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A NEW COMMERCIAL BUILDING FOR DELRAY INDUSTRIAL PROPERTIES

905 S.W. 14TH AVE, DELRAY BEACH, FL 33444



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PROJECT DIRECTORY

PROJECT LOCATION

905 S.W. 14TH AVE
DELRAY BEACH, FL 33444

ARCHITECT

GALLO HERBERT ARCHITECTS
1311 WEST NEWPORT CENTER DRIVE, SUITE A
DEERFIELD BEACH, FLORIDA 33442
PH: (954) 794-0300
CONTACT: JOHN E. TICE, VICE PRESIDENT FL AR14771

BERLIN CONSULTING ENGINEERS

Joseph S. Berlin, Sr. & Milton Malpartida
4701 ROTHSCHILD DRIVE
CORAL SPRINGS, FLORIDA 33067
954-333-6560

LANDSCAPE ARCHITECT

KIMBERLY MOYER RLA
4808 NW 10TH AVENUE
OAKLAND PARK BLVD.
OAKLAND PARK, FLORIDA 33334
PH: (954) 492-9609
CONTACT: KIMBERLY MOYER

IRRIGATION DESIGN

KENNETH DIDONATO
2210 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
954-923-2555

CIVIL ENGINEER

MILLER LESSG ENGINEERS
5747 N. ANDREWS WAY
FORT LAUDERDALE, FLORIDA 33309
CONTACT: WILLIAM SCHIPSKE

SURVEYOR

PULICE LAND SURVEYORS
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
CONTACT: JOHN F. PULICE
954-572-1777

PROJECT INFORMATION

OWNER

DELRAY INDUSTRIAL
PROPERTIES, LLC

SCOPE OF WORK

CONSTRUCTION OF NEW LIGHT INDUSTRIAL USE
BUILDING ON VACANT PORTION OF SITE. SINGLE
STORY STEEL PRE-ENGINEERED BUILDING WITH
MASONRY, STONE AND STEEL. EXTERIOR FINISHES.
NOTE: EXISTING BUILDING ON SOUTH PORTION OF
LOT IS ALSO A PRE-ENGINEERED STEEL BUILDING
WITH OFFICES AND WAREHOUSE TYPE SPACE.

ASSOCIATED SITE WORK, SITE ENTRANCE
MODIFICATIONS, PARKING RE-STRIPING AND NEW
GENERATOR ENCLOURE TO SERVICE EXIST. AND NEW
BUILDINGS.

PROJECT DATA

APPLICABLE CODES

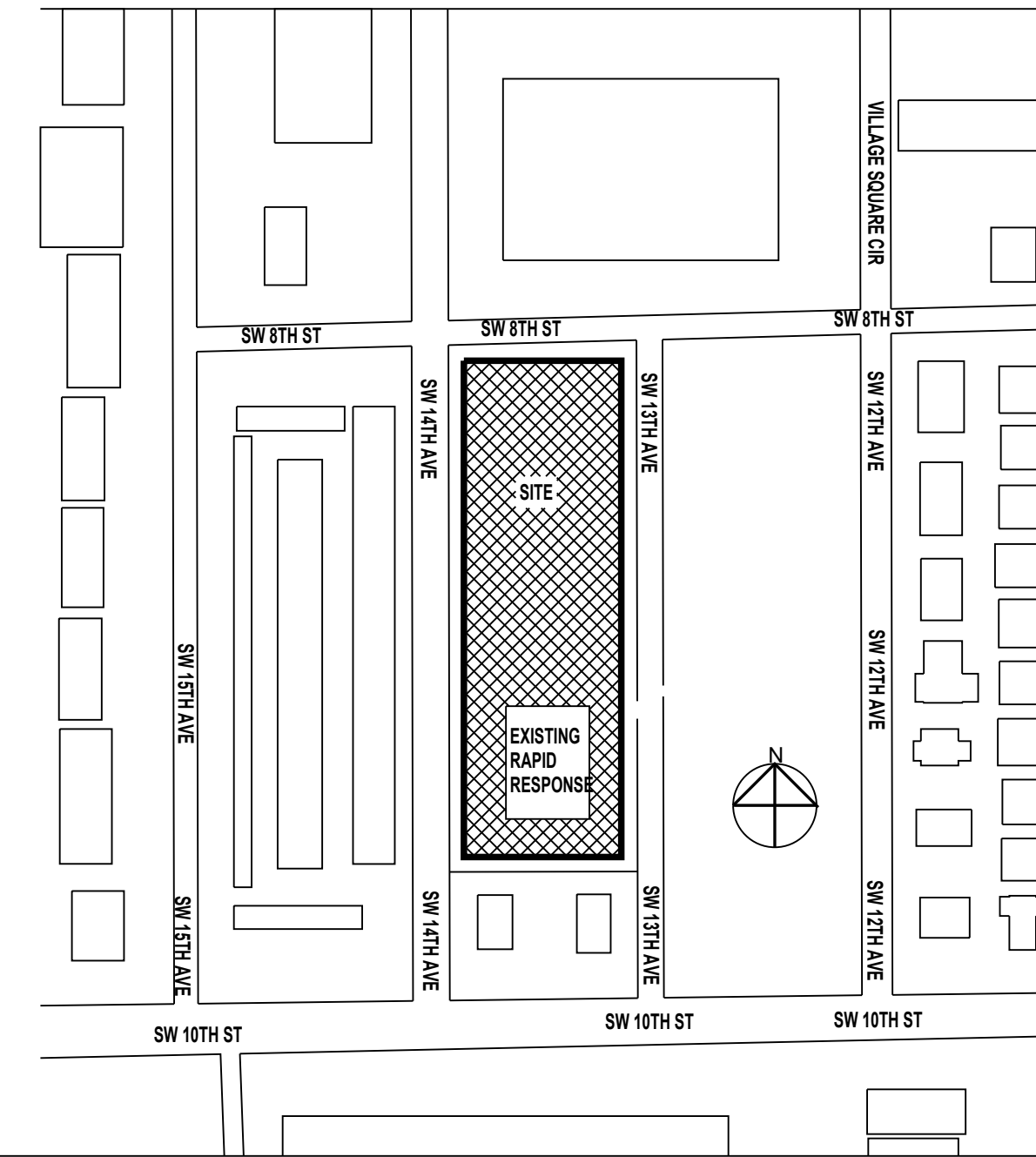
DELRAY BEACH LAND DEVELOPMENT REGULATIONS
FLORIDA BUILDING CODE 7 TH EDITION FBC 2020
FLORIDA BUILDING CODE ACCESSIBILITY FBC 2020 7TH EDITION

FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION
BASED ON NFPA 1-2018 EDITION AND NFPA 101 2018 EDITION

NATIONAL ELECTRICAL CODE (NFPA 70) 2017 EDITION

OCCUPANCY CLASSIFICATION: B-BUSINESS
TYPE OF CONSTRUCTION: III-B
MAX AREA: \$-1 HIB SPRINKLERED= 76,000 SF
MAX HEIGHT ALLOWED: 75'-0"
MAX STORIES ALLOWED: 4 STORIES
SPRINKLED YES, BOTH NEW AND EXISTING
FRONTAGE: 50' AVERAGE

LOCATION MAP



LIGHT INDUSTRIAL USES
RESEARCH AND DEVELOPMENT 4.4.26 (B) (1)

WHOLESALE STORAGE AND DISTRIBUTION 4.4.26 (B) 2
INDUSTRIAL MANUFACTURING AND ASSEMBLY 4.4.26(B)(3)

GENERAL BUSINESS OFFICES

MEDICAL FACILITIES ARE NOT PERMITTED

SELF STORAGE FACILITIES

URBAN AGRICULTURE

ACCESSORY USES PER 4.4.26 (C) DELRAY BEACH LDR

NOTE: NOT MORE THAN 25 GALLON PER GRA OF
REGULATED SUBSTANCES ALLOWED ON SITE

NOTE ABOUT GREEN BUILDING REQUIREMENT:
THIS NEW BUILDING HAS LESS THAN 15,000 SQUARE
FEET OF AIR CONDITIONED SPACE OUT OF THE
20,216 OVERALL SQUARE FEET SO THEREFORE IS
NOT REQUIRED TO MEET THE DELRAY BEACH
GREEN BUILDING REQUIREMENT.
THE BUILDING WILL BE DESIGNED TO MEET OR
EXCEED THE FLORIDA ENERGY CODE IN EFFECT AT
TIME OF PERMIT SUBMITTAL.

E

D

PROJECT

DELRAY
INDUSTRIAL
PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL
33444

OWNER

REVISIONS		
No.	Description	Date
1	PERMIT / BID	4/29/24
2	UPDATE DWG LIST	2024-05-15
3	UPDATE DWG LIST	2024-05-29
4	BUILDING PERMIT	2024-08-02
5	P & Z CONDITIONS	2025-01-30
6	PERMIT SET	4-28-25

PROJECT STATUS

PERMIT

DATE

4-28-2025

PROJECT NUMBER

6322

SCALE

AS NOTED

DRAWN BY: AD / NA

CHECKED BY:

DRAWING TITLE

COVER &
INDEX

DRAWING NUMBER

G-001



AA26001731

SEAL

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GENERAL AND SUPPLEMENTARY CONDITIONS

GENERAL CONDITIONS

THE GENERAL CONDITIONS OF THE CONTRACT SHALL BE AS STIPULATED IN THE "AGREEMENT" WHICH SHALL BE THE "ABBREVIATED FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR" AIA DOCUMENT A-104, 2017 EDITION, HEREINAFTER REFERRED TO AS THE GENERAL CONDITIONS. AIA DOCUMENT A201-2007

SUPPLEMENTARY GENERAL CONDITIONS

THE SUPPLEMENTARY GENERAL CONDITIONS CONTAIN CHANGES AND ADDITIONS TO THE GENERAL CONDITIONS. WHERE ANY PART OF THE GENERAL CONDITIONS ARE AMENDED OR VOIDED BY THE SUPPLEMENTARY GENERAL CONDITIONS THE UNALTERED PROVISIONS SHALL REMAIN IN EFFECT.

THE FOLLOWING ARTICLES OF THE GENERAL CONDITIONS SHALL BE AMENDED AS FOLLOWS:

ARTICLE 1 – CONTRACT DOCUMENTS

ARTICLE 1 IS AMENDED BY ADDING:

1.7 THE AGREEMENT NEXT PRECEDING THE SIGNATURES OF THE PARTIES TO THE CONTRACT CONTROL OVER ALL OTHER CONTRACT DOCUMENTS.

ARTICLE 3.2 – REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS BY CONTRACTOR

NO ORAL, TELEGRAPHIC OR TELEPHONE PROPOSAL OR MODIFICATIONS OF CONTRACT DOCUMENTS STIPULATIONS WILL BE CONSIDERED.

ARTICLE 3.10 IS AMENDED BY ADDING:

3.10.4 NO WORK SHALL BE PERFORMED UNDER THIS CONTRACT UNTIL THE "NOTICE OF COMMENCEMENT", AS PROVIDED IN PARAGRAPH 713.13 FLORIDA STATUTES, HAS BEEN FILED BY THE OWNER AND RECORDED IN THE CIRCUIT COURT OF THE COUNTY IN WHICH THE REAL PROPERTY IS LOCATED.

3.10.5 THE CONTRACTOR HEREBY ACKNOWLEDGES RECEIPT OF TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS FROM THE OWNER AND THE ARCHITECT WHICH HAS BEEN PAID TO HIM AS SPECIFIC CONSIDERATION FOR THE INDEMNIFICATION PROVIDED HEREIN.

ARTICLE 9 – PAYMENTS AND COMPLETION

ARTICLE 9 IS AMENDED BY ADDING:

9.3.1.1.1 THE FORMS FOR THE CONTRACTOR'S APPLICATION FOR PAYMENT SHALL CONSIST OF THREE FULLY EXECUTED COPIES OF "APPLICATION AND CERTIFICATE OF PAYMENT", AIA DOCUMENT G- 702, 1992 EDITION OR ITS GENERIC EQUIVALENT., THREE EXECUTED COPIES OF "CONTINUATION SHEET", AIA DOCUMENT G-703, 1992 EDITION OR ITS GENERIC EQUIVALENT, AND APPROPRIATELY EXECUTED PARTIAL RELEASE OF LIEN FORM(S) AS REQUESTED BY THE OWNER.

ARTICLE 11 – INSURANCE AND BONDS

ARTICLE 11. CONTRACTORS LIABILITY INSURANCE IS AMENDED BY ADDING:

11.1.2.1 THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL NOT COMMENCE WORK UNDER THIS CONTRACT UNTIL THE REQUIRED INSURANCE IS OBTAINED AND APPROVAL RECEIVED FROM THE ARCHITECT. THE TYPES OF INSURANCE AND MINIMUM AMOUNTS OF LIABILITY SHALL BE AS FOLLOWS:

TYPE OF INSURANCE	LIMITS OF LIABILITY
GENERAL LIABILITY	
EACH OCCURRENCE	\$1,000,000
DAMAGE TO RENTED PREMISES	\$ 100,000
MED EXPENSES (ANY ONE PERSON)	\$ 10,000
PERSONAL AND ADV INJURY	\$1,000,000
GENERAL AGGREGATE	\$2,000,000
PRODUCTS – COMP/ OP AGG	\$2,000,000

AUTOMOBILE PUBLIC LIABILITY:	
COMBINED SINGLE LIMIT (EA ACCIDENT)	\$1,000,000

UMBRELLA / EXCESS LIABILITY	EACH OCCURRENCE	\$5,000,000
	AGGREGATE	\$5,000,000

WORKERS COMP / EMPLOYEE LIABILITY	
E.L. EACH ACCIDENT	\$1,000,000
E.L. DISEASE – EA EMPLOYEE	\$1,000,000
E.L. DISEASE – POLICY LIMIT	\$1,000,000

ARTICLE 12 – CORRECTION OF WORK

ARTICLE 12 IS AMENDED BY ADDING:

12.2.1.1 IN FULFILLING THE REQUIREMENTS OF THE CONTRACT BY CORRECTION OF WORK DEEMED FAULTY BY THE ARCHITECT AND SUCH CORRECTION DISTURBS OTHER WORK GUARANTEED UNDER THIS CONTRACT, SUCH DISTURBED WORK SHALL BE RESTORED TO A CONDITION SATISFACTORY TO THE ARCHITECT AND SHALL BE GUARANTEED TO THE SAME EXTENT AS ALL OTHER WORK UNDER THIS CONTRACT.

GENERAL CONSTRUCTION NOTES

SCOPE OF THE WORK IS INDICATED ON THE DRAWINGS AND THESE NOTES.

WORK SHALL CONFORM TO ALL RULES AND REGULATIONS OF APPROPRIATE AGENCIES HAVING JURISDICTION.

CONTRACTOR SHALL OBTAIN AND PAY ALL FEES, PERMITS, DEPOSITS FOR UTILITIES REQUIRED FOR THE PROJECT.

CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER AND SANITARY FACILITIES ON THE SITE FOR THE DURATION OF THE CONSTRUCTION.

SITE WORK: CLEAR AND GRUB CONSTRUCTION AREA OF ALL ORGANIC MATERIAL AND FILL WITH CLEAN SAND TO ELEVATION OF BOTTOM OF SLAB. SURFACE MATERIAL MAY BE USED FOR FILL OF LANDSCAPED AREAS OF THE SITE.

CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOBSITE AND LEAVE THE FACILITY IN A BROOM CLEAN CONDITION. ALL GLASS SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE CONSTRUCTION. ANY PAINT SPECKS AND/OR CONSTRUCTION MARKS SHALL BE REMOVED FROM ALL FINISHED SURFACES.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL ON THE FOLLOWING MARKED ITEMS:

STRUCTURAL STEEL
REINFORCING STEEL
STRUCTURAL CONNECTIONS
LIGHT GAGE COLD ROLLED STEEL FRAMING
EXTERIOR LOUVERS FOR MECHANICAL AND DECORATIVE
SUSPENDED CEILING SYSTEMS
ALL EXTERIOR DOORS, WINDOWS, STOREFRONT SYSTEMS WITH ENGINEERING
AIR CONDITIONING
FIRE SPRINKLERS
FIRE ALARM
EXTERIOR CANOPIES
EXTERIOR LOUVERS

CABINETS

SUBMITTAL SHALL BE SUBMITTED FOR THE FOLLOWING:

PLUMBING FIXTURES
ELECTRICAL SWITCHGEAR
LIGHTING AND CONTROLS
HVAC EQUIPMENT
TOILET ROOM ACCESSORIES
WATERPROOFING

CASH ALLOWANCES

GENERAL: THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT SUM THE FOLLOWING ALLOWANCES. THESE ALLOWANCES SHALL COVER THE NET COST OF THE MATERIALS AND EQUIPMENT DELIVERED AND UNLOADED AT THE SITE AND ALL APPLICABLE TAXES.

THE CONTRACTOR'S HANDLING COSTS ON THE SITE, LABOR, INSTALLATION COSTS, OVERHEAD, PROFIT AND OTHER EXPENSES CONTEMPLATED FOR THE ORIGINAL ALLOWANCE SHALL BE INCLUDED IN THE CONTRACT SUM AND NOT IN THE ALLOWANCE.

THE CONTRACTOR SHALL CAUSE THE WORK COVERED BY THESE ALLOWANCES TO BE PERFORMED FOR SUCH AMOUNTS AND BY SUCH PERSONS AS THE OWNER OR HIS AUTHORIZED REPRESENTATIVE MAY DIRECT, BUT HE WILL NOT BE REQUIRED TO EMPLOY PERSONS AGAINST WHOM HE MAKES REASONABLE OBJECTION.

IF THE COST, WHEN DETERMINED, IS MORE OR LESS THAN THE ALLOWANCE, THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY BY WRITTEN CHANGE ORDER WHICH WILL INCLUDE ADDITIONAL HANDLING COSTS ON THE SITE, LABOR, INSTALLATION COSTS, OVERHEAD, PROFIT AND OTHER EXPENSES RESULTING TO CONTRACTOR FROM ANY INCREASE OVER THE ORIGINAL ALLOWANCE.

PRE-ENGINEERED STEEL BUILDING BY SBS ADEL GA. CONTACT RICKY MATHIS 229-896-7428- EMAIL- ricky@sbsga.com

REMOVED STEEL BUILDING AND CONCRETE FOUNDATION FROM ALLOWANCE

2- DUMPSTER ENCLOSURES, ONE SINGLE AND 1 DOUBLE INCLUDING FOUNDATIONS, MASONRY, STUCCO, GATES ALLOWANCE = \$50,000

1- GENERATOR ENCLOSURE FOR TWO GENERATORS INCLUDING FOUNDATION, MASONRY WALLS, STUCCO AND GATES ALLOWANCE = \$50,000

FINISH HARDWARE ALLOWANCE = \$200 PER DOOR

TWO SITE MONUMENT SIGNS WITH POWER = \$15,000 EACH

FENCING AND GATES TO MATCH EXISTING.

PAINTING

MATERIALS SPECIFIED HEREIN ARE PRODUCTS OF BENJAMIN-MOORE & CO., INC. EXCEPT WHERE OTHERWISE NOTED.

THE CONDITIONS OF THE PAINTING WORK SHALL COMPLY WITH THE GENERAL CONDITIONS PUBLISHED BY BENJAMIN-MOORE & COMPANY IN THE "ARCHITECT'S SPECIFICATION MANUAL", LATEST EDITION.

FINISH ALL EXPOSED TO VIEW SURFACES ON THE INTERIOR AND EXTERIOR OF THE FACILITY AS FOLLOWS:

EXTERIOR STUCCO: 2 COATS OF MOORGARD LATEX HOUSE PAINT.

EXTERIOR METALS: 1 COAT X-I-M FLASH BOND AND 2 COATS MOORGARD LATEX HOUSE PAINT.

EXTERIOR MASONRY (STANDARD UNITS): 1 COAT BLOCK FILLER AND 2 COATS MOORGARD LATEX HOUSE PAINT.

EXTERIOR MASONRY (CUSTOM UNITS): 1 COAT WATERPROOFING MASONRY PAINT AND 2 COATS MOORGARD LATEX HOUSE PAINT.

EXTERIOR WOOD (PAINTED FINISH): 1 COAT MOORWHITE PRIMER AND 2 COATS EGGSHELL FINISH HOUSE PAINT.

EXTERIOR WOOD (STAINED FINISH): 2 COATS MOORWOOD SOLID COLOR EXTERIOR STAIN.

EXTERIOR WOOD (STAINED FINISH): 1 COAT MOORWOOD SEMI-TRANSPARENT EXTERIOR STAIN.

EXTERIOR WOOD (NATURAL CLEAR FINISH): 2 COATS MOORWOOD PENETRATING CLEAR WOOD FINISH APPLIED "WET ON WET"

EXTERIOR WOOD (NATURAL VARNISH FINISH): 1 COAT IMPERVO 440 SPAR VARNISH THINNED WITH 1 PINT MINERAL SPIRITS PER GALLON AND 2 COATS IMPERVO 440 SPAR VARNISH AS PACKAGED.

INTERIOR GYPSUM BOARD: 1 COAT QUICK-DRY PRIME SEAL AND 2 COATS REGAL WALL SATIN.

INTERIOR STUCCO/CEM. PL.:1 COAT QUICK-DRY PRIME SEAL AND 2 COATS REGAL WALL SATIN.

