

BHASIN PROPERTIES

DEVELOPER : BHASIN PROPERTIES LLC
615 SAN MARCO DR
FORT LAUDERDALE, FL 33301

LIST OF CONTACTS

PLANNING & DEVELOPMENT SERVICES
ST. LUCIE COUNTY PLANNING DEPT.
2300 VIRGINIA AVE.
FORT PIERCE, FL 34982
(772) 466-2522

ENGINEERING/STORMWATER
ST. LUCIE COUNTY PUBLIC WORKS DEPT.
2300 VIRGINIA AVE
FORT PIERCE, FL 34982
(772) 462-1707

WATER, AND SEWER
FPUA
1701 S. 37th STREET
FORT PIERCE, FL 34947
(772) 466-1600

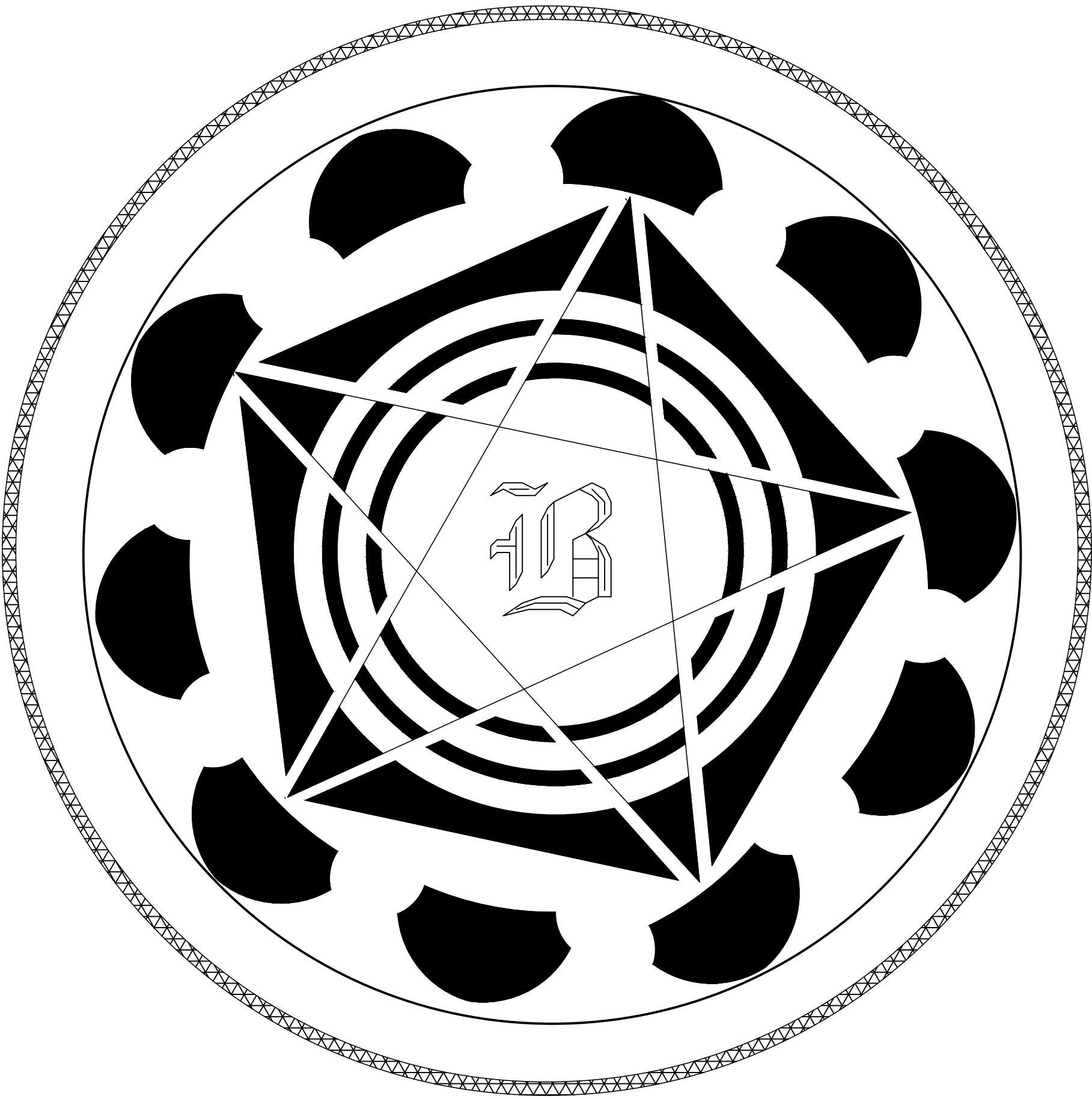
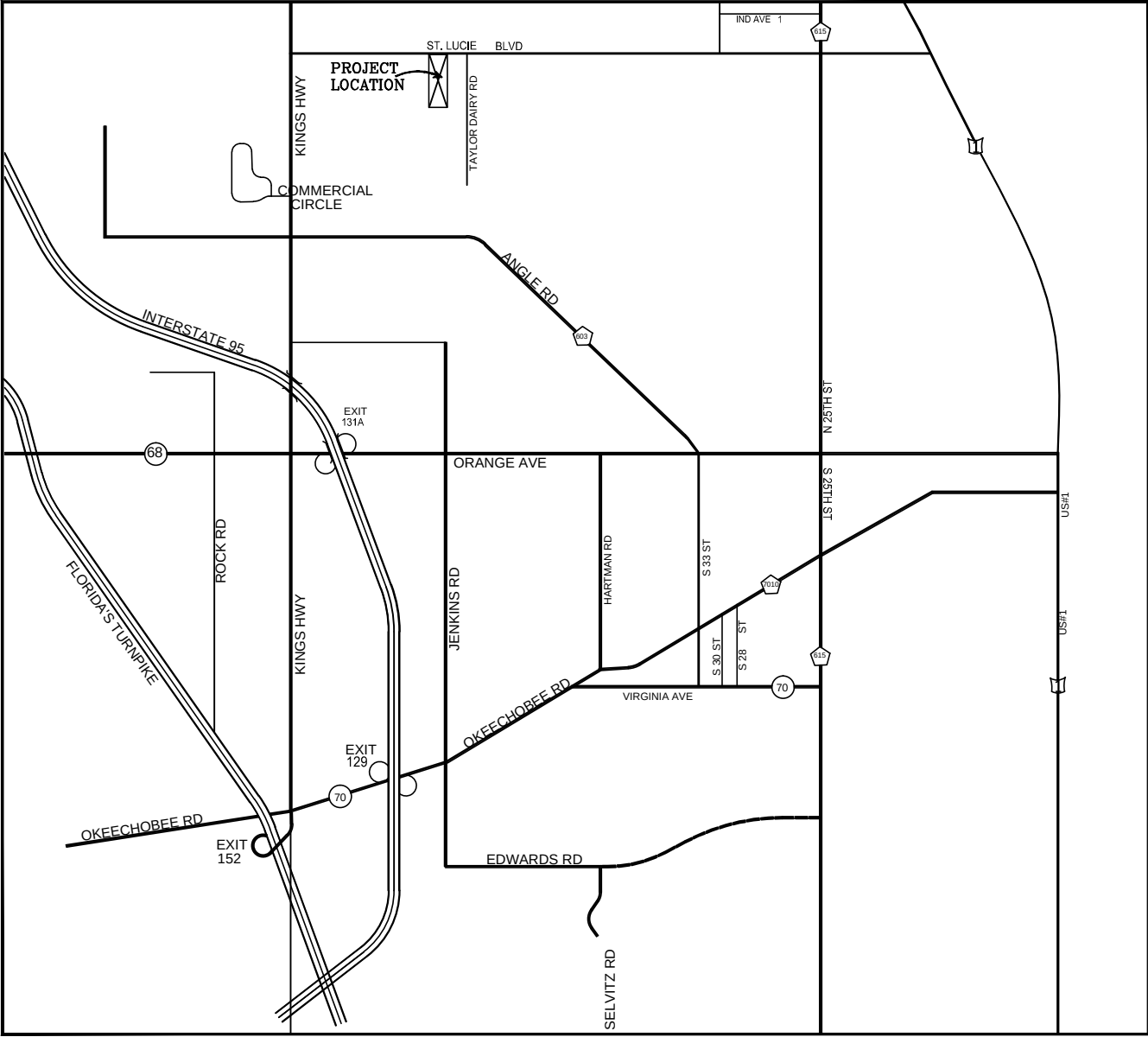
BUILDING DEPT
ST. LUCIE COUNTY BUILDING DEPT.
2300 VIRGINIA AVE
FORT PIERCE, FL 34982
(772) 462-1553

