# CONSTRUCTION PLANS AND SPECIFICATIONS

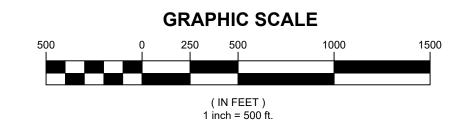
# BBL MEDICAL OFFICE

SECTION 15, TOWNSHIP 37S, RANGE 39E PORT SAINT LUCE, FLORIDA

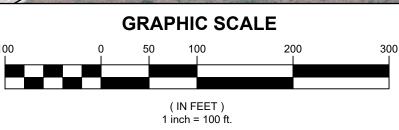
PROJECT LOCATION



**LOCATION MAP** 



**PROJECT AREA** 



# PROJECT INFORMATION

HW PROJECT NO: 25-135

PARCEL ID#: 4315-612-0002-000-2

ZONING INFO: ST. LUCIE HOSPITALITY AT TRADITION, LLC. OWNERSHIP:

302 WASHINGTON AVE EXTENSION ALBANY, NY 12203

LEGAL DESCRIPTION: SOUTHERN GROVE PLAT NO. 25 (PB 82-24) TRACT 2 (2.585 AC - 112,603 SF)

HW PROJECT NO: 18-341

PARCEL ID#: 4315-612-0001-000-5

ZONING INFO: MPUD OWNERSHIP: TRADITION HOTEL HOLDINGS LLC

302 WASHINGTON AVENUE EXT

ALBANY, NY 12203-7306

LEGAL DESCRIPTION: SOUTHERN GROVE PLAT NO. 25 (PB 82-24) TRACT 1 (2.351 AC - 102,410 SF)

PROJECT DATUM AND COORDINATE SYSTEM:

HORIZONTAL: FLORIDA STATE PLANE NAD83 (FL83-EF) NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

**GOVERNING STANDARDS & SPECIFICATIONS:** 

FLORIDA DEPARTMENT OF TRANSPORTATION, FY2024-25 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE:

https://www.fdot.gov/programmanagement/Implemented/SpecBooks

(EFFECTIVE:JULY2024-2025)

LAND DEVELOPMENT TO CONFORM TO THE CURRENT PORT SAINT LUCIE ENGINEERING DEPARTMENT STANDARDS.

UTILITY CONSTRUCTION TO CONFORM TO THE CURRENT EDITION OF THE CONSTRUCTION STANDARDS AND DETAILS.(EFFECTIVE: 2019 WITH 2024 AMENDMENT)

# ISSUED FOR REGULATORY REVIEW FOR PERMIT

	REVISIONS						
REV.	DATE	COMMENT					
0	2025.06.13	ISSUED FOR REGULATORY REVIEW FOR PERMIT					
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# INDEX OF DRAWINGS

C-100 COVER SHEET

**EXISTING CONDITIONS & STORMWATER POLLUTION** 

PROJECT LOCATION

PREVENTION PLAN & DETAILS

DEMOLITION PLAN

HORIZONTAL CONTROL PLAN

PAVING, GRADING & DRAINAGE PLAN

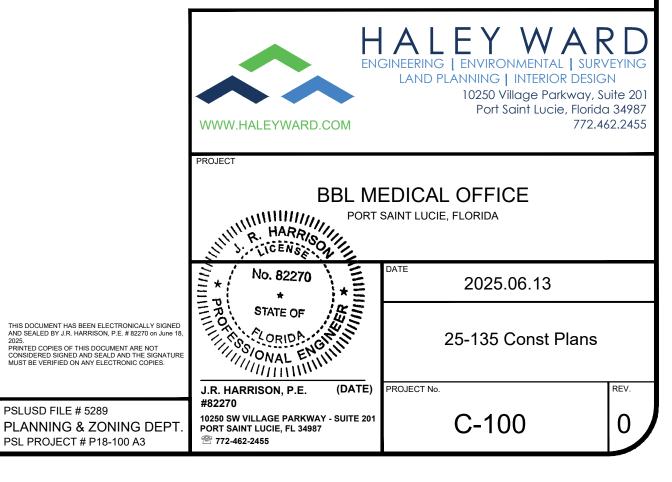
UTILITY PLAN

STRIPING & SIGNAGE PLAN

PAVING, GRADING & DRAINAGE DETAILS

UTILITY DETAILS

**SPECIFICATIONS** 



# GENERAL NOTES EROSION CONTROL

#### 1.0 SITE DESCRIPTION

#### 1.a Nature of Construction Activities

Development of approximately 4.94 acres of Lot 4 for a Hotel and Medical Office Building. Project will create drainage system including a series of swales that will outfall to an existing drainage system through one control structure.

# 1.b Sequence of Major Soil Disturbing activities:

The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal or exceeds the erosion and sediment control practices described in this document, and is approved by the Engineer. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for providing a detailed sequence of construction for all construction activities.

- 1- Clearing and grubbing of site
- 2- Excavation general grading
- 3- Installation of underground utilities.
- 4- Finishing grading.

#### 1.c Area Estimates

Total site area: Total area disturbed:

4.94 Acres 4.94 Acres

1.d Estimate of drainage area size for each discharge point.

Basin #1:

4.94 Acres

1.e Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:

INNOVATION WAY

Basin #1 27° 15' 46" N 80° 25' 47" W

1 inch = 60 ft.

Discharge into the Existing WMT-2A.

## 2.0 CONTROLS

#### 2.a Erosion and Sediment Controls

Silt fencing shall be installed and maintained around the perimeter of the disturbed area of the project. Gravel shall be installed at the entrance/exit of the site to prevent track out. Paved roads shall be swept and kept clear of transported soils. All disturbed areas shall be sodded to prevent erosion and control wind-borne soil transport. Contractor shall have water trucks on-site for dust control. Filter Fabric shall be used to protect all inlets from Filtration.

#### 2.a.1 Permanent and Temporary Stabilization Practices

Contractor shall be responsible for having water truck on-site for temprorary stabilization during construction. All disturbed areas are to be sodded upon completion of grading. The contractor is responsible for documenting this portion of the SWPPP. Temporary seeding shall be rye grass or other appropriate ground covers depending upon season of installation that is applied at manufacturer's recommendations to any disturbed areas that are inactive more than 7 days.

# 2.a.2 Structural Practices

Site shall be initially graded to direct runoff to on-site master surface water management system. Silt screens are to be installed and maintained around perimeter of site. No discharge from site permitted until certification of permitted surface water management system.

Temporary: Construct silt fence in accordance with FL Stormwater Erosion and Sedimentation Control Inspector's Manual. A stabilized construction entrance and soil tracking prevention device shall be installed in accordance with FL Stormwater Erosion and Sedimentation Control Inspector's Manual. A sediment basin is to be installed as part of the soil tracking prevention plan. All sediment controls shall be in place prior to any soil disturbing activity upstream of the controls.

#### 2.b Stormwater Management

INSTALL SOIL TRACKING

PREVENTION DEVICE (TYP)

(ALTERNATIVE LOCATION)

PREVENTION DEVICE (TYP)

INSTALL SILT FENCE (TYP)

WN OFFSET FOR CLARITY

TO BE STAKED ON PROPERTY LINE, O.W. BOUNDARY & EASEMENT

Upon certification of surface water management system, the dry detention will be permanent.

# All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following "I certify under penalty of law that I understand, and shall comply with, the terms and conditions

POST (OPTIONS: 2" x 4" OR

21 MIN. DIA. WOOD; STEEL

INSTALL FILTER FABRIC (TYP)

1.33 LBS/FT. MIN.)

		it for Stormwater Discharge from Large an mwater Pollution Prevention Plan prepared	
Name	Title	Company Name, Address and Phone Number	Date

# 2.c Other Controls

## 2.c.1 Waste Disposal

Contractor shall be responsible for the proper disposal and storage of all debris, chemicals, litter, and sanitary waste per local, state and federal guidelines. No discharges are allowed into surface water management system.

#### 2.c.2 Offsite vehicle tracking

Gravel to be installed at entrance/exit to minimize transport of soil off of site. Paved roads are to be swept daily.

### 2.c.3 Application rates of all fertilizers, herbicides and pesticides used.

Any fertilizers, herbicides, and pesticides to be used shall be applied per methods and rates recommended by the manufacturers label which must be affixed to or printed directly on the container.

# 2.c.4 Storage, application, generation and migration of all toxic substances.

Contractor is required to properly maintain all vehicles in good working order to prevent leakage. No toxic substances to be storecd on site.

#### 3.0 MAINTENANCE

3.a All structural and non-structural controls to be visually inspected and repaired on a daily basis by the contractor. These controls are to remain in good and effective operating condition per the approved construction plans and per standard FDOT indexes.

#### 4.0 INSPECTION

Contractor is responsible for visually inspecting silt fences, perimeter berms, and entrance/exit controls on a daily basis. A more thorough inspection of all structural and non-structural controls shall occur at least once per 7 days and within 24 hours of the end of a storm that is 0.50 inches or greater.

### 5.0 NON-STORMWATER DISCHARGES

OPTIONAL POST POSITIONS

FILTER FABRIC (IN

**CONFORMANCE WITH** SEC. 985 FDOT SPEC.)

None

# ADDITIONAL NOTES:

**ELEVATION** 

NOTE: SILT FENCE TO BE PAID FOR UNDER PAY ITEM 104-15A EROSION CONTROL MEASURES

THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(G).

PRINCIPLE POST POSITION

FILTER FABRIC

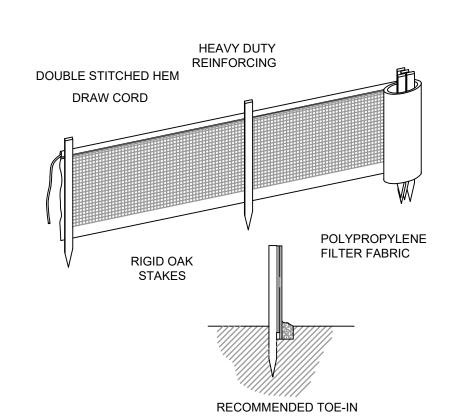
SILT FLOW

SECTION

(CANTED 20° TOWARD FLOW)

#### MANAGEMENT RELOCATION FOUND AGENCY DESCRIPTION (YES/NO) CONTACT PLAN INFORMATION (YES OR NO) (YES OR NO) **WETLANDS** NO NO RARE SPECIES NO THREATENED NO **SPECIES ENDANGERED SPECIES** LISTED SPECIES NO NO NO INVASIVE/EXOTIC NO NO NO **VEGETATION**

# **ENVIRONMENTAL SITE ASSESSMENT TABLE**

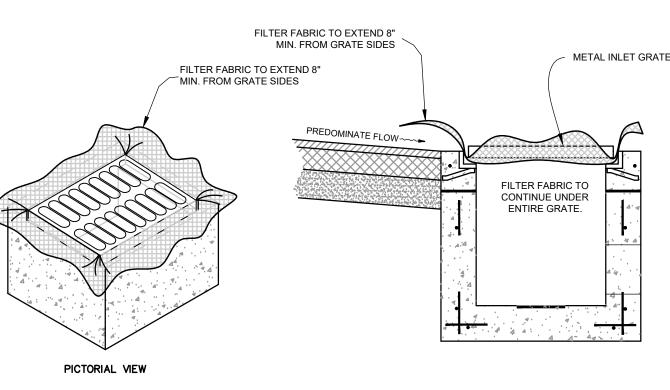


1. SILT FENCE SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE. 2. THE CONTRACTOR SHALL INSPECT AND REPAIR THE SILT FENCE AFTER EACH RAIN EVENT AND

3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.

REMOVE SEDIMENT WHEN NECESSARY

# 4. THE SILT FENCE SHALL BE PLACED ON SLOPE CONTOUR TO MAXIMIZE ITS PONDING EFFICIENCY. SILT FENCE DETAIL

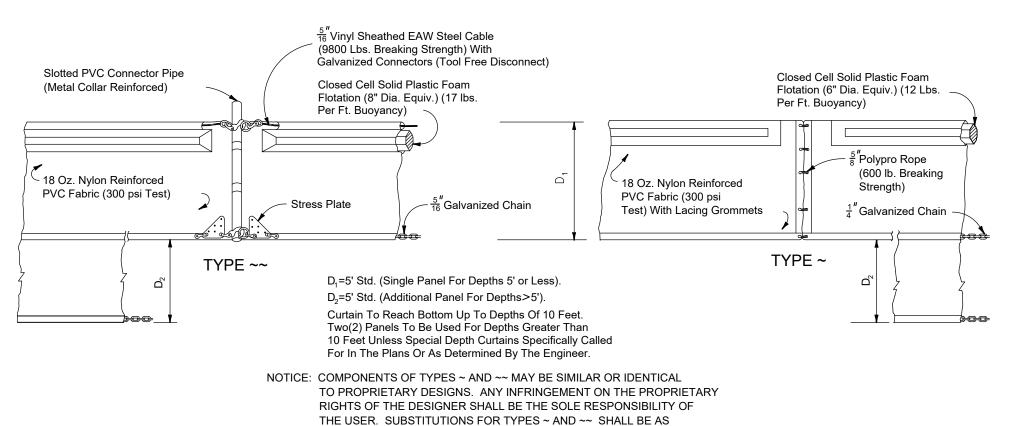


# **GENERAL NOTES**

1. THIS INLET IS DESIGNED WITH FILTER FABRIC PROTRUDING 8" FROM SIDES FOR GRIPPING WHEN SEDIMENT NEEDS TO CLEARED AFTER FINAL CONSTRUCTION.