INTERIOR WOOD DOORS AND TRIM: 1 COAT ALKYD ENAMEL UNDERBODY AND 2 COATS SATIN IMPERVO ENAMEL.

INTERIOR METALS: 1 COAT X-I-M FLASH BOND AND 2 COATS SATIN IMPERVO ENAMEL.

INTERIOR MASONRY: 1 COAT BLOCK FILLER AND 2 COATS REGAL WALL SATIN.

PAINT COLORS SHALL BE SELECTED BY OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE.

SECTION 09 22 00 -PORTLAND CEMENT STUCCO

PART 1 – GENERAL

1.01 RELATED DOCUMENTS

Retain or delete this article in all Sections of Project Manual.

A. Drawings and general provisions of the Contract apply to this Section.

1.02 PROCUREMENT AND CONTRACT COORDINATION

General Contractor shall comply with all of the administrative requirements of Division One as an extension to the Construction Agreement.

B. References, in these specifications, to Division One, the General Requirements and the coordination of submittals will remain the responsibility of the General Contractor.

C. All specification references to materials shall be interpreted as meaning a complete system, which is complementary when installed and maintains structural and building envelope integrity.

1.03 SUMMARY

Section includes materials and installation of pre-sanded stucco finish over concrete and concrete masonry units.

1.04 DESIGN REQUIREMENTS

A. Structural (wind and axial loads)

1. Design for maximum allowable system deflection, normal to the plane of the wall, of L/360.

2. Design for wind load in conformance with code requirements. Also consult applicable code compliance report.

B. Moisture Control

Prevent the accumulation of water into or behind the stucco, either by condensation or leakage into the wall construction, in the design and detailing of the wall assembly.

Provide corrosion resistant flashing to direct water to the exterior where it is likely to penetrate components in the wall assembly, including, above window and door heads, beneath window and door sills, at roof/wall intersections, decks, abutments of lower walls with higher walls, above projecting features, and at the base of the wall.

b. Protect sills of rough openings with barrier membrane. Where casing bead is used back-to-back at expansion joints back joints with barrier membrane. Refer to Sto details.

Grade Condition

1. Do not specify the stucco for use below grade or on surfaces subject to continuous or intermittent water immersion or hydrostatic pressure.

D. Joints

1. Provide two piece expansion joints in the Sto Powerwall@Stucco where building movement is anticipated; at joints in the substrate or supporting construction, where the system is to be installed over dissimilar construction or substrates, at changes in building height, at floor lines, at columns and cantilevered areas. On solid substrates without metal lath such as cast-in-place concrete and concrete masonry units provided joints in the supporting construction exist at appropriate intervals and they are reflected in the stucco. In such cases joint spacing in the stucco shall not exceed 250 ft2 (23 m2).

2. Provide one piece expansion joints at through wall penetrations, for example, above and below doors or windows.

Note: the requirement for one piece expansion joints at through wall penetrations may be waived in the following case: 1. when another type of expansion joint is provided in lieu of the one piece expansion joint, for example, back-to-back casing beads.

3. Provide minimum 3/8 inch (9 mm) wide joints where the system abuts windows, doors and other through wall penetrations.

4. Provide appropriate accessories at stucco terminations and joints.

5. Provide appropriate sealant at stucco terminations.

6. Indicate location of joints, accessories and accessory type on architectural drawings.

E. Solid Substrates

1. Provide surface plane tolerance not to exceed ¼ inch in 10 feet.

1.05 QUALITY ASSURANCE

A. Manufacturer requirements

Stucco manufacturer for a minimum of ten (10) years.

Manufacturing facilities ISO 9001 certified.

B. Contractor requirements

1. Licensed, insured and engaged in application of Portland cement stucco systems for a minimum of three (3) years

2. Knowledgeable in the proper use and handling of Sto materials.

3. Employ skilled mechanics who are experienced and knowledgeable in Portland cement stucco application, and familiar with the requirements of the specified work.

4. Successful completion of minimum of three (3) projects of similar size and complexity to the specified project.

5. Provide the proper equipment, manpower and supervision on the job site to install the system in compliance with Sto Corps published specifications and details and the project plans and specifications.

1.06 DELIVERY, STORAGE AND HANDLING
Deliver all materials in their original sealed containers bearing manufacturer's name and identification of product.

Protect coatings (pail products) from freezing and high ambient temperatures in excess of 90°F (32° C). Store away from direct sunlight.

C. Protect Portland cement based materials (bag products) from moisture and humidity and direct sunlight. Store under cover, off the ground in a dry location.

1.07 COORDINATION/SCHEDULING

A. Provide minimum 28 day cure of concrete and concrete masonry units before the installation of stucco.

B. For load bearing concrete masonry and stud wall assemblies, commence the stucco installation after completion of all floor, roof construction and other construction that imposes dead loads on the walls to prevent excessive deflection (and potential cracking) of the stucco.

Sequence interior work such as drywall installation prior to stucco installation to prevent stud distortion (and potential cracking) of the stucco.

D. Provide site grading such that the stucco terminates above finished grade a minimum of 8 inches (203 mm) or as required by code.

E. Provide protection of rough openings before installing windows, doors, and other penetrations through the wall and provide sill flashing. Coordinate installation of moisture barrier with windows and doors to provide weather proofing of the structure and to prevent moisture infiltration and excess air infiltration.

F. Install window and door head flashing immediately after windows and doors are installed.

1.08 ACTION SUBMITTALS

A. Product Data: For each type of product.

B. Samples: For each type of stucco finish.

PART 2 PRODUCTS

2.01 MANUFACTURER OF STUCCO

A. Sto Corp. Atlanta Ga. (use one of the two stuccos listed below).

1. Provide Sto Powerwall Stucco 103

2. Provide Sto Powerwall 102 Pre-sanded stucco.

2.02 BONDING AGENT

A. Sto Bonding Agent & Admixture CR 245 by Sto Corp

2.03 ACCESSORIES (supplied by others, select one type)
Weep screed, casing bead, corner bead, cornerite, corner lath, expansion and control joint accessories. All accessories shall meet the requirements of ASTM C 1063 and its referenced documents:

1. PVC plastic in compliance with ASTM D 1784, cell classification 13244C.

2. Zinc in compliance with ASTM B 63.

3. Galvanized metal in compliance with ASTM A 653 with G60 coating.

All accessories shall have perforated or expanded flanges and shall be designed with grounds for the specified thickness of stucco.

2.04 JOB MIXED INGREDIENTS

A. Water—clean and potable.

B. Clean, well graded sand free of deleterious materials.

C. Stucco Admixture
1. Sto Bonding Agent & Admixture (CR245)

2.05 SEALANT

A. Silicone sealant: Provide DOW 790

B. Urethane sealant: Provide 100% urethane sealant. No latex allowed.

2.06 Primer

A. Sto Hot Prime 805. Tinted to desired color.

2.07 FINISH

A. Stoilt 1.0 textured acrylic finish. Tinted to desired color.

2.08 PAINT COATING

A. Stocolor Acryl Plus 648. Tinted to required orange color.

PART 3 EXECUTION

3.01 EXAMINATION

Inspect surfaces for:

Contamination%algae, chalkiness, dirt, dust, efflorescence, form oil, fungus, grease, laitance, mildew or other foreign substances.

Cracks%measure crack width and record location of cracks.

Damage and deterioration—repair as needed.

Moisture damage—record any areas of moisture damage.

3.02 SURFACE PREPARATION

A. Clean existing surface free of bond-inhibiting material.

3.03 MIXING

A. Mix stucco according to manufacturer's instructions using mortar mixer. When using Sto Powerwall stucco 103. Add 200 lbs sand per bag to mixer and mix until uniformity of mixture is attained. Add sufficient

water to mix to gain desired workability. Using Sto Powerwall 102 Pre-Sanded, add sufficient water to gain desired workability. Mix until stucco is uniform in consistency throughout the mix.

3.04 INSTALLATION OF STUCCO

A. Installation over cast-in-place concrete or concrete masonry units:

1. Install foundation weep screed at the base of the wall.

2. Install casing beads at stucco terminations—doors, windows and other through wall penetrations. Install two—piece expansion joints (or back-to-back casing beads) at joints in the supporting construction, building expansion joints, where the stucco is to be installed over dissimilar construction, at changes in building height, at floor lines, columns, and cantilevered areas. Install one piece expansion joints at corners of windows, doors and similar through wall penetrations, and every 250 ft2 (23 m2). Install corner bead at outside corners and corner lath at inside corners. Install full accessory pieces where possible and avoid small pieces. Seal adjoining pieces by embedding ends in sealant. Abut horizontal into vertical joint accessories. Attach at no more than 7 inches (178 mm) on center into concrete/masonry with appropriate fasteners.

3. Bonding: Sto Bonding Agent & Admixture may be applied as a bonding agent to the wall surface to enhance bond. Roll-apply the material to wall surface and allow to penetrate. Do not apply in excess. Apply stucco while

Bonding agent is still tacky. Do not allow material to dry out on the wall.

4. Scratch Coat: apply the stucco with sufficient pressure to ensure intimate contact with the substrate and complete coverage to an approximate thickness of 3/8 inch on masonry and ¼ inch on cast-in-place concrete per ASTM C 926. Score the stucco upon completion of each plane in preparation for a second coat. Score horizontally.

5. Brown Coat: as soon as the first coat is firm enough to receive the second coat without damage, apply the second coat. Alternatively, moist cure the first coat up to 48 hours and dampen the scratched surface with water immediately before applying the second coat. Apply the second coat with sufficient pressure to ensure intimate contact with the first coat to an approximate thickness of 1/8 inch, and as needed to bring the stucco to the desired thickness not to exceed the nominal thickness outlined in ASTM C 926. Use a rod or straight edge to bring the surface to a true, even plane. Fill depressions in plane with stucco. Final thickness of stucco shall not exceed the nominal thickness is Table 1 of ASTM C 926.

6. After the stucco has lost sufficient moisture so that the surface sheen has disappeared, float the surface lightly with a darby or wood float to densify the surface and to provide a smooth, even surface. Float before the stucco becomes so rigid that it cannot be moved beneath the float.

Moist cure of stucco is recommended but not required for warranty. After the stucco has set by lightly fogging the surface for 48 hours. Fog spray as frequently as required during the 48- hour period to prevent loss of moisture from

The stucco. If relative humidity is greater than 75% moist curing is not needed.

3.05 INSTALLATION OF PRIMER AND FINISH COAT

A. Primer: Apply primer with roller, brush or spray over stucco. Apply uniformly at a rate of 5–6 wet mils and allow to dry completely.

B. Finish Coat: Apply over dried primer, maintaining a wet edge at all times for uniform appearance, in thickness required by manufacturer to produce a uniform finish of color and texture, free of shadow lines and texture variations. Allow to dry completely.



AA26001731

[SEAL]

[PROJECT]

DELRAY
INDUSTRIAL
PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL
33444

[OWNER]

[REVISIONS]

No.	Description	Date
PERMIT / BID		4/29/24
UPDATED ALLOWANCE		5-15-24

[PROJECT STATUS]

PERMIT / BID

[DATE]

2022

[PROJECT NUMBER]

6322

[SCALE]

AS NOTED

[DRAWN BY] [CHECKED BY]

AD / NA

[DRAWING TITLE]

SPECIFICATIONS

[DRAWING NUMBER]

G-002

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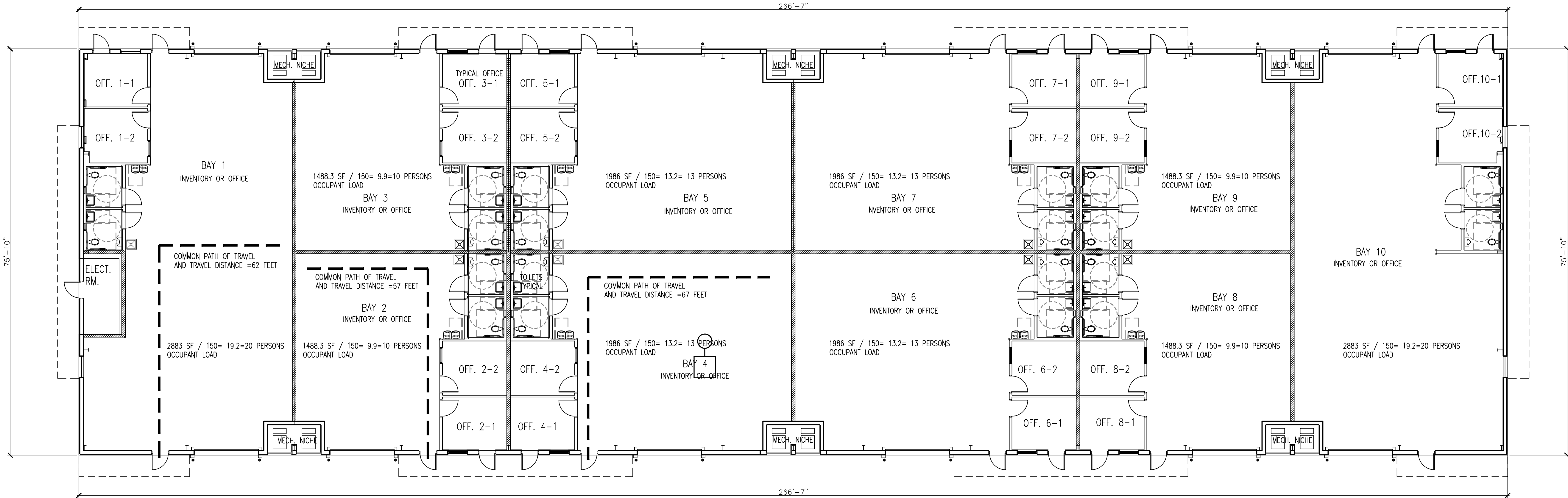
NFPA LIFE SAFETY DATA	FLORIDA BUILDING CODE DATA
FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION INCLUDING NFPA, 1 FIRE CODE AND NFPA 101, LIFE SAFTEY CODE, 2018 EDITION	FLORIDA BUILDING CODE 2020- SEVENTH EDITION
NEW BUSINESS OCCUPANCY CHAPTER 38 ORDINARY HAZARD BUILDING IS FULLY SPRINKLERED	USE AND OCCUPANCY GROUP B - BUSINESS CHAPTER 3
MEZZANINES NOT APPLICABLE.	SPECIAL DETAILED REQUIREMENTS BASED ON USE & OCCUPANCY CHAPTER 4- NONE APPLY
DEAD ENDS SHALL NOT EXCEED 50 FT. FOR NON HIGH HAZARD AREAS.	GENERAL BUILDING HEIGHTS AND AREAS CHAPTER 5- ALLOWABLE HEIGHT TYPE IIIB SPRINK. 1 STY= 75 FT.
MAXMUM COMMON PATH OF TRAVEL- ORDINARY HAZARD, UN-SPRINKLERED = 50 FT	STORIES ABOVE GRADE PLANE B OCC SPRINK = 4 STY. MAX
DEAD END 50 FT. MAX.	BUILDING AREA, SPRINK. IIIB = 76,000 SF MAX
MAXIMUM TRAVEL DISTANCE TO EXITS ORDINARY HAZARD, UNSPRINKLERED=200 FT MAX	AREA MODIFICATIONS NOT REQUIRED
UNPROTECTED VERTICAL OPENINGS NOT APPLICABLE	
INTERIOR WALL AND CEILING FINISHES-PER REQUIREMENTS	
DETECTION ALARM & COMMUNICATION	
	CH 6 TYPE CONSTRUCTION: III B,
	PRIMARY STRUCT FRAME = 0
	BEARING WALLS EXT INT = 2
	NON BEARING WALLS & PARTITIONS = PER TABLE 602
	FLOOR CONSTRUCTION = 0
	ROOF CONSTRUCTION = 0
	FIRE RATED EXTERIOR WALLS TABLE 602 GREATER THAN 30 FT.=0HR (60 FT BLDG TO BLDG)
	ZERO HOUR RATED EXTERIOR WALLS.
	CH 7
	CH 8
	CH 9
	CH 10 OCCUPANT LOAD BUSINESS 50 SF GROSS WAREHOUSE 500 SF GROSS.

EMERGENCY RADIO SIGNAL / BI-DIRECTIONAL AMPLIFICATION

ALL BUILDINGS SHALL BE TESTED FOR EMERGENY RADIO SIGNAL STRENGTH AFTER THE SHELL IS CONSTRUCTED. VERIFY WITH MUNICIPALITY FIRE DEPARTMENT FOR TESTING REQUIREMENTS PRIOR TO TESTING. IF THE BUILDING IS FOUND TO REQUIRE A B.D.A. (BI-DIRECTIONAL AMPLIFICATION SYSTEM) OWNER WILL ENGAGE A SPECIALTY ENGINEER TO DESIGN A BOOSTER SYTEM IN FULL ACCORDANCE WITH NFPA 72 AND LOCAL AUTHORITIES HAVING JURISDICTION.

DETAILS OF CONSTRUCTION SUCH AS LOCATION OF HEAD END EQUIPMENT AND CABLE PATHWAYS VERTICALLY AND HORIZONTALLY SHALL BE SPECIFIED.

THE CONSTRUCTION DRAWINGS WILL INCLUDE PLANNING FOR POSSIBLE BDA EQUIPMENT LOCATION AND CONDUITS. BDA WILL BE IN A TWO HOUR FIRE RATED ROOM NOT LESS THAN 3'WIDE BY 5' LONG. VERTICAL CABLE CHASES IF NECESSARY WILL NEED TO PROVIDE 2 HOUR FIRE RATING. HORIZONTAL CABLE NEED NOT BE FIRE RATED. CABLE AND EQUIPMENT SHALL NOT BE LOCATED IN STAIRS



GENERAL NOTES:	
FULLY SPRINKLERED	
FIRE RESISTANCE RATING LEGEND	
PARTITION LABEL	DOOR LABEL
200 MIN FIRE RATED PARTITION	NOT USED
ONE HOUR FIRE RATED PARTITION	90 MIN FIRE LABEL DOOR
TWO HOUR FIRE RATED PARTITION	45 MIN FIRE LABEL DOOR
THREE HOUR FIRE RATED PARTITION	20 MIN FIRE LABEL DOOR

LEGEND	
---	TRAVEL DISTANCE PATH
---	COMMON PATH
---	DEAD-END CORRIDOR/ NONE
CLG. MTD. DIRECTIONAL EXIT SIGN	
WALL MTD. EXIT SIGN	
FIRE EXTINGUISHER - SEMI-RECESSED CABINET W/ 3A 4BC RATING	
FIRE EXTINGUISHER - WALL MOUNTED W/BACKET W/ 3A 4BC RATING	
F.D. KEY BOX LOCATION (VERIFY W/ F.D. MANUF. TYPE KNOX OR SUPRA)	
EMERGENCY LIGHT	

EGRESS DATA FBC B OCC SPRINK. NFPA 101 CH 38		
OCCUPANCY LOAD	B OCC	B OCC
MAX. TRAVEL DISTANCE TO EXIT (FT)	300'	300'
MAX. DEAD END CORRIDOR	50'	50'
MAX. COMMON PATH (FT)	100'	100'
MIN. CORRIDOR WIDTH	44"	
MIN. CLEAR OPENING	32"	

OCCUPANCY LOAD SUMMARY FBC CH 10	
OCCUPANCY CLASSIFICATION: GROUP B BUSINESS	

INTERIOR FINISH CLASSIFICATION LIMITATIONS			
OCCUPANCY S-1 UN-SPRINKLERED			
WALL AND CEILING	EXITS	CORRIDORS	OTHER SPACES
	B	B	C
CLASS A- FLAME SPREAD 0-25			
CLASS B- FLAME SPREAD 26-75			
CLASS C- FLAME SPREAD 76-200			
FLOORS CLASS I OR II ARE PERMITTED			
CLASS I - CRITICAL RADIANT FLUX, NOT LESS THAN 0.45 W/cm2			
CLASS II- CRITICAL RADIANT FLUX, NOT LESS THAN 0.22 W/cm2 BUT NOT LESS THAN 0.45			

LIFE SAFETY SYMBOLS

COMMON PATH OF TRAVEL

DEAD END

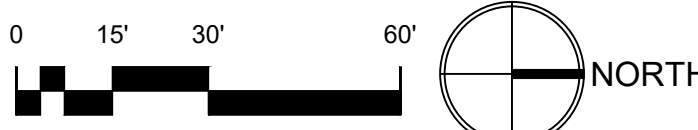
MAXIMUM TRAVEL DISTANCE

EXIT SIGNS, WITH OR WITHOUT DIRECTION ARROWS

FIRE EXTINGUISHERS DISTRIBUTED PER REQUIREMENTS ON ALL LEVELS.

FIRE EXTINGUISHER 2A-10B:C 5 LB.

1 LIFE SAFETY PLAN
G-003 SCALE : 3/32"=1'-0"



AA26001731

SEAL

PROJECT
DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14th AVE.
DELRAY BEACH, FL 33444

OWNER

REVISIONS		
No.	Description	Date
	SPRAB RESUBMITTAL	2023-09-08

PROJECT STATUS

DATE

PROJECT NUMBER

6322

SCALE

AS NOTED

DRAWN BY: JET CHECKED BY:

DRAWING TITLE

LIFE SAFETY PLAN

DRAWING NUMBER

G-003

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SITE DATA TABLE

PROJECT ADDRESS: 905 SW 14TH AVENUE DELRAY BEACH, FLORIDA

LAND USE DESIGNATION: IND (INDUSTRIAL)
ZONING DESIGNATION: LI (LIGHT INDUSTRIAL)

SITE AREA EXISTING: 110,853 S.F. (2.54 ACRES) PER SURVEY
MINUS 5 FOOT R.O.W. DEDICATION EAST PROPERTY= 108,008 SF

PROJECT AREA: THE ENTIRE SITE AREA PLUS SOME OFF STREET WORK
AT NEW AND REMODELED DRIVEWAY ENTRANCES. SEE CIVIL.