FIRE DISTRICT
ST. LUCIE COUNTY FIRE DISTRICT
5160 N.W. MILNER DR,
PORT ST LUCIE, FL 34983
(772) 621-3322

FPFWCD
FORT PIERCE FARMS WATER CONTROL DISTRICT
14666 ORANGE AVE
FORT PIERCE, FL 34945
(772) 461-5050

SFWMD
SOUTH FLORIDA WATER MANAGEMENT DISTRICT
3301 GUN CLUB RD
WEST PALM BEACH, FL 33406
(561) 686-8800

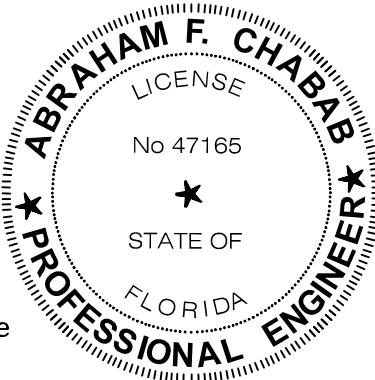
LOCATION MAP



INDEX SHEET

SHEET DESCRIPTION	SHEET NUMBER
SITE PLAN	1 OF 10
SITE PLAN DETAILS	2 OF 10
LOCATIONS OF EXISTING DITCHES TO BE FILLED	3 OF 10
STORM SEWER DRAINAGE PLAN	4 OF 10
GRADING & PAVING PLAN	5 OF 10
GRADING & DRAINAGE / SECTION DETAILS	6 OF 10
GRADING & DRAINAGE / SECTION DETAILS	7 OF 10
GRADING & DRAINAGE / SECTION DETAILS	8 OF 10
CONTROL STRUCTURE AND TYPE V INLET DETAILS	9 OF 10
GENERAL NOTES AND PAVEMENT DETAILS	10 OF 10
FIRE LINE MASTER PLAN	1 OF 8
SEWER LINES & GRINDER PUMP MASTER PLAN	2 OF 8
WATER LINES PLAN	3 OF 8
FIRE LINE PHASE I PLAN	4 OF 8
SEWER LINES & GRINDER PUMP PHASE I PLAN	5 OF 8
GRINDER PUMP PLAN & DETAILS	6 OF 8
WATER & SEWER DETAILS & NOTES	7 OF 8
WATER & SEWER DETAILS & NOTES	8 OF 8
SURFACE WATER POLLUTION PREVENTION PLAN	1 OF 2
GENERAL NOTES FOR STORM WATER PREVENTION PLAN	2 OF 2

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& sealed by **Abraham Chabab, PE**

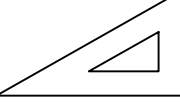


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CALL TOLL-FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC
UNDERGROUND UTILITIES NOTIFICATION CENTER