2. FILTER FABRIC TO BE INSTALLED AND TRIMMED BEFORE GRATE IS INSET.

# FILTER FABRIC DETAIL



FLOATING TURBIDITY BARRIERS

Know what's **below**.

PLANNING & ZONING DEP PSL PROJECT # P18-100 A3

DATE **FOR PERMIT** 

JED FOR REGULATORY REVIEW FOR PERMIT

( DIVISION OF 🚕 HALEY WARD, INC )250 Village Parkway, Suite 20 Port Saint Lucie, Florida 34987 772.462.2455 WWW.HALEYWARD.COM

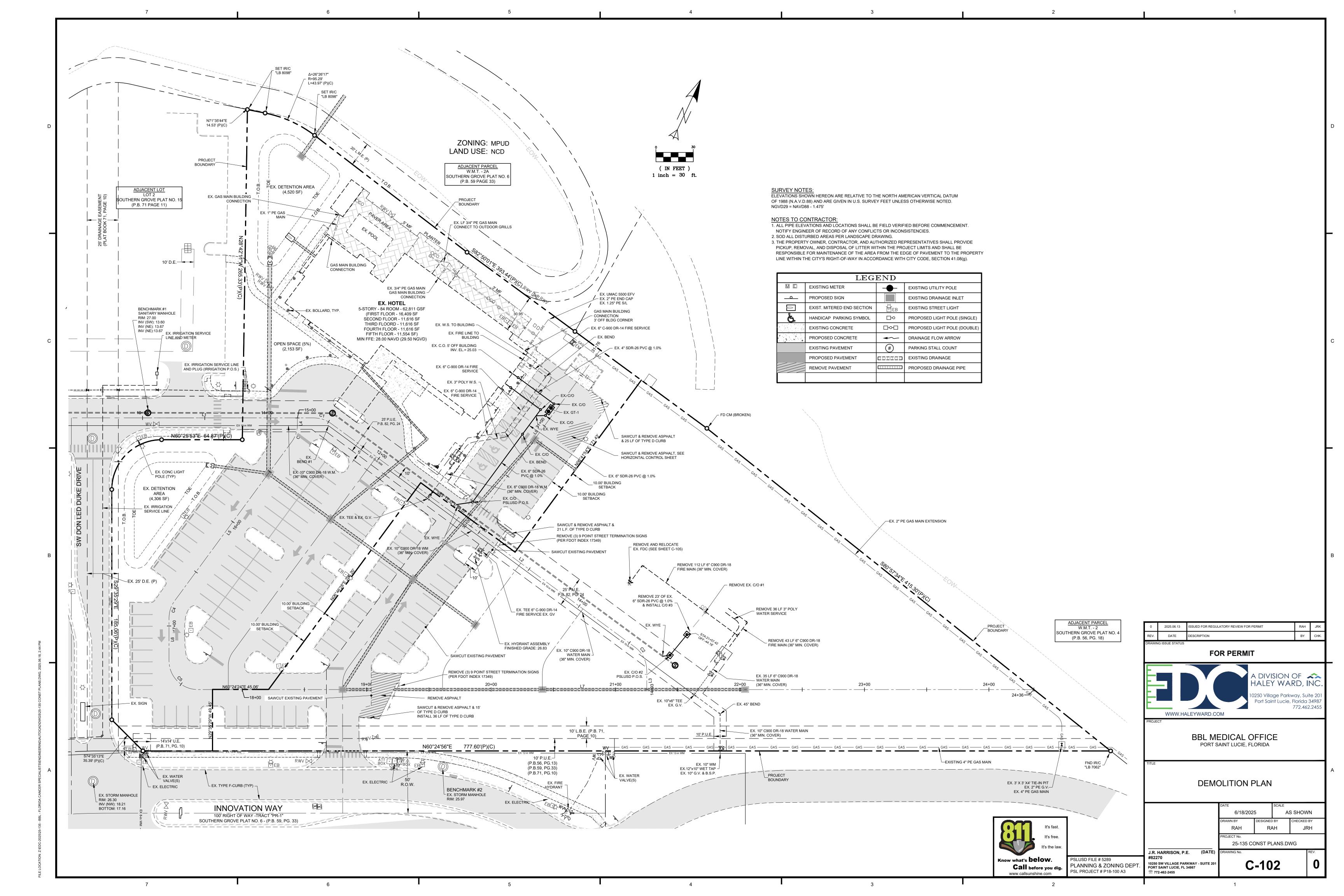
> **BBL MEDICAL OFFICE** PORT SAINT LUCIE, FLORIDA

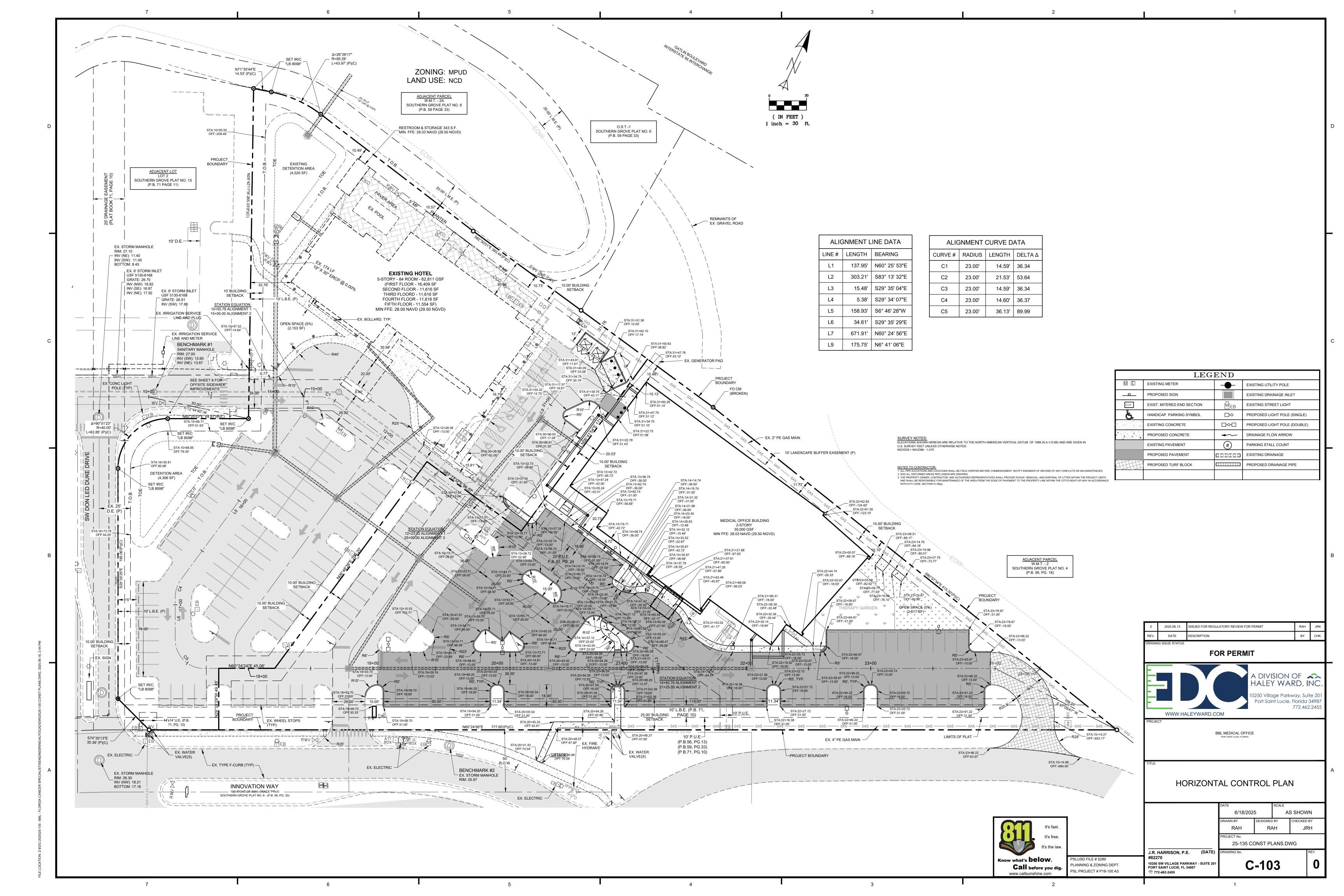
**EXISTING CONDITIONS & STORMWATER** POLLUTION PREVENTION PLAN AND **DETAILS** 

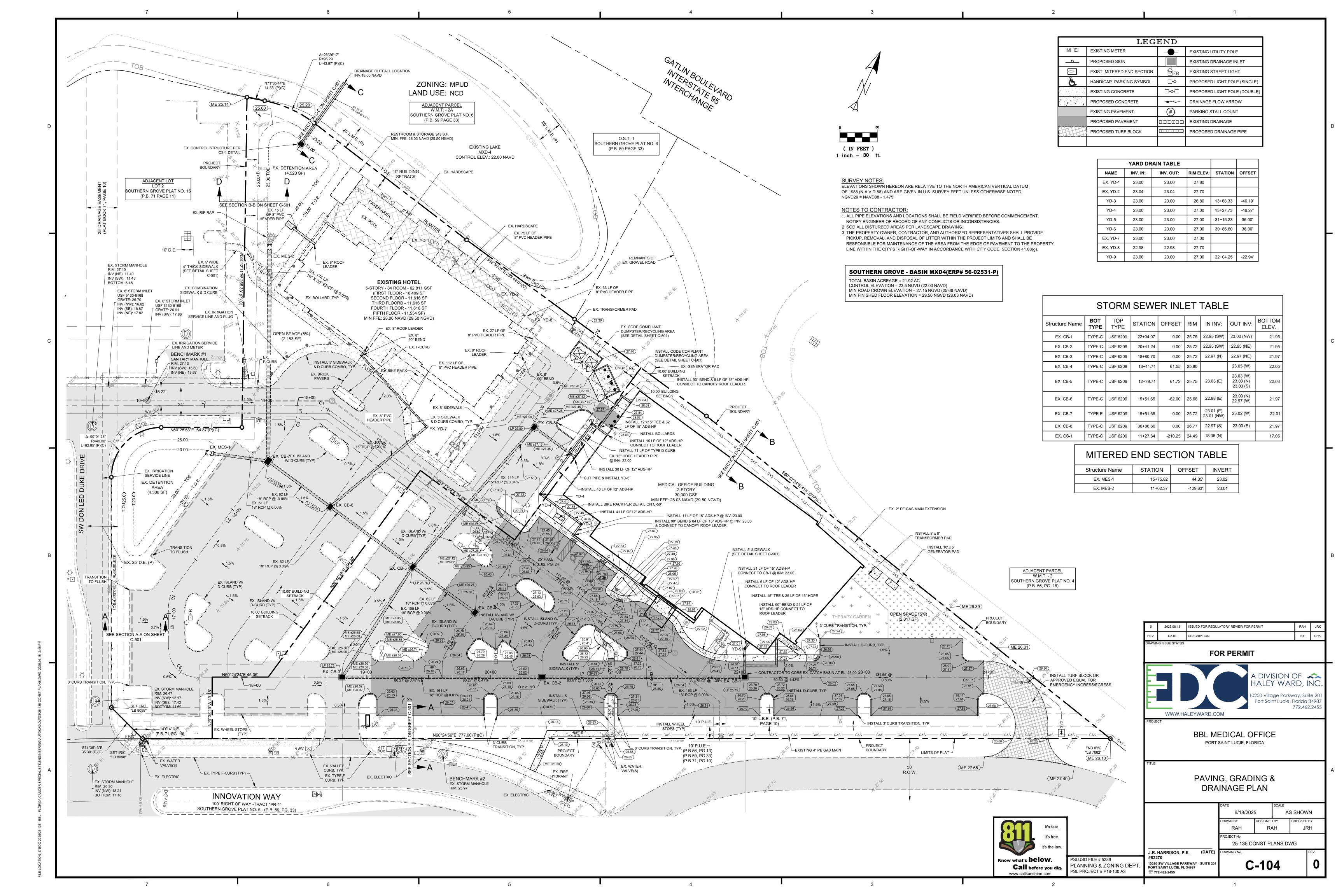
AS SHOWN 6/18/2025 25-135 CONST PLANS.DWG

