilities.
- 4- Finishing grading.

1.c Area Estimates

Total site area: 4.94 Acres
Total area disturbed: 4.94 Acres

1.d Estimate of drainage area size for each discharge point.

Basin #1: 4.94 Acres

1.e Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:

Basin #1 27° 15' 46" N
80° 25' 47" W

Discharge into the Existing WMT-2A.

2.0 CONTROLS

2.a Erosion and Sediment Controls

Silt fencing shall be installed and maintained around the perimeter of the disturbed area of the project. Gravel shall be installed at the entrance/exit of the site to prevent track out. Paved roads shall be swept and kept clear of transported soils. All disturbed areas shall be sodded to prevent erosion and control wind-borne soil transport. Contractor shall have water trucks on-site for dust control. Filter Fabric shall be used to protect all inlets from Filtration.

2.a.1 Permanent and Temporary Stabilization Practices

Contractor shall be responsible for having water truck on-site for temporary stabilization during construction. All disturbed areas are to be sodded upon completion of grading. The contractor is responsible for documenting this portion of the SWPPP. Temporary seeding shall be rye grass or other appropriate ground covers depending upon season of installation that is applied at manufacturer's recommendations to any disturbed areas that are inactive more than 7 days.

2.a.2 Structural Practices

Site shall be initially graded to direct runoff to on-site master surface water management system. Silt screens are to be installed and maintained around perimeter of site. No discharge from site permitted until certification of permitted surface water management system.

Temporary: Construct silt fence in accordance with FL Stormwater Erosion and Sedimentation Control Inspector's Manual. A stabilized construction entrance and soil tracking prevention device shall be installed in accordance with FL Stormwater Erosion and Sedimentation Control Inspector's Manual. A sediment basin is to be installed as part of the soil tracking prevention plan. All sediment controls shall be in place prior to any soil disturbing activity upstream of the controls.

2.b Stormwater Management

Upon certification of surface water management system, the dry detention will be permanent.

2.c Other Controls

2.c.1 Waste Disposal

Contractor shall be responsible for the proper disposal and storage of all debris, chemicals, litter, and sanitary waste per local, state and federal guidelines. No discharges are allowed into surface water management system.

2.c.2 Offsite vehicle tracking

Gravel to be installed at entrance/exit to minimize transport of soil off of site. Paved roads are to be swept daily.

2.c.3 Application rates of all fertilizers, herbicides and pesticides used.

Any fertilizers, herbicides, and pesticides to be used shall be applied per methods and rates recommended by the manufacturers label which must be affixed to or printed directly on the container.

2.c.4 Storage, application, generation and migration of all toxic substances.

Contractor is required to properly maintain all vehicles in good working order to prevent leakage. No toxic substances to be stored on site.

3.0 MAINTENANCE

3.a All structural and non-structural controls to be visually inspected and repaired on a daily basis by the contractor. These controls are to remain in good and effective operating condition per the approved construction plans and per standard FDOT indexes.

4.0 INSPECTION

Contractor is responsible for visually inspecting silt fences, perimeter berms, and entrance/exit controls on a daily basis. A more thorough inspection of all structural and non-structural controls shall occur at least once per 7 days and within 24 hours of the end of a storm that is 0.50 inches or greater.

5.0 NON-STORMWATER DISCHARGES

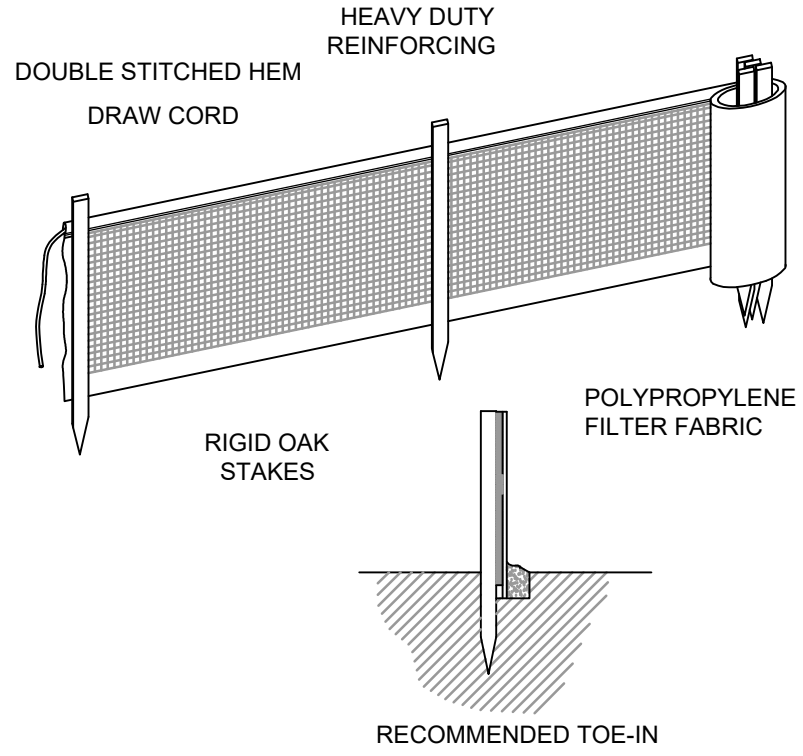
None

ADDITIONAL NOTES:

THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(G).

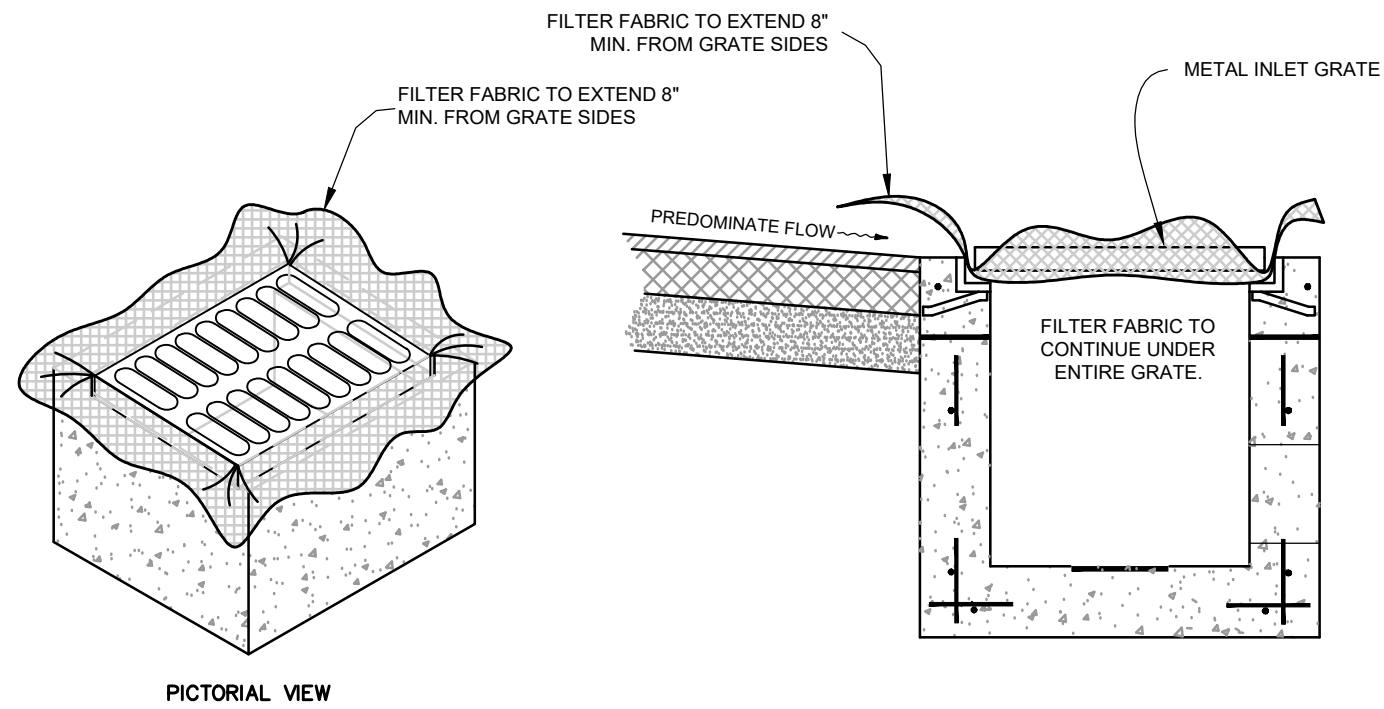
DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION	MANAGEMENT PLAN (YES OR NO)	RELOCATION PLAN (YES OR NO)
WETLANDS	NO	—	NO	NO
RARE SPECIES	NO	—	NO	NO
THREATENED SPECIES	NO	—	NO	NO
ENDANGERED SPECIES	NO	—	NO	NO
LISTED SPECIES	NO	—	NO	NO
INVASIVE/EXOTIC VEGETATION	NO	—	NO	NO

ENVIRONMENTAL SITE ASSESSMENT TABLE



- NOTES:
1. SILT FENCE SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE.
 2. THE CONTRACTOR SHALL INSPECT AND REPAIR THE SILT FENCE AFTER EACH RAIN EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.
 4. THE SILT FENCE SHALL BE PLACED ON SLOPE CONTOUR TO MAXIMIZE ITS PONDING EFFICIENCY.