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5019 NW Rugby Dr
PORT ST. LUCIE FL. 34983
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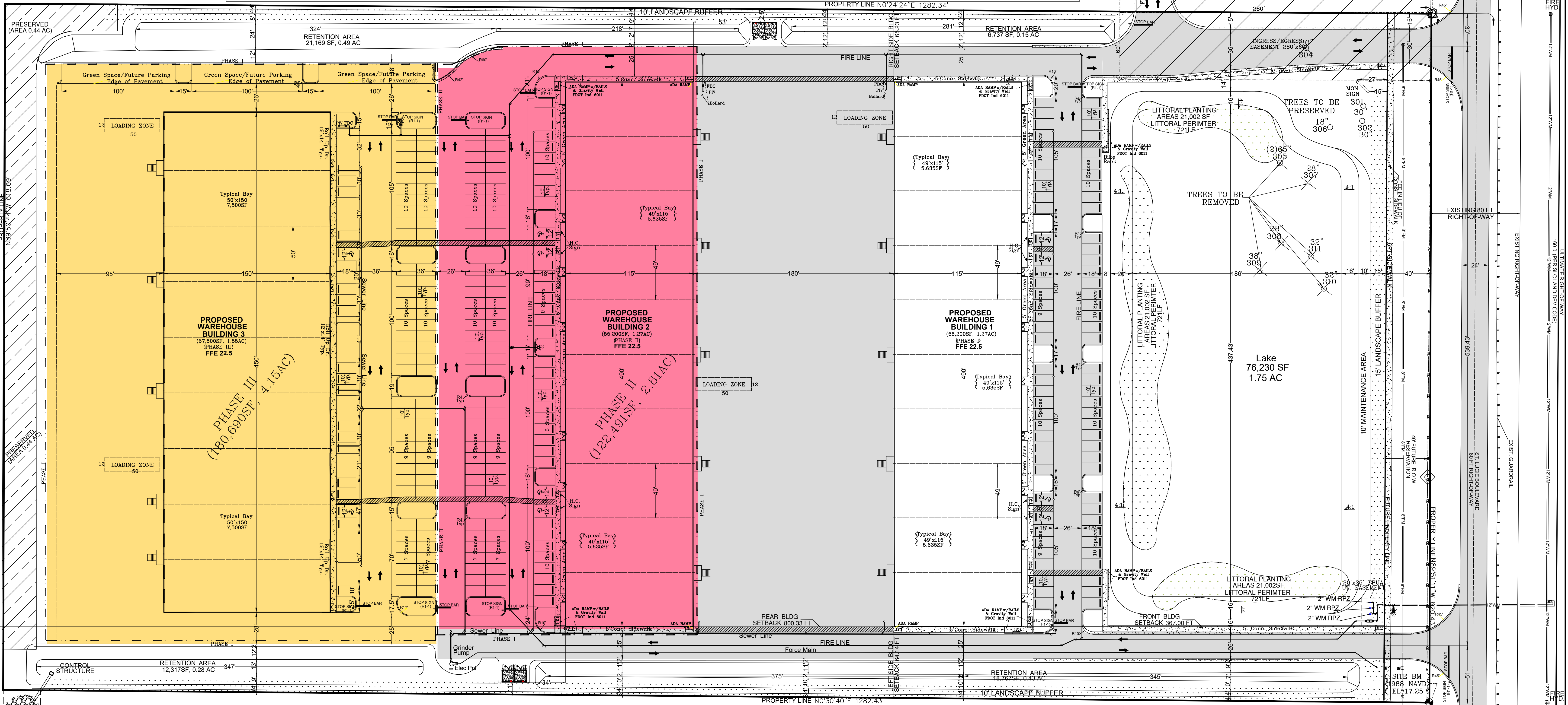
REVISIONS	DATE
DRC Staff Cmts	5.28.23
SFWMD Staff Cmts	1.20.24

GENERAL NOTES
PROJECT NAME : BHASIN PROPERTIES
OWNER : BHASIN PROPERTIES LLC
615 SAN MARCO DR
FORT LAUDERDALE, FL 33301
LOCATION : xxxx ST. LUCIE BLVD
LAND USE : TVC (Towns, Villages & Countrysides)
LAND ZONING : IL (Industrial, Light)
PIN : 1336-212-0000-000-6
BUILDING HEIGHT : 35.0 FEET
NUMBER OF STORIES : ONE
UTILITIES:
ELECTRICAL : FPL
WATER & SEWER : FPUA
TELEPHONE : ATT
SOLID WASTE : AUTHORIZED SOLID WASTE CO.

AREA TABULATION:				
	SITE COVERAGE	ACREAGE	SF	% OF SITE
OFFICE AREAS	0.2296		10,000	1.30
WAREHOUSE AREAS	3.8544		167,900	21.83
BUILDING TOTAL	4.0840		177,900	23.13
PAVED AREA	7.0108		305,391	39.71
SIDEWALKS/PAVS	0.3386		14,750	1.92
TOTAL PAVEMENT IMPERVIOUS	7.3494		320,141	41.63
TOTAL IMPERVIOUS	11.4334		498,041	64.76
RETENTION AREA	1.7500		76,230	9.91
TOTAL	1.7500		76,230	9.91
GREEN AREA/OPEN SPACE	4.0250		175,331	22.80
PRESERVED AREA	0.4441		19,348	2.53
TOTAL	17.6527		768,950	100.00
ROW DEDICATION 40x620.43	0.5697		24,817	
TOTAL	0.5697		24,817	
TOTAL	18.2224		793,767	
MAX LOT COVERAGE				
MAX. BUILDING COVERAGE : 50%				
MAX. IMPERVIOUS BUILDING & PAVEMENT: 80%				
STORM WATER QUALITY TREATMENT: 1.5-INCH VIA EXFILTRATION OR DRY DETENTION				