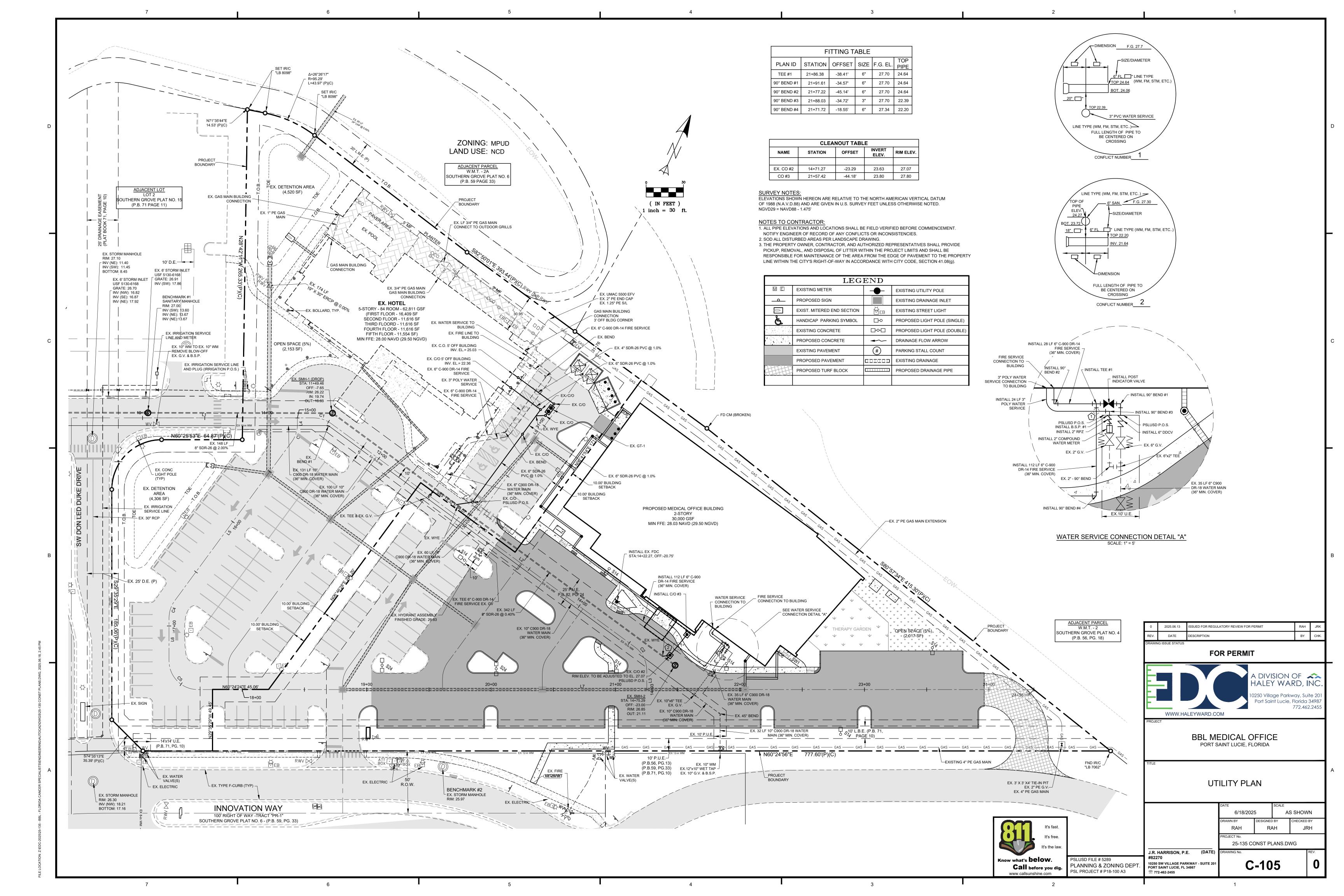
I.R. HARRISON, P.E. (DATE) **PORT SAINT LUCIE, FL 34987 772-462-2455** 

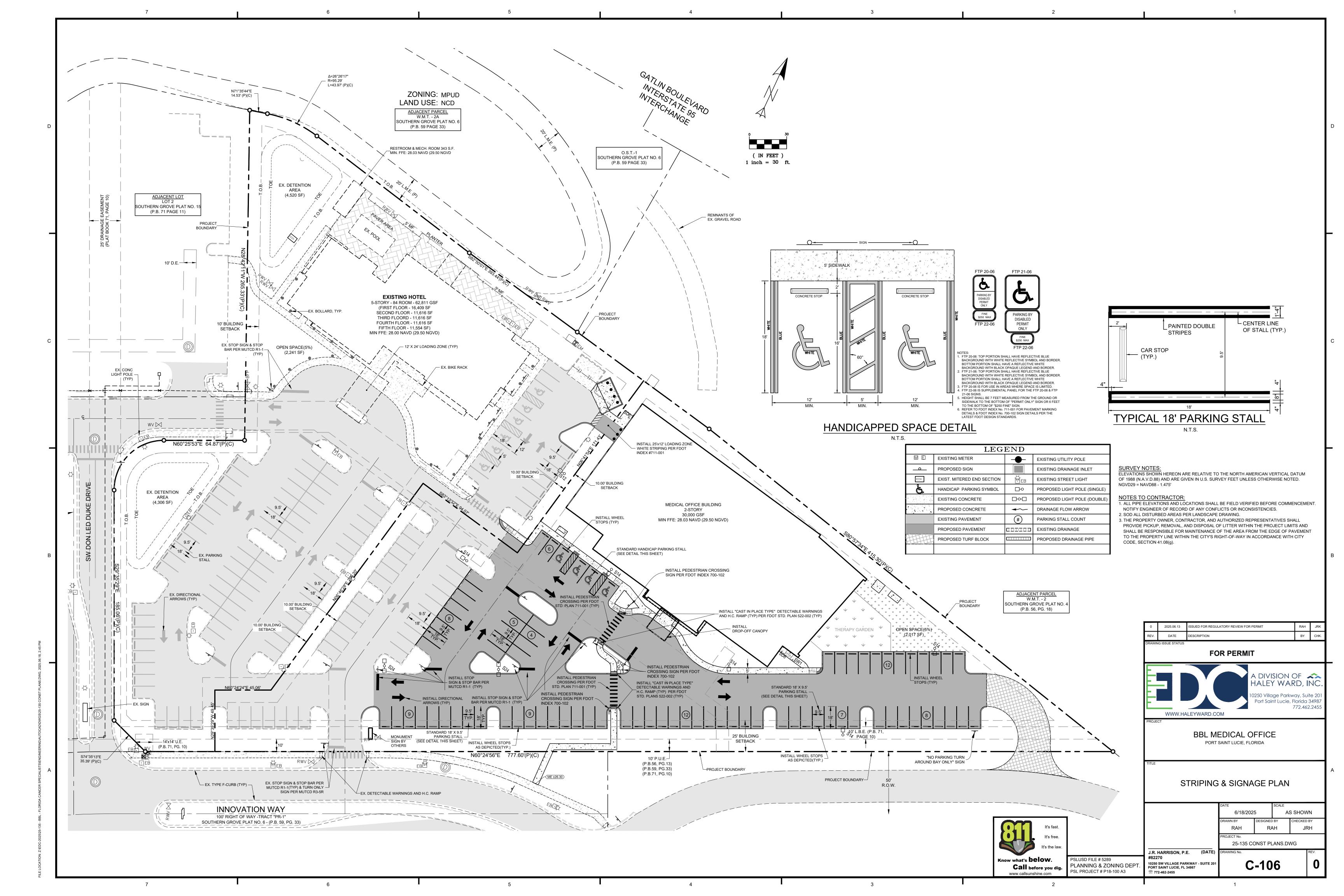
C-101

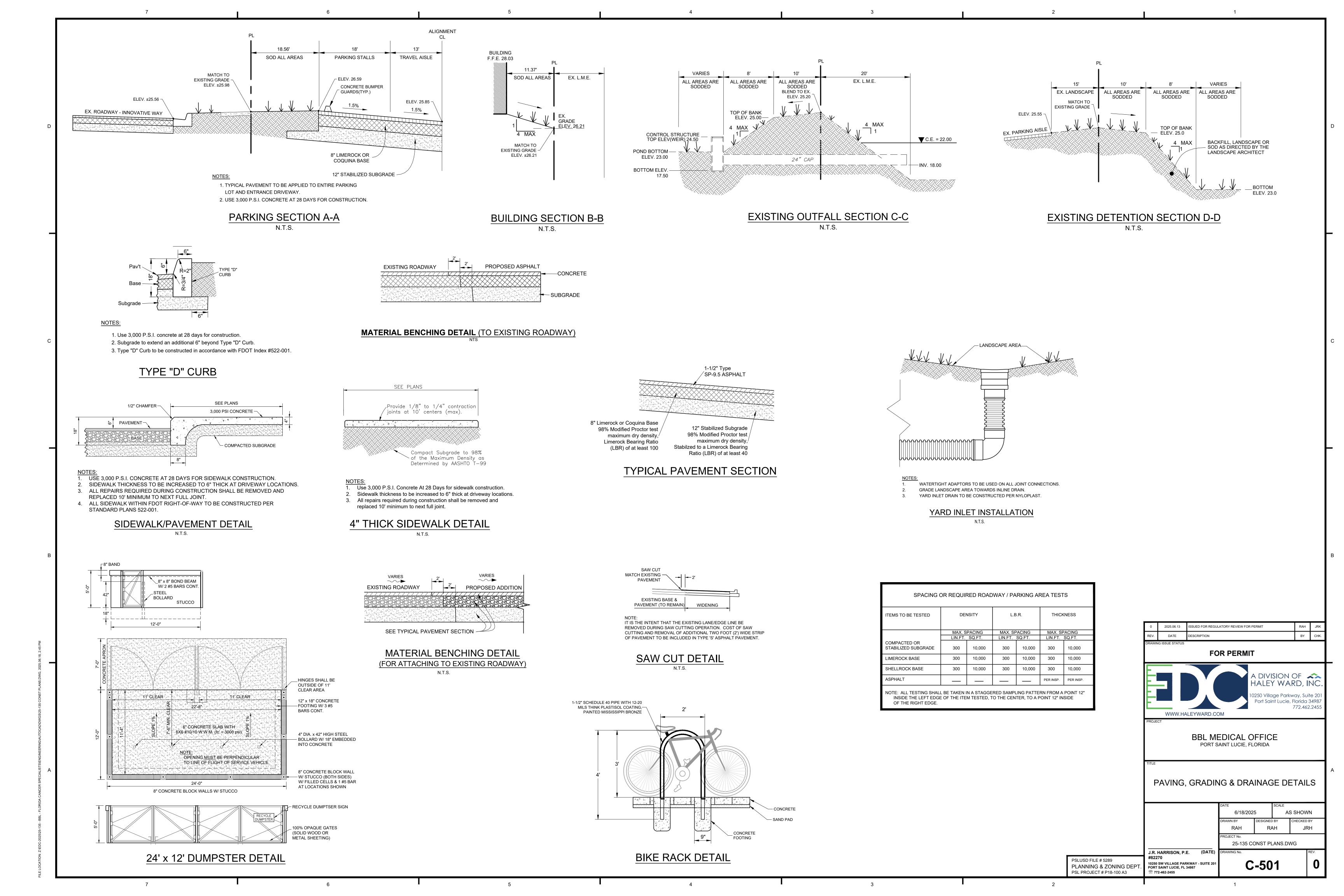


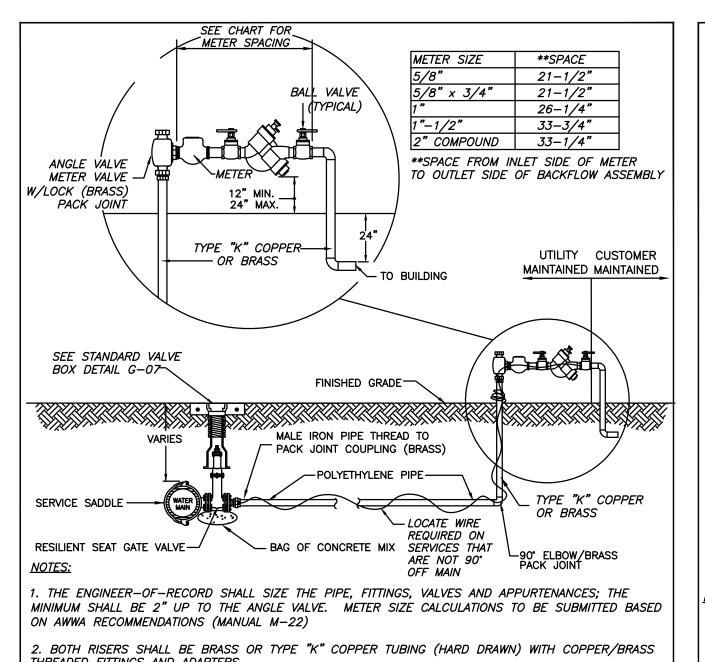












THREADED FITTINGS AND ADAPTERS.