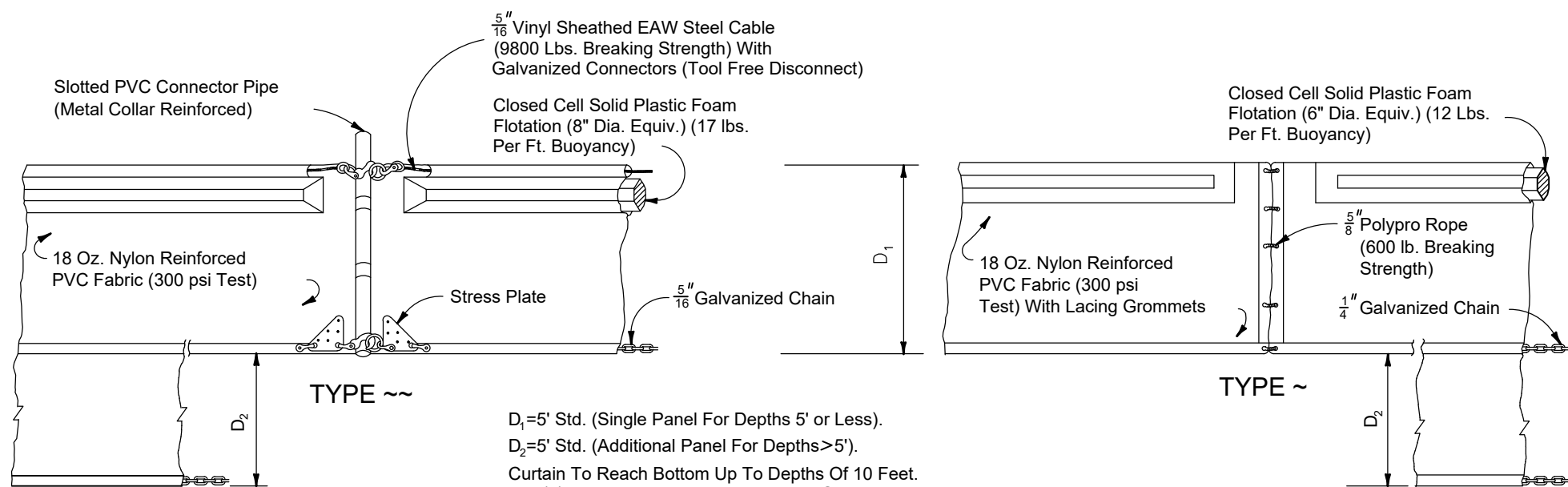
SILT FENCE DETAIL



GENERAL NOTES

1. THIS INLET IS DESIGNED WITH FILTER FABRIC PROTRUDING 8" FROM SIDES FOR GRIPPING WHEN SEDIMENT NEEDS TO BE CLEARED AFTER FINAL CONSTRUCTION.
2. FILTER FABRIC TO BE INSTALLED AND TRIMMED BEFORE GRATE IS INSET.

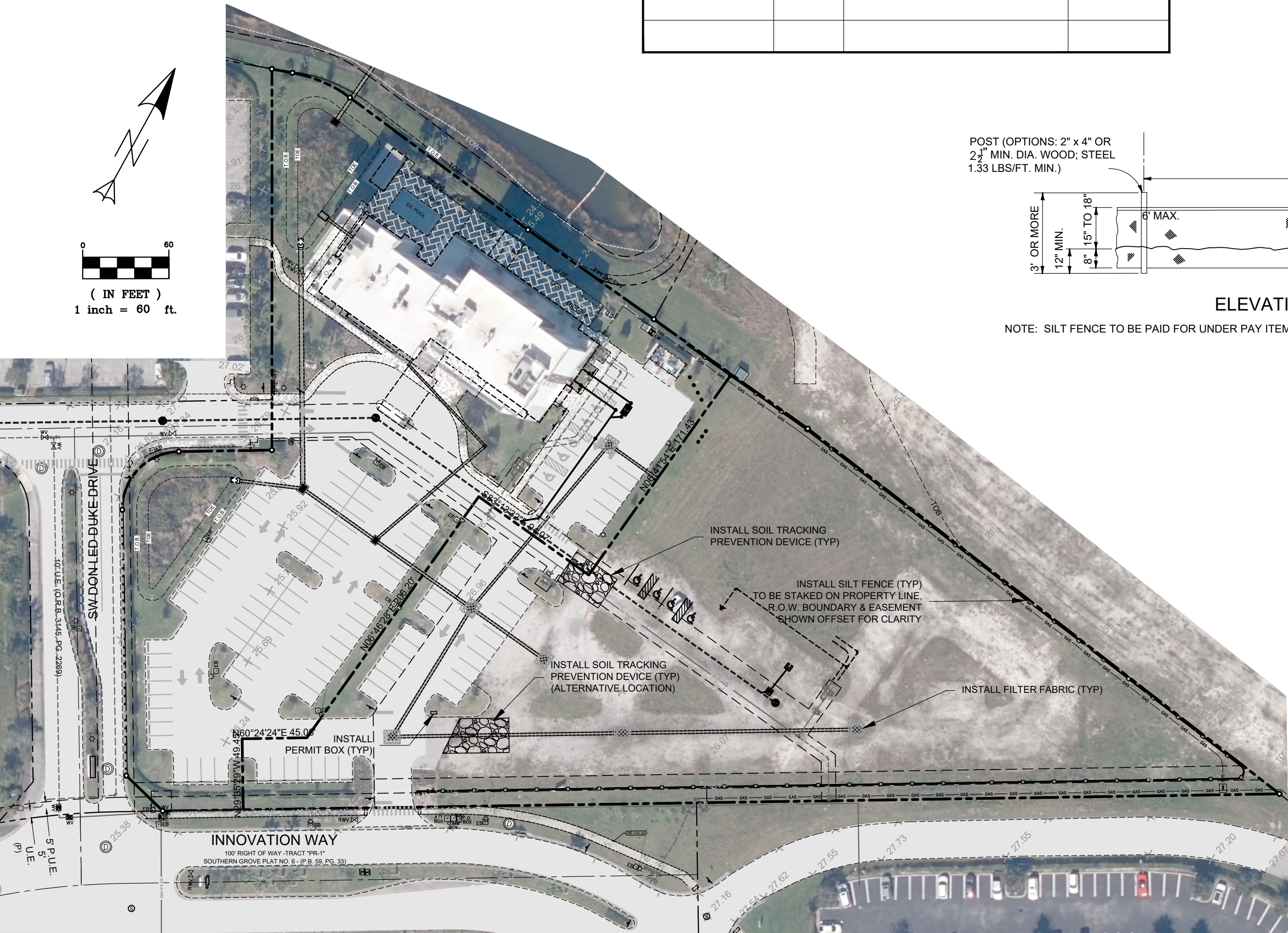
FILTER FABRIC DETAIL




D₁=5' Std. (Single Panel For Depths 5' or Less).
D₂=5' Std. (Additional Panel For Depths>5').
Curtain To Reach Bottom Up To Depths Of 10 Feet.
Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.