EXISTING BUILDING GROUND FLOOR AREA: 10,866
EXISTING BUILDING SECOND FLOOR AREA: 2,113
EXISTING BUILDING TOTAL FLOOR AREA: 12,979 = 12,979

PROPOSED NEW ONE STORY BUILDING AREA = 20,216
PROPOSED TOTAL BUILDING AREAS = 33,195

FLOOR AREA RATIO EXISTING BLDG= 12,979 / 108,008= .120
FLOOR AREA RATIO EXISTING AND NEW BUILDING COMBINED=
33,195 / 108,008= .307

SITE COVERAGE= 10,866+20,216=31,082 / = 28.8%
MAX COVERAGE= 50%

SETBACK REQUIREMENTS:

NEW PROPOSED BUILDING

	REQUIRED	PROVIDED
FRONT	10 FT	57'-0.5"
SIDE STREET	10 FT	88'-5"
SIDE INTERIOR	5 FT	NOT APPLICABLE
REAR	10 FT	57'-0.5"
MAX HEIGHT	48 FT	20'-8"

NEW GENERATOR ENCLOSURE ON EAST PROPERTY SETBACK REQUIRES 10FT
PROVIDING 5'-10" AFTER R.O.W. DEDICATION.

SITE AREA CALCULATIONS BASED ON 108,008 SF SITE AREA

GROUND FLOOR FOOTPRINT EXIST. & PROPOSED BUILDING = 31,056 SF = 28.8%

VEHICLE USE AREAS & WALKS & PAVED PAVED = 51,130 SF = 47.3%

OPEN SPACE (NON VEHICULAR NATURAL PLANTED)= 25,822 SF = 23.9%
OPEN SPACE REQUIRED=25%

TOTAL = 108,008 SF = 100.0%

INTERIOR LANDSCAPE REQD = 10% OF VUA. 5113
INTERIOR LANDSCAPE PROVIDED = 18,373

PARKING CALCULATIONS

REQUIRED SPACES:

EXISTING BUILDING OFFICE= 4 / 1000 FOR 1ST 3000 SF = 12 SPACES & REMAINDER
AT 3.5 / 1000 4294-3000= 1294 (1.294 X 3.5=4.5)= 5 SPACES= 17 SPACES

EXISTING BUILDING WAREHOUSE= 1/1000 SF = 8725 / 1000= 9 SPACES

NEW PROPOSED BUILDING OFFICE= 4 / 1000 FOR 1ST 3000 SF = 2800 = 11 SPACES

NEW PROPOSED BUILDING WAREHOUSE= 1 / 1000= 17,416 / 1000= 17 SPACES

TOTAL REQUIRED SPACES EXISTING BUILDING = 26

TOTAL REQUIRED SPACES NEW BUILDING = 28

GRAND TOTAL PARKING REQUIRED = 54

PARKING PROVIDED = 74

INCLUDES 3 ACCESSIBLE SPACES AND 15 COMPACT SPACES

COMPACT SPACES UP TO 30% ALLOWED 15/ 71 = 21% PROVIDED.
OR 15 / 54= 28%

LEGEND

PROPERTY LINE

NEW CONCRETE CURB

SEE CIVIL

EXISTING TREE

EXISTING FIRE DEPARTMENT CONNECTION

ADJACENT STREET CENTER LINE

UTILITY EASEMENT LINE

NEW FENCE AND GATE. NOTE

EXISTING AND NEW FENCES ARE

DETAILED SHEET AS102

EXISTING FENCE TO REMAIN

STREET CENTER LINE

RIGHT OF WAY ADJACENT

PROPERTIES.

EXISTING MASONRY SITE

WALL SOUTH PROPERTY

GREEN BUILDING REQUIREMENT CALCULATIONS

EXISTING BUILDING

AIR CONDITIONED SPACES

GROUND FLOOR = 2115 SF

SECOND FLOOR AIR

CONDITIONED SPACE = 2139 SF

TOTAL = 4254 SF

NEW BUILDING AIR CONDITIONED

SPACES OFFICE ONLY= 2746 SF

TOTAL EXISTING AND NEW

AIR CONDITIONED SPACE= 7000 SF

GREEN BUILDING REQUIREMENTS

15,000 SF AIR CONDITIONED.

S W 14TH AVENUE

S W 13TH AVENUE

S W 8TH STREET

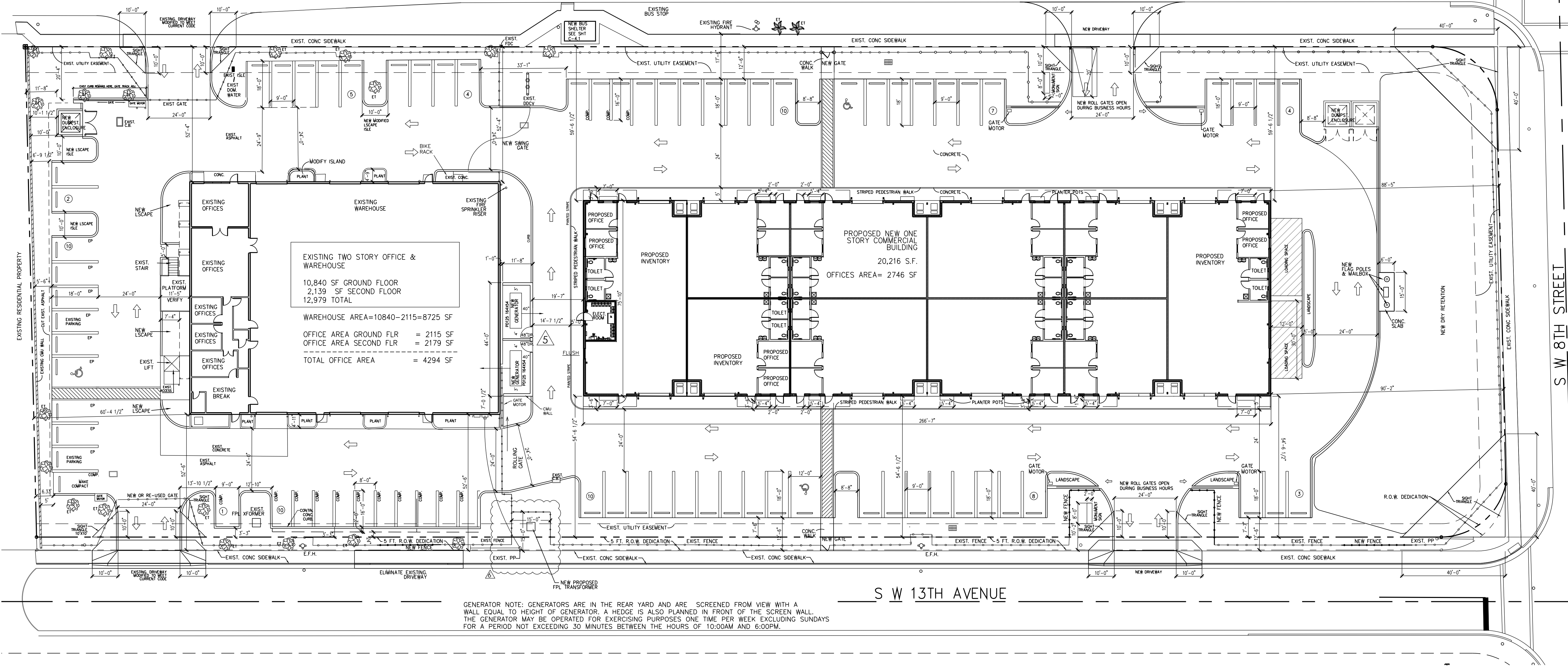
EXISTING TWO STORY OFFICE & WAREHOUSE
10,840 SF GROUND FLOOR
2,139 SF SECOND FLOOR
12,979 TOTAL
WAREHOUSE AREA=10840-2115=8725 SF
OFFICE AREA GROUND FLR = 2115 SF
OFFICE AREA SECOND FLR = 2179 SF
TOTAL OFFICE AREA = 4294 SF

PROPOSED NEW ONE STORY COMMERCIAL BUILDING
20,216 S.F.
OFFICES AREA= 2746 SF

GENERATOR NOTE: GENERATORS ARE IN THE REAR YARD AND ARE SCREENED FROM VIEW WITH A WALL EQUAL TO HEIGHT OF GENERATOR. A HEDGE IS ALSO PLANNED IN FRONT OF THE SCREEN WALL. THE GENERATOR MAY BE OPERATED FOR EXERCISING PURPOSES ONE TIME PER WEEK EXCLUDING SUNDAYS FOR A PERIOD NOT EXCEEDING 30 MINUTES BETWEEN THE HOURS OF 10:00AM AND 6:00PM.

TENANT SPACES ARE FOR SMALL START-UP TYPE BUSINESSES WHICH MAY UTILIZE BOTH INVENTORY AND OFFICE SPACE. A TYPICAL EXAMPLE WOULD BE THAT OF A RESIDENTIAL WINDOW SHADE INSTALLER OR FLOORING INSTALLER WHICH WOULD REQUIRE BOTH OFFICE AND WAREHOUSE TYPE SPACE TO FUNCTION.

NOTE: GATES ARE INTENDED TO REMAIN OPEN DURING BUSINESS HOURS



LEGAL DESCRIPTION:
ALL OF "KING INDUSTRIAL PARK", LESS TRACT "A", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 65, PAGE 137, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. FOR FURTHER SITE INFORMATION, SEE SURVEY BY POLICE LAND SURVEYORS, INC. ORDER NUMBER 70353.



AA26001731

[SEAL]

[PROJECT]

DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL
33444

[OWNER]

[REVISIONS]

No.	Description	Date
1	PERMIT / BID	4/29/24
2	COMPACT PARKING	5/7/24
3	GENERATOR UPDATE	5/17/24
4	SPRAB COMMENTS	7/18/24
5	SPRAB COMMENTS	7/29/24
6	MOVE GENERATORS	11/6/25
7	FPL XFMR. AREA MOD	3/6/25

[PROJECT STATUS]

PERMIT / BID

[DATE]
2022

[PROJECT NUMBER]
6322

[SCALE]
AS NOTED

[DRAWN BY]
AD / NA

[CHECKED BY]
[DRAWING TITLE]
SITE PLAN

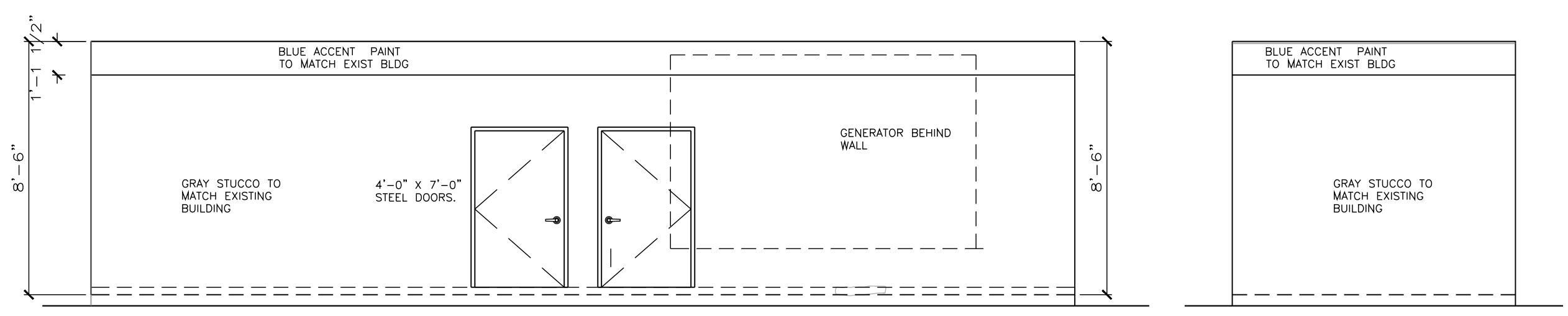
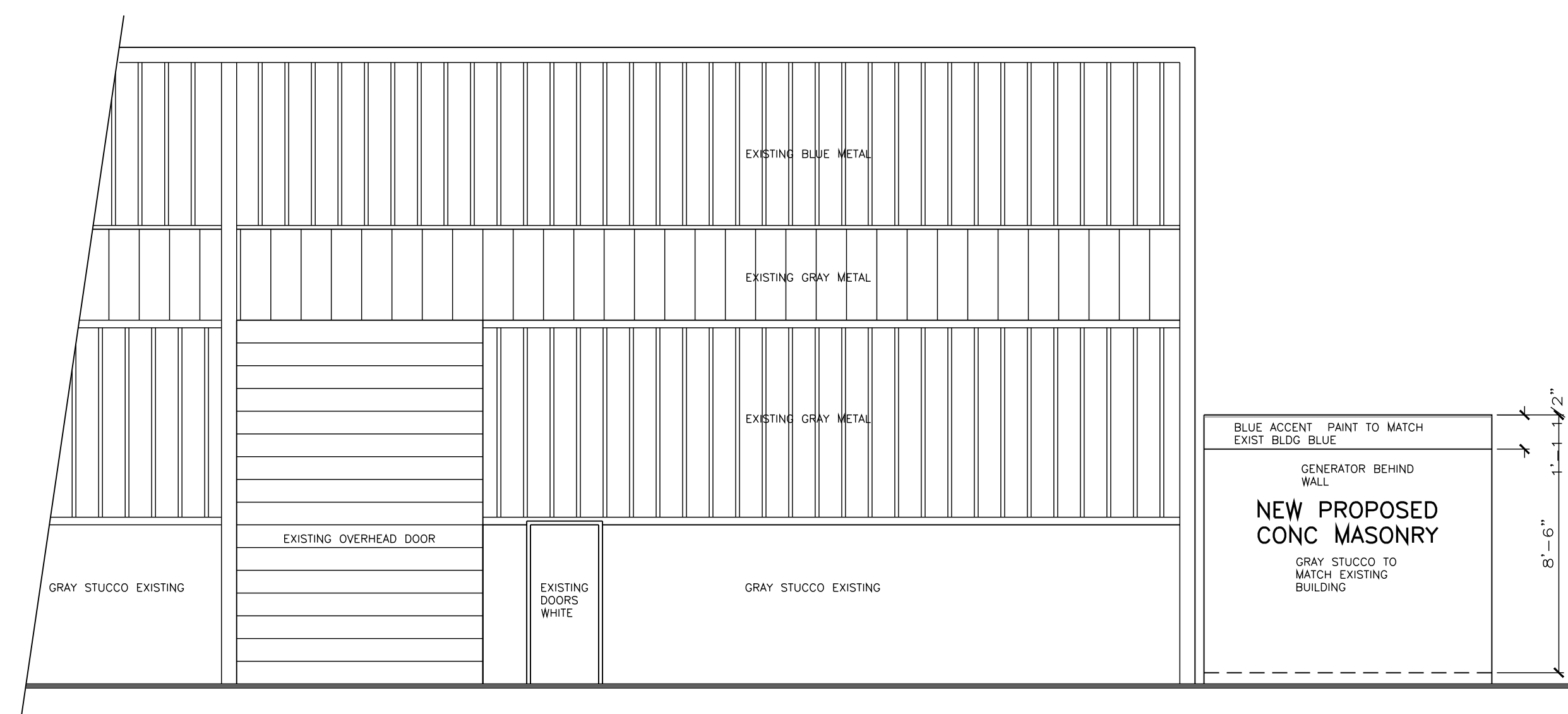
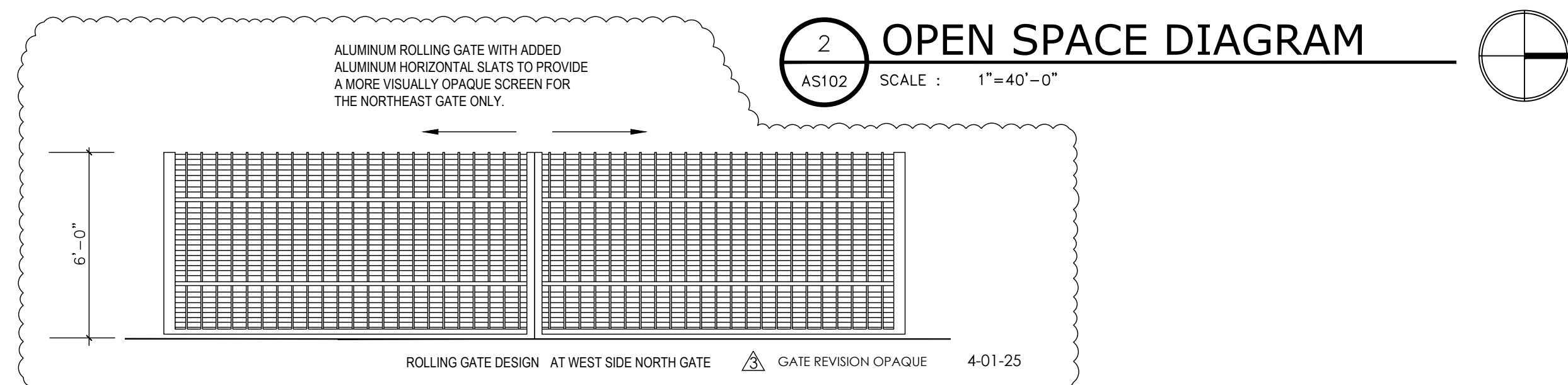
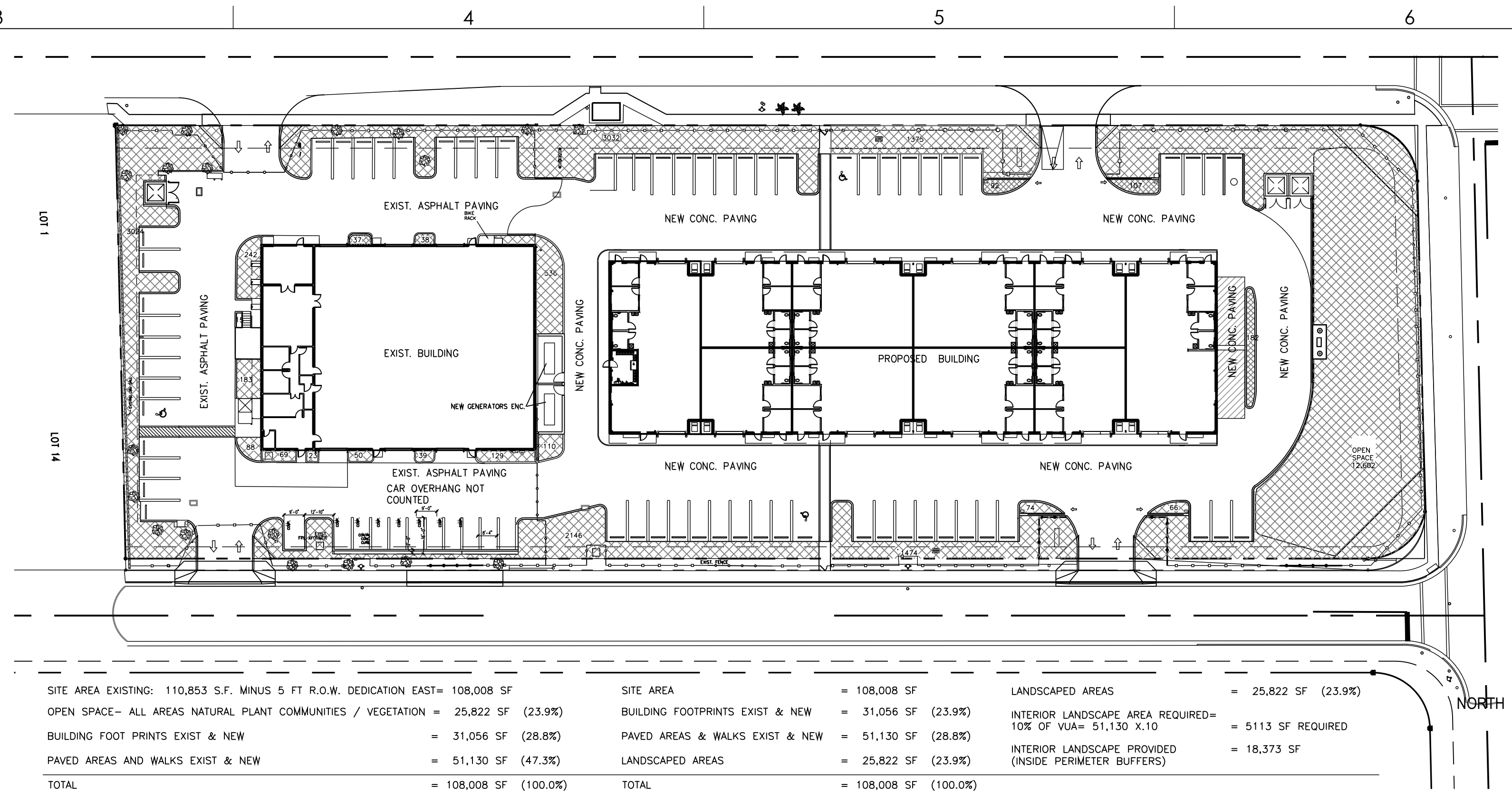
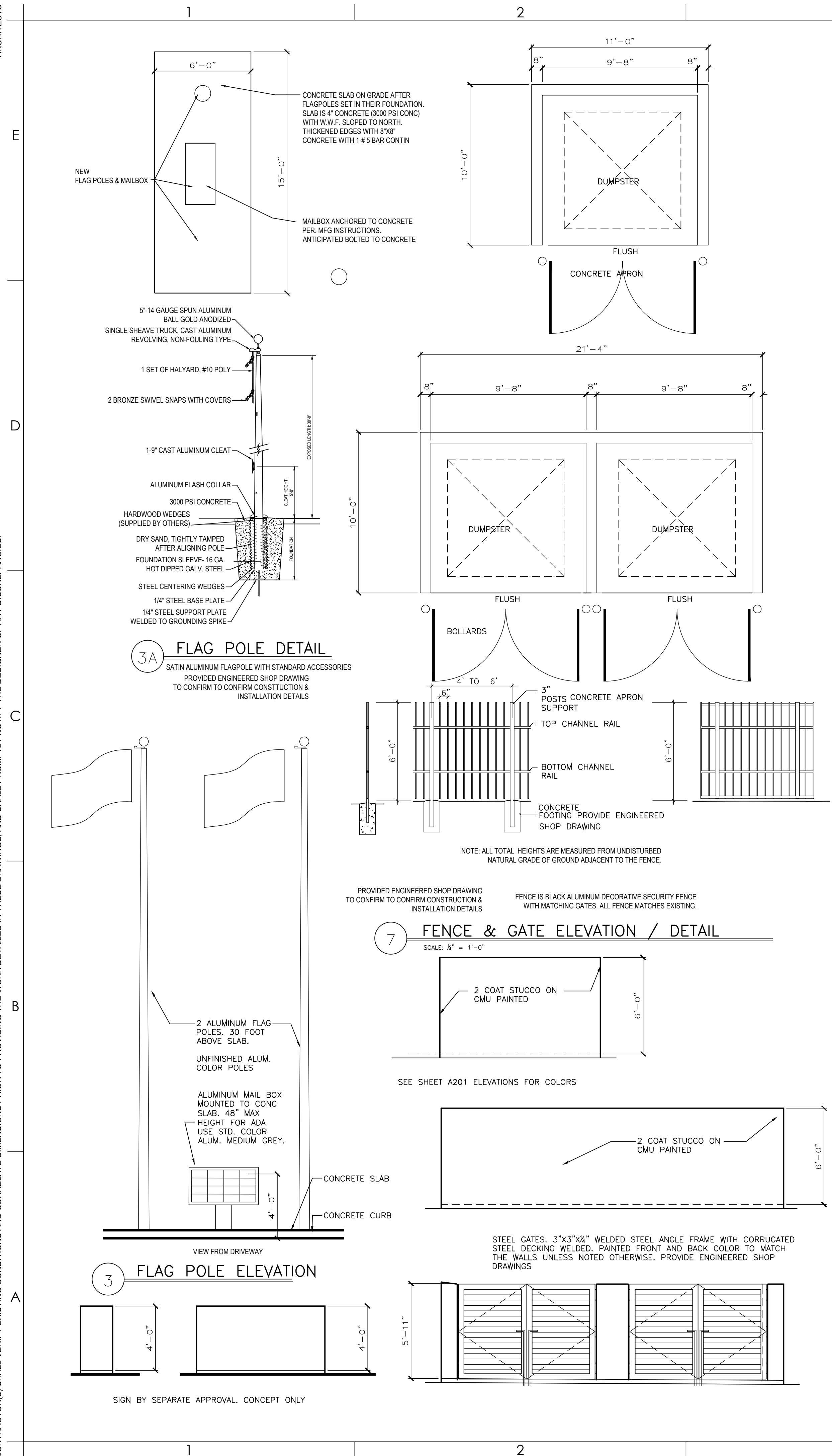
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AS1.01