3. ADDITIONAL SUPPORT SHALL BE PROVIDED AS NECESSARY TO SECURELY SUPPORT THE BACK FLOW PREVENTION ASSEMBLY.

4. VALVE, SADDLE AND APPURTENANCES SHALL BE PER THE QUALIFIED PRODUCTS LIST.

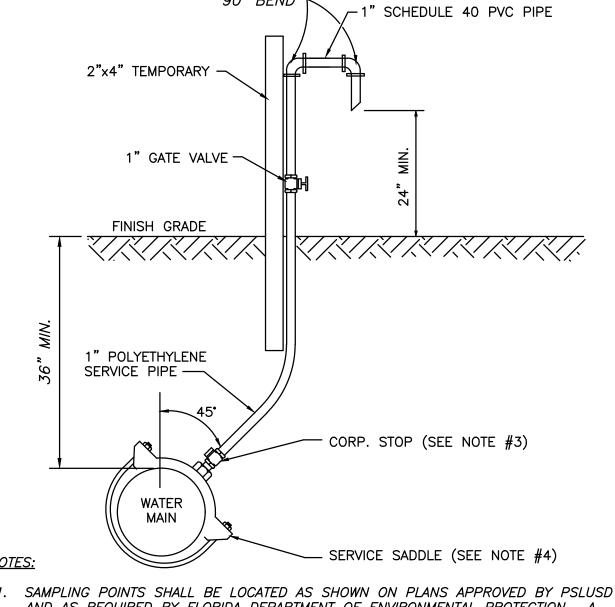
. METERS AND BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE INSTALLED BY PSLUSD. SEE SHEET 2 FOR MULTI-SERVICE METER BANK ASSEMBLY.

6. AT THE DIRECTION OF THE PSLUSD, BOLLARDS MAY BE REQUIRED TO PREVENT DAMAGE FROM ACCIDENTS. REFER TO DETAIL G-15 FOR BOLLARD INSTALLATION.



**COMMERCIAL WATER SERVICE CONNECTION** 

DETAIL: W-02 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 2



AND AS REQUIRED BY FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. A SAMPLE POINT MAP (SINGLE SHEET PDF) SHALL BE SUBMITTED TO PSLUSD FOR REVIEW PRIOR TO DISINFECTION.

2. THE EXCAVATED HOLE FOR THIS INSTALLATION SHALL BE BACKFILLED TO FINISHED GRADE PRIOR TO DISCHARGING ANY WATER ON THE GROUND.

3. AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED, THE CONTRACTOR SHALL TURN CORPORATION STOP OFF, REMOVE TUBING AND PLUG CORPORATION STOP WITH BRASS PLUG/CAP.

NO DIRECT TAPS SHALL BE PERMITTED.

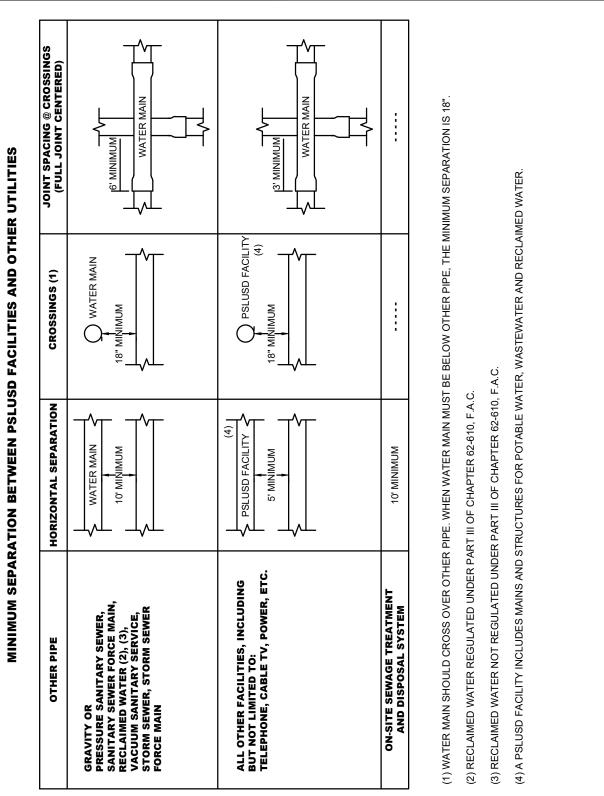
MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433

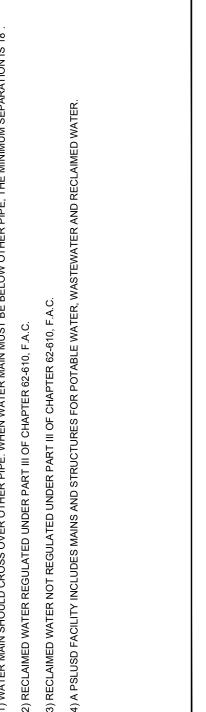
DETAIL: W-05 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1



6. A BRASS PLUG SHALL BE INSTALLED IN ALL TEST PORTS. MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433

FIRE SERVICE **BACKFLOW ASSEMBLY**  DETAIL: W-07 DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1

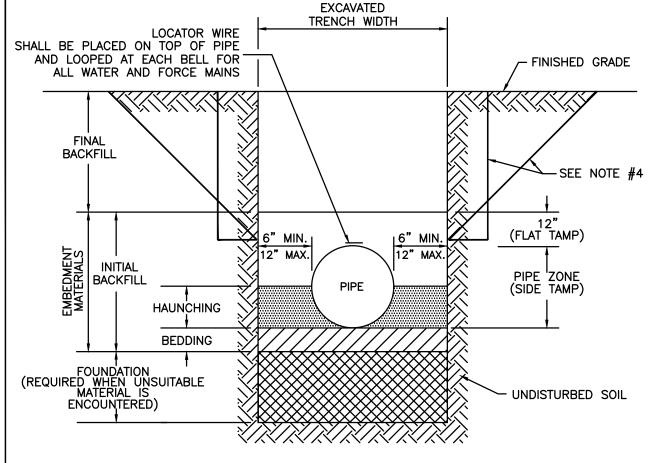




DATE: 2019

SCALE: N.T.S.

SHEET: 1 OF 1



<u>NOTES:</u>

I. FOR TRENCHES REQUIRING SHEETING, SHORING, STAY BRACING, TRENCH JACKS OR TRENCH BOX, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SUPPORTS.

2. IF THE MAXIMUM TRENCH WIDTH MUST BE EXCEEDED, THE AREA OUTSIDE OF THE MAXIMUM EMBEDMENT SHALL BE COMPACTED TO FINAL BACKFILL REQUIREMENTS. IF THE PIPE IS INSTALLED IN A COMPACTED EMBANKMENT, THE EMBANKMENT SHALL BE IN PLACE AND COMPACTED TO 12" MIN. COVER BEFORE INSTALLATION OF PIPE.

3. IF BEDDING IS REQUIRED TO BRING TRENCH BOTTOM UP TO GRADE AND PROVIDE UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE, THEN A MINIMUM COMPACTED DEPTH OF 4 TO 6 INCHES OF SELECT EMBEDMENT MATERIAL IS REQUIRED.

4. THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT. 5. AN APPROVED LOCATOR WIRE SHALL BE USED.

6. EARTHWORK, EXCAVATION, BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH PSLUSD STANDARDS.

MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433

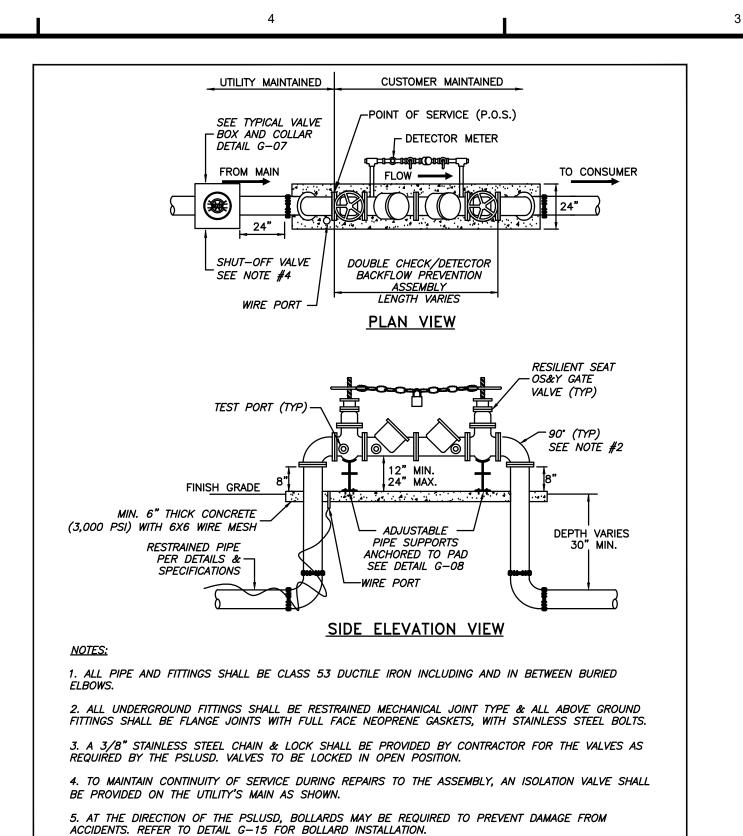
STANDARD PIPE TRENCH CROSS **SECTION** 

DETAIL: G-04 DATE: 2019 SCALE: N.T.S. PHONE (772) 873-6400 FAX (772) 873-6433 SHEET: 1 OF 1

NOTES:

**SANITARY SEWER CLEANOUT** 

DATE: 2019 SCALE: N.T.S. SHEET: 1 OF 1



MATCH COVER MARKED "PSL - FINISH GRADE SEWER" AND PAINTED GREEN GRADE 6"MIN. CONCRETE COLLAR W/ (1) #4 REBAR *─SCREW CAP/PLUG* ACCESS BOX AND COVER −6" RISER " 45° PVC ELBOW MARKER BALL -45° PVC WYE (SEE NOTE #3) PVC PVC CAP AT TERMINUS 1. AN ACCESS BOX AND COVER SHALL BE USED. 2. CLEANOUT ASSEMBLY SHALL BE INSTALLED AT A MAXIMUM 75' INTERVALS AND AT TERMINAL POINT OF THE PSLUSD RESPONSIBILTY. THE LOCATION SHALL BE IN ACCORDANCE WITH THE PSLUSD UTILITY STANDARDS. 3. MARKER BALL SHALL BE STRAPPED TO THE ELBOW. MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 973 6400 FAY (773) 973 6423 DETAIL: WW-05

2025.06.13 SUED FOR REGULATORY REVIEW FOR PERMIT DATE

**FOR PERMIT** 

a division of 🚕 HALEY WARD, INC. 0250 Village Parkway, Suite 20 Port Saint Lucie, Florida 34987 772.462.2455 WWW.HALEYWARD.COM

> BBL MEDICAL OFFICE PORT SAINT LUCIE, FLORIDA

UTILITY DETAILS

6/18/2025 AS SHOWN RAH 25-135 CONST PLANS.DWG J.R. HARRISON, P.E. (DATE)

C-502

MINIMUM CONSTRUCTION STANDARDS FO

PHONE (772) 873-6400 FAX (772) 873-6433

CITY OF PORT ST. LUCIE

900 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983

STANDARD SEPARATION

**REQUIREMENTS** 

10250 SW VILLAGE PARKWAY - SUITE 201 PLANNING & ZONING DEPT PORT SAINT LUCIE, FL 34987 PSL PROJECT # P18-100 A3 **772-462-2455** 

AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

- 2. THE CONTRACTOR SHALL CONTACT ENGINEER OF RECORD, THE APPROPRIATE GOVERNMENTAL JURISDICTIONAL AGENCY AND
- ALL OTHER CONCERNED UTILITIES AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE OF CONSTRUCTION OPERATIONS.