NOTICE: COMPONENTS OF TYPES ~ AND ~ MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES ~ AND ~ SHALL BE AS

FLOATING TURBIDITY BARRIERS

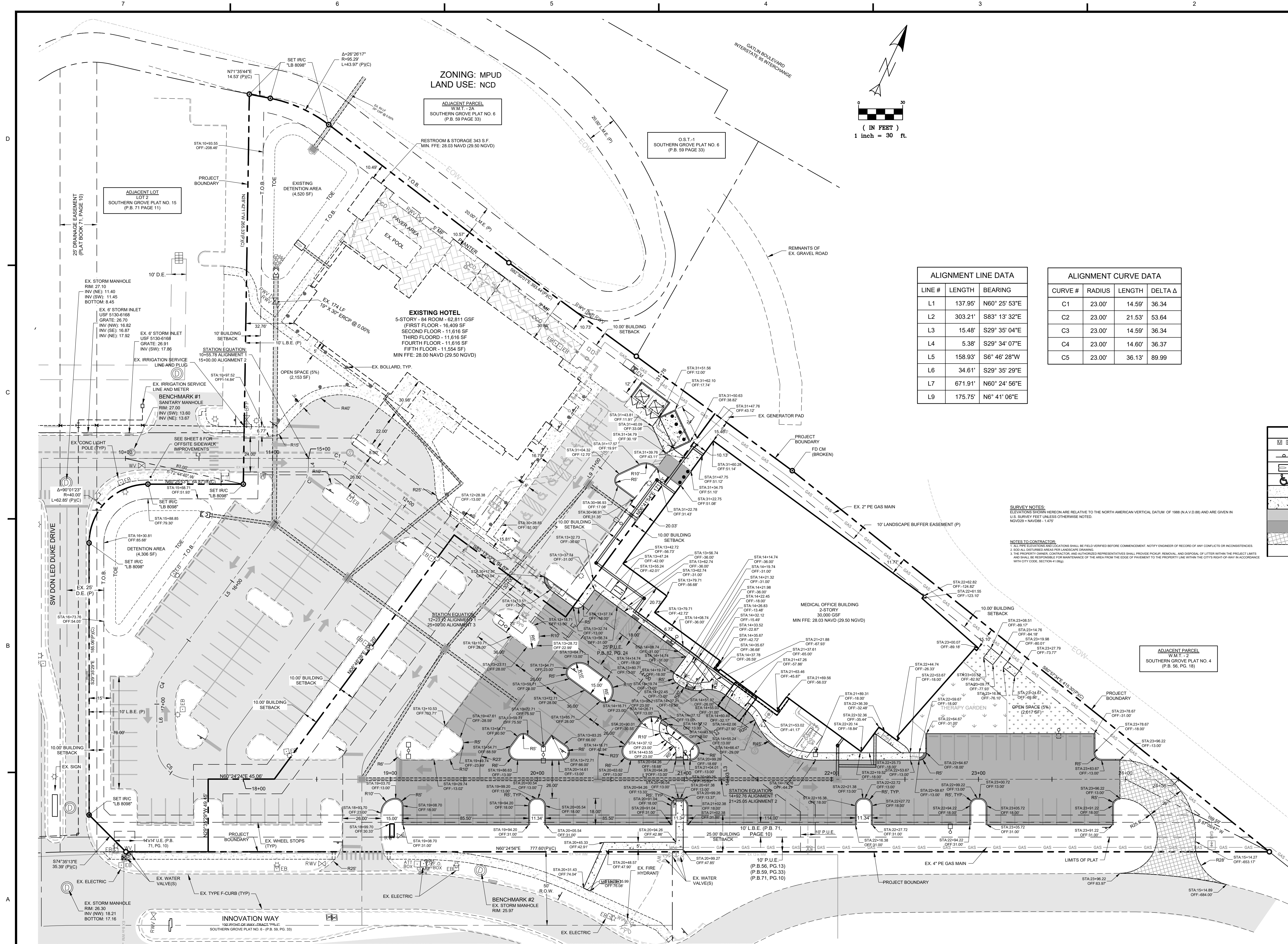


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FOR PERMIT				
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PROJECT BBL MEDICAL OFFICE PORT SAINT LUCIE, FLORIDA				
TITLE EXISTING CONDITIONS & STORMWATER POLLUTION PREVENTION PLAN AND DETAILS				
DATE 6/18/2025		SCALE AS SHOWN		
DRAWN BY RAH		DESIGNED BY RAH		CHECKED BY JRH
PROJECT No. 25-135 CONST PLANS.DWG		DRAWING No. C-101		
J.R. HARRISON, P.E. (DATE) #82270		REV. 0		



PSLUSD FILE # 5289
PLANNING & ZONING DEPT.
PSL PROJECT # P18-100 A3

FILE LOCATION: Z:\EDC-002595-185-88L-FLORIDA CINDER SPECIALS\ENGINEERING\AUTOCAD\DWG\2025\06\16_244 PM



ALIGNMENT LINE DATA		
LINE #	LENGTH	BEARING
L1	137.95'	N60° 25' 53"E
L2	303.21'	S83° 13' 32"E
L3	15.48'	S29° 35' 04"E
L4	5.38'	S29° 34' 07"E
L5	158.93'	S6° 46' 28"W
L6	34.61'	S29° 35' 29"E
L7	671.91'	N60° 24' 56"E
L9	175.75'	N6° 41' 06"E

ALIGNMENT CURVE DATA			
CURVE #	RADIUS	LENGTH	DELTA Δ
C1	23.00'	14.59'	36.34
C2	23.00'	21.53'	53.64
C3	23.00'	14.59'	36.34
C4	23.00'	14.60'	36.37
C5	23.00'	36.13'	89.99

SURVEY NOTES:
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
NGVD83 = NAVD88 - 1.475

NOTES TO CONTRACTOR:
1. ALL PERMITS AND LOCATIONS SHALL BE FIELD VERIFIED BEFORE COMMENCEMENT. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS OR RECONSTRUCTIONS.
2. SLO ALL DRIVEWAYS NEAR PER LANDSCAPE DRAWING.
3. THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.09(g).

LEGEND			
	EXISTING METER		EXISTING UTILITY POLE
	PROPOSED SIGN		EXISTING DRAINAGE INLET
	EXIST. MITERED END SECTION		EXISTING STREET LIGHT
	HANDICAP PARKING SYMBOL		PROPOSED LIGHT POLE (SINGLE)
	EXISTING CONCRETE		PROPOSED LIGHT POLE (DOUBLE)
	PROPOSED CONCRETE		DRAINAGE FLOW ARROW
	EXISTING PAVEMENT		PARKING STALL COUNT
	PROPOSED PAVEMENT		EXISTING DRAINAGE
	PROPOSED TURF BLOCK		PROPOSED DRAINAGE PIPE

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A DIVISION OF
HALEY WARD, INC.
10250 Village Parkway, Suite 201
Port Saint Lucie, Florida 34987
772.462.2455

PROJECT

BBL MEDICAL OFFICE
PORT SAINT LUCIE, FLORIDA

TITLE

HORIZONTAL CONTROL PLAN

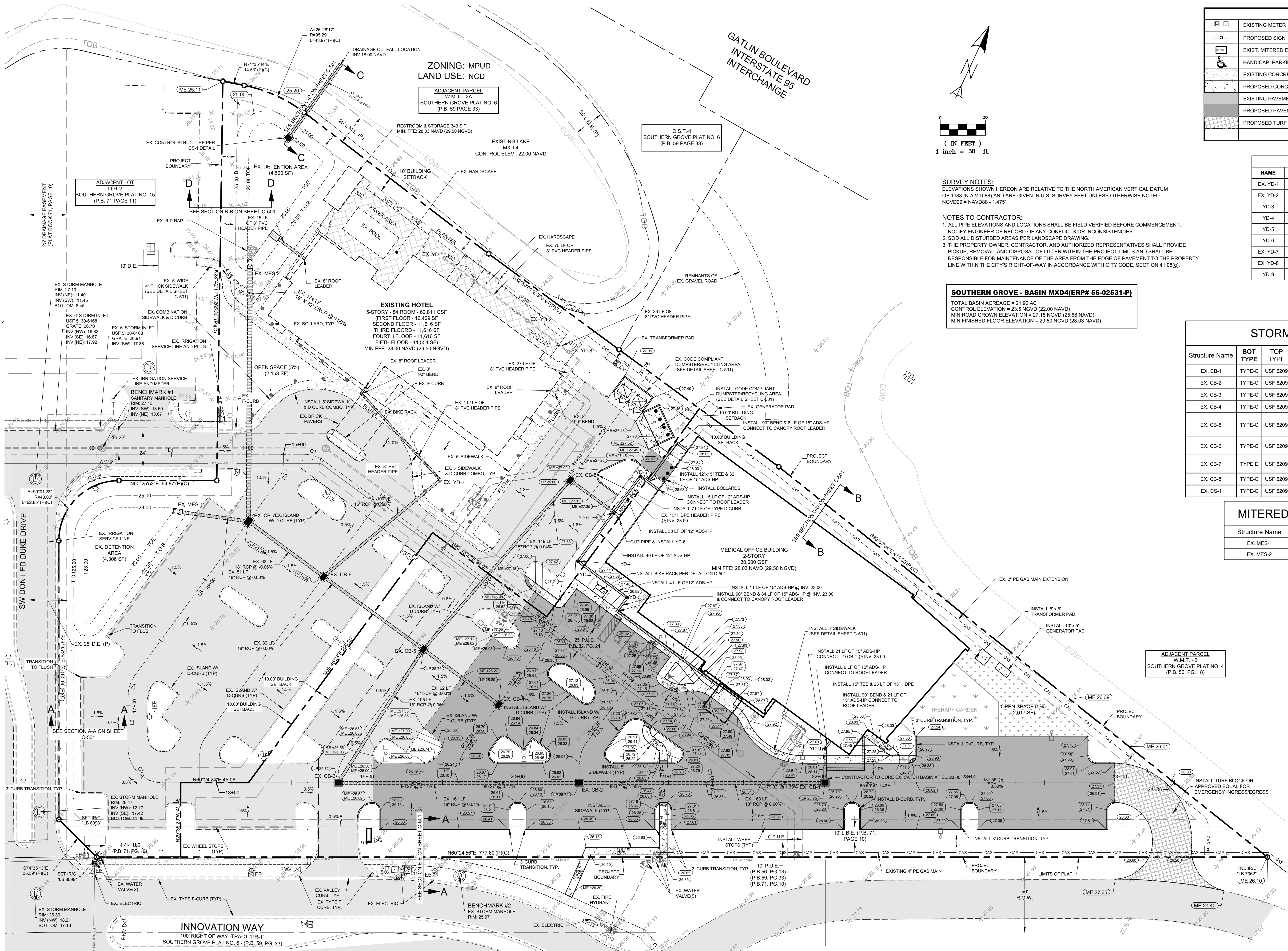
DATE	6/18/2025	SCALE	AS SHOWN
DRAWN BY	RAH	DESIGNED BY	RAH
PROJECT NO.	25-135 CONST PLANS.DWG	CHECKED BY	JRH
DRAWING NO.	25-135 CONST PLANS.DWG	REV.	