PARKING CALCULATIONS:									
PARKING SPACES REQUIRED :									
Industrial Park Land Use (LU130) : Warehouse Areas : 1.25 Spaces/1000 SF = 1.25 x177,900/1000= 223 Parking Spaces									
Provided : 271 Regular Parking Spaces & 10 H.C. = 281 Parking Spaces									
PARKING STATEMENTS									
a) Required Off-street parking facilities supplied by the owner or operator shall not be used by commercial vehicles owner, operated or used in the business of such owner or operator during his/her regular hours of business, or by vehicles offered for sale unless additional parking spaces are made for these vehicles pursuant to LDC Section 7.06.02(B)(8)									
b) Parking or display of any motor vehicle, recreational vehicle, boat, trailer or other vehicle in any required landscape area is prohibited, pursuant to LDC Section 7.06.02(B)(5)									
LOT SIZE REQUIREMENTS									
	MIN. LOT SF	MIN. LOT WIDTH	MIN. RD FRONTAGE	MIN. FRONT SETBACK	MIN. REAR SETBACK	MIN. SIDE SETBACK	MAX. HEIGHT	MAX. LOT COVERAGE	
REQUIRED	20,000 SF	100 FT	60 FT	25 FT	20 FT	10 FT	50 FT	80%	
PROVIDED	43,560 SF	150 FT	150 FT	25 FT	20 FT	10 FT	35 FT	80%	
BUILDING SETBACKS									
FRONT	367.00 FT						988.00 FT		
REAR	800.33 FT						144.33 FT		
RIGHT	65.23 FT						97.19 FT		
LEFT	64.14 FT						71.25 FT		

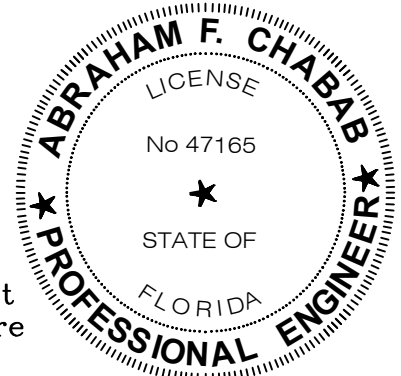
LEGAL DESCRIPTION : See Survey
FLOOD ZONE MAP:
THIS PROPERTY LIES IN ZONE X ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12111 C 0160 J, EFFECTIVE DATE FEBRUARY 16, 2012.
DRAINAGE STATEMENT:
PROPOSED STORMWATER DRAINAGE SYSTEM WILL COMPLY WITH SFWMD, ST. LUCIE COUNTY DRAINAGE REQUIREMENTS.
HAZARDOUS WASTE STATEMENT:
ANY & ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
ENVIRONMENTAL STATEMENT:
PROJECT WILL MEET AND COMPLY WITH STATE AND LOCAL REQUIREMENTS & REGULATIONS REGARDING NATIVE HABITATS & VEGETATION.
CONSTRUCTION SCHEDULE :
PHASE I : Expected Completion Date June, 2024
PHASE II : Expected Completion Date June, 2025
PHASE III : Expected Completion Date June, 2027



PHASING NOTES:
(10.69 AC) PHASE I : WILL INCLUDE BUILDING 1, THE FRONT PARKING AREAS, TRUCK LOADING AREA BETWEEN BUILDING 1 & 2 AND THE DRAINAGE INFRASTRUCTURES FOR THE LAKE AND DETENTIONS AREAS AND ACCESS TO THE LIFT STATION.
(2.81 AC) PHASE II : WILL INCLUDE BUILDING 2, AND HALF OF THE PARKING AREAS BETWEEN BUILDING 2 & 3
(4.15 AC) PHASE III : WILL INCLUDE BUILDING 3, THE REMAINDER OF THE PARKING AREA AND THE TRUCK LOADING AREA BEHIND BUILDING 3