  3. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHYSICALLY LOCATING ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT
- 4. PROJECT SUPERINTENDENT: THE CONTRACTOR SHALL PROVIDE A QUALIFIED SUPERINTENDENT TO REMAIN ON THE JOB SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. THE SUPERINTENDENT SHALL BE PRESENT AT THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOTIFY THE OWNER BY LETTER, PRIOR TO THE PRE-CONSTRUCTION MEETING, APPOINTING THE SUPERINTENDENT FOR THIS PROJECT INCLUDING A FORMAL RESUME SHOWING QUALIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE HIS COMPLETE FAMILIARITY WITH THE PROJECT SITE AND COMPONENTS TO INCLUDE SUBSURFACE CONDITIONS OF SOIL AND GROUNDWATER TABLE. BY SUBMITTAL OF A BID FOR THIS PROJECT, THE CONTRACTOR ACKNOWLEDGES HIS COMPLETE UNDERSTANDING AND RESPONSIBILITIES WITH RESPECT TO THE CONSTRUCTION ACTIVITIES REQUIRED UNDER THE SCOPE OF THIS PROJECT.
- 6. THE "TRENCH SAFETY ACT" SHALL BE INCORPORATED INTO THIS CONTRACT AS ENHANCED BY THE LEGISLATURE OF THE STATE OF FLORIDA TO BE IN EFFECT AS OF OCTOBER 1, 1990.
- . AS-BUILT PLANS: THE CONTRACTOR SHALL PROVIDE ONE (1) REPRODUCIBLE MYLAR COPY. TWO (2) BLACK LINE COPIES AND ONE (1) DIGITAL FORMAT (CAD & PDF) OF A CERTIFIED AS-BUILT SURVEY. DRAWINGS SHALL BE IN STATE PLÂNE COORDINATES AND MEET ÀLL UTHORITIES HAVING JURISÓICTION (AHJ) REQUIREMENTS. DRAWINGS SHALL BEAR THE ORIGINAL SIGNATURE AND EMBOSSED SEAL O THE SURVEYOR AND SHALL BE SUBMITTED AFTER THE COMPLETION OF CONSTRUCTION. BUT PRIOR TO FINAL APPROVAL. THE AS-BUILT SURVEY SHALL BE PREPARED IN PLAN AND PROFILE FORMAT BY A LICENSED PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE FLORIDA ADMINISTRATIVE CODE AND CHAPTER 472 OF THE FLORIDA STATUES. THE DRAWINGS SHALL BE AT A SCALE COMPARABLE TO THE DESIGN DRAWINGS PREPARED BY THE ENGINEER AND SHALL REFERENCE THE BASE LINE OF SURVEY APPEARING ON THE ENGINEERING DRAWINGS. THE HORIZONTAL AND VERTICAL LOCATION OF ALL CONSTRUCTED ITEMS SHOWN ON THESE PLANS AND ALL APPURTENANCES SHALL BE ACCURATELY DEPICTED TO SCALE AND SHALL BE IDENTIFIED RELATIVE TO THE BASE LINE AND TO READILY IDENTIFIABLE PERMANENT OR SEMI-PERMANENT REFERENCE POINTS EXISTING AFTER THE COMPLETION OF CONSTRUCTION. LOCATIONS SHALL BE SHOWN FOR ALL FITTINGS, VALVES, HYDRANTS MANHOLES SAMPLE POINTS AIR RELEASES ETC. BOTH HORIZONTAL AND VERTICAL AND THE LOCATION OF THE MAIN AT EACH. BASELINE STATION AS SHOWN ON THE PLANS (100 FEET MAXIMUM) BOTH HORIZONTAL AND VERTICAL UNDERGROUND FACILITIES (LE DRAINAGE, GAS, ELECTRIC, TELEPHONE, ETC.) CROSSING THE MAINS SHALL BE ACCURATELY SHOWN BOTH HORIZONTAL AND VERTICAL AND SHALL IDENTIFY SIZE, TYPE, FACILITY, MATERIAL AND CLEARANCE. ALL INFORMATION SHALL BE BASED UPON MEASUREMENTS AND OBSERVATIONS MADE IN THE FIELD BY THE SURVEYOR CERTIFYING THE SURVEY OR BY PERSONNEL UNDER HIS EMPLOYMENT. DIRECTION AND SUPERVISION. THE COST FOR PREPARING AND MAINTAINING THE AS-BUILT PLANS SHALL BE BORN BY THE CONTRACTOR
- 8. THE CONTRACTOR SHALL PREPARE A PLAN SHOWING THE SCHEDULE OF WORK, INCLUDING A HIGHLIGHTED PLAN SHOWING THE ORDER OF CONSTRUCTION WHICH WILL FACILITATE MAINTAINING EXISTING SERVICES DURING CONSTRUCTION. THIS PLAN SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION MAINTENANCE OF TRAFFIC AND STAGING PLAN.
- 9. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION, DESIGN STANDARDS DATED 2024-25, AND STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION DATED 2020. UTILITY CONSTRUCTION TO CONFORM TO THE PSLUSD UTILITY STANDARDS MANUAL DATED 2019.
- 10. ALL UNDERGROUND MUNICIPAL UTILITIES, IRRIGATION, FIBER OPTIC, TELEPHONE, FPL, LOCAL CABLE AND ALL OTHER LOCAL UTILITY COMPANY LOCATIONS SHOWN ARE TAKEN FROM INFORMATION PROVIDED BY THAT UTILITY COMPANY. THESE LOCATIONS HAVE NOT BEEN VERIFIED IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS WITH PUBLIC & PRIVATE UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND DELIVERY OF PIPE. THE CONTRACTOR SHALL USE EXTREME CAUTION WITHIN THE VICINITY OF PUBLIC & PRIVATE UTILITY FACILITIES. THE CONTRACTOR WILL REQUEST THE PRESENCE OF THE RESPECTIVE UTILITY REPRESENTATIVES DURING CONSTRUCTION IN THE VICINITY OF THEIR FACILITIES EVEN IF A PROFILE OF THE UTILITY FACILITIES IS PROVIDED IN THESE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PUBLIC & PRIVATE UTILITIES AND VERIFYING / OBTAINING THE LOCATION(S) OF THESE FACILITIES.

ALL CITY OWNED UTILITIES
CITY OF PORT ST. LUCIE
UTILITY SYSTEMS DEPARTMENT

(772) 871-7313

11. ANY NGVD 29 AND NAVD 88 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHOULD NOTIFY:

IRRIGATION

GEODETIC INFORMATION CENTER
ATTN: MARK MAINTENANCE CENTER
ATTN: M/CG - 162
6001 EXECUTIVE BOULEVARD
ROCKVILLE, MD 20852

TELEPHONE: (301) 443-8319

- CITY OF PORT ST. LUCIE
  PUBLIC WORKS DEPARTMENT
  ATTN: JOHN ROSSI, CITY SURVEYOR
  121 S.W. PORT ST. LUCIE BLVD, BUILDING B
  PORT ST. LUCIE, FL 34984
- 12. CONTRACTOR TO UTILIZE "APPROVED FOR CONSTRUCTION" PLANS ONLY. ANY PLANS NOT "APPROVED FOR CONSTRUCTION" SHALL BE CONSIDERED PRELIMINARY AND SHOULD NOT BE USED FOR BIDDING OR CONSTRUCTION
- 13. SHOP DRAWINGS FOR ALL STRUCTURES SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- 14. SHOP DRAWINGS ARE REQUIRED ON ALL STRUCTURES. THE ENGINEER REQUIRES FIVE (5) BUSINESS DAYS TO REVIEW SHOP DRAWINGS AFTER RECEIPT. ADDITIONAL TIME MAY BE REQUIRED IF LOCAL GOVERNMENT OR MUNICIPALITIES REQUIRE AN INTERNAL REVIEW AND
- 15. CONCRETE SHALL BE CLASS I 3,000 PSI MINIMUM COMPRESSIVE STRENGTH UNLESS NOTED OTHERWISE. REINFORCING SHALL BE GRADE 60 DEFORMED STEEL BARS IN ACCORDANCE ASTM A-615.
- 16. CONTRACTOR SHALL PROTECT ALL EXISTING ABOVE OR UNDERGROUND STRUCTURES, LANDSCAPE FEATURES, TREES AND UTILITIES NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED BY CONSTRUCTION ACTIVITY TO MEET ALL APPLICABLE CURRENT CODES. ANY REPAIRED / REPLACED ITEMS ARE SUBJECT TO REVIEW AND APPROVAL BY APPLICABLE LOCAL JURISDICTIONAL AGENCY.
- 17. ALL PROPOSED UTILITY MATERIALS, CONSTRUCTION METHODS, TESTING AND DISINFECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT LOCAL UTILITY COMPANY STANDARDS AND AWWA CURRENT STANDARD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND UTILIZE A CURRENT COPY OF THE PSLUSD SPECIFICATIONS AND ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH THEIR STANDARDS. ANY CONFLICT WITH THE CONSTRUCTION DRAWINGS AND THE LOCAL UTILITY COMPANY SHALL BE RESOLVED UTILIZING THE MOST STRINGENT DIRECTIONS.
- 18. ALL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS SHALL BE PROTECTED AND UNDISTURBED. IN THE EVENT THAT A CONTROL POINT IS DISTURBED OR DESTROYED, THE POINT SHALL BE RE-ESTABLISHED BY A FLORIDA REGISTERED LAND SURVEYOR. THE METHOD TO RE-ESTABLISH THE POINT SHALL BE APPROVED BY THE CITY / COUNTY ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- 19. THE CONTRACTOR SHALL PREPARE A COMPLETE VIDEO RECORD OF THE PROJECT SITE BEFORE BEGINNING ANY WORK. THE VIDEO RECORD SHALL INCLUDE ALL ROADWAY, DRAINAGE AND UTILITIES POINTS OF CONNECTION AND SHALL EXTEND A MINIMUM OF 1800 FEET BEYOND THE WORK LIMITS TO DOCUMENT THE EXISTING CONDITIONS. THE CONTRACTOR SHALL ALSO VIDEO DOCUMENT ALL HAUL ROUTES NEEDED FOR THE OFF-SITE MOVEMENT OF EARTHWORK. COPIES OF THE VIDEO RECORD SHALL BE PROVIDED TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO SUBMITTAL OF THE FIRST PAY REQUEST. IF DAMAGE TO EXISTING INFRASTRUCTURE IS RECOGNIZED DURING THE COURSE OF THE PROJECT AND CANNOT BE IDENTIFIED AS A PRE-CONSTRUCTION CONDITION ON THE VIDEO RECORD, THE CONTRACTOR MAY BE REQUIRED TO MAKE PROPER REPAIRS.
- 20. THE CONTRACTOR SHALL VIDEO TAPE THE EXTERIOR AND REAR YARDS OF ALL HOUSES / BUSINESSES IN THE PROJECT AREA.
- PAVING, GRADING AND DRAINAGE NOTES

TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS

- 1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 12 INCH LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED, PROVIDED THAT THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING AND CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
- 2. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON, OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF ONE (1) FOOT. ITEMS DESIGNATED TO REMAIN, TO BE RELOCATED, OR
- 3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITIES AT UTILITY CROSSINGS, MANHOLES, INLETS, AND STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC. DENSITY TESTS SHALL BE PERFORMED AT THREE (3) LOCATIONS AROUND ANY STRUCTURE. BEGIN TESTING IN THE FIRST FOOT ABOVE THE BOTTOM OF THE STRUCTURE AND THEN EVERY TWO FEET TO WITHIN TWO FEET OF THE FINISH GRADE; THESE DENSITY REQUIREMENTS ARE THE MINIMUM. THE CONTRACTOR SHALL VERIFY DENSITY REQUIREMENTS AND PROTOCOLS WITH THE LOCAL APPROVING AUTHORITY PRIOR TO CONSTRUCTION OR BIDDING OF THE PROJECT.
- 5. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEMS SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE. ALL CONCRETE SHALL BE A MINIMUM 3,000 PSI. SOME LOCAL GOVERNMENT STORMWATER PROJECTS MAY REQUIRE TELEVISING OF THE STORM SEWER. CONTRACTOR SHOULD BE KNOWLEDGEABLE OF THIS REQUIREMENT PRIOR TO BIDDING OF THE PROJECT.
- 6. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- 7. THE CONTRACTOR MUST OBTAIN A WATER USE PERMIT PRIOR TO CONSTRUCTION DEWATERING UNLESS THE WORK QUALIFIES FOR A GENERAL PERMIT PURSUANT TO SUBSECTION 40E-20 302(4), F. A C.

# STORM SEWER NOTES

- 1. STANDARD SEPARATION FOR ALL WATER AND/OR WASTEWATER MAINS, HORIZONTAL AND VERTICAL, SHALL BE PER FDEP REQUIREMENTS, PROVISIONS OF F.A.C. RULE 62.604 AND TEN STATES STANDARD OR LOCAL MUNICIPALITIES, WHICHEVER IS MORE STRINGENT.
- 2. ALL DISTURBED OUTFALL DRAINAGE AREAS SHALL BE SODDED UPON COMPLETION OF GRADING AFTER AS-BUILT GRADE ELEVATIONS ARE APPROVED BY THE ENGINEER.
- 3. PRIOR TO FINAL PAYMENT FOR RETENTION. DETENTION AND DRAINAGE DITCH QUANTITIES. ALL SLOPES AND SWALES SHALL BE SODDED
- 4. THERE IS TO BE NO OFF-SITE HAULING WITHOUT PRIOR APPROVAL AND ALL EXCAVATED MATERIAL SHALL BE USED ON-SITE. COORDINATION WITH THE OWNER IS REQUIRED FOR THE REMOVAL OF ANY UNSUITABLE MATERIALS.