J.R. HARRISON, P.E. (DATE)	#82270
10250 SW VILLAGE PARKWAY - SUITE 201 PORT SAINT LUCIE, FL 34987 772-462-2455	C-103
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LEGEND			
	EXISTING METER		EXISTING UTILITY POLE
	PROPOSED SIGN		EXISTING DRAINAGE INLET
	EXIST. METERED END SECTION		EXISTING STREET LIGHT
	HANDICAP PARKING SYMBOL		PROPOSED LIGHT POLE (SINGLE)
	EXISTING CONCRETE		PROPOSED LIGHT POLE (DOUBLE)
	PROPOSED CONCRETE		DRAINAGE FLOW ARROW
	EXISTING PAVEMENT		PARKING STALL COUNT
	PROPOSED PAVEMENT		EXISTING DRAINAGE
	PROPOSED TURF BLOCK		PROPOSED DRAINAGE PIPE

SURVEY NOTES:
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED. NGVD29 = NAVD88 - 1.475'

NOTES TO CONTRACTOR:
1. ALL PIPE ELEVATIONS AND LOCATIONS SHALL BE FIELD VERIFIED BEFORE COMMENCEMENT. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS OR INCONSISTENCIES.
2. SOD ALL DISTURBED AREAS PER LANDSCAPE DRAWING.
3. THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

SOUTHERN GROVE - BASIN MXD4(ERP# 56-02531-P)
TOTAL BASIN ACREAGE = 21.92 AC
CONTROL ELEVATION = 23.5 NGVD (22.00 NAVD)
MIN ROAD CROWN ELEVATION = 27.15 NGVD (25.68 NAVD)
MIN FINISHED FLOOR ELEVATION = 29.50 NGVD (28.03 NAVD)

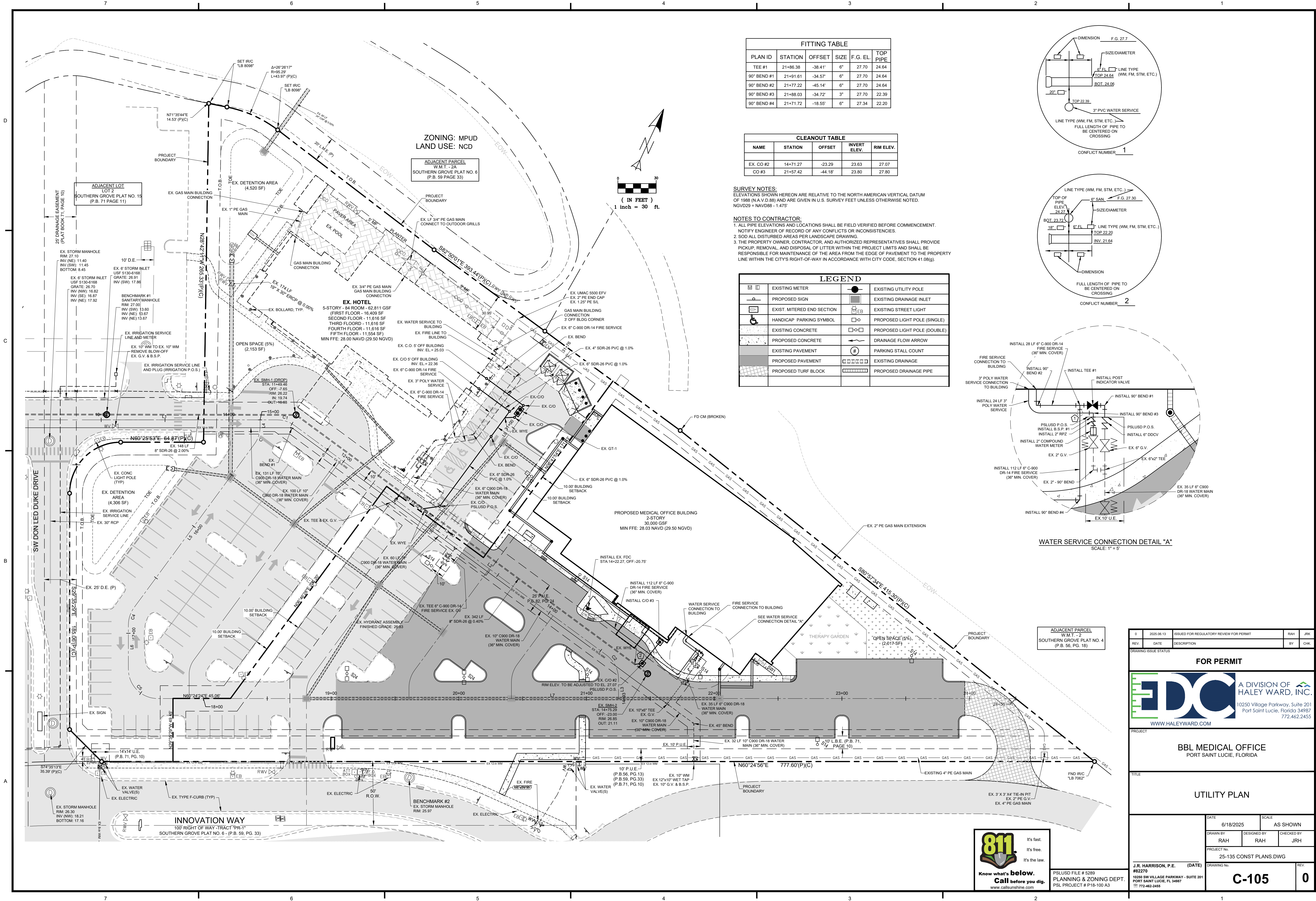
YARD DRAIN TABLE					
NAME	INV. IN.	INV. OUT.	RIM ELEV.	STATION	OFFSET
EX. YD-1	23.00	23.00	27.80		
EX. YD-2	23.04	23.04	27.70		
YD-3	23.00	23.00	26.80	13+68.33	-46.19'
YD-4	23.00	23.00	27.00	13+27.73	-46.27'
YD-5	23.00	23.00	27.00	31+16.23	36.00'
YD-6	23.00	23.00	27.00	30+86.60	36.00'
EX. YD-7	23.00	23.00	27.00		
EX. YD-8	22.98	22.98	27.70		
YD-9	23.00	23.00	27.00	22+04.25	-22.94'