1 SITE PLAN
AS101 SCALE : 1"=20'-0"



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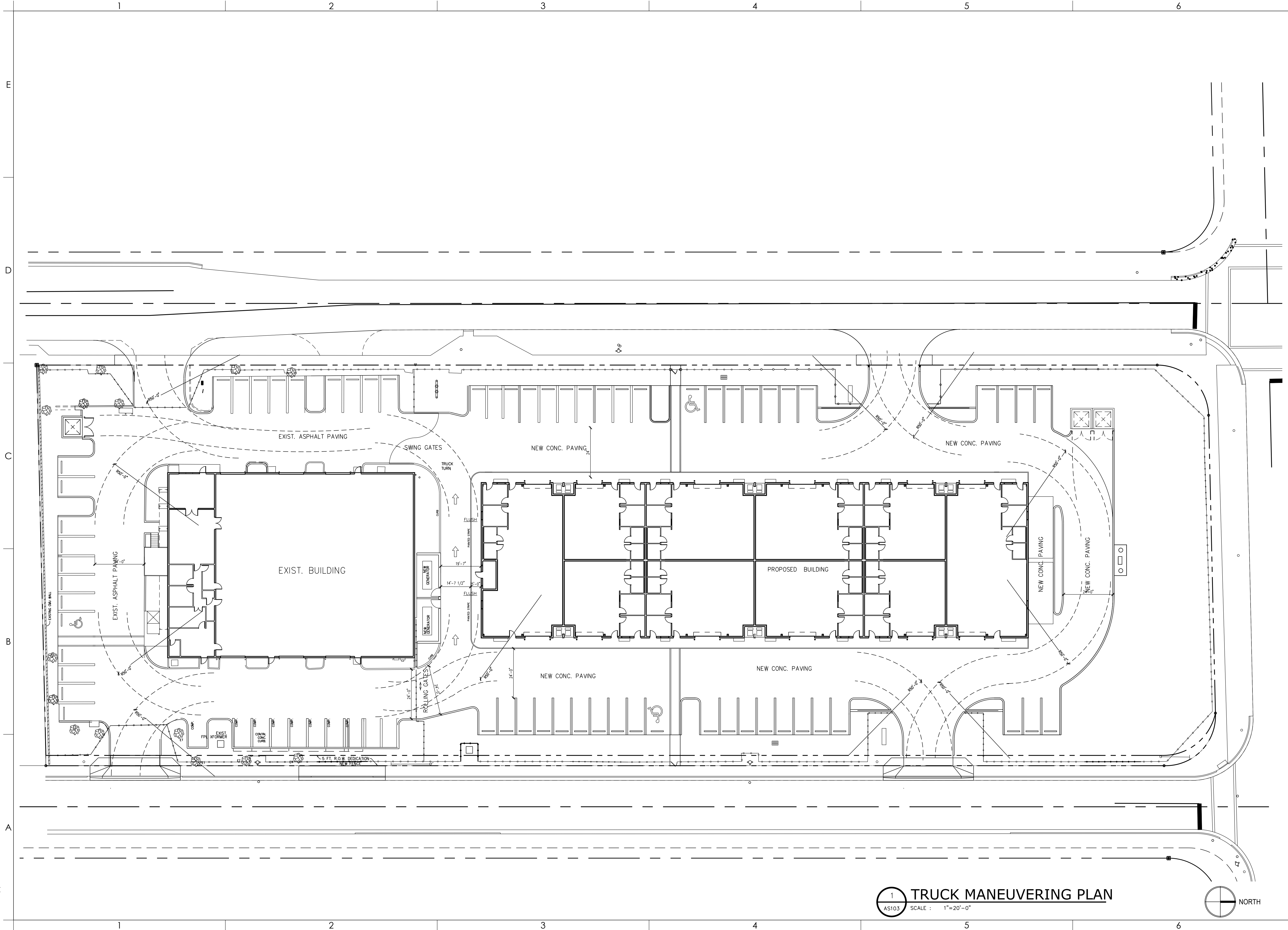
PERMIT / BID	
DATE	
2022	
PROJECT NUMBER	
6322	
SCALE	
AS NOTED	
DRAWN BY	CHECKED BY
AD / NA	
DRAWING TITLE	

SITE DETAILS

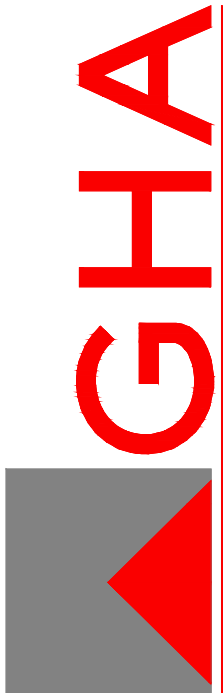
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1 TRUCK MANEUVERING PLAN
AS103 SCALE : 1"=20'-0"



AA26001731

[SEAL]

PROJECT

DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL 33444

OWNER

REVISIONS		
No.	Description	Date
B	PERMIT / BID	4/29/24
A	MOVE GENERATORS	1/6/25

PROJECT STATUS

PERMIT / BID

DATE

2022

PROJECT NUMBER

6322

SCALE

AS NOTED

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AD / NA

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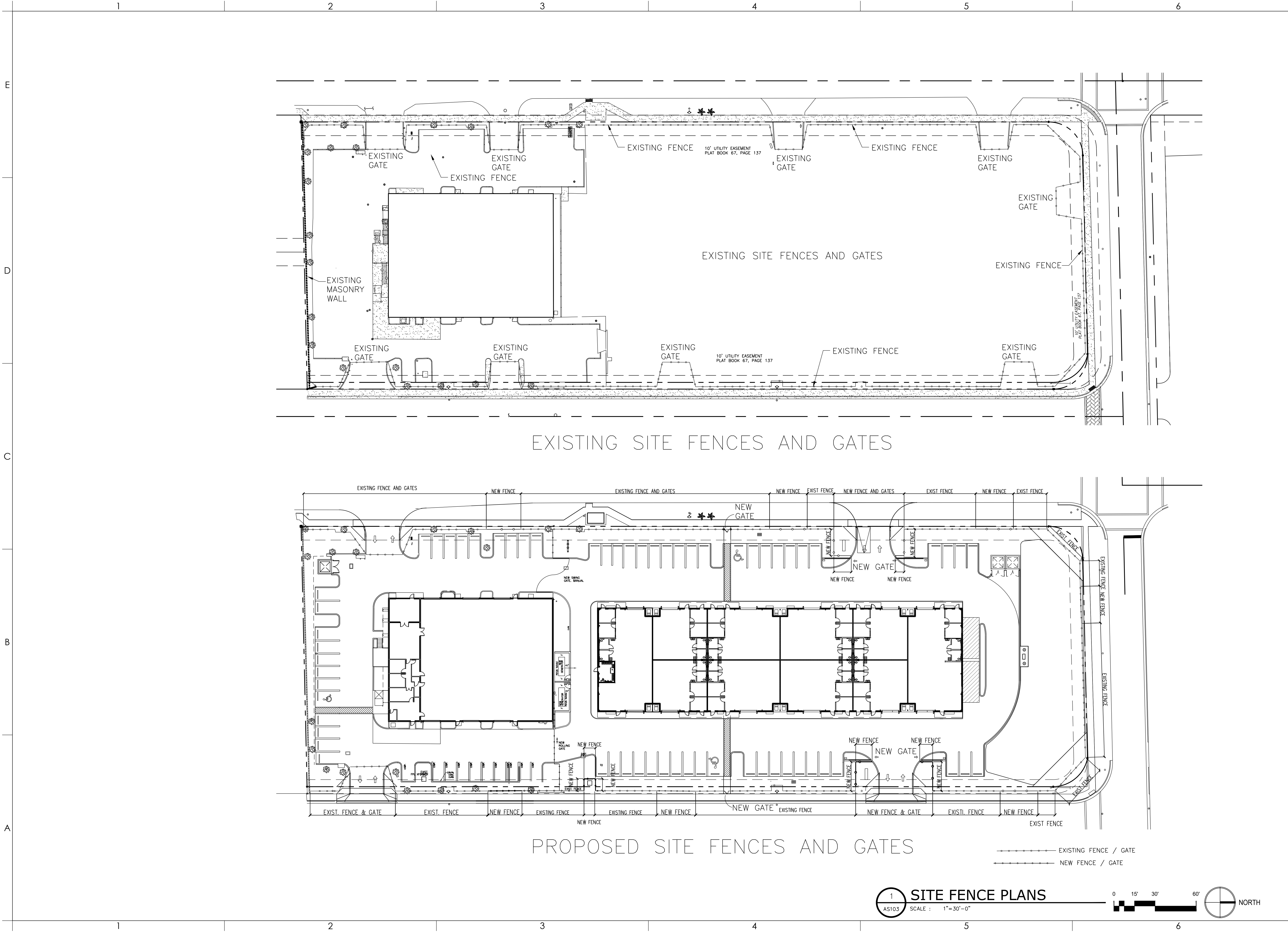
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TRUCK TURN

DRAWING NUMBER

AS1.03

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AA26001731

[SEAL]

[PROJECT]

DELRAY
INDUSTRIAL
PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL
33444

[OWNER]

[REVISIONS]

No.	Description	Date
1	PERMIT / BID	4/29/24
2	ISSUED 5-6-24	5-7-24
3	GENERATOR MOVE	1-13-2025
4	FENCE NOTE	4-3-2025

[PROJECT STATUS]

PERMIT / BID

[DATE]

2022

[PROJECT NUMBER]

6322

[SCALE]

AS NOTED

[DRAWN BY]

AD / NA

[CHECKED BY]

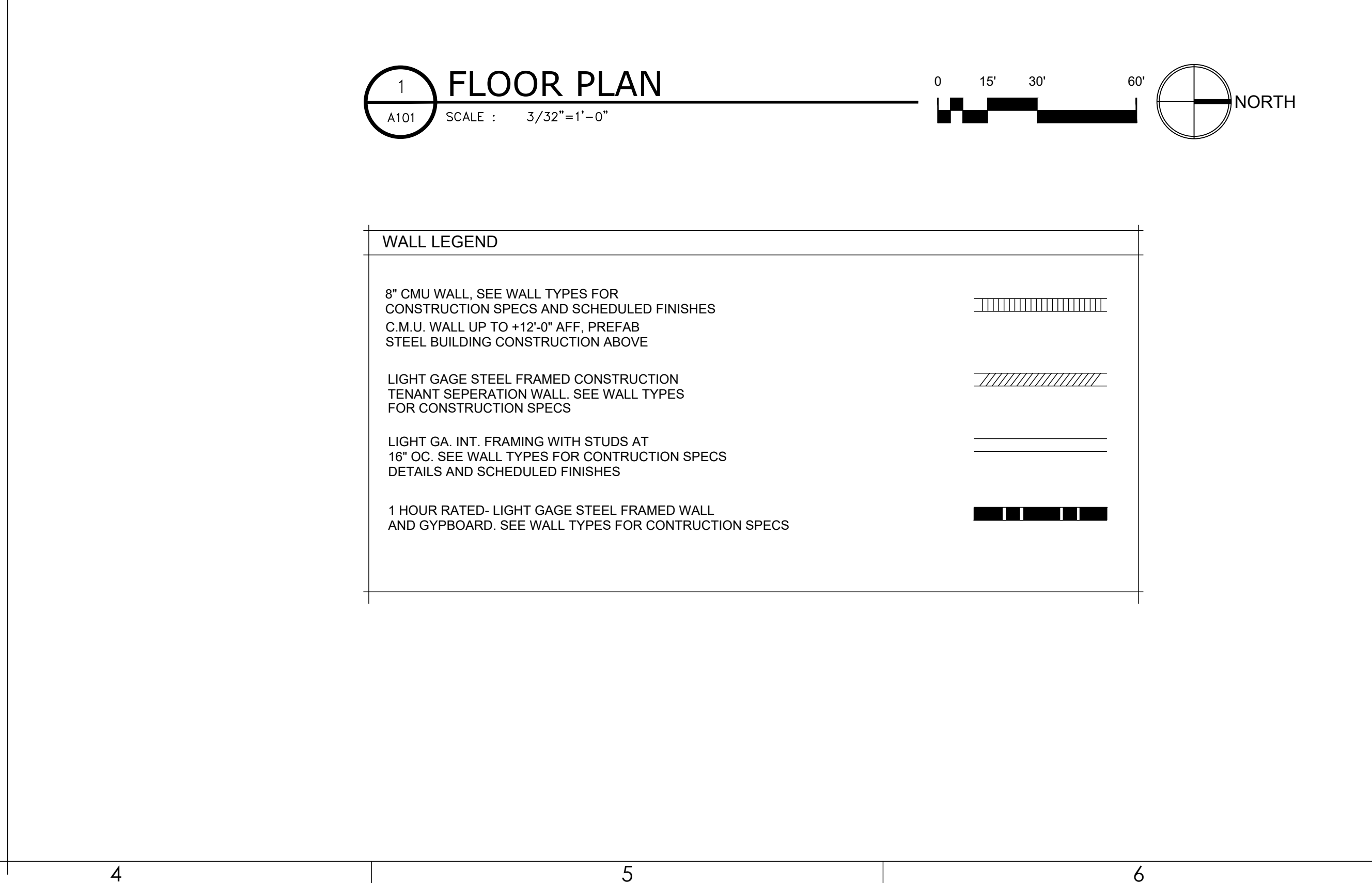
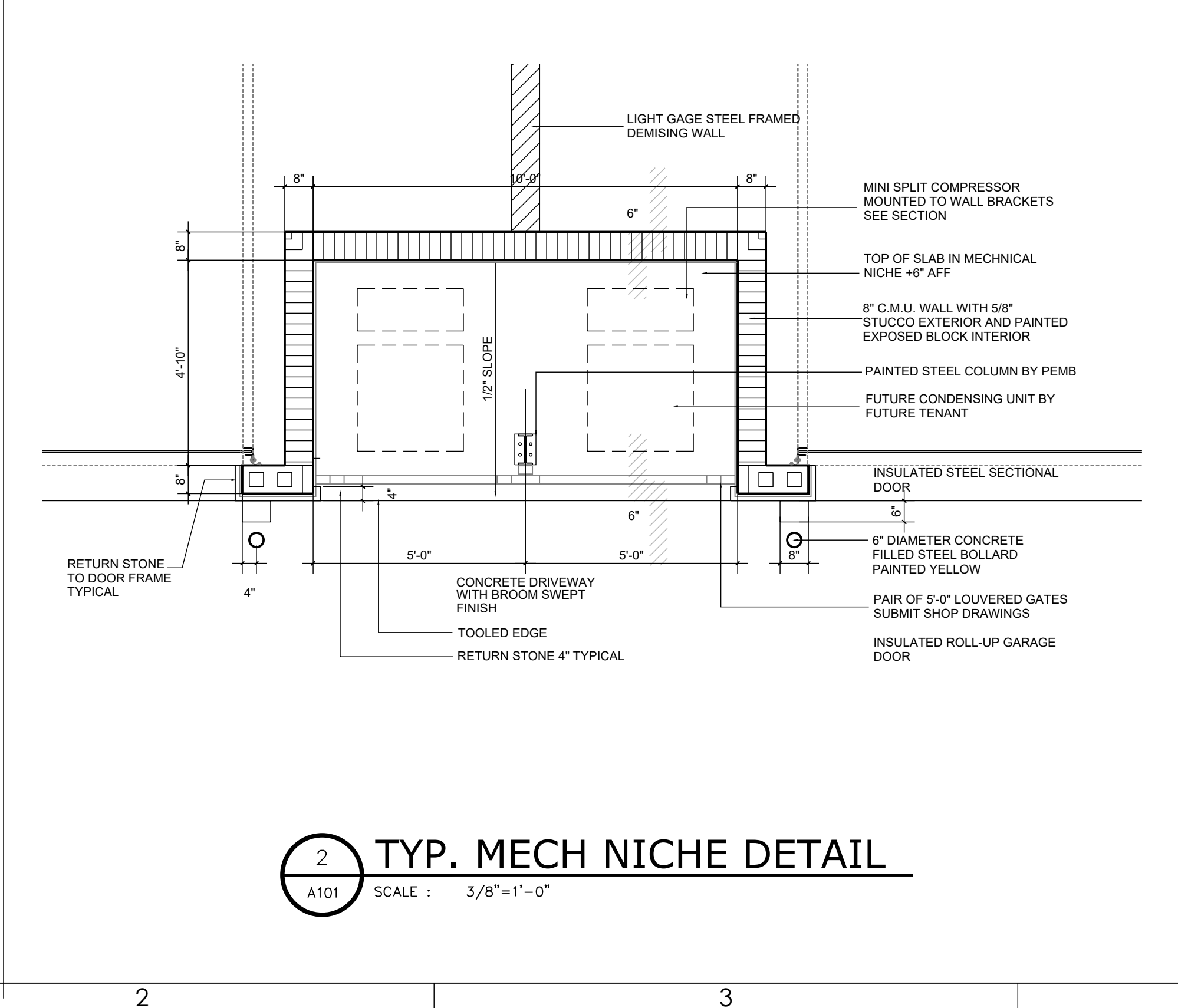
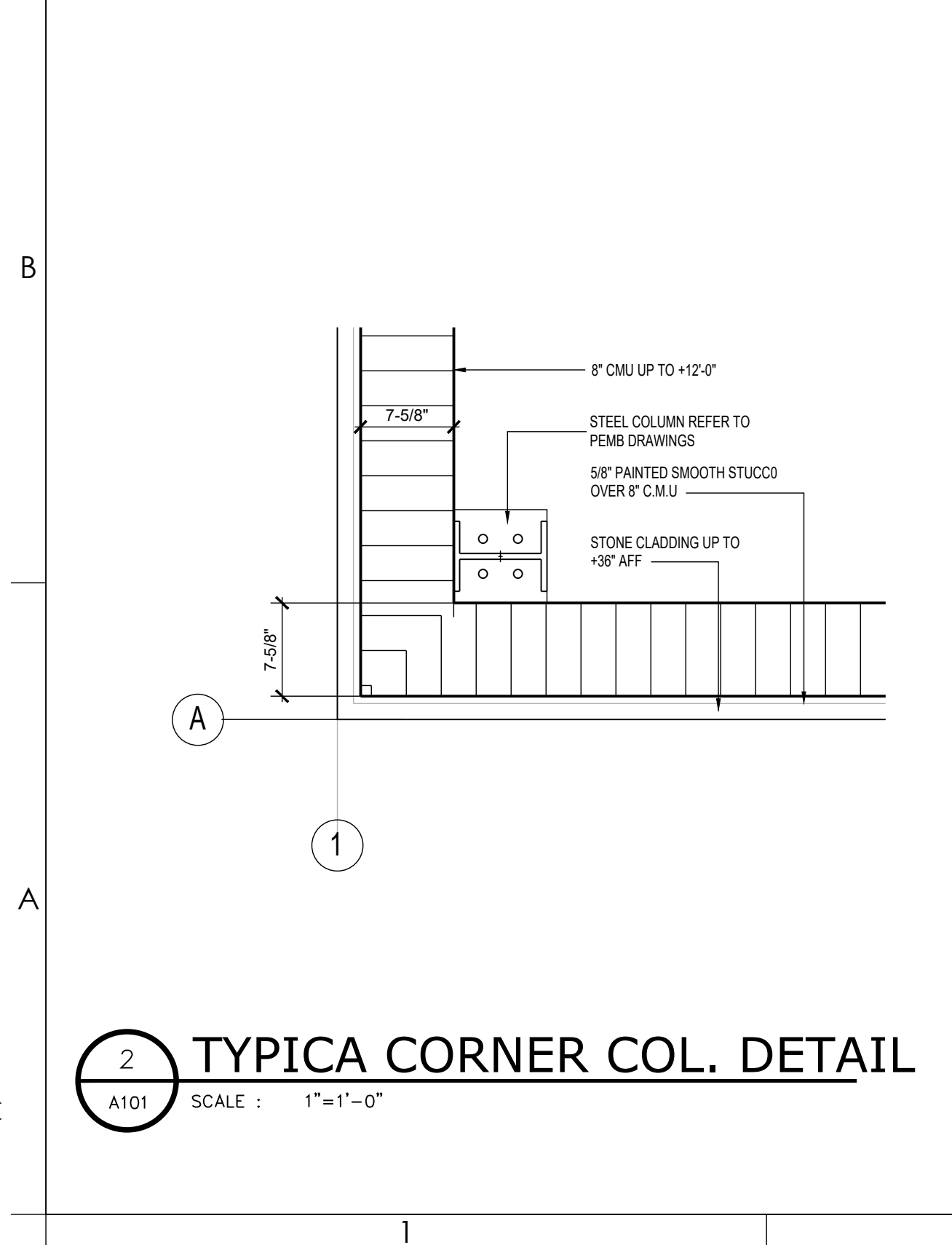
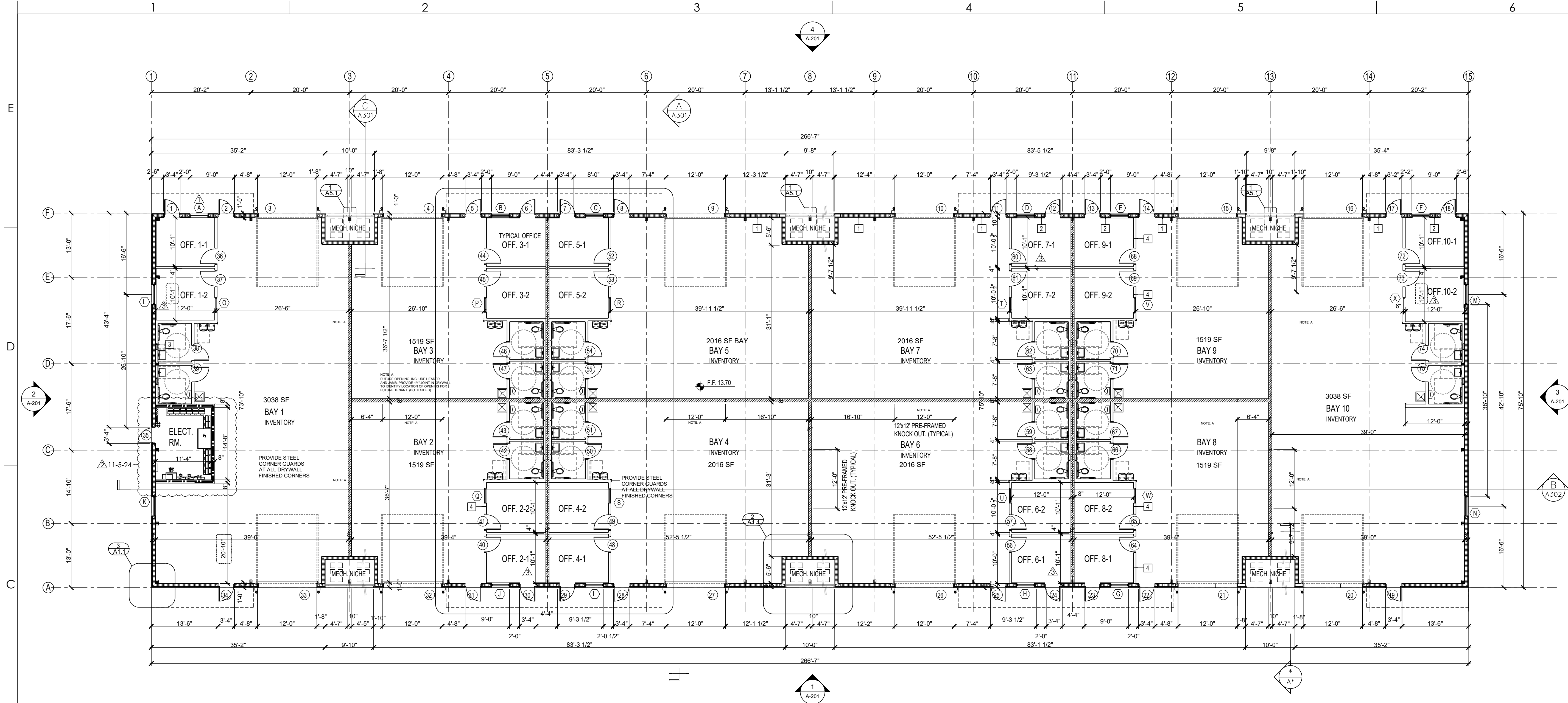
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SITE FENCE