- 5. THE CONTRACTOR SHALL CONSTRUCT THE STORMWATER MANAGEMENT SYSTEM IN A MANNER SO AS TO MINIMIZE ANY ADVERSE IMPACTS OF THE WORKS ON FISH, WILDLIFE, NATURAL ENVIRONMENTAL VALUES AND WATER QUALITY ON OR OFF-SITE. THE CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING FULL COMPACTION OF ANY FILL MATERIAL PLACED AROUND NEWLY INSTALLED STRUCTURES TO REDUCE EROSION, TURBIDITY, NUTRIENT LOADING AND SEDIMENTATION IN THE RECEIVING WATERS.
- 6. WITHIN THIRTY (30) DAYS AFTER COMPLETION OF CONSTRUCTION OF THE SURFACE WATER MANAGEMENT SYSTEM, THE CONTRACTOR SHALL ASSIST THE DESIGN ENGINEER TO PROVIDE A WRITTEN STATEMENT OF COMPLETION AND CERTIFICATION BY A FLORIDA PROFESSIONAL ENGINEER. THESE STATEMENTS MUST SPECIFY THE ACTUAL DATE OF CONSTRUCTION COMPLETION AND MUST CERTIFY THAT ALL FACILITIES HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. THE CONSTRUCTION COMPLETION CERTIFICATION MUST INCLUDE, AT A MINIMUM EXISTING ELEVATIONS, LOCATIONS AND DIMENSIONS OF THE COMPONENTS OF THE SURFACE WATER MANAGEMENT FACILITIES. ADDITIONALLY, IF DEVIATIONS FROM THE APPROVED DRAWINGS ARE DISCOVERED DURING THE CERTIFICATION PROCESS, THE CERTIFICATION MUST BE ACCOMPANIED BY A COPY OF THE APPROVED PERMIT DRAWINGS WITH DEVIATIONS NOTED. SEE ALSO AS-BUILT REQUIREMENTS.
- 7. A STABLE PERMANENT AND ACCESSIBLE ELEVATION REFERENCE SHALL BE ESTABLISHED ON OR WITHIN ONE HUNDRED (100) FEET OF ALL PERMITTED DISCHARGE STRUCTURES NO LATER THAN THE SUBMISSION OF THE CERTIFICATION TO THE WATER MANAGEMENT DISTRICT. THE LOCATION OF THE ELEVATION REFERENCE MUST BE NOTED ON OR WITHIN THE CERTIFICATION REPORT.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION OR SHOALING OF THE WATER QUALITY MANAGEMENT
- 9. INLETS (PER FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS 425 / 430): INCLUDES THE LIST OF MATERIALS / INSTALLATION / DEWATERING STABILIZATION / AS-BUILT SURVEYING / TESTING. ALL STRUCTURES WILL REQUIRE THREE (3) COMPACTION TESTS AT DIFFERENT LOCATIONS AND UNDER STRUCTURES OR PER LOCAL APPROVING AUTHORITY. WHICHEVER IS MORE STRINGENT.
- 10. PIPE CULVERTS AND STORM SEWERS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SECTION 430 FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 11. HDPE (HIGH DENSITY POLYETHYLENE) CULVERT SHALL BE N-12 INSTALLED PER MANUFACTURER RECOMMENDATIONS. MANUFACTURER IS ADS (ADVANCED DRAINAGE SYSTEMS, INC.) AIR ENTRENCHED PIPE.
- 12. REINFORCED CONCRETE PIPE SHALL BE ASTM C-76 CLASS III IN ACCORDANCE WITH SECTION 941 OF THE FDOT STANDARD SPECIFICATIONS

#### FILTER FABRIC (STORM PIPE JOINTS)

THE CONTRACTOR SHALL WRAP ALL STORM PIPE JOINTS. CONSTRUCTION SHALL BE PER F.D.O.T. INDEX NO. 430-001 WITH WOVEN GEOTEXTILE TYPE D-3 (F.D.O.T. SECTION 985), SECURED W / STRAPPING. ALL JOINTS SHALL BE WRAPPED FOR A MINIMUM OF 18 INCHES FROM THE BAND OR JOINT OR BELL AND SPIGOT AS APPLICABLE.

# DEWATERING

STORM SEWER PIPES AND STRUCTURES AND UTILITIES SHALL BE LAID "IN THE DRY", UNLESS OTHERWISE APPROVED IN WRITING BY THE UTILITY AND ENGINEER OF RECORD. THE CONTRACTOR, AT NO DIRECT COST TO THE OWNER, SHALL PERFORM ALL DEWATERING ACTIVITY. TRENCH EXCAVATIONS SHALL BE DEWATERED BY USING ONE OR MORE OF THE FOLLOWING METHODS: SOCK DRAINS, WELL POINT SYSTEM, SUMP PUMPS OR OTHER METHOD(S) AS APPROVED BY THE ENGINEER. DEWATERING SYSTEMS SHALL BE UTILIZED IN ACCORDANCE WITH GOOD STANDARD PRACTICE AND MUST BE EFFICIENT ENOUGH TO LOWER THE WATER LEVEL IN ADVANCE OF THE EXCAVATION AND MAINTAIN IT CONTINUOUSLY TO KEEP THE TRENCH BOTTOM AND SIDES FIRM AND DRY. IF THE MATERIAL ENCOUNTERED AT TRENCH GRADE IS SUITABLE FOR THE PASSAGE OF WATER WITHOUT DESTROYING THE SIDES OR UTILITY FOUNDATION OF THE TRENCH, SUMPS MAY BE PROVIDED AT INTERVALS AT THE SIDE OF THE MAIN TRENCH EXCAVATION, WITH PUMPS USED TO LOWER THE WATER LEVEL BY TAKING THEIR SUCTION FROM SAID SUMPS. DISCHARGE FROM DEWATERING SHALL BE DISPOSED OF IN SUCH A MANNER THAT IT WILL NOT INTERFERE WITH NORMAL DRAINAGE OF THE AREA IN WHICH THE WORK IS BEING PERFORMED, CREATE A PUBLIC NUISANCE OR FORM PONDING. ALL DISCHARGE SHALL BE IN ACCORDANCE WITH ANY SFWMD ISSUED PERMITS. THE OPERATIONS SHALL NOT CAUSE INJURY TO ANY PORTION OF THE WORK COMPLETED OR IN PROGRESS OR TO THE SURFACE OF STREETS OR TO PRIVATE PROPERTY. THE ENGINEER OF RECORD AND NECESSARY REGULATORY AGENCIES, PRIOR TO CONSTRUCTION, SHALL APPROVE THE PROPOSED DEWATERING METHOD(S) AND SCHEDULE. ADDITIONALLY, WHERE PRIVATE PROPERTY WILL BE INVOLVED, THE CONTRACTOR SHALL OBTAIN ADVANCE PERMISSION FROM THE PROPERTY OWNER.

## CONFLICTS

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME ACQUAINTED WITH EXISTING CONDITIONS AND TO LOCATE STRUCTURES AND STORM PIPES ALONG THE PROPOSED STORM PIPE ALIGNMENT IN ORDER TO AVOID CONFLICTS. WHERE ACTUAL CONFLICTS ARE UNAVOIDABLE, WORK SHALL BE COORDINATED WITH THE FACILITY OWNER AND PERFORMED SO AS TO CAUSE AS LITTLE INTERFERENCE AS POSSIBLE WITH THE SERVICE RENDERED BY THE FACILITY DISTURBED. ALL AFFECTED UTILITIES SHALL BE NOTIFIED PRIOR TO EXCAVATION IN THEIR VICINITY. CONTRACTOR TO POTHOLE ALL CONFLICTS OF EXISTING UTILITIES AND

PROPOSED IMPROVEMENTS AT LEAST 10 DAYS PRIOR TO CONSTRUCTION TO CONFIRM CONFLICT RESOLUTION SHOWN ON THE PLANS

SOD 1. THE SOD SHALL

DUG UNTIL PLANTING.

LUCIE CITY ORDINANCE 14-10.

- 1. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. ALL SODDED AREAS SHALL BE GRASSED AS SPECIFIED ON PLANS AND SURVIVAL GUARANTEED FOR NINETY DAYS FROM DATE OF REPLACEMENT. SURVIVAL OF ALL RELOCATED TREES SHALL BE GUARANTEED FOR 1 YEAR AFTER TRANSPLANTING.
- 2. SODDING SHALL CONSIST OF SITE PREPARATION, FURNISHING AND PLACING SOD, STAPLES AND FERTILIZER AND IRRIGATING AT THE RATES AND MANNER DESCRIBED IN THIS SPECIFICATION FOR THE DESIGNATED AREAS.
- 3. UNLESS NOTED OTHERWISE ON LANDSCAPE PLANS, SOD SHALL BE ARGENTINE BAHIA GRASS AND SHALL BE 12-INCH BY 12-INCH SQUARES OR OTHER COMMERCIALLY AVAILABLE RECTANGLES. THE SOD SHALL BE SUFFICIENTLY THICK (MINIMUM THICKNESS OF 2 INCHES) TO PROVIDE A DENSE STAND OF LIVE GRASS. THE SOD SHALL HAVE BEEN GROWN ON MINERAL SOIL. SOD SHALL BE LIVE, FRESH, AND UNINJURED AT THE TIME OF PLANTING AND SHALL BE PROTECTED FROM DRYING OUT BY SHADING AND WATERING FROM THE TIME IT IS
- 4. FERTILIZER SHALL BE EITHER IN THE LIQUID OR DRY FORM. FERTILIZER SHALL BE UNIFORM IN COMPOSITION, FREE-FLOWING AND SUITABLE FOR APPLICATION WITH STANDARD EQUIPMENT. THE FERTILIZER SHALL CONFORM TO THE FLORIDA FERTILIZER LAWS IN EFFECT ON THE DATE OF IT BEING PLACED AND SHALL BE DELIVERED IN BAGS, BOTTLES, DRUMS, OR OTHER CONVENIENT CONTAINERS, EACH FULLY LABELED AND BEARING THE NAME, TRADEMARK, ANALYSIS, AND WARRANTY OF THE PRODUCT. FERTILIZER SHALL HAVE AN AVAILABLE PLANT FOOD ANALYSIS OF 18-0-10 OR EQUIVALENT PLANT FOOD VALUE AND SHALL BE MIXED WITH THE TOP 3 TO 4 INCHES OF SOIL. FERTILIZER SHALL BE APPLIED AT THE RATE OF 1 POUND PER 1,000 SQ. FT. NOT TO EXCEED 2-4 LBS. PER YEAR. ALL FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN AND CONTAIN NO PHOSPHORUS UNLESS THE SITE HAS BEEN TESTED AND VERIFIED AS PHOSPHORUS DEFICIENT BY THE UF-IFAS EXTENSION OFFICE. ALL FERTILIZER APPLICATION SHALL BE IN ACCORDANCE WITH PORT ST.
- 6. STAPLES FOR SOD PLACED ON SIDE SLOPES 3:1 & STEEPER SHALL BE BLACK IRON WIRE NOT SMALLER THAN 14 GAUGE, AND BENT FROM A LENGTH OF WIRE AT LEAST 25 INCHES LONG INTO A 'U' WITH A 1 INCH WIDTH AT THE CROWN. COST OF STAPLES SHALL BE INCIDENTAL
- 7. WATER USED FOR IRRIGATION MAY BE OBTAINED FROM ANY APPROVED SOURCE. IT SHALL BE FREE OF EXCESS AND HARMFUL CHEMICALS, ACIDS, ALKALIES, OR ANY SUBSTANCE, WHICH IS HARMFUL TO PLANT GROWTH.
- 8. WHERE SODDING WILL BE DONE, ALL LOOSE ROCK, WOODY MATERIAL, AND OTHER OBSTRUCTIONS THAT WILL INTERFERE WITH SODDING SHALL BE REMOVED AND THE AREA SHALL BE REASONABLY SMOOTH AND UNIFORM. LIME AND FERTILIZER WILL BE APPLIED IN THE SAME QUANTITY AND MANNER AS SPECIFIED BY THE MANUFACTURER.
- 9. THE SOD STRIPS SHALL BE LAID IN A STAGGERED PATTERN WITH SNUG EVEN JOINTS. ALL JOINTS SHALL BE BUTTED TIGHT TO PREVENT VOIDS. IMMEDIATELY FOLLOWING SOD PLACEMENT, IT SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOT MAT TO SOIL SURFACE. THE SOD SHALL BE SECURELY ANCHORED TO THE SOIL BY PINNING WITH STAPLES OR WOODEN PEGS WHEN PLACED ON SLOPES 3:1 OR STEEPER. COST OF STAPLES AND PEGS SHALL BE INCIDENTAL TO THE SOD UNIT PRICE. PIN OR PEG EACH SEPARATE PIECE OF SOD PLACED OR EVERY 3 FEET ALONG EACH CONTINUOUS STRIP OF SOD.