STORM SEWER INLET TABLE									
Structure Name	BOT TYPE	TOP TYPE	STATION	OFFSET	RIM	IN INV.	OUT INV.	BOTTOM ELEV.	
EX. CB-1	TYPE-C	USF 6209	22+04.07	0.00'	25.75	22.95 (SW)	23.00 (NW)	21.95	
EX. CB-2	TYPE-C	USF 6209	20+41.24	0.00'	25.72	22.95 (SW)	22.95 (NE)	21.95	
EX. CB-3	TYPE-C	USF 6209	18+80.70	0.00'	25.72	22.97 (N)	22.97 (NE)	21.97	
EX. CB-4	TYPE-C	USF 6209	13+41.71	61.55'	25.80		23.05 (W)	22.05	
EX. CB-5	TYPE-C	USF 6209	12+79.71	61.72'	25.75	23.03 (E)	23.03 (W)	22.03	
EX. CB-6	TYPE-C	USF 6209	15+51.65	-62.00'	25.68	22.98 (E)	23.00 (N)	21.97	
EX. CB-7	TYPE E	USF 6209	15+51.65	0.00'	25.72	23.01 (E)	23.02 (W)	22.01	
EX. CB-8	TYPE-C	USF 6209	30+86.60	0.00'	26.77	22.97 (S)	23.00 (E)	21.97	
EX. CB-1	TYPE-C	USF 6209	11+27.64	-210.25'	24.49	18.05 (N)		17.05	


MITERED END SECTION TABLE			
Structure Name	STATION	OFFSET	INVERT
EX. MES-1	15+75.82	44.35'	23.02
EX. MES-2	11+02.37	-129.63'	23.01

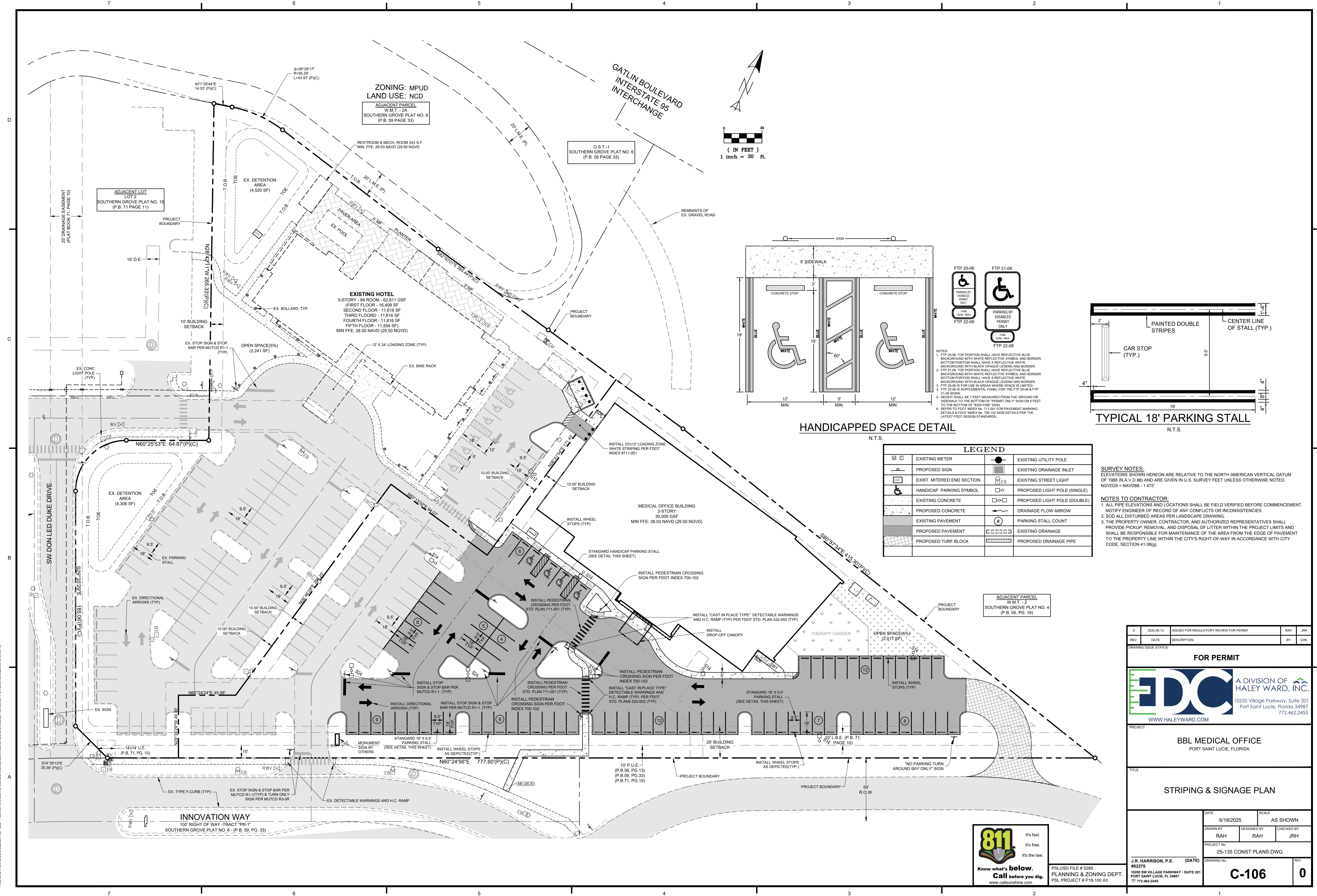
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TITLE PAVING, GRADING & DRAINAGE PLAN				
DATE 6/18/2025		SCALE AS SHOWN		
DRAWN BY RAH		DESIGNED BY RAH		CHECKED BY JRH
PROJECT NO. 25-135 CONST PLANS.DWG		DRAWING NO. #82270		
J.R. HARRISON, P.E. (DATE) #82270		PLS/USD FILE # 5289 PLANNING & ZONING DEPT. PSL PROJECT # P18-100 A3		
10250 SW VILLAGE PARKWAY - SUITE 201 PORT SAINT LUCIE, FL 34987 772.462.2455		C-104		
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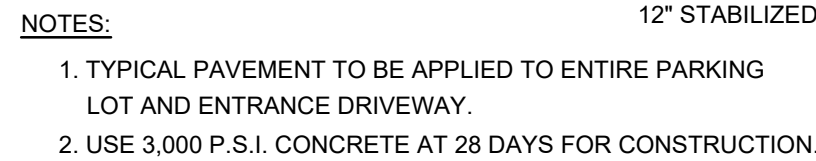


PLSUSD FILE # 5289
PLANNING & ZONING DEPT.
PSL PROJECT # P18-100 A3

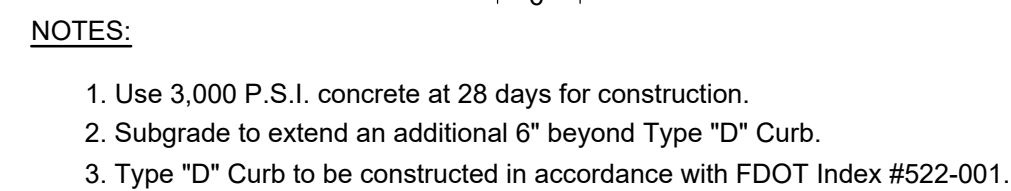
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FOR PERMIT									
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PROJECT BBL MEDICAL OFFICE PORT SAINT LUCIE, FLORIDA									
TITLE UTILITY PLAN									
DATE		6/18/2025		SCALE		AS SHOWN			
DRAWN BY		RAH		DESIGNED BY		RAH		CHECKED BY	
PROJECT NO.		25-135 CONST PLANS.DWG		DRAWING NO.		82270		REV.	
J.R. HARRISON, P.E. (DATE)		8/22/20		10250 SW VILLAGE PARKWAY - SUITE 201 PORT SAINT LUCIE, FL 34987 772-462-2455		C-105		0	



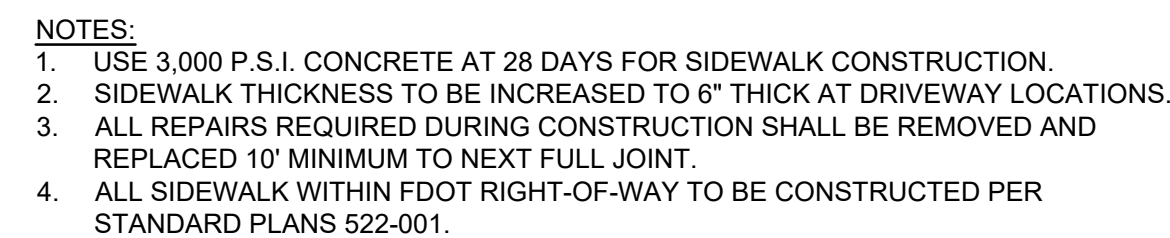
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REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
FOR PERMIT				
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PROJECT				
BBL MEDICAL OFFICE PORT SAINT LUCIE, FLORIDA				
TITLE				
STRIPING & SIGNAGE PLAN				
DATE		SCALE		
6/18/2025		AS SHOWN		
DRAWN BY	DESIGNED BY	CHECKED BY		
RAH	RAH	JRH		
PROJECT No.				
25-135 CONST PLANS.DWG				
J.R. HARRISON, P.E. (DATE)				REV.
8/22/70				
10250 SW VILLAGE PARKWAY - SUITE 201 PORT SAINT LUCIE, FL 34987				
772-462-2455				
DRAWING No.				
C-106				0



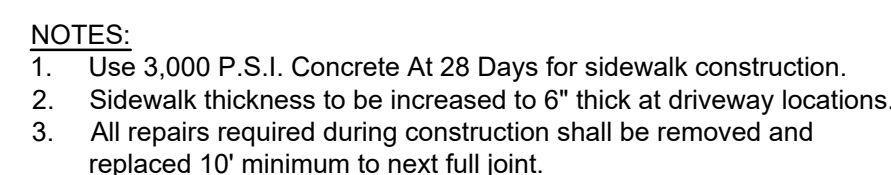
PARKING SECTION A-A
N.T.S.