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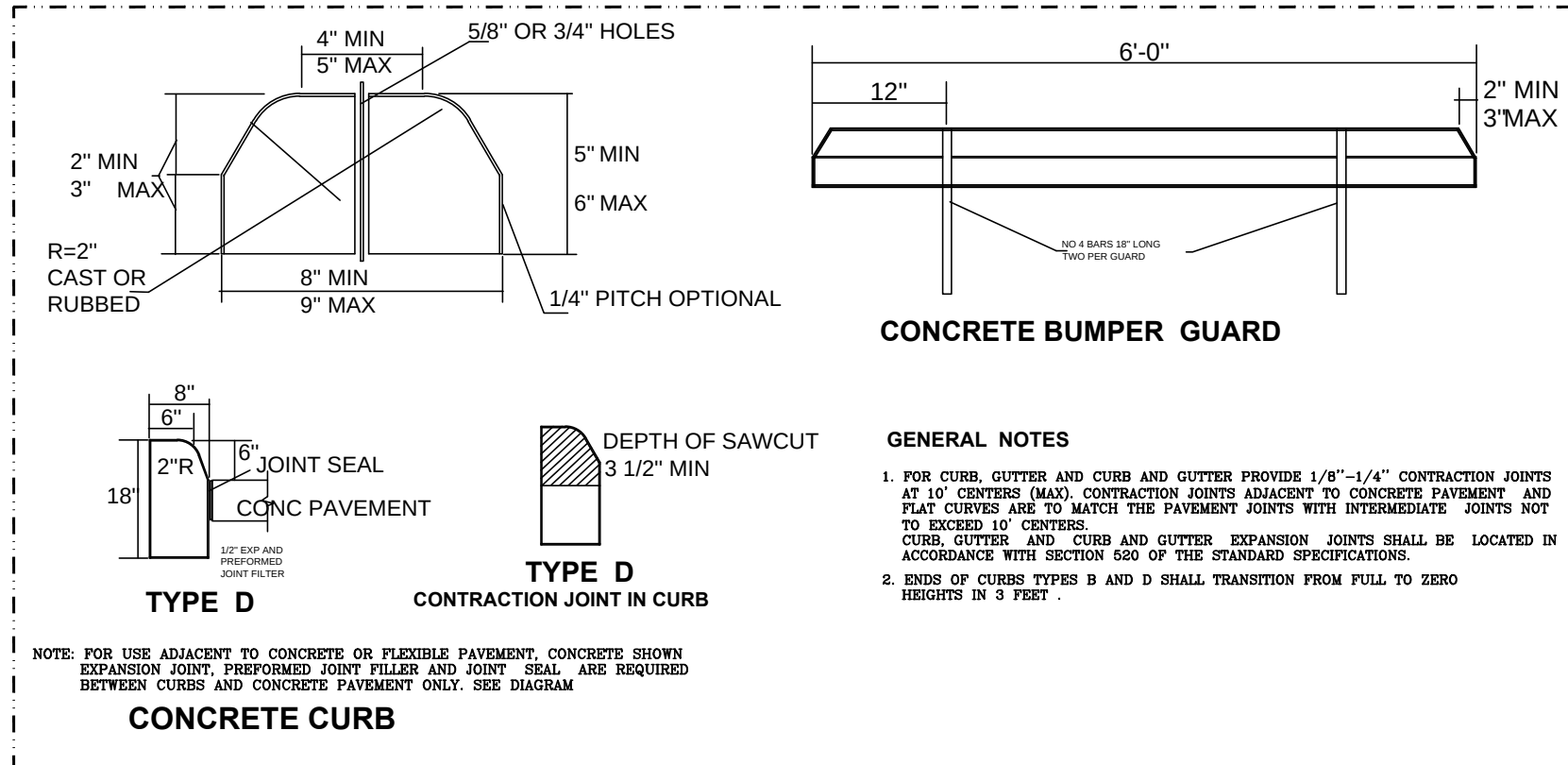
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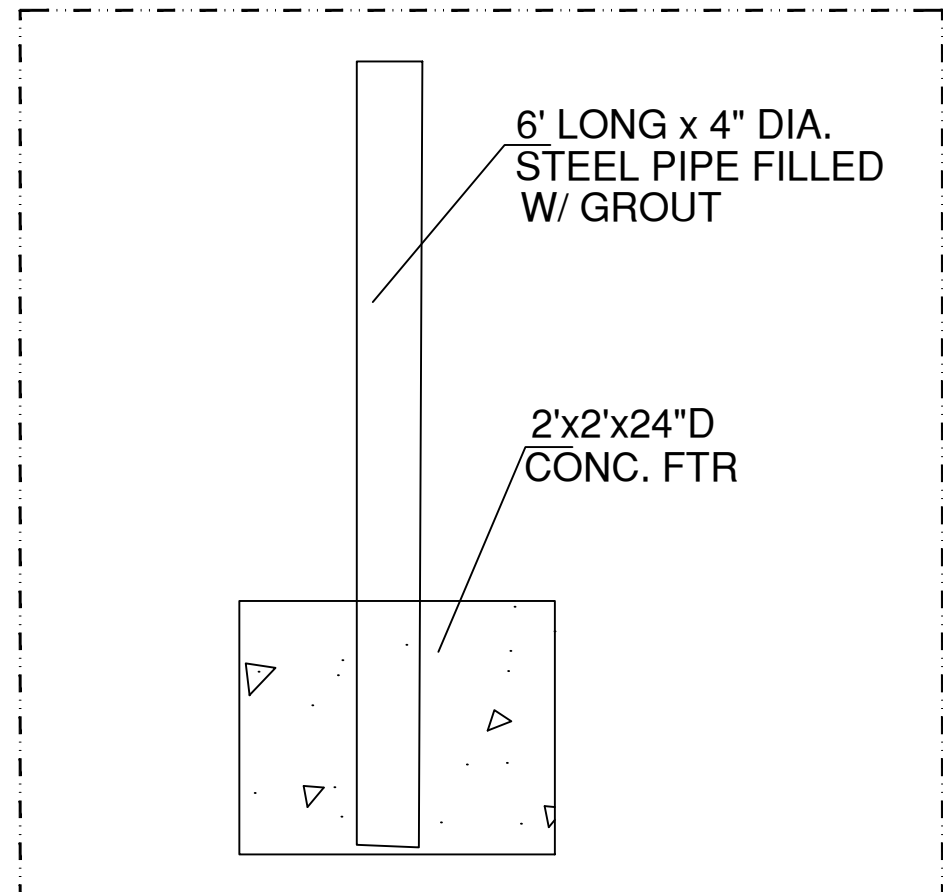
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Ph: 772-475-6630