[DRAWING NUMBER]

AS1.05

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GHA
GALLO HERBERT ARCHITECTS
1311 W NEWPORT CENTER DRIVE DEER BEACH, FLORIDA 33442
P: 813.417.8411 F: 813.417.8412

PROJECT:
DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL 33444

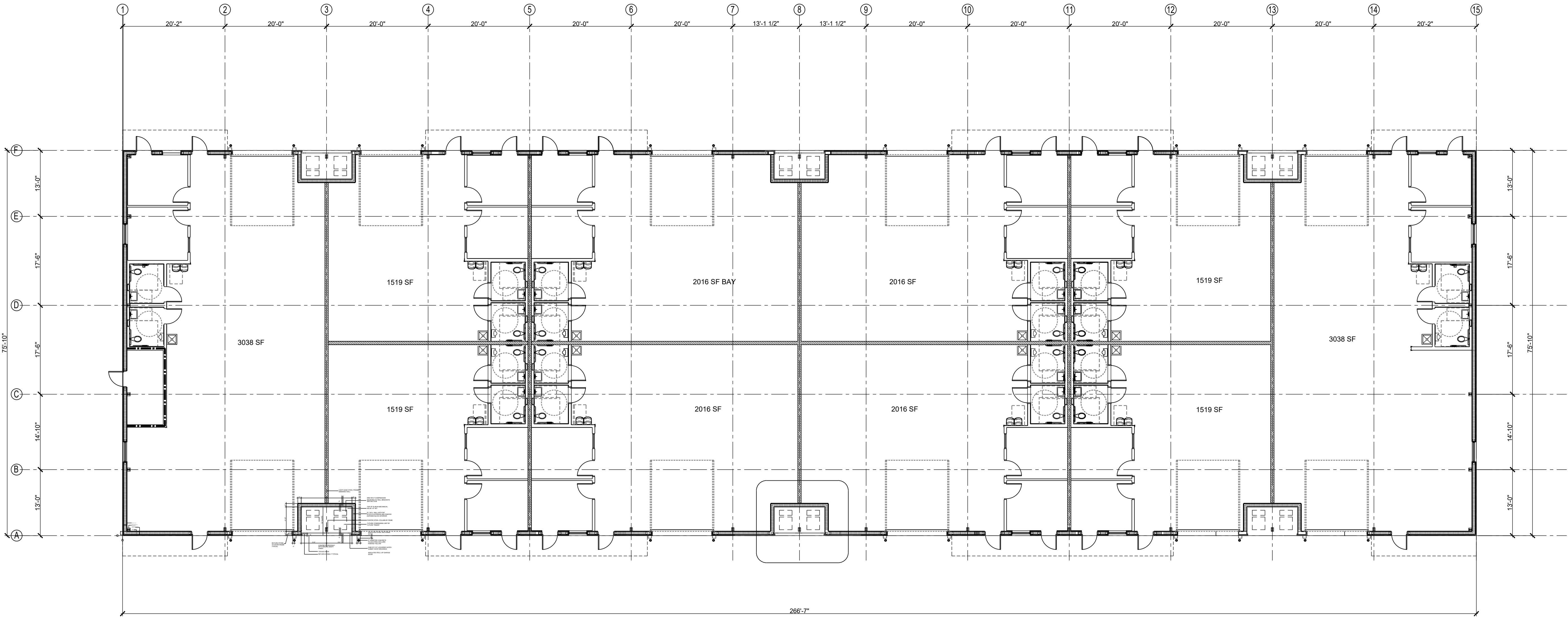
OWNER:

REVISIONS:

No.	Description	Date
1	PERMIT / BID	4/29/24
2	GLAZING TAGS	6-5-24
3	ELECTRICAL RM.	11-5-24
4	DIMENSION CLAR.	4-2-25
5	DIMENSION CLAR.	4-9-25

PROJECT STATUS: PERMIT / BID
DATE: 2022
PROJECT NUMBER: 6322
SCALE: AS NOTED
DRAWN BY: AD / NA
CHECKED BY: [Signature]
DRAWING TITLE: FLOOR PLAN
DRAWING NUMBER: A-101

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1

A101

COLUMN DIMENSIONS PLAN

SCALE : 3/32"=1'-0"

15' 30' 60'

NORTH

GHA

GALLO HERBERT ARCHITECTS

331 WINDYBROOK CIRCLE, SUITE 100
DELRAY BEACH, FL 33444
P: 561.954.0300 F: 561.954.7940

AA26001731

PROJECT
DELRAY INDUSTRIAL PROPERTIES, LLC

OWNER
905 SW 14TH AVE
DELRAY BEACH, FL 33444

REVISIONS		
No.	Description	Date
1	PERMIT / BID	4/29/24

PROJECT STATUS

PERMIT / BID

DATE

2022

PROJECT NUMBER

6322

SCALE

AS NOTED

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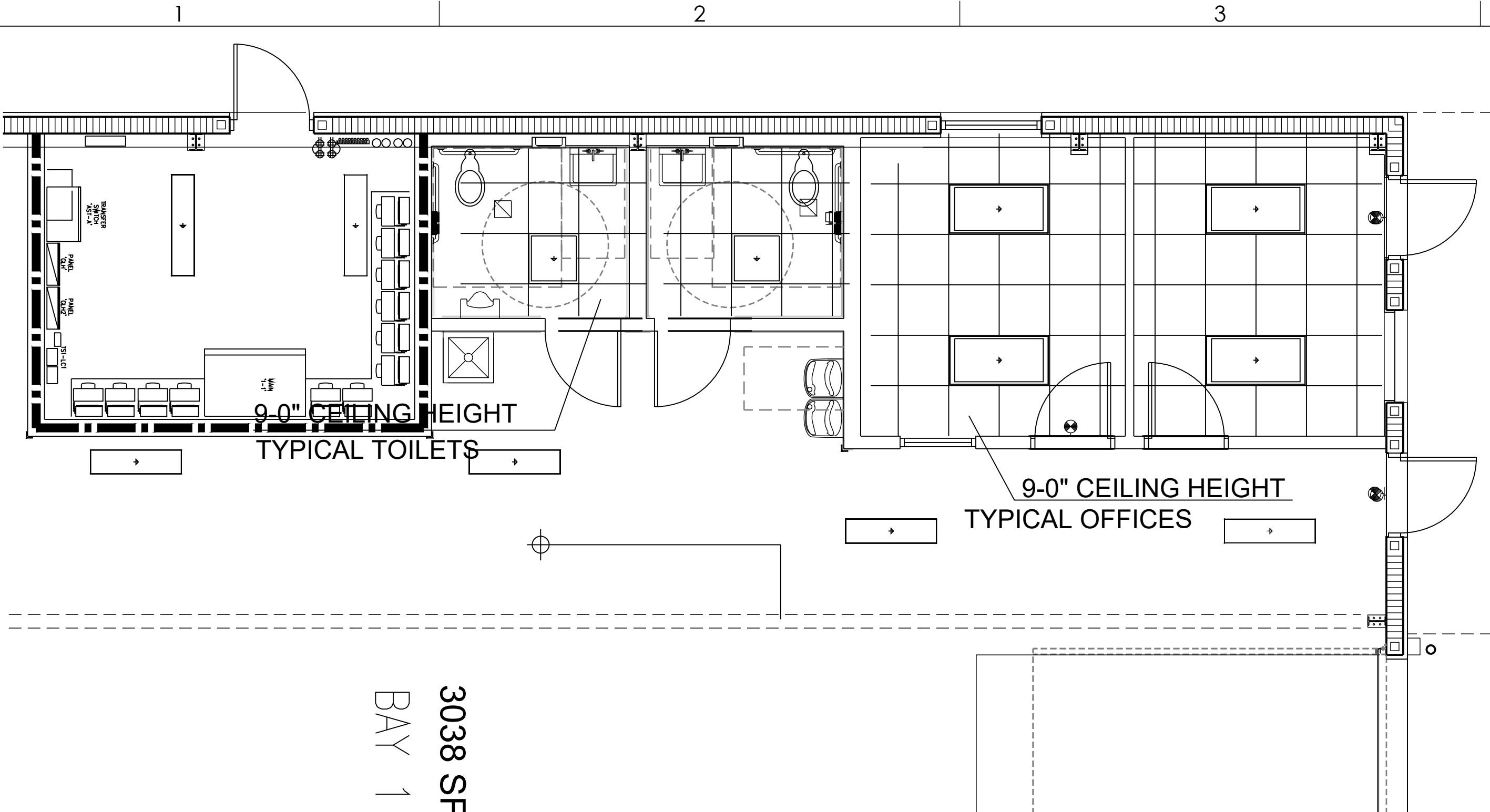
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COLUMN DIMENSION PLAN

DRAWING NUMBER

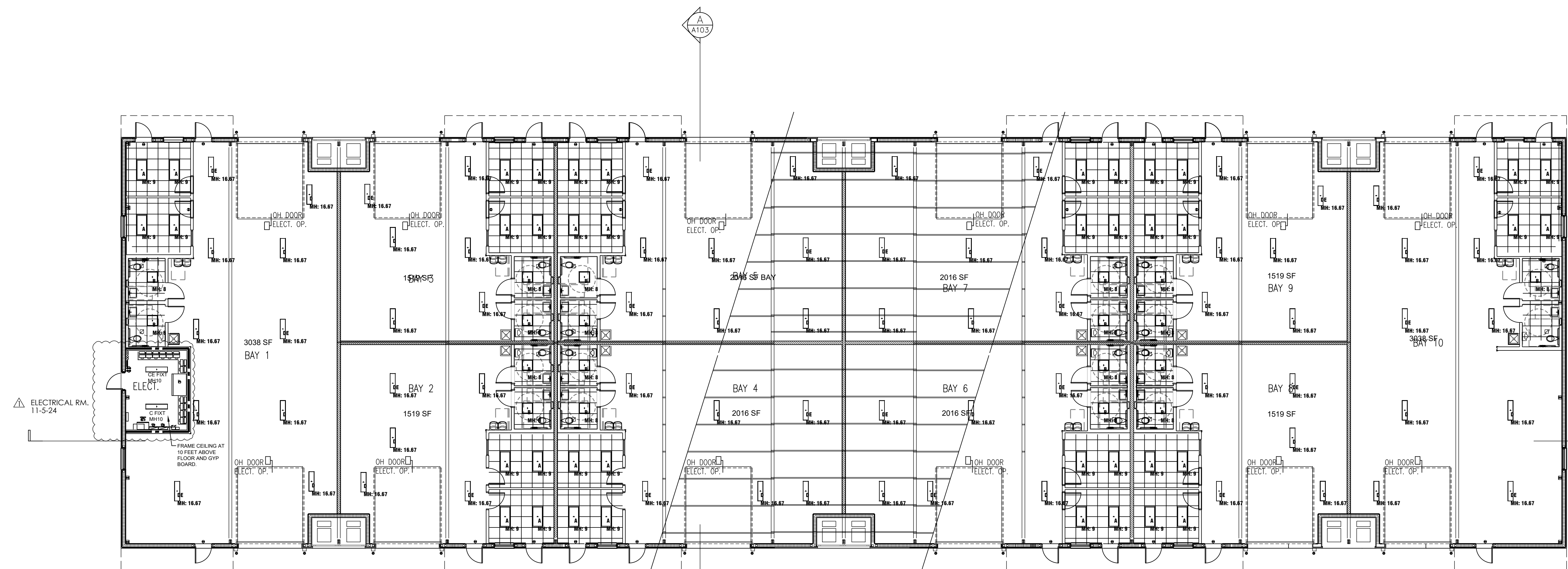
A-101

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Luminaire Schedule						
Project: 8_29_2023 DELRAY INDUSTRIAL PROPERTIES - REV1 - ALT						
Symbol	Label	Arrangement	LLD	Luminaire Watts	Total Watts	Description
	A	Single	0.000	29	1160	HE WILLIAMS BP-24-L5-8CS-DIM-UNV_BP245MM-W SET TO_30W_3500K
	B	Single	0.000	25	500	HE WILLIAMS BP-2-2-L5-8CS-DIM-UNV_BP245MM-W SET TO_25W_3500K
	C	Single	0.000	42.3	42.3	HE WILLIAMS 17-4-L55-840-AF-DIM-UNV
	CE	Single	0.000	42.3	42.3	HE WILLIAMS 17-4-L55-840-AF-EM_10WLP-DIM-UNV
	D	Single	0.000	79.4	3652.4	HE WILLIAMS GH-4-L120-840-FA-VBY2-WS-FSP-321B-Lux-120_480-DIM-UNV
	DE	Single	0.000	79.4	2064.4	HE WILLIAMS GH-4-L120-840-FA-EM_20W-VBY2-WS-FSP-321B-Lux-120_480-DIM-UNV