TYPE "D" CURB



SIDEWALK/PAVEMENT DETAIL
N.T.S.

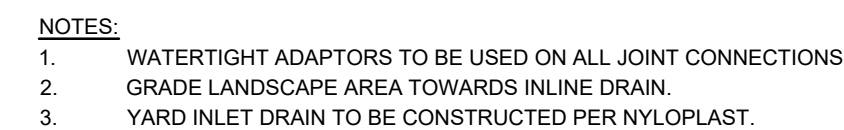


4" THICK SIDEWALK DETAIL

N.T.S.



TYPICAL PAVEMENT SECTION



YARD INLET INSTALLATION
N.T.S.



SPACING OR REQUIRED ROADWAY / PARKING AREA TESTS						
ITEMS TO BE TESTED	DENSITY		L.B.R.		THICKNESS	
	MAX. SPACING		MAX. SPACING		MAX. SPACING	
	LIN FT.	SQ FT.	LIN FT.	SQ FT.	LIN FT.	SQ FT.
COMPACTED OR STABILIZED SUBGRADE	300	10,000	300	10,000	300	10,000
LIMEROCK BASE	300	10,000	300	10,000	300	10,000
SHELLROCK BASE	300	10,000	300	10,000	300	10,000
ASPHALT	—	—	—	—	PER INSP.	PER INSP.

NOTE: ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12" INSIDE THE FLATING EDGE OF THE ITEM TESTED, TO THE CENTER, TO A POINT 12" INSIDE OF THE RIGHT EDGE.

0	2025.06.13	ISSUED FOR REGULATORY REVIEW FOR PERMIT	RAH	JRM
REV.	DATE	DESCRIPTION	BY	CHK

FOR PERMIT



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BBL MEDICAL OFFICE
PORT SAINT LUCIE, FLORIDA

TITLE

PAVING, GRADING & DRAINAGE DETAILS

DATE	6/18/2025		SCALE	AS SHOWN	
DRAWN BY	RAH		DESIGNED BY	RAH	
			CHECKED BY	JRH	

J.R. HARRISON, P.E. (DATE)
#82270
 10250 SW VILLAGE PARKWAY - SUITE 2
 PORT SAINT LUCIE, FL 34987
 ☎ 772-462-2455

C-501

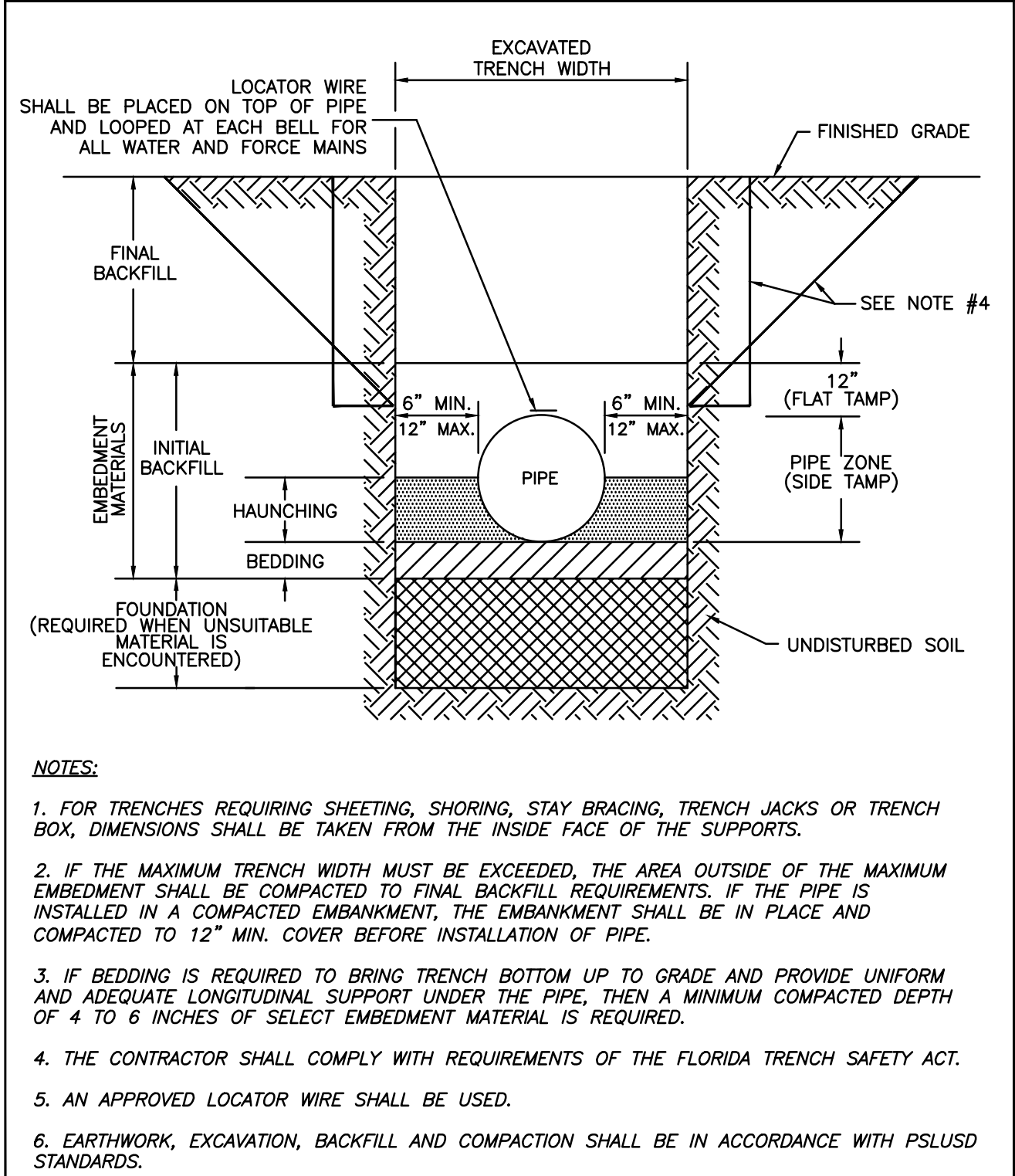
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FILE LOCATION: Z:\EDC-002595-158-158L-FLORIDA CANCER SPECIALIST ENGINEERING\AUTOCAD\DWG-25-135 CONST PLANS.DWG, 2025.06.18, 2:45 PM