# SOIL EROSION PLAN

- 1. NO POLLUTION OR EROSION CAUSED BY THIS PROJECT WILL BE ALLOWED IN THE STORMWATER DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSTALL ANY DEVICES NECESSARY TO PREVENT POLLUTION OR EROSION. THE COST OF POLLUTION AND EROSION CONTROL SHALL BE INCIDENTAL TO THE COST OF THE CONSTRUCTION.
- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A SITE SPECIFIC SOIL EROSION CONTROL PLAN. IN GENERAL, THE SOIL EROSION CONTROL PLAN SHALL REQUIRE THAT ALL ON-SITE SOILS WILL REMAIN ON-SITE AND WILL NOT ERODE INTO THE ADJACENT ROADSIDE SWALES, ADJACENT PROPERTIES OR RETENTION DITCHES. ALL EXISTING SWALES SHALL REMAIN SODDED DURING CONSTRUCTION. THE CONTRACTOR SHALL SCARIFY ONLY AS NECESSARY TO CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL SCARIFY AREAS TO PLACE VARIOUS PIPE WORK. AFTER PLACEMENT OF THE PIPE, THESE TRENCHES SHALL BE BACKFILLED AND COMPACTED TO 98% MODIFIED PROCTOR AASHTO T-180. PRIOR TO DISCHARGE FROM THE SITE, SILTATION BARRIERS SHALL BE UTILIZED AS PER THE MOST RECENT FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE DRAINAGE WHICH OUTFALLS TO THE RETENTION AREAS SHALL BE STABILIZED AND SODDED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. ANY DEWATERING OR PUMPING OF WATER INTO THE ROADSIDE SWALES OR RETENTION SWALES SHALL BE STAKED WITH SILTATION FENCES AS PER THE MOST RECENT FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO AVOID FILLING THESE AREAS. UPON COMPLETION OF THE SITE WORK, ALL AREAS SHALL BE SODDED TO AVOID EROSION. CONTRACTOR IS REQUIRED TO COMPLY WITH ALL STATE WATER QUALITY CRITERIA. SPECIFICALLY, NO OFF-SITE DISCHARGES WILL BE ALLOWED WHICH

# WATER QUALITY NOTES

EXCEED THE STATE TURBIDITY CRITERIA.

- 1. THE CONTRACTOR MUST MAINTAIN A COPY OF THE LATEST LOCAL WATER MANAGEMENT DISTRICT SURFACE WATER PERMIT, COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY DISTRICT REPRESENTATIVES. THE CONTRACTOR SHALL REVIEW THE COMPLETE PERMIT PRIOR TO COMMENCEMENT OF THE ACTIVITY AUTHORIZED BY THE PERMIT.
- 2. ALL ACTIVITIES SHALL BE IMPLEMENTED AS SET FORTH IN THE PLANS, SPECIFICATIONS AND PERFORMANCE CRITERIA AS APPROVED BY LOCAL SURFACE WATER PERMIT. ANY DEVIATION FROM THE PERMITTED ACTIVITY AND THE CONDITIONS FOR UNDERTAKING THAT ACTIVITY SHALL BE CONSIDERED A VIOLATION OF THE PERMIT. PRIOR TO ANY WORK COVERED BY A PERMIT FROM SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), A NOTICE OF CONSTRUCTION COMMENCEMENT (FORM 0960) MUST BE SUBMITTED TO SFWMD BY THE PERMITTEE OR AUTHORIZED AGENT.
- 3. THE LOCAL WATER MANAGEMENT DISTRICT AUTHORIZED STAFF, UPON PROPER IDENTIFICATION, MUST BE GRANTED PERMISSION TO ENTER, INSPECT AND OBSERVE THE SYSTEM TO INSURE CONFORMITY WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE PERMIT.
- 4. PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES (BEST MANAGEMENT PRACTICES) REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF STATE WATER QUALITY STANDARDS. ALL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATIONS 1988), WHICH ARE HEREBY INCORPORATED BY REFERENCE, UNLESS A PROJECT'S SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED AS PART OF THE SFWMD PERMIT, IN WHICH CASE THE PRACTICES MUST BE IN ACCORDANCE WITH THE PLAN. IF SITE'S SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, BEYOND THOSE SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AS NECESSARY, IN ACCORDANCE WITH THE SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION 1988). THE CONTRACTOR SHALL CORRECT ANY EROSION OR SHOALING THAT

CAUSES ADVERSE IMPACTS TO THE WATER RESOURCES AT NO ADDITIONAL COST TO OWNER.

- 5. WITHIN 30 DAYS AFTER COMPLETION OF THE STORMWATER SYSTEM, THE CONTRACTOR MUST ASSIST IN SUBMITTING TO THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT THE FOLLOWING: DISTRICT FORM EN-45 (AS-BUILT CERTIFICATION BY A REGISTERED PROFESSIONAL), SIGNED AND SEALED BY AN APPROPRIATE PROFESSIONAL REGISTERED IN THE STATE OF FLORIDA AND TWO SETS OF AS-BUILT DRAWINGS WHEN, A) REQUIRED BY A SPECIAL CONDITION OF THIS PERMIT; B) THE PROFESSIONAL USES AS-BUILT DRAWINGS TO SUPPORT THE AS-BUILT CERTIFICATION; OR C) WHEN THE COMPLETED SYSTEM SUBSTANTIALLY DIFFERS FROM PERMITTED PLANS. THIS SUBMITTAL WILL SERVE TO NOTIFY THE DISTRICT STAFF THAT THE SYSTEM IS READY FOR INSPECTION AND APPROVAL.
- 6. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN

- SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED
- 7. THE STORMWATER MANAGEMENT SYSTEM MUST BE COMPLETE IN ACCORDANCE WITH THE PERMITTED PLANS AND PERMIT CONDITIONS PRIOR TO THE INITIATION OF THE PERMITTED USE OF SITE INFRASTRUCTURE. THE SYSTEM MUST BE COMPLETED IN ACCORDANCE WITH THE PERMITTED PLANS AND PERMIT CONDITIONS PRIOR TO TRANSFERRING RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM TO A RESPONSIBLE ENTITY.
- 8. IF DEWATERING IS TO OCCUR DURING ANY PHASE OF CONSTRUCTION OR THEREAFTER AND THE SURFACE WATER PUMP(S), WELL(S) OR FACILITIES ARE CAPABLE OF WITHDRAWING ONE MILLION GALLONS OF WATER PER DAY OR MORE OR AN AVERAGE OF 1800,000 GALLONS PER DAY OR MORE OVER A YEAR AND ANY DISCHARGE IS TO BE OFF-SITE, THE CONTRACTOR MUST APPLY FOR AND OBTAIN A CONSUMPTIVE USE PERMIT (40C-2) FROM THE SFWMD. CONTRACTOR SHALL NOTIFY ENGINEER IF ADDITIONAL INFORMATION OR APPLICATION MATERIALS ARE NEEDED.
- 9. WATER QUALITY MONITORING SHALL BE PERFORMED DAILY. SAMPLING SHALL BE PERFORMED IN THE MIDDLE OF ADJACENT CHANNELS MEASURING FOR TURBIDITY, 100 FEET UPSTREAM AND 100 FEET DOWNSTREAM OF DISCHARGES. WHEN TURBIDITY EXCEEDS 29 NTU'S ABOVE BACKGROUND LEVELS AT A SAMPLE POINT 100 FEET UPSTREAM OF DISCHARGES AND / OR 0 NTU'S ABOVE BACKGROUND LEVELS AT A SAMPLE POINT 100 FEET DOWNSTREAM OF DISCHARGES, WORK MUST CEASE AND REMEDIAL MEASURES MUST BE PERFORMED TO RETURN CONDITIONS TO ACCEPTABLE TURBIDITY LEVELS. CONTRACTOR MUST RECEIVE ENGINEER'S APPROVAL PRIOR TO RESTARTING WORK. SAMPLE POINT LOCATIONS ARE IDENTIFIED IN THE SFWMD PERMITS.
- 10. THE CONTRACTOR SHALL PLACE TURBIDITY BARRIERS AT ALL OUTFALLS PRIOR TO CONSTRUCTION. ALL CUT / FILL WILL BE RELOCATED WITHIN THE EXISTING SITE AND THEREFORE HAULING OF MATERIAL WILL NOT BE REQUIRED, UNLESS APPROVED BY THE OWNER. CONTRACTOR SHALL INSTALL TURBIDITY CONTROL MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION, MAINTAIN SAID CONTROLS IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD, ASSURE THAT TURBID DISCHARGES FROM THE PROJECT TO PROTECTED WATERS AND WETLANDS DO NOT EXCEED LIMITS STATED IN NOTE 9 AND REMOVE SAID CONTROLS AFTER COMPLETION OF CONSTRUCTION.

# EARTHWORK AND RELATED OPERATIONS

BE PERFORMING THE QUALITY CONTROL TESTING.

- 1. THE CONTRACTOR SHALL PROVIDE A QUALITY CONTROL PLAN FOR MONITORING OF ALL EARTHWORK AND RELATED OPERATIONS. THE QUALITY CONTROL PLAN SHALL INCLUDE AS A MINIMUM, ALL TESTS THAT WILL BE PERFORMED INCLUDING THE PROPOSED TEST FREQUENCIES, ALL MATERIAL SOURCES, THE NAME AND BACKGROUND OF THE PERSON THAT THE CONTRACTOR WILL DESIGNATE AS THE CONTRACTOR'S QUALITY CONTROL MANAGER. THE NAME AND QUALIFICATIONS OF THE TESTING LABORATORY THAT WILL BE PERFORMING QUALITY CONTROL TESTING AND THE NAMES AND QUALIFICATIONS OF THE TESTING LABORATORY PERSONNEL THAT WILL
- 2. THE TESTING LABORATORY THAT IS RETAINED TO PERFORM THE CONTRACTOR'S QUALITY CONTROL TESTING MUST BE CERTIFIED BY A
- 3. THE QUALITY CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY EARTHWORK OR RELATED OPERATION.

RECOGNIZED QUALIFYING AGENCY SUCH AS FDOT. CMEC OR AASHTO FOR THE TYPE OF WORK TO BE PERFORMED

- 4. UTILIZATION OF MATERIALS WITHIN ANY ROADWAY CROSS-SECTION SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION) UNLESS OTHERWISE SHOWN ON THE PLANS.
- 5. IF THE EXISTING FILL IS CLASSIFIED AS A-2-4 BASED ON AASHTO M-145 CRITERIA, THE MAXIMUM PERMISSIBLE MOISTURE CONTENT SHALL BE 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

#### COMPACTION

- 1. WHERE THERE ARE EXISTING STRUCTURES ADJACENT TO THE SITE THAT MAY BE AFFECTED BY THE SELF-PROPELLED STEEL DRUM VIBRATORY EQUIPMENT, DENSIFICATION MUST BE PERFORMED USING EQUIPMENT THAT WILL SATISFY THE REQUIRED DENSIFICATION WITHOUT THE RISK OF DAMAGE TO THE EXISTING STRUCTURE(S).
- 2. LOADERS AND HEAVY PLATE COMPACTORS ARE TWO TYPES OF EQUIPMENT THAT HAVE BEEN USED SUCCESSFULLY.
- 3. DENSIFICATION PROCEDURES MUST COMPLY WITH THE CAPABILITY OF THE EQUIPMENT EMPLOYED.
- 4. WHEN SELF-PROPELLED STEEL DRUM VIBRATORY EQUIPMENT CANNOT BE USED AS SPECIFIED, VIBRATORY PLATE COMPACTORS MAY BE USED. WHEN THIS CONDITION OCCURS, THE OVERALL DENSIFICATION PROCEDURE MUST BE REVISED TO COMPLY WITH THE CAPABILITY OF THE EQUIPMENT EMPLOYED. IN GENERAL, SMALL PLATE COMPACTORS WILL BE EFFECTIVE TO A MAXIMUM DEPTH OF 6 TO 8 INCHES.
- SOIL RECOMMENDATION AND REQUIREMENTS

#### 1. STRIPPING AND GRUBBING:

DURING THE GRUBBING:

DURING THE GRUBBING OPERATION, ROOTS WITH A DIAMETER GREATER THAN ½ INCH, OR SMALL ROOTS IN A DENSE STATE, SHOULD BE GRUBBED AND COMPLETELY REMOVED WITHIN AND TO A DISTANCE OF 5 FEET BEYOND ROADWAY LIMITS. PROOF-ROLLING THE CLEARED SURFACE IS RECOMMENDED TO LOCATE ANY UNFORESEEN SOFT AREAS OR UNSUITABLE SURFACE OR LOOSE TO LOOSE FINE SAND SOILS WITHIN THE TOP 3 TO 4 FEET, AND TO PREPARE THE EXISTING SURFACE FOR THE ADDITION OF THE FILL SOILS (AS REQUIRED). ONE COVERAGE CONSISTS OF PARALLEL PASSES OF THE VIBRATORY ROLLER TRAVELING AT "WALKING SPEED". EACH PASS SHOULD OVERLAP THE PRECEDING PASS BY 30% TO INSURE COMPLETE COVERAGE. SUBSEQUENT COVERAGES SHOULD BE CONDUCTED IN A DIRECTION PERPENDICULAR TO THE PRECEDING COVERAGE. IN AREAS THAT CONTINUE TO "YIELD" REMOVE ALL DELETERIOUS MATERIAL AND REPLACE WITH A CLEAN, COMPACTED SAND BACKFILL. THE PROOF ROLLING SHOULD PRODUCE A DENSITY EQUIVALENT TO 98% OF THE MODIFIED PROCTOR (AASHTO T-180) MAXIMUM DRY DENSITY VALUE FOR A DEPTH OF 3 FEET IN THE ROADWAY AREA. ADDITIONAL PASSES MAY BE REQUIRED IF THESE MINIMUM DENSITY REQUIREMENTS ARE NOT ACHIEVED.