2 REFLECTED CEILING PLAN
A102 SCALE : 1/4"=1'-0"
LOWER LEVEL TYPICAL



1 REFLECTED CEILING PLAN
A102 SCALE : 3/32"=1'-0"
0 15' 30' 60' NORTH



PROJECT
DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL 33444

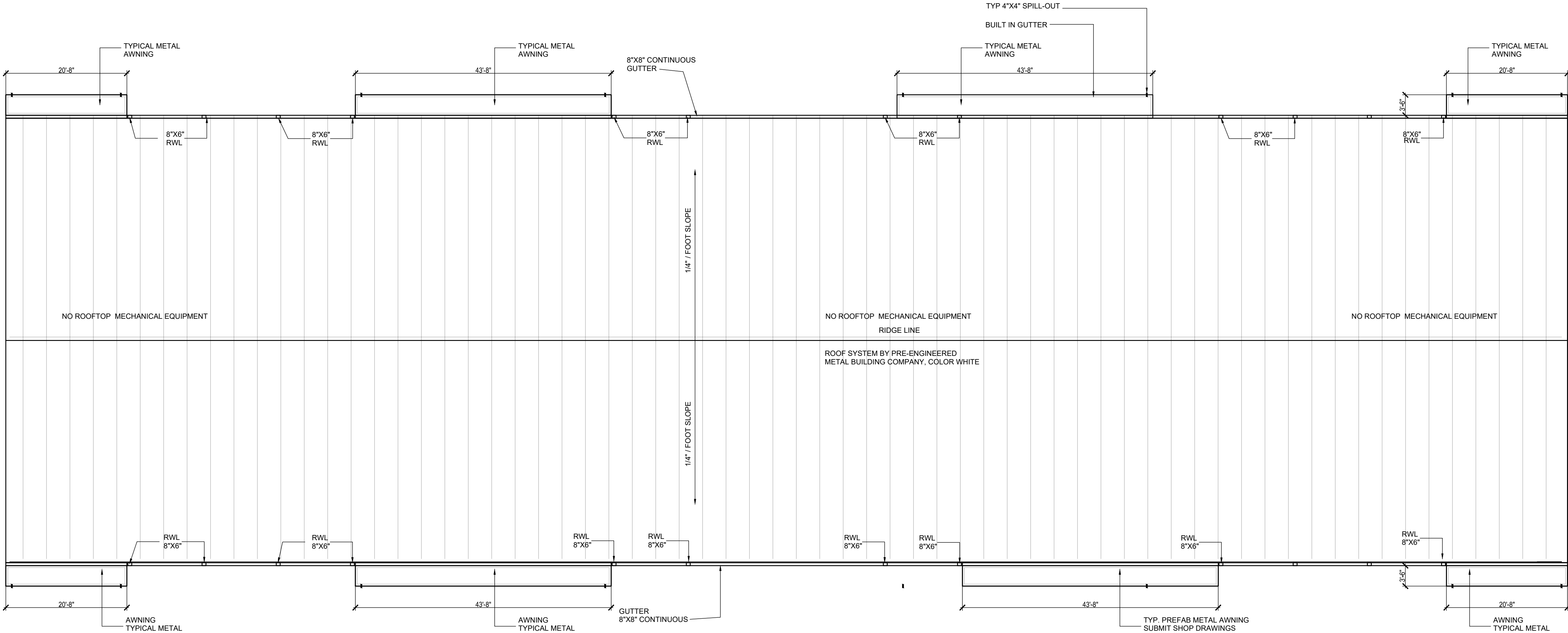
OWNER

REVISIONS		
No.	Description	Date
1	PERMIT / BID	4/29/24
2	ELECTRICAL RM.	11-5-24

PROJECT STATUS
PERMIT / BID
DATE
2022
PROJECT NUMBER
6322
SCALE
AS NOTED
DRAWN BY
AD / NA
CHECKED BY
DRAWING TITLE

REFLECTED CEILING PLAN
DRAWING NUMBER
A-102

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1 ROOF PLAN
A-103 SCALE : 3/32" = 1'-0"



PROJECT
DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL 33444

REVISIONS

No.	Description	Date
1	PERMIT / BID	4/29/24

PROJECT STATUS
PERMIT / BID

DATE
2022

PROJECT NUMBER
6322

SCALE
AS NOTED

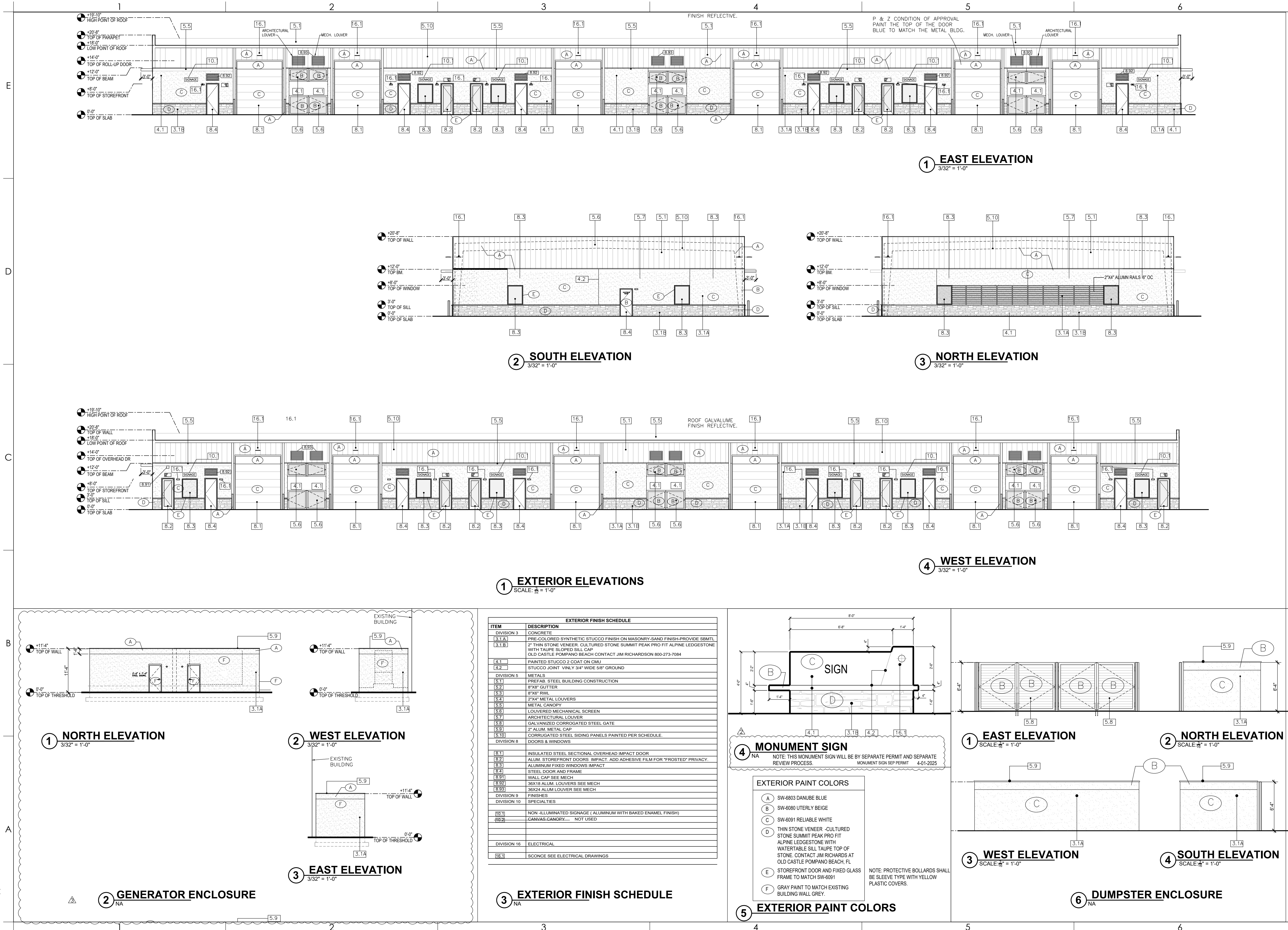
DRAWN BY
AD / NA

CHECKED BY

DRAWING TITLE
ROOF PLAN

DRAWING NUMBER
A-103

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GHA
GALLO HERBERT ARCHITECTS
331 WINDYBROOK CIRCLE, DELRAY BEACH, FL 33444
P 954.794.0300 F 954.794.0301

AA26001731

[SEAL]

PROJECT

DELRAY INDUSTRIAL PROPERTIES, LLC

905 SW 14TH AVE
DELRAY BEACH, FL 33444

OWNER

[REVISIONS]		
No.	Description	Date
1	PERMIT / BID	4/29/24
2	P & Z CONDITIONS	1-30-2025
3	MONUMENT SIGN SEP PERMIT	4-01-2025
4	UPDATE GENERATOR ENCL.	5-1-2025

PROJECT STATUS

PERMIT

DATE

PROJECT NUMBER

6322

SCALE

AS NOTED

DRAWN BY

AD / NA

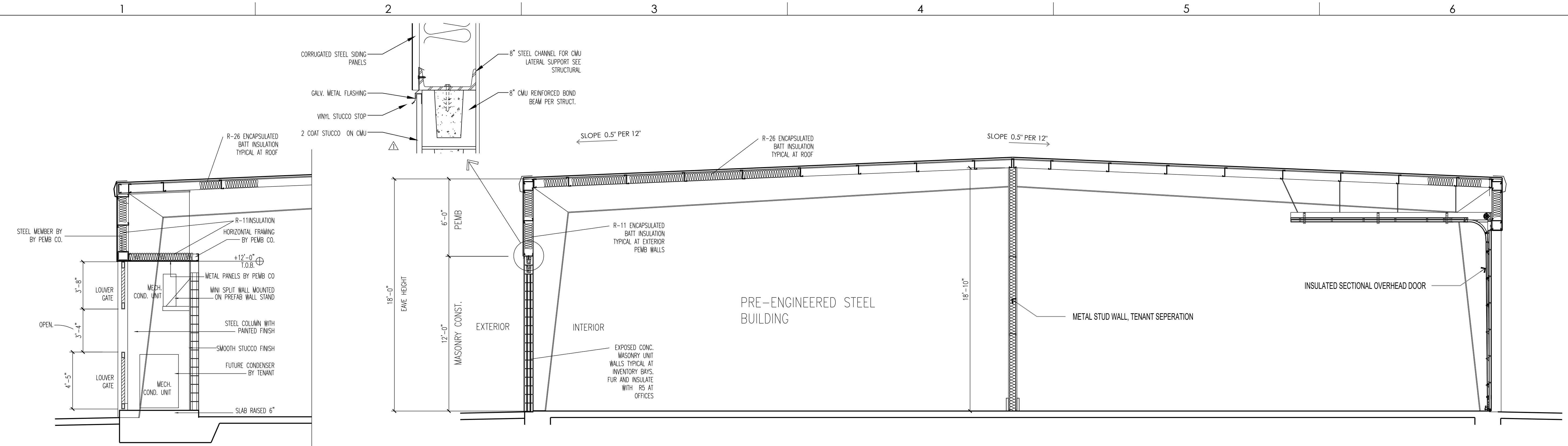
CHECKED BY

DRAWING TITLE

EXTERIOR ELEVATIONS

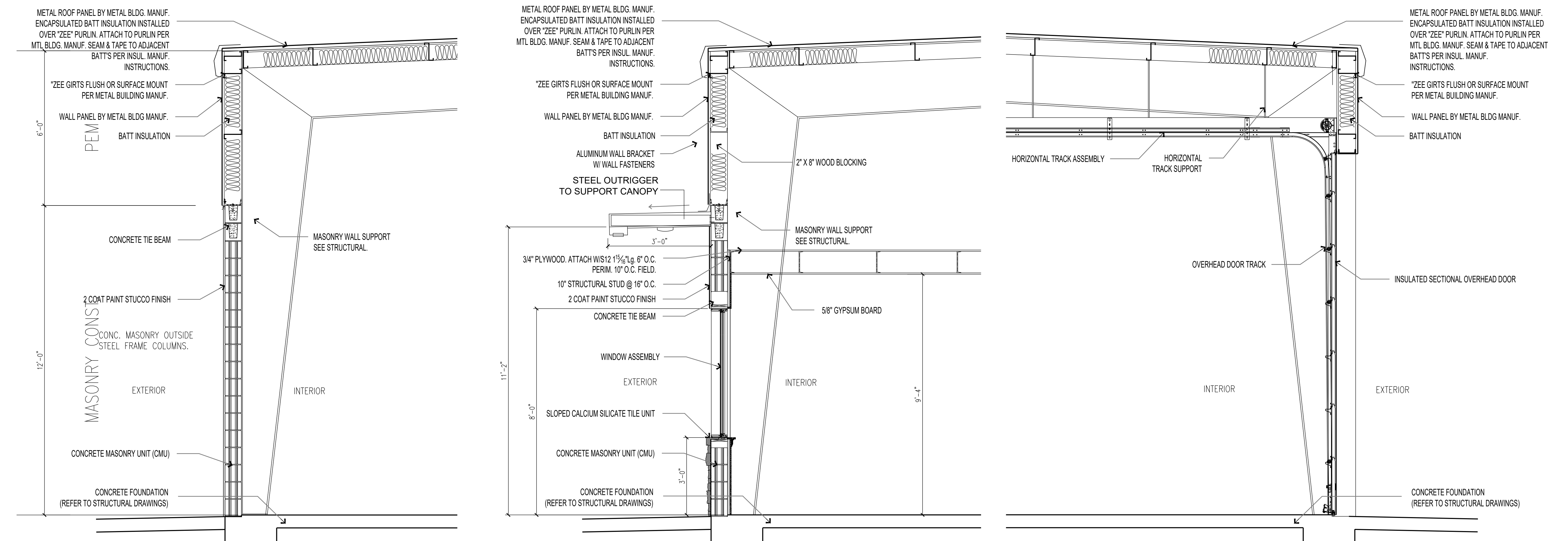
DRAWING NUMBER

A-201



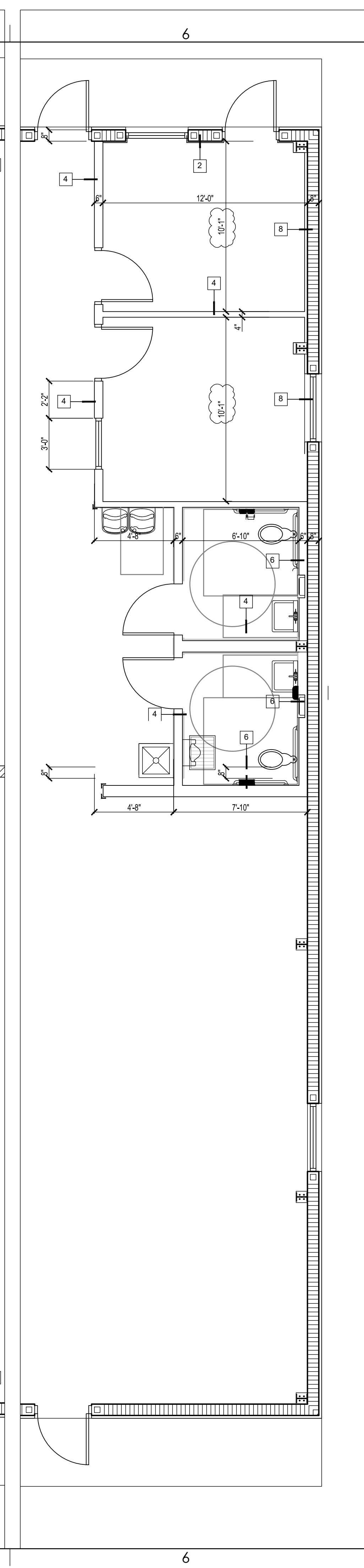
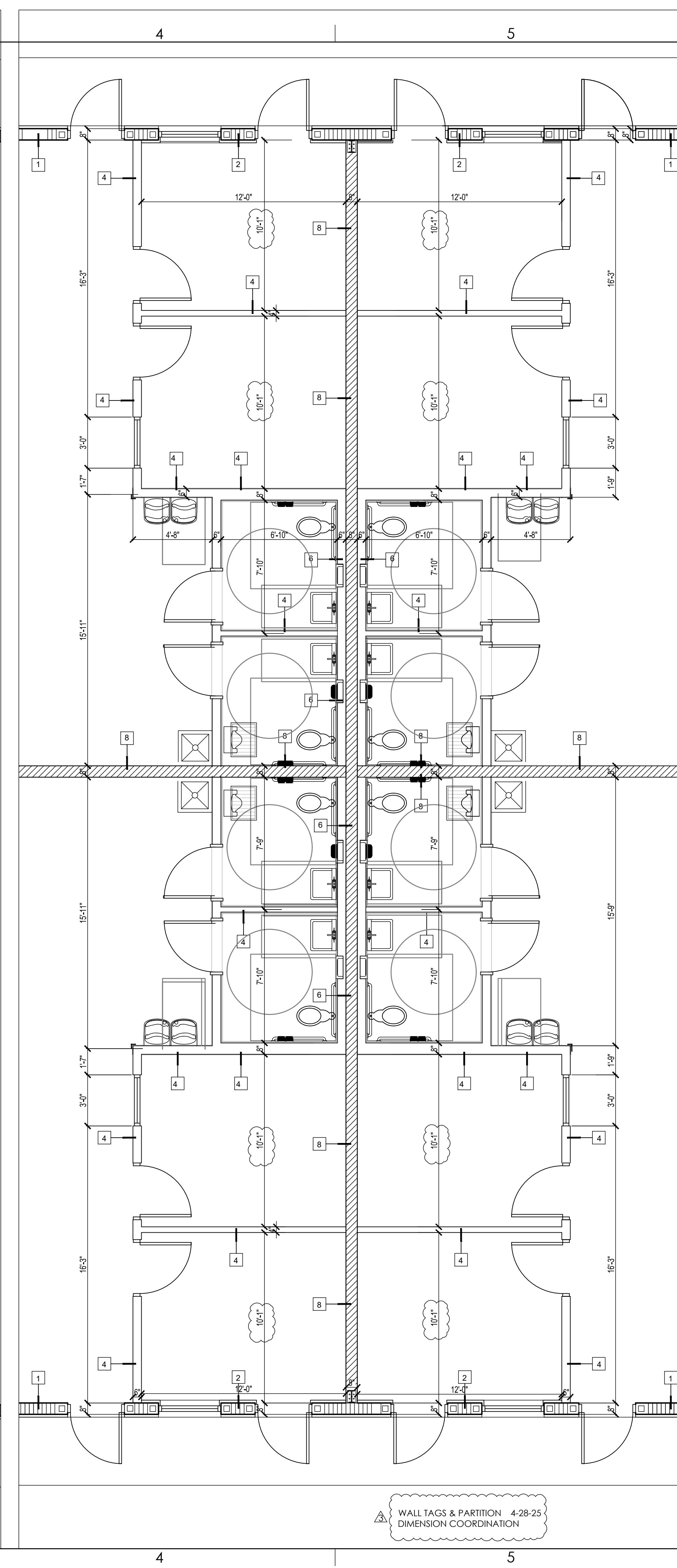
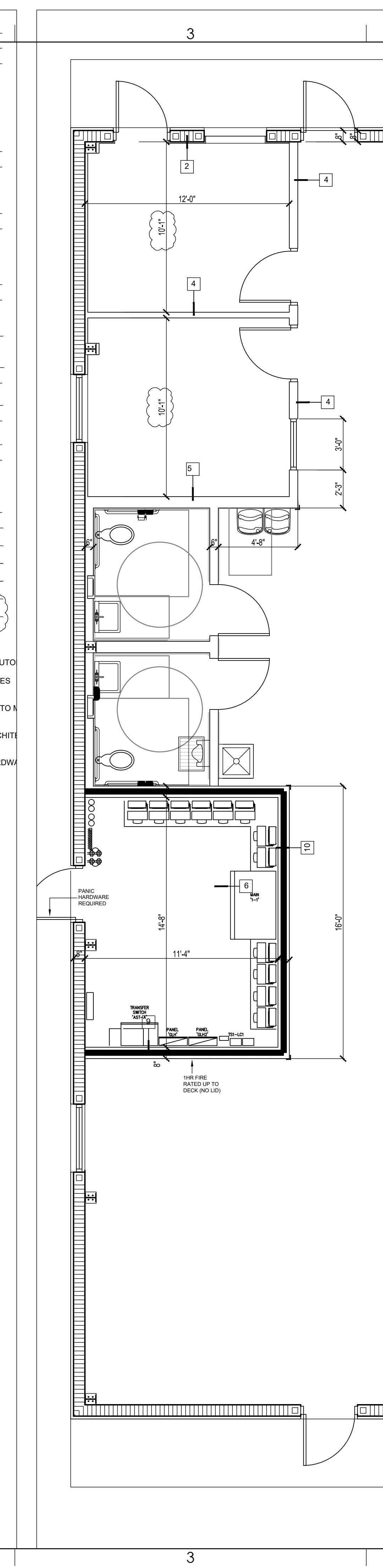
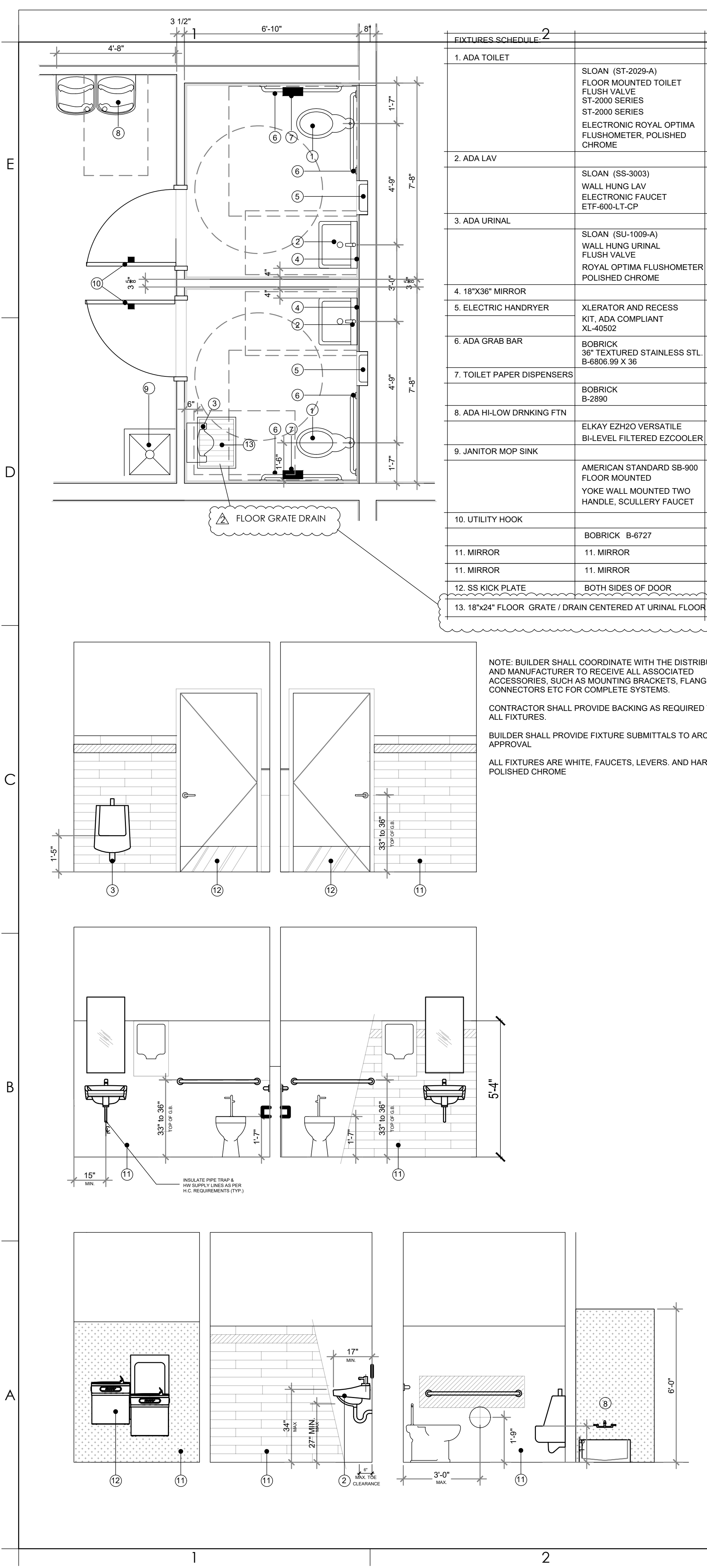
SECTION AT MECHANICAL NICHE