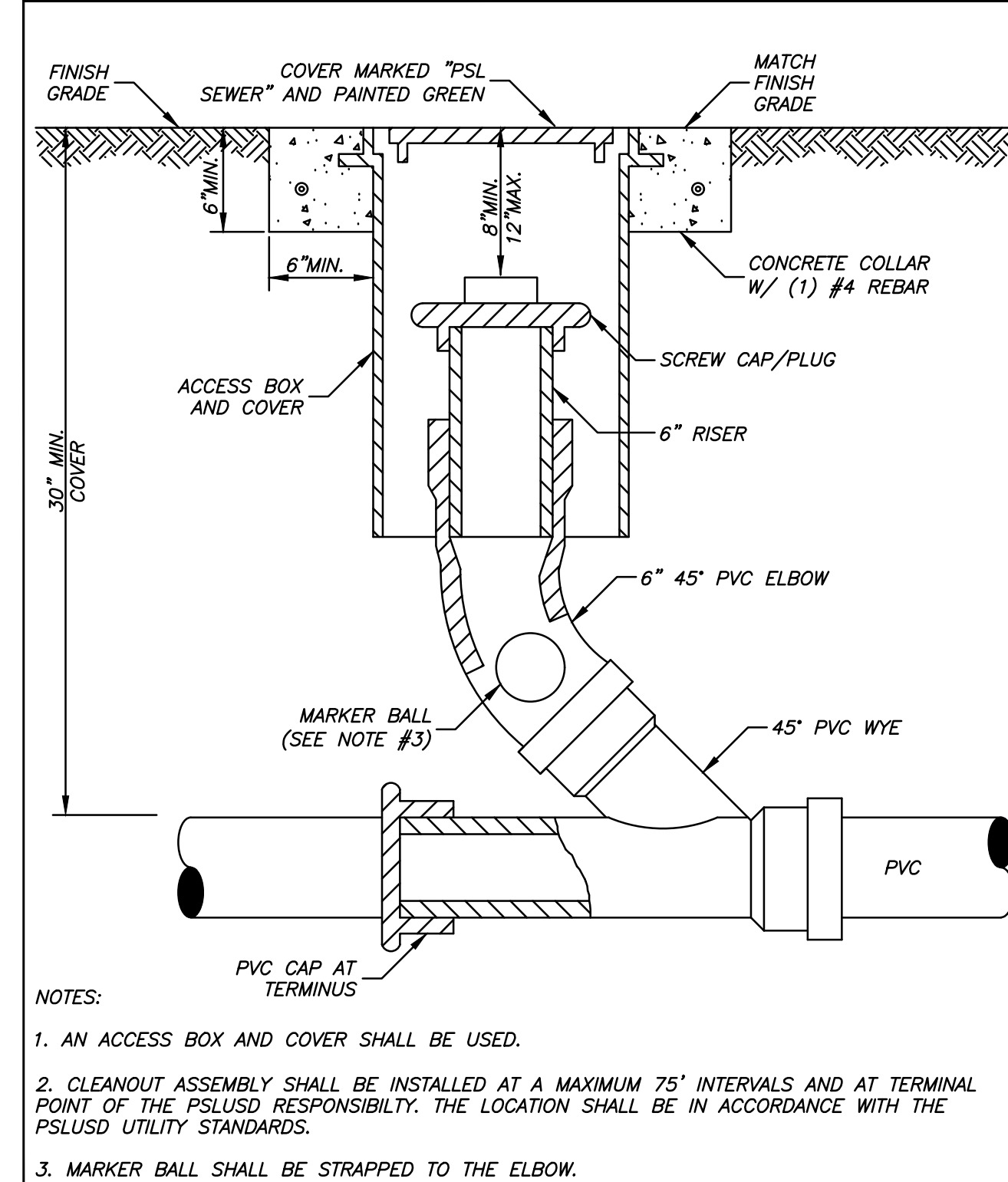
MINIMUM SEPARATION BETWEEN PSLUSD FACILITIES AND OTHER UTILITIES				
OTHER PIPE	HORIZONTAL SEPARATION		JOINT SPACING & CROSSINGS (FULL JOINT CENTERED)	
	CROSSINGS (1)	SEPARATION	CROSSINGS (1)	SEPARATION
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, VACUUM SANITARY SERVICE, VACUUM SANITARY FORCE MAIN, STORM SEWER	WATER MAIN 18" MINIMUM	WATER MAIN 10" MINIMUM	WATER MAIN 8" MINIMUM	WATER MAIN 18" MINIMUM
	PSLUSD FACILITY (4) 5" MINIMUM	PSLUSD FACILITY (4) 5" MINIMUM	PSLUSD FACILITY (4) 18" MINIMUM	PSLUSD FACILITY (4) 18" MINIMUM
ALL OTHER FACILITIES, INCLUDING TELEPHONE, CABLE TV, POWER, ETC.	5" MINIMUM	5" MINIMUM	5" MINIMUM	5" MINIMUM
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM	10" MINIMUM	10" MINIMUM	10" MINIMUM	10" MINIMUM

(1) WATER MAIN SHOULD CROSS OVER OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 18".
(2) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62.610, F.A.C.
(3) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62.610, F.A.C.
(4) A PSLUSD FACILITY INCLUDES MAINS AND STRUCTURES FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER.