# 2. FILL REPLACEMENTS:

- WHERE FILL IS TO BE PLACED ON NATURAL GROUND, THE SURFACE MUST FIRST BE PREPARED AS OUTLINED ABOVE. THE FILL AT GRADE SHOULD EXTEND A MINIMUM OF FIVE FEET (5') BEYOND THE STRUCTURE OUTLINE.
  FILL SHOULD BE A UNIFORM FREE DRAINING GRANULAR SOIL (CLEAN SAND), INORGANIC (CLASSIFIED AS SP/GW) CONTAINING NOT MORE THAN 5% (BY WEIGHT) FIBROUS ORGANIC MATERIALS AND BE PLACED IN LAYERS NOT TO EXCEED 12 INCHES LOOSE MEASURE AND COMPACTED AS OUTLINED ABOVE. SUFFICIENT COMPACTIVE EFFORT SHOULD BE APPLIED TO OBTAIN A MINIMUM OF 98%
- OF THE MODIFIED PROCTOR (AASHTO T-180) MAXIMUM VALUE.

   FILL MATERIAL HAVING SILT/CLAY-SIZE FINES IN EXCESS OF 10% SHOULD NOT BE USED, INCLUDING CYCLONE SAND MATERIAL

   REFER TO LANDSCAPING PLANS FOR GUIDANCE ON ANY FILL MATERIAL TO BE LOCATED IN ANY PLANTING AREAS.

# 3. EXCAVATION AND BACKFILLING:

- WHERE EXCAVATION AND BACKFILLING ARE REQUIRED, THE SOILS SHOULD BE REMOVED TO THE SPECIFIED DEPTH. SUFFICIENT COMPACTIVE EFFORT MUST THEN BE APPLIED TO THE EXCAVATED SURFACE TO OBTAIN A MINIMUM OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180) MAXIMUM VALUE. BACKFILL SHALL BE UNIFORM FREE DRAINING GRANULAR SOIL (CLEAN SAND) AND BE PLACED IN LAYERS NOT TO EXCEED 12 INCHES LOOSE MEASURE. SUFFICIENT COMPACTIVE EFFORT SHOULD BE APPLIED TO EACH LAYER TO OBTAIN A MINIMUM OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180) MAXIMUM VALUE. THE EXCAVATED SURFACE AND EACH LAYER OF BACKFILL SHOULD BE COMPACTED WITH A SELF-PROPELLED STEEL DRUM VIBRATORY ROLLER HAVING A MINIMUM TOTAL APPLIED FORCE OF 180 TONS.
- FOOTING EXCAVATION:
   SEE SOILS LABORATORY RECOMMENDATIONS.

# GROUNDWATER:

- HEAVY RAINFALL AND / OR A HIGH WATER TABLE MAY OCCUR BEFORE THE EARTHWORK COMMENCES, OR DURING THE EARTHWORK OPERATION. WHEN THESE CONDITIONS OCCUR AND THE SITE PREPARATION CANNOT BE ACHIEVED AS SPECIFIED, AN EXCAVATION OF THE EXISTING CONDITIONS SHOULD BE CONDUCTED AND THE SPECIFICATIONS REVISED ACCORDINGLY.
- 6. PAVING AREAS SUITABLE FILL MATERIAL AND THE COMPACTION OF FILL SOILS:
  ALL FILL MATERIAL SHOULD BE FREE OF ORGANIC MATERIALS, SUCH AS ROOTS AND VEGETATION AS A GENERAL GUIDE TO AID THE CONTRACTOR, USE FILLINGS WITH 3 TO 12 PERCENT BY DRY WEIGHT OF MATERIAL PASSING THE U.S. STANDARDS NO. 200 SIEVE SIZE. WITH PROPER MOISTURE CONTROL, THESE SOILS SHOULD DENSIFY USING VIBRATORY COMPACTION METHODS.
- 7. ALL IMPORTED FILL SHALL HAVE RADIUM 226 CONTENT LESS THAN 1.0 PCI PER GRAM.

SOILS WITH MORE THAN 12% PASSING THE NO. 200 SIEVE WILL BE MORE DIFFICULT TO COMPACT.

# EXCAVATION FOR STRUCTURES AND PIPES

- 1. EARTHWORK AND RELATED OPERATIONS PERFORMED ON STRUCTURES AND PIPES SHALL BE CONDUCTED IN ACCORDANCE WITH SECTIONS 125 AND OTHER APPLICABLE SECTIONS OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) UNLESS OTHERWISE SHOWN ON THE PLANS.
- 2. REMOVAL OF UNSUITABLE, ORGANIC OR PLASTIC MATERIAL SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE AND SHALL BE INCIDENTAL TO OTHER WORK.
- 3. UTILIZATION OF MATERIALS WITHIN THE WORK LIMITS SHALL BE AS DIRECTED BY THE GEOTECHNICAL ENGINEER UNLESS OTHERWISE SHOWN ON THE PLANS.

# PIPE AND STRUCTURE BACKFILL

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF EXCAVATED SOILS MEET THE REQUIREMENTS OF THE PROJECT PLANS AND SPECIFICATIONS RELATIVE TO MATERIAL CLASSIFICATION. PIPE AND STRUCTURE BACKFILL MATERIAL SHALL BE LIMITED TO MATERIAL CLASSIFIED AS A-1, A-3 AND A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE COMPACTED IN ACCORDANCE WITH F.D.O.T. SECTION 125 REQUIREMENTS.
- 2. IF THE BACKFILL MATERIAL IS CLASSIFIED AS A-2-4 BASED ON AASHTO M-145 CRITERIA, THE MAXIMUM PERMISSIBLE MOISTURE CONTENT SHALL BE 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

# LEAN-UP

AND CONTRACTOR".

- 1. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A NEAT CONDITION AT ALL TIMES AND SHALL RESTORE / REPAIR ALL DRIVEWAYS, SIDEWALKS, UTILITIES, LANDSCAPING, IRRIGATION SYSTEMS, ETC., AFFECTED BY CONSTRUCTION ACTIVITIES.
- 2. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIALS, DEBRIS, EQUIPMENT, ETC., FROM THE JOBSITE IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION OPERATIONS.
- 3. FOR FURTHER SITE MAINTENANCE REQUIREMENTS THE CONTRACTOR IS REFERRED TO THE "AGREEMENT BETWEEN OWNER
- UNLESS OTHERWISE SPECIFIED OR NOTED; ALL DISTURBED AREAS TO BE RESTORED BY CONTRACTOR TO PRE-CONSTRUCTION CONDITION OR BETTER PRIOR TO ACCEPTANCE BY THE OWNER OR LOCAL APPROVING AUTHORITY.

#### FOUNDATION PREPARATION

- 1. CONSTRUCTION METHODS. AREAS ON WHICH FILTER FABRIC AND ARTICULATED CONCRETE BLOCK MATRESSES ARE TO BE PLACED SHALL BE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE SUBGRADE FOR THE ARTICULATED CONCRETE BLOCK MATS SHALL BE FREE OF VOIDS, PITS, OR DEPRESSIONS AND SHALL BE PROOF-ROLLED TO A MINIMUM OF 120% OF THE ASTM D-698 DENSITY. VOIDS, PITS OR DEPRESSIONS SHALL BE BROUGHT TO GRADE BY BACKFILLING IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE PROJECT SPECIFICATIONS. ALL OBSTRUCTIONS, SUCH AS ROOTS AND PROJECTING STONES LARGER THAN 1 INCH REMAINING ON THE SURFACE, SHALL BE REMOVED AND ALL OF THE SOFT OR LOW DENSITY POCKETS OF MATERIAL REMOVED MUST BE FILLED WITH SELECTED MATERIAL AND COMPACTED TO A MINIMUM OF 120% OF THE ASTM D-698 DENSITY. SPECIAL CONSIDERATION FOR BURIED OBSTRUCTIONS (I.E. STUMPS, DEBRIS. ETC.) WILL BE
- 2. EXCAVATION AND PREPARATION FOR ANCHOR TRENCHES, SIDE TRENCHES, AND TOE TRENCHES OR APRONS SHALL BE DONE IN ACCORDANCE TO THE LINES. GRADES AND DIMENSIONS SHOWN ON THE DRAWINGS
- 3. INSPECTION AND APPROVAL. IMMEDIATELY PRIOR TO PLACING THE FILTER FABRIC AND ARTICULATED CONCRETE BLOCK MATTRESSES, THE PREPARED AREA SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND APPROVAL OBTAINED
- 48 HOURS BEFORE DIGGING CALL SUNSHINE STATE ONE CALL CENTER.

BEFORE ANY FABRIC OR MATTRESSES ARE PLACED THEREON.

# PAVEMENT MARKING AND SIGNAGE

TOLL FREE 1-(800) 432-4770

- 1. PAVEMENT MARKINGS: THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR REQUIRED TO COMPLETE THE PROJECT WORK IN THIS SECTION. MATERIALS AND CONSTRUCTION METHODS FOR APPLYING PAINTED TRAFFIC STRIPES AND MARKINGS, COMPLETE WITH REFLECTIVE GLASS SPHERES, SHALL CONFORM TO THE REQUIREMENTS OF SECTION 706 AND 711, FDOT SPECIFICATIONS. TRAFFIC PAINT SHALL BE APPLIED IN ALL LOCATIONS SHOWN ON THE PLANS. IN THE EVENT THAT BRICK PAVERS ARE UTILIZED IN AN AREA PLANNED FOR STRIPING, COLORED BRICKS SHALL BE USED IN LIEU OF PAINT.
- 2. SIGNAGE: THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NEEDED, INCLUDING ALL SUPPORTING ELEMENTS, TO INSTALL SIGNS AT THE LOCATIONS SHOWN ON THE PLANS. MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO SECTION 700, FDOT SPECIFICATIONS. STOP SIGNS ARE TO BE HIGH INTENSITY REFERENCE PER FDOT STANDARDS, LOCAL COUNTY/CITY STANDARD AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. IF THE PROJECT IS WITHIN A COMMUNITY DEVELOPMENT DISTRICT (OR THE LIKE) WITH SEPARATE SIGNAGE REQUIREMENTS, SUCH AS ARCHITECTURAL POSTS OR SIGN BODIES, ETC.. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO BE FAMILIAR WITH THESE REQUIREMENTS AND PROVIDE SIGNS MEETING THESE REQUIREMENTS. AT NO TIME SHALL ANY SIGNS NOT MEET THE SAFETY REQUIREMENTS SET FORTH BY FDOT.

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DATE DESCRIPTION BY CHK.

SISSUE STATUS

FOR PERMIT



BBL MEDICAL OFFICE

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**772-462-2455** 

SPECIFICATIONS

		6/18/2025		AS SHOWN		
		DRAWN BY	DESIGNED	) BY	CHECKED	) BY
		RAH	R/	λH	JF	RH
		PROJECT No.				
		25-135 CONST PLANS.DWG				
J.R. HARRISON, P.E.	(DATE)	DRAWING No.				REV.

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PLANNING & ZONING DEPT.

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PSL PROJECT # P18-100 A3

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