BUILDING SECTION EAST / WEST



1,2,3 WALL SECTIONS
A-3 SCALE : 1/2"=1'-0"

[illegible]



E	<div style="border-bottom: 1px solid black; height: 10px; margin-bottom: 5px;"></div>	
	D	
	C	
	B	
A		

AA26001731

GHALLO HERBERT ARCHITECTS

1311 W NEWPORT CENTER DRIVE DEERFIELD BEACH, FLORIDA 33442
P H . 9 5 4 . 7 9 4 . 0 3 0 0 F X . 9 5 4 . 7 9 4 . 0 3 0 1

PROJECT

7'-7"

DELRAY INDUSTRIAL PROPERTIES, LLC

**905 SW 14TH AVE
DELRAY BEACH, FL
33444**

OWNER

REVISIONS

No.	Description	Date
⚠️	PERMIT / BID	4/29/24
⚠️	DIMENSION CLAR.	4-2-25
⚠️	FLOOR GRATE DRAIN	4-14-25
⚠️	PERMIT SET	4-28-25

PROJECT STATUS

PERMIT

DATE

PROJECT NUMBER

6322

SCALE

AS NOTED

DRAWN BY

AD / NA

DRAWING TITLE

EXP. PLANS / DETAILS

DRAWING NUMBER

A401

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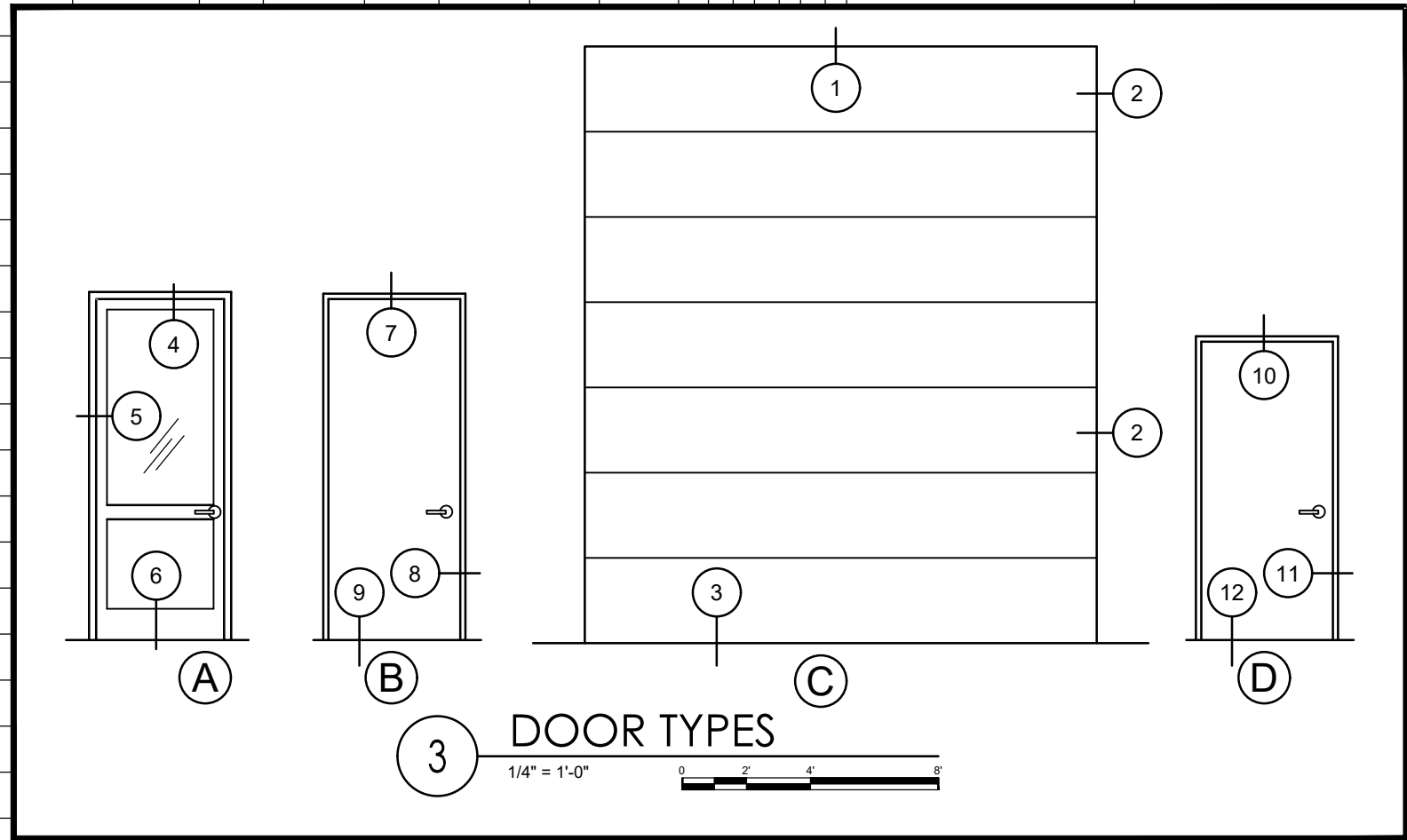
EXTERIOR DOOR SCHEDULE

MARK	LOCATION	ELEVATIONS	SIZE			DOOR TYPE	FRAME MATERIAL	DOOR MATERIAL	FRAME FINISH	ALUM COLOR STOREFRONT	DESIGN PRESSURE (PSF)		PRODUCT PRESSURE (PSF)	ZONE	PRODUCT APPROVAL N.O.A.	APPROVED FOR H.V.H.Z.	DETAILS			HRDW	REMARKS
			WIDTH	HEIGHT	THICKNESS												HD	JMB	SIL		
1	OFFICE 1-1	A	3'-0"	8'-0"	1-3/4"	SWING	ALUM	ALUM	ANODIZED	TAUPE	*	*	+70.0PSF -70.0PSF	5	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
2	BAY 1 WEST	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
3	BAY 1 INVENTORY WEST	C	12'-0"	14'-0"	1 3/8"	OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
4	BAY 3 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
5	BAY 3	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
6	OFFICE 3-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
7	OFFICE 5-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
8	BAY 5	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
9	BAY 5 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		TRULITE 351 ALUM OUTSWING DR L.M.I.
10	BAY 7 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
11	BAY 7	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
12	OFFICE 7-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
13	OFFICE 9-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
14	BAY 9	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
15	BAY 9 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
16	BAY 10 INVENTORY WEST	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
17	BAY 10 WEST	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
18	OFFICE 10-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	5	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
19	BAY 10 EAST	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
20	BAY 10 INVENTORY EAST	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
21	BAY 8 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
22	BAY 8	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
23	OFFICE 8-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
24	OFFICE 6-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
25	BAY 6	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
26	BAY 6 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
27	BAY 4 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
28	BAY 4	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
29	OFFICE 4-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
30	OFFICE 2-1	A	3'-0"	8'-0"	1-3/4"	STOREFRONT	ALUM.	ALUM.	WHITE				+70.0PSF -70.0PSF	4	20-0424.01	YES	4	5	6		TRULITE 351 ALUM OUTSWING DR L.M.I.
31	BAY 2	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
32	BAY 2 INVENTORY	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
33	BAY 1 INVENTORY EAST	C	12'-0"	14'-0"		OVER HEAD	STEEL	STEEL	PAINT	TAUPE			+46PSF -52PSF	4	20-1106.10	YES	1	2	3		INSULATED OVERHEAD OHD MODEL 515 R-6.7 MICROGROOVE
34	BAY 1	B	3'-0"	8'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, LEVER HANDLE, DEADBOLT
35	ELECTRIC ROOM	B	3'-0"	7'-0"	1-3/4"	SWING	STEEL	STEEL	PAINT	TAUPE			+75.0PSF -75.0PSF	4	24-0703.01	YES	7	8	9		INSULATED IMPACT STEEL FLUSH DOOR, WITH PANIC HARDWARE

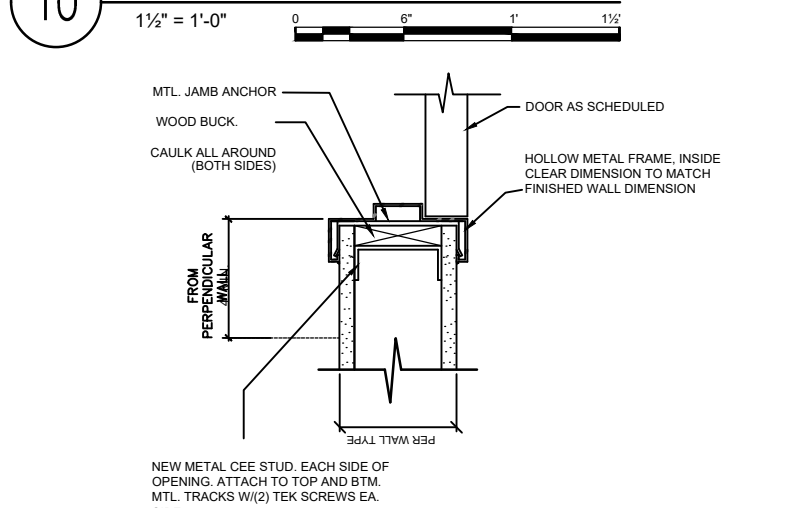
UPDATE SWING DR NOA

INTERIOR DOOR SCHEDULE

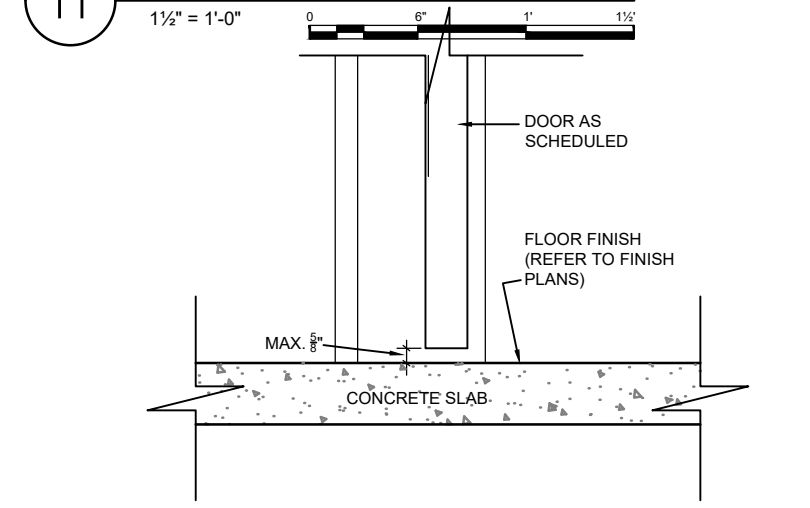
MARK	LOCATION	ELEVATIONS	SIZE			FIRE RATING	DOOR TYPE	FRAME MATERIAL	DOOR MATERIAL	FRAME FINISH	DETAILS			HRDW	REMARKS
			WIDTH	HEIGHT	THICKNESS						HD	JMB	SIL		
36	OFFICE 1-1	D	3'-0"	7'-0"	1 3/8"	NOT REQD	WOOD SOLID CORE	STEEL	WOOD	PAINT	10	11	12		INTERIOR DOORS SOLID CORE WD. WITH STEEL FRAMES. PAINT GRADE
37	OFFICE 1-2														
38	TOILET WEST BAY 1														
39	TOILET EAST BAY 1														
40	OFFICE 2-1														
41	OFFICE 2-2														
42	TOILET EAST BAY 2														
43	TOILET WEST BAY 2														
44	OFFICE 3-1														
45	OFFICE 3-2														
46	TOILET WEST BAY 3														
47	TOILET EAST BAY 3														
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52	OFFICE 5-1														
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63	TOILET EAST BAY 7														
64	OFFICE 8-1														
65	OFFICE 8-2														
66	TOILET WEST BAY 8														
67	TOILET EAST BAY 8														
68	OFFICE 9-1														
69	OFFICE 9-2														
70	TOILET WEST BAY 9														
71	TOILET EAST BAY 9														
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73	OFFICE 10-2														
74	TOILET WEST BAY 10														
75	TOILET EAST BAY 10														



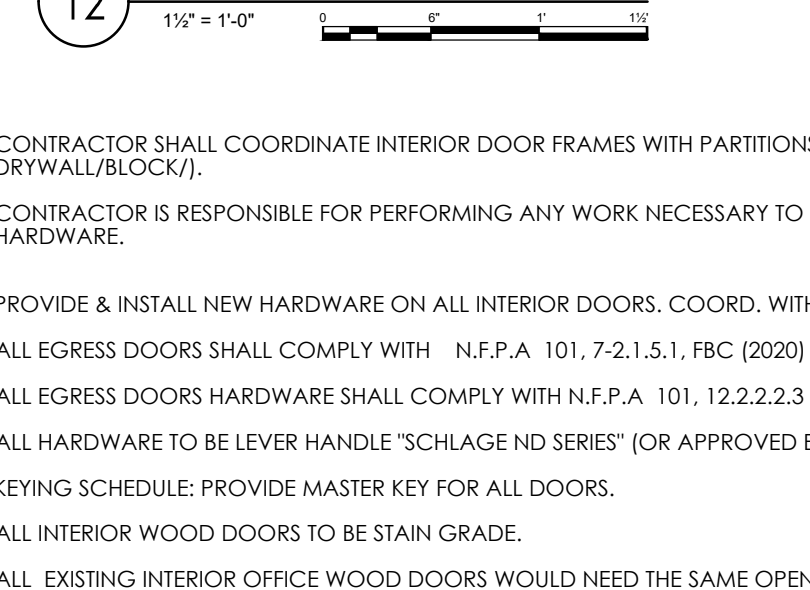
10 INTERIOR DOOR HEAD DETAIL



11 INTERIOR DOOR JAMB DETAIL

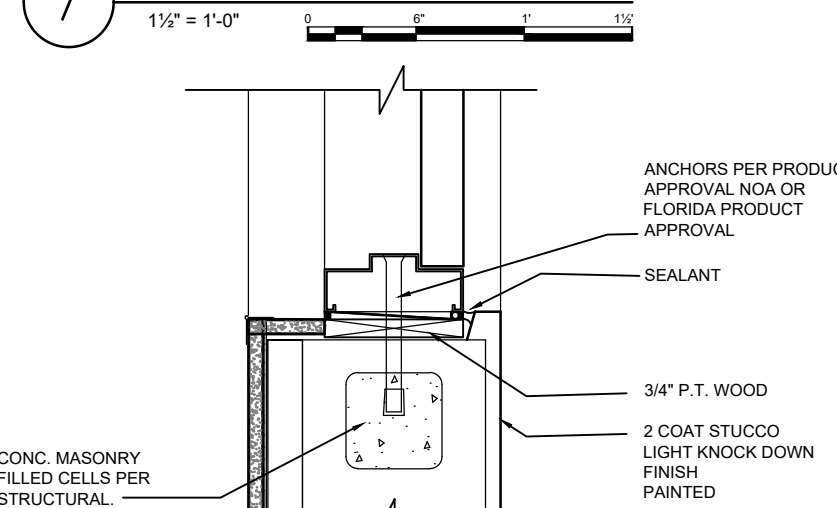


12 INTERIOR DOOR SILL DETAIL

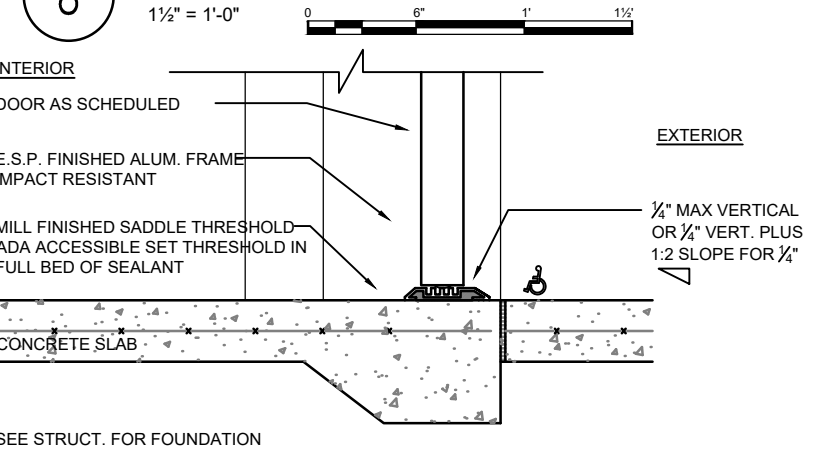


1. CONTRACTOR SHALL COORDINATE INTERIOR DOOR FRAMES WITH PARTITIONS' THICKNESS. (ALL DOORS TO BE FLUSH WITH SURROUNDING DRYWALL/BLOCK/).
2. CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY WORK NECESSARY TO COMPLETE THE PROPER INSTALLATION OF DOORS, FRAMES, AND HARDWARE.
3. PROVIDE & INSTALL NEW HARDWARE ON ALL INTERIOR DOORS. COORD. WITH OWNER.
4. ALL EGRESS DOORS SHALL COMPLY WITH N.F.P.A. 101, 7-2.1.5.1, FBC (2020) SECTION 1008 & FBC 11-4.1.3(7), 11-4.1.3.9 AND 11-4.1.3
5. ALL EGRESS DOORS HARDWARE SHALL COMPLY WITH N.F.P.A. 101, 12.2.2.3
6. ALL HARDWARE TO BE LEVER HANDLE "SCHLAGE ND SERIES" (OR APPROVED EQUAL), AND TO COMPLY WITH F.B.C. 2020, CH. 11
7. KEYING SCHEDULE: PROVIDE MASTER KEY FOR ALL DOORS.
8. ALL INTERIOR WOOD DOORS TO BE STAIN GRADE.
9. ALL EXISTING INTERIOR OFFICE WOOD DOORS WOULD NEED THE SAME OPENING AS DOOR ELEVATION D.