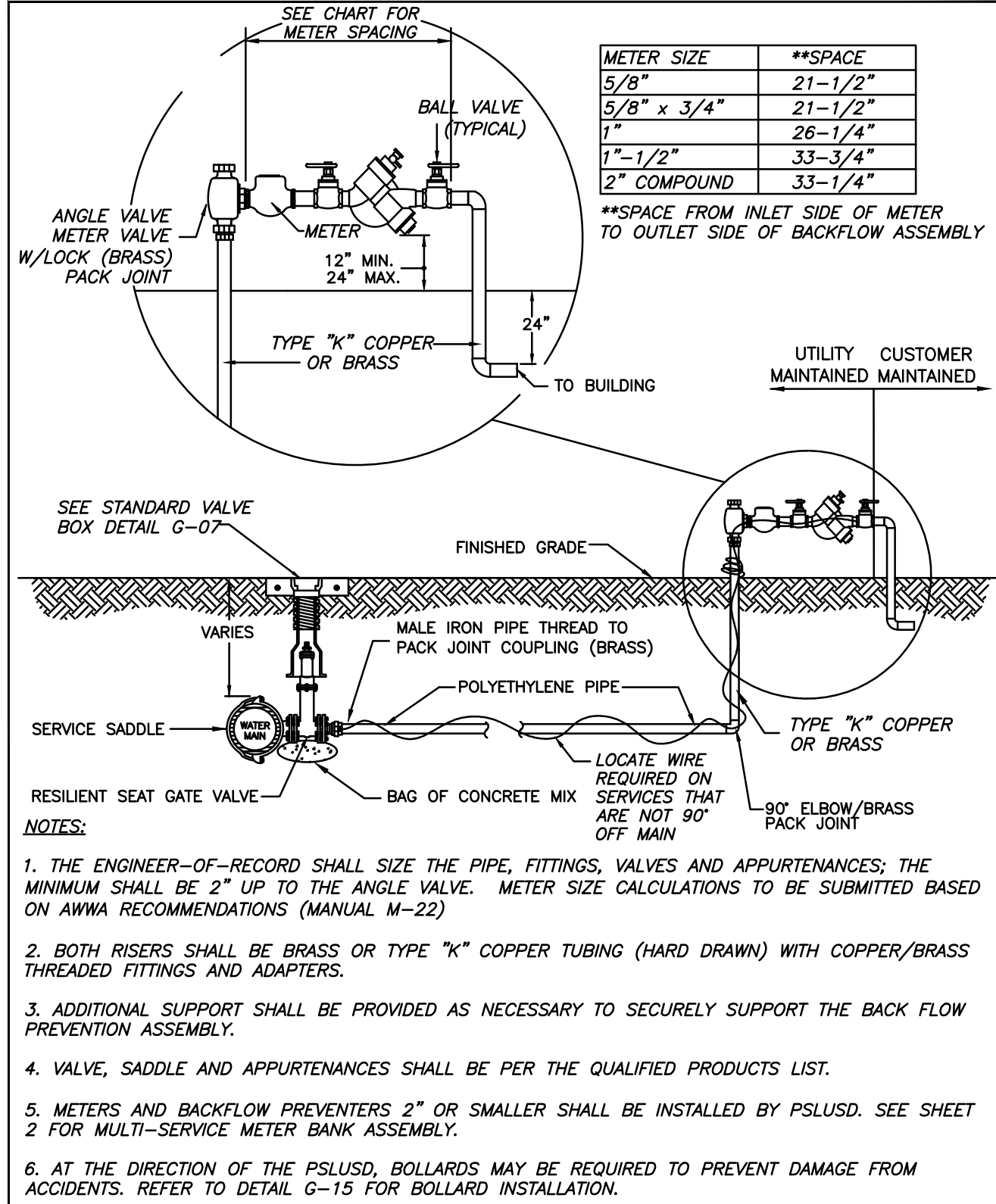
 MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	STANDARD SEPARATION REQUIREMENTS	DETAIL: G-01 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1
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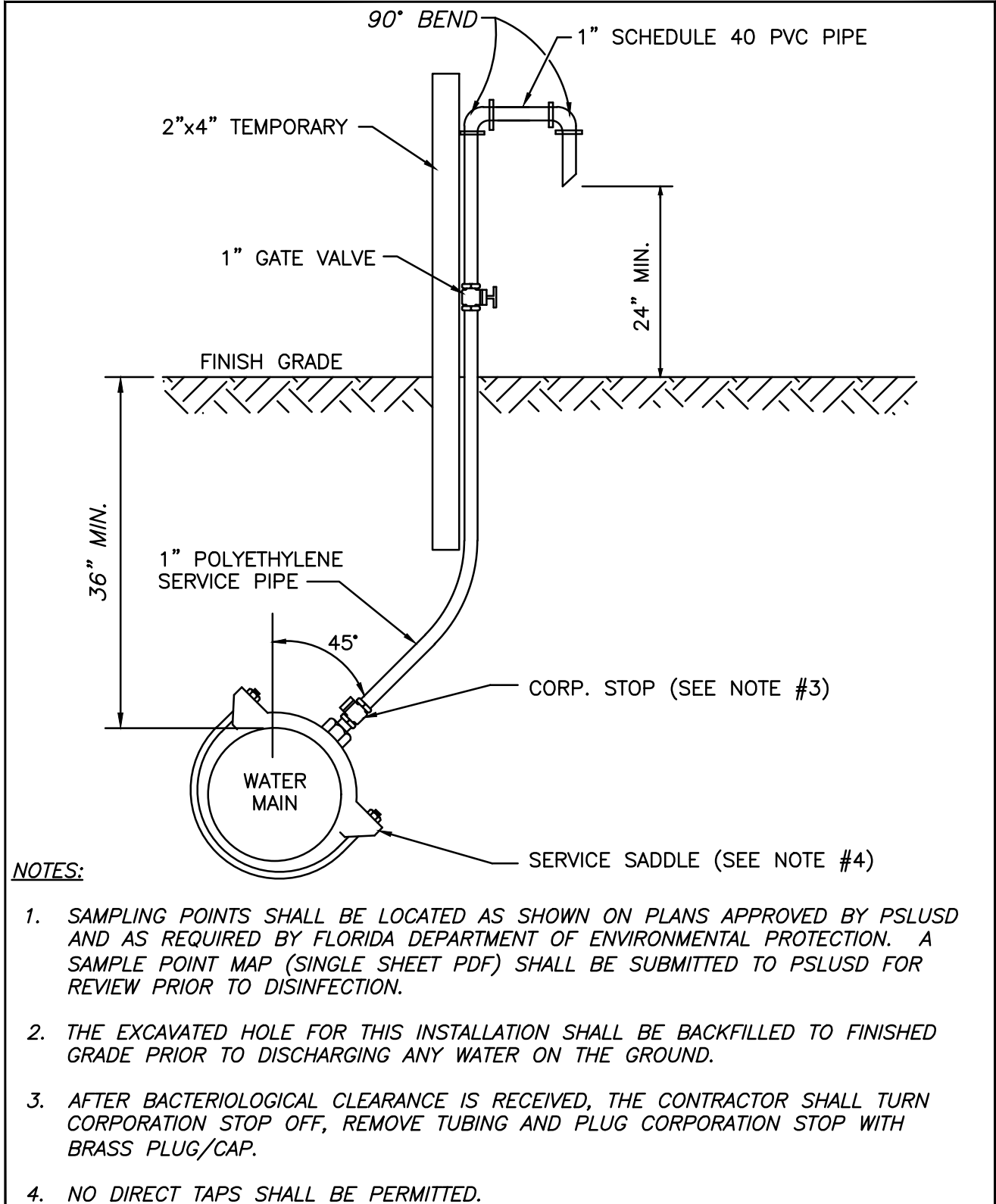
 MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	STANDARD PIPE TRENCH CROSS SECTION	DETAIL: G-04 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1
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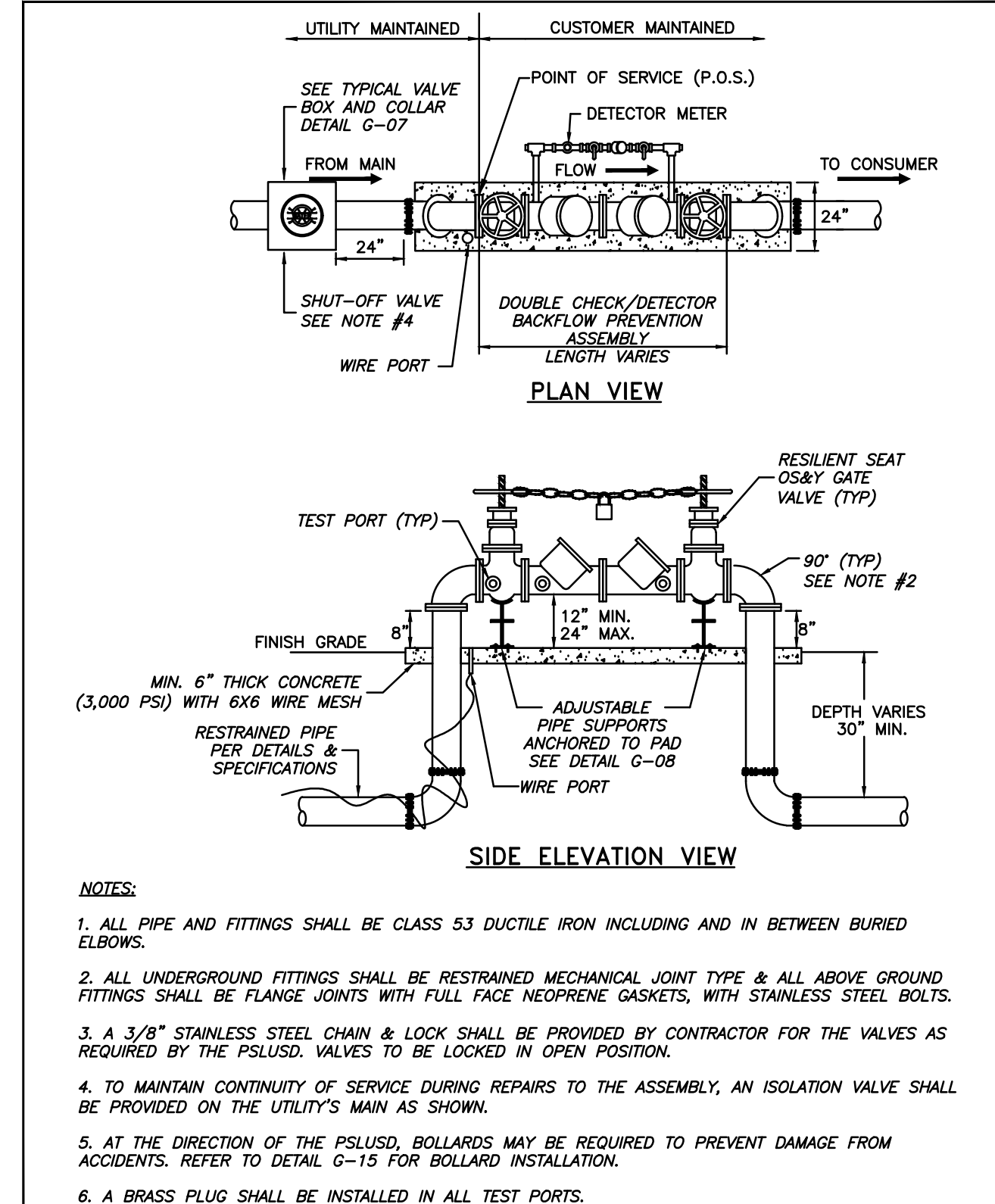
 MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	SANITARY SEWER CLEANOUT	DETAIL: WW-05 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1
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 MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	COMMERCIAL WATER SERVICE CONNECTION	DETAIL: W-02 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 2
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 MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	WATER SAMPLING POINT	DETAIL: W-05 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1
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 MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	FIRE SERVICE BACKFLOW ASSEMBLY	DETAIL: W-07 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1
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0	2025.06.13	ISSUED FOR REGULATORY REVIEW FOR PERMIT	RAH	JRH
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
FOR PERMIT				
		A DIVISION OF HALEY WARD, INC. 10250 Village Parkway, Suite 201 Port Saint Lucie, Florida 34987 772.462.2455 WWW.HALEYWARD.COM		
PROJECT				
BBL MEDICAL OFFICE PORT SAINT LUCIE, FLORIDA				
TITLE				
UTILITY DETAILS				
DATE		SCALE		
6/18/2025		AS SHOWN		
DRAWN BY		DESIGNED BY		CHECKED BY
RAH		RAH		JRH
PROJECT No.				
25-135 CONST PLANS.DWG				
J.R. HARRISON, P.E. (DATE)		DRAWING No.		REV.
#82270				
PSLUSD FILE # 5289		10250 SW VILLAGE PARKWAY - SUITE 201		
PLANNING & ZONING DEPT.		PORT SAINT LUCIE, FL 34987		
PSL PROJECT # P18-100 A3		772-462-2455		
C-502				0