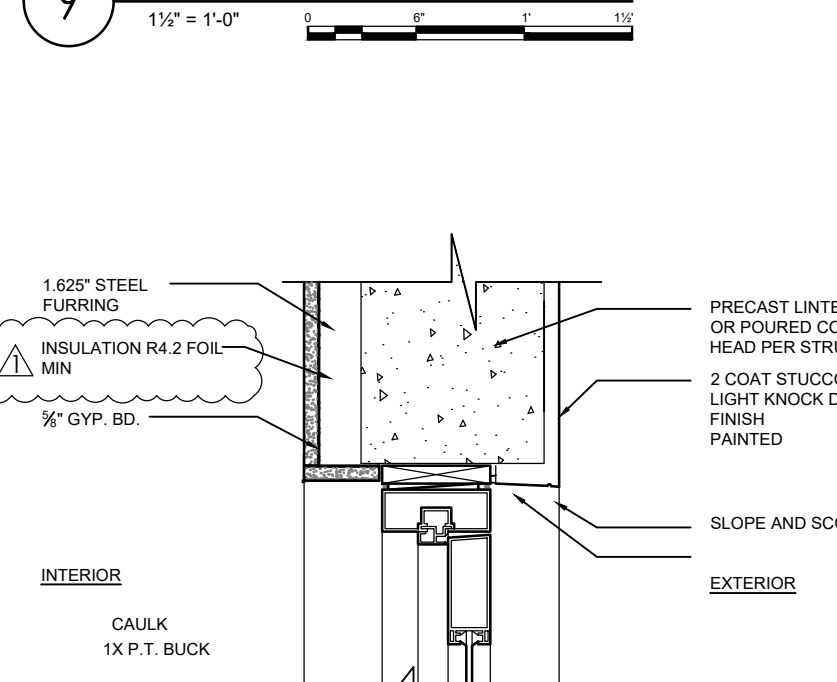
7 EXTERIOR DOOR HEAD DETAIL



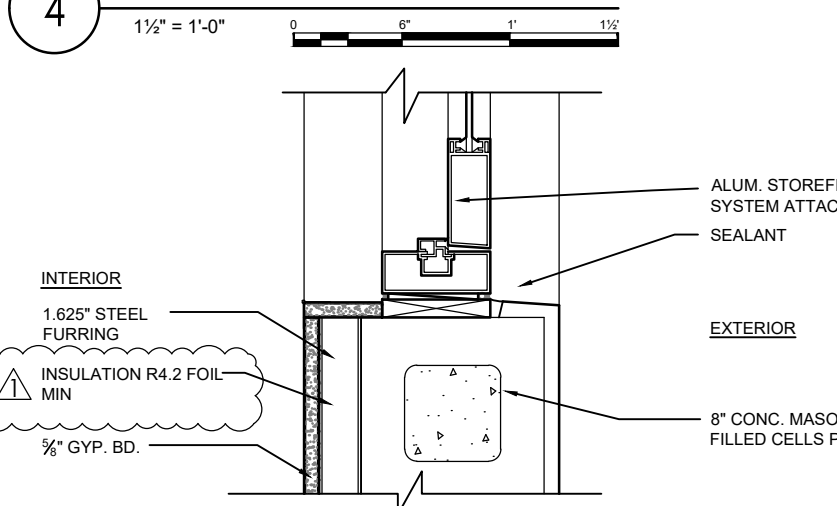
8 EXTERIOR DOOR JAMB DETAIL



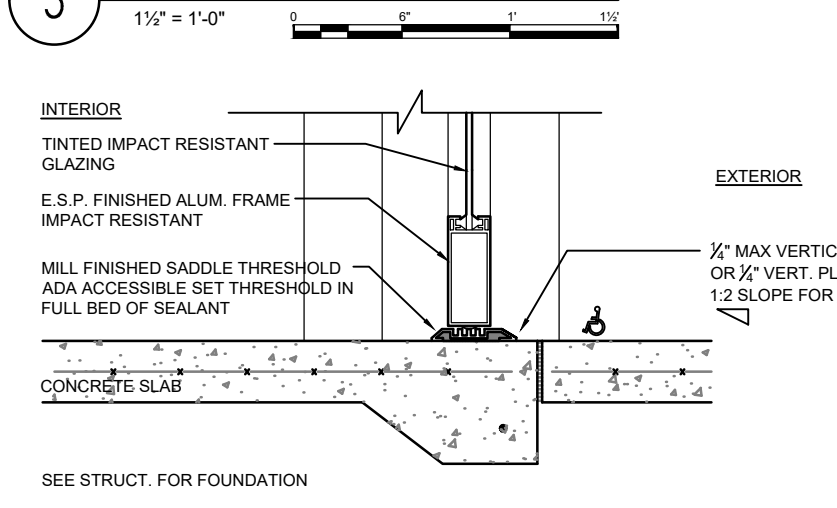
9 EXTERIOR DOOR SILL DETAIL



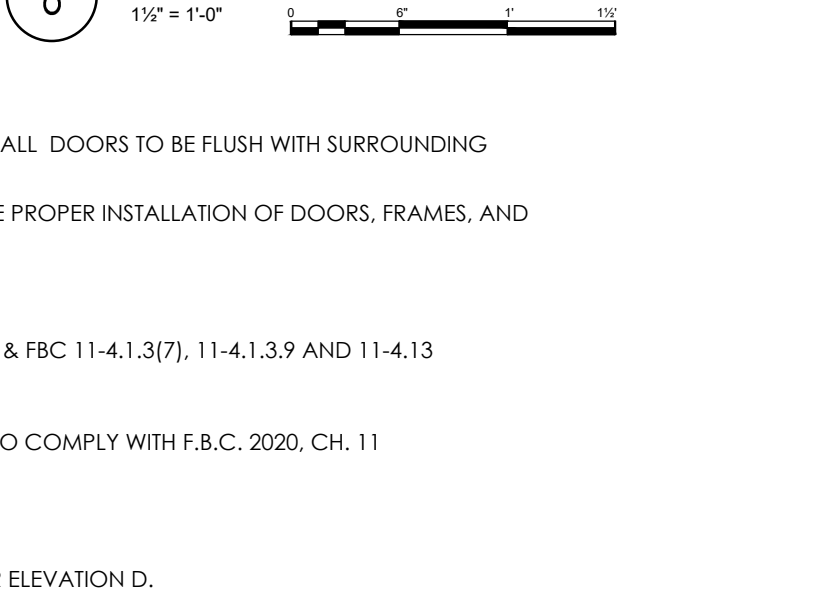
4 STOREFRONT DOOR HEAD



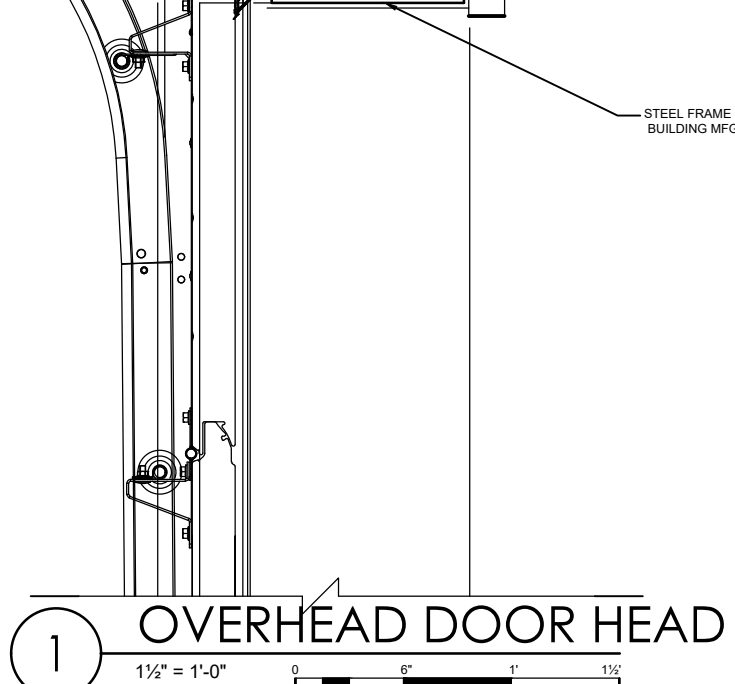
5 STOREFRONT DOOR JAMB



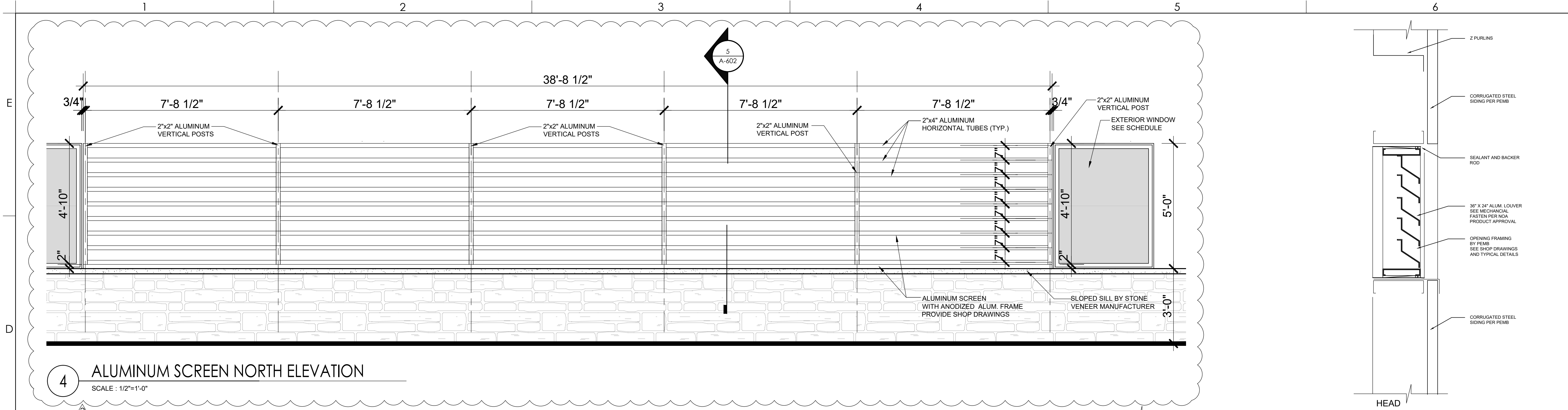
6 STOREFRONT DOOR SILL



1 OVERHEAD DOOR HEAD



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EXTERIOR GLASS SCHEDULE

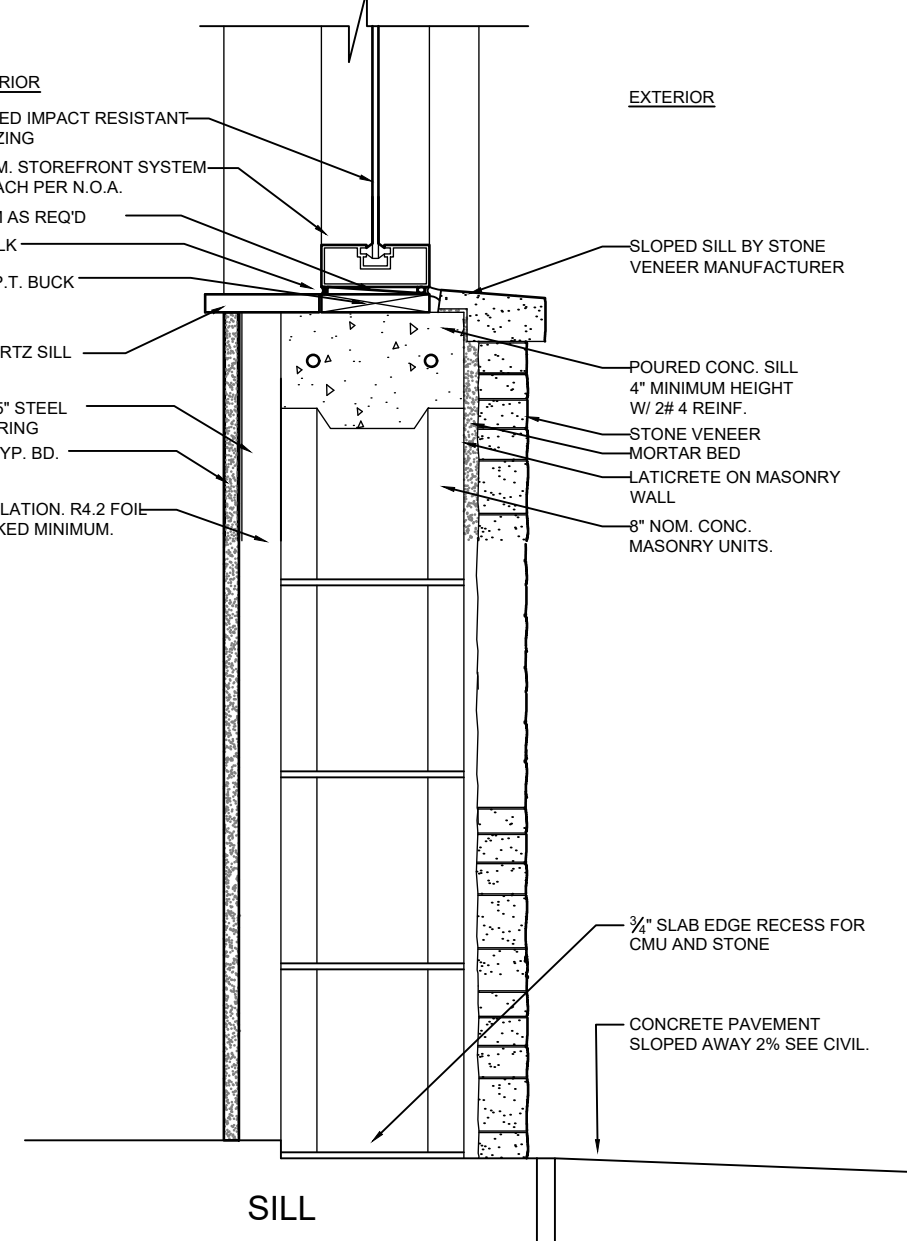
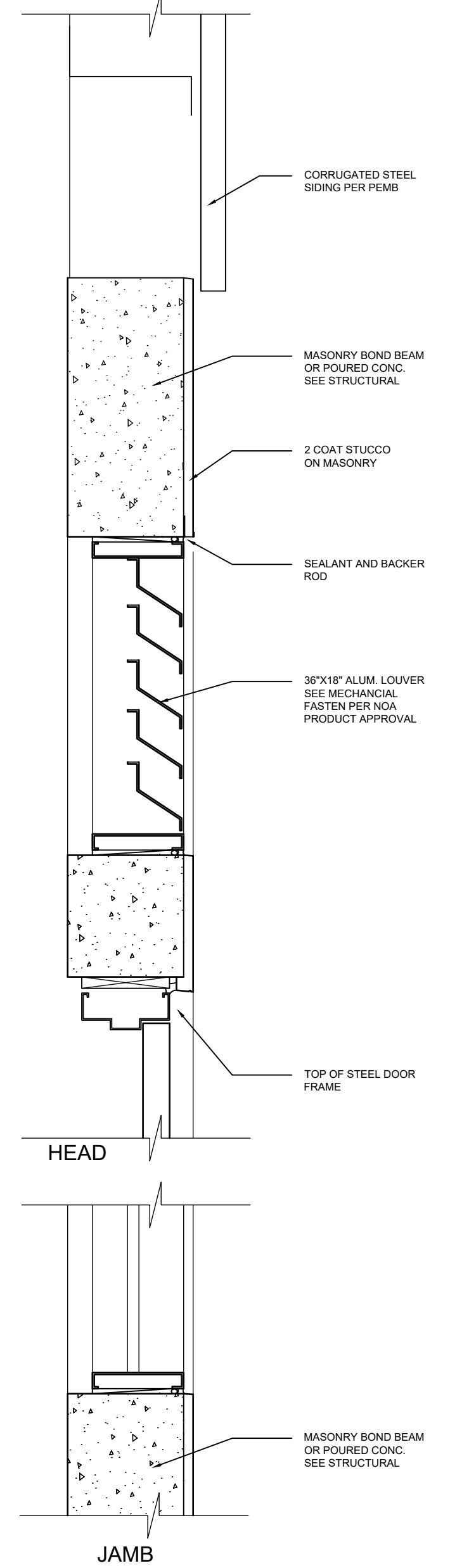
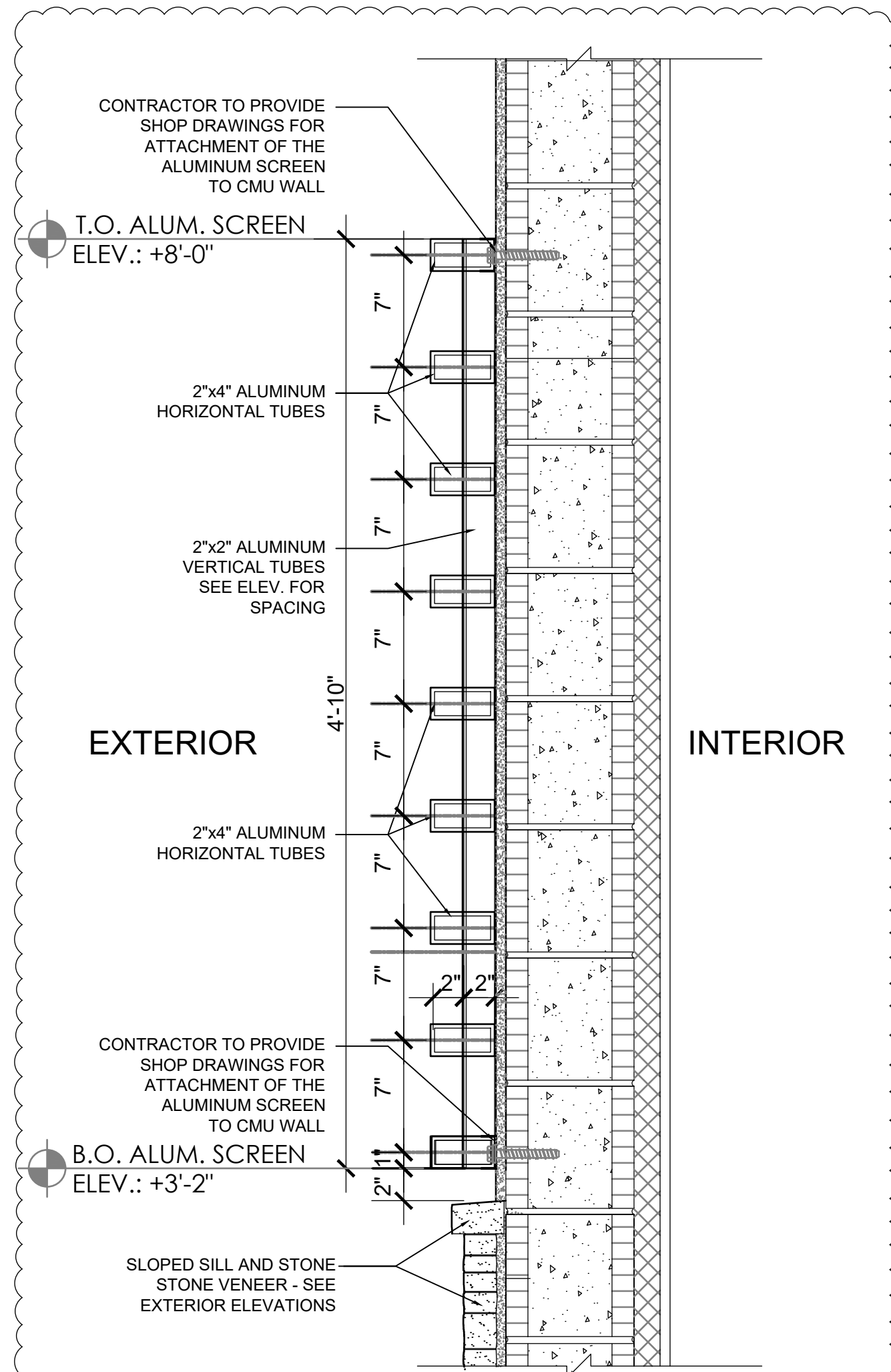
MARK	SIZE	MASONRY OPENING	FRAME MATERIAL	FRAME COLOR	DESIGN PRESSURE (PSF)	PRODUCT PRESSURE (PSF)	ZONE	PRODUCT APPROVAL N.O.A.	DETAILS THIS SHEET	REMARKS
	WIDTH HEIGHT	WIDTH HEIGHT							HD JMB SIL	
A	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	TRULITE SERIES 3000 R RESISTOR
B	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
C	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
D	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
E	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
F	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
G	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
H	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
I	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
J	3'-6" 4'-10"	3'-8" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
K	3'-10" 4'-10"	4'-0" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
L	3'-10" 4'-10"	4'-0" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
M	3'-10" 4'-10"	4'-0" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	
N	3'-10" 4'-10"	4'-0" 5'-0"	ALUMINUM	WHITE	+36.0 PSF -39.0 PSF +85.0 PSF -105.0 PSF	4	24-0129.02	1 1 1	1	

GLAZING SPEC UPDATE 2-21-25
ALL EXTERIOR GLASS SHALL BE BASED ON SINGLE GLAZED LAMINATED IMPACT GLASS, VITRO ARCHITECTURAL GLASS 6MM SOLARGRAY_090PVB_6MM CLEAR
THICKNESS= 3/16" VISIBLE TRANSMITTANCE=43% U VALUE SUMMER=.85 SHADING COEFFICIENT=.61
SOLAR HEAT GAIN COEFF (SHGC)=.53

INTERIOR GLASS SCHEDULE

MARK	SIZE	FRAME MATERIAL	FRAME COLOR	REMARKS
	WIDTH HEIGHT SILL HEIGHT			
O	3'-0" 4'-0" 3'-0"	ALUMINUM	WHITE	FIXED TEMPERED CLEAR GLASS IN ALUMINUM FRAME
P	3'-6" 4'-10"	ALUMINUM	WHITE	
Q	3'-6" 4'-10"	ALUMINUM	WHITE	
R	3'-6" 4'-10"	ALUMINUM	WHITE	
S	3'-6" 4'-10"	ALUMINUM	WHITE	
T	3'-6" 4'-10"	ALUMINUM	WHITE	
U	3'-6" 4'-10"	ALUMINUM	WHITE	
V	3'-6" 4'-10"	ALUMINUM	WHITE	
W	3'-6" 4'-10"	ALUMINUM	WHITE	
X	3'-6" 4'-10"	ALUMINUM	WHITE	

GLAZING SCHEDULES 6-5-24



EXTERIOR LOUVER AT PEMB

EXTERIOR LOUVER AT MASONRY

EXTERIOR STOREFRONT WINDOW



DELAY INDUSTRIAL PROPERTIES, LLC
905 SW 14TH AVE
DELRAY BEACH, FL 33444

No.	Description	Date
1	PERMIT / BID	4/29/24
2	GLAZING SCHEDULES	6-5-24
3	GLAZING SPEC UPDATE	2-21-25
4	SCREEN DETAILS	2-27-25

PERMIT / BID
DATE 2022
PROJECT NUMBER 6322
SCALE AS NOTED
DRAWN BY AD / NA
CHECKED BY
DRAWING TITLE

STOREFRONT & LOUVER DETAILS
DRAWING NUMBER A-602