DESIGNED BY		AC	
DRAWN BY		AC	
DATE		Jly 2/22	
SHEET		1 OF 10	

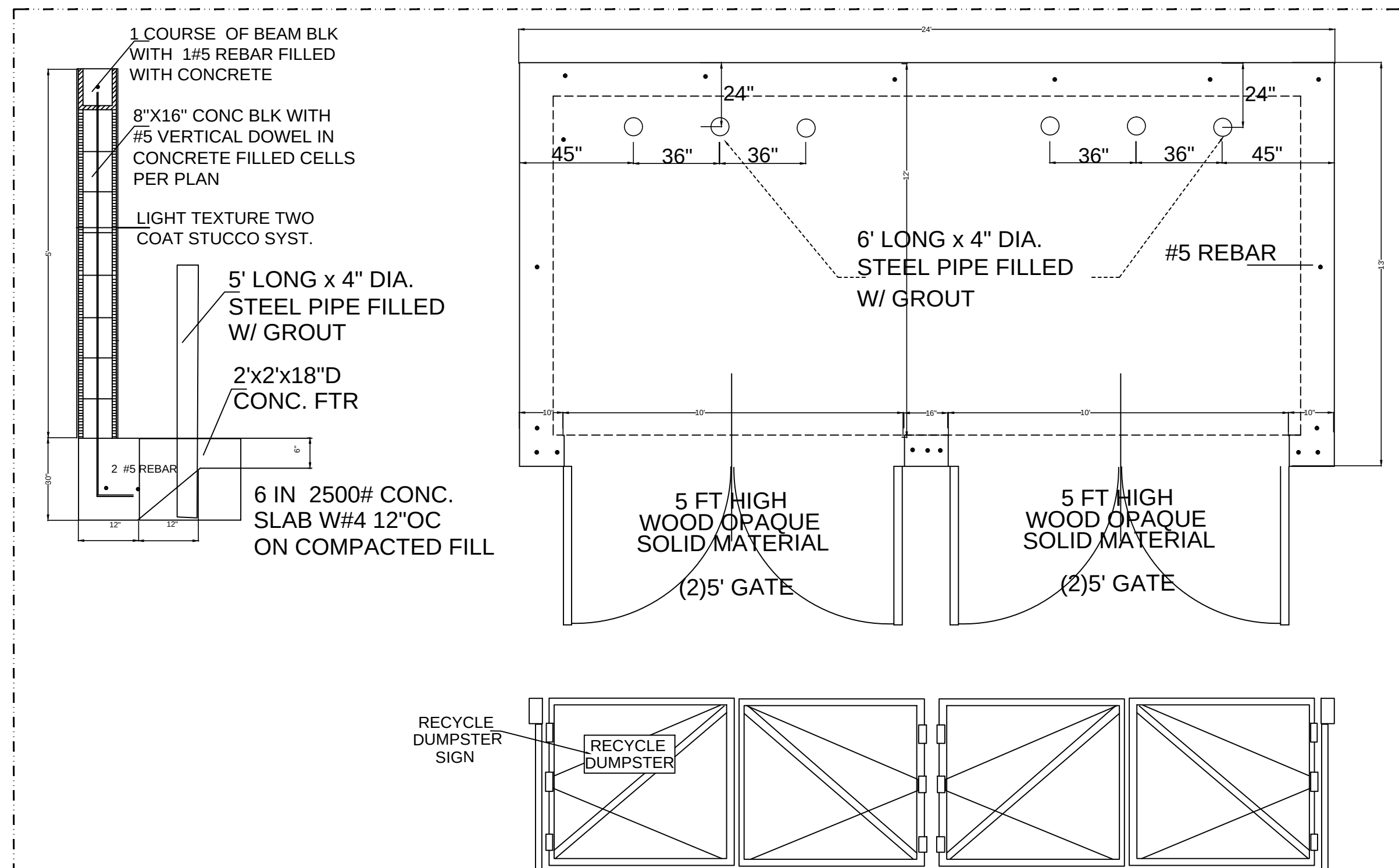
REVISIONS		DATE	



CURB DETAIL
N.T.S.



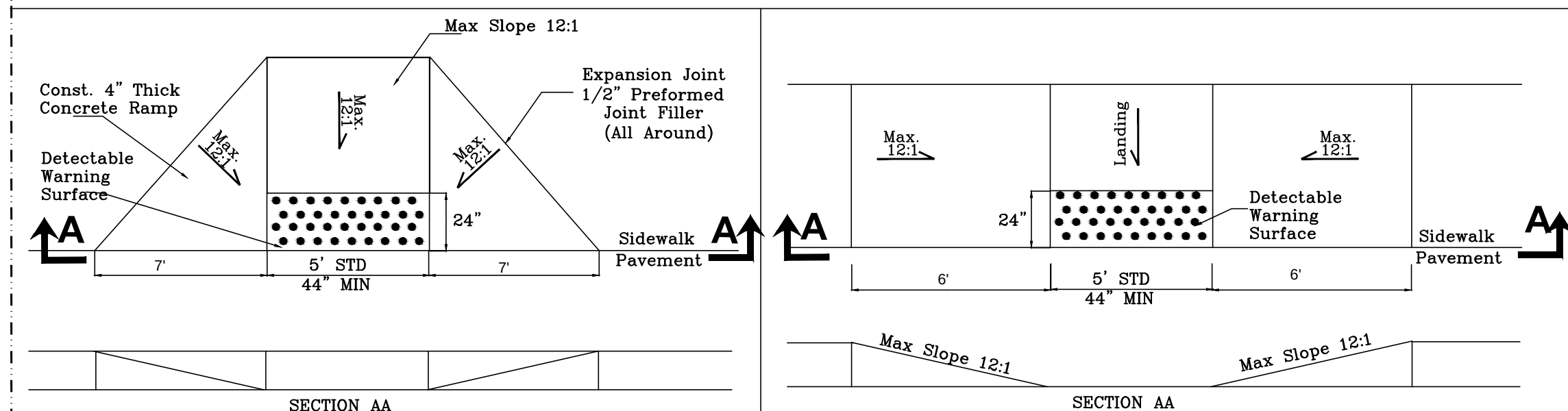
BOLLARD DETAIL
N.T.S.



DUMPSTER DETAIL
N.T.S.

NOTES

- Sidewalk ramps shall be constructed at locations that will provide continuous unobstructed pedestrian circulation path to pedestrian areas, elements and facilities. Landing areas, ramps and sidewalks shall be constructed in accordance to F.D.O.T. 522 and A.D.A. Standards.
- Detectable Warning Surface Shall be Installed in Accordance with F.D.O.T. Index 304 and A.D.A. Standards. The Color Requirements for the Detectable Warning Surface shall provide a Dark-on-Light or Light-On-Dark Contrast Between the Detectable Warning and the Adjacent Walking Surface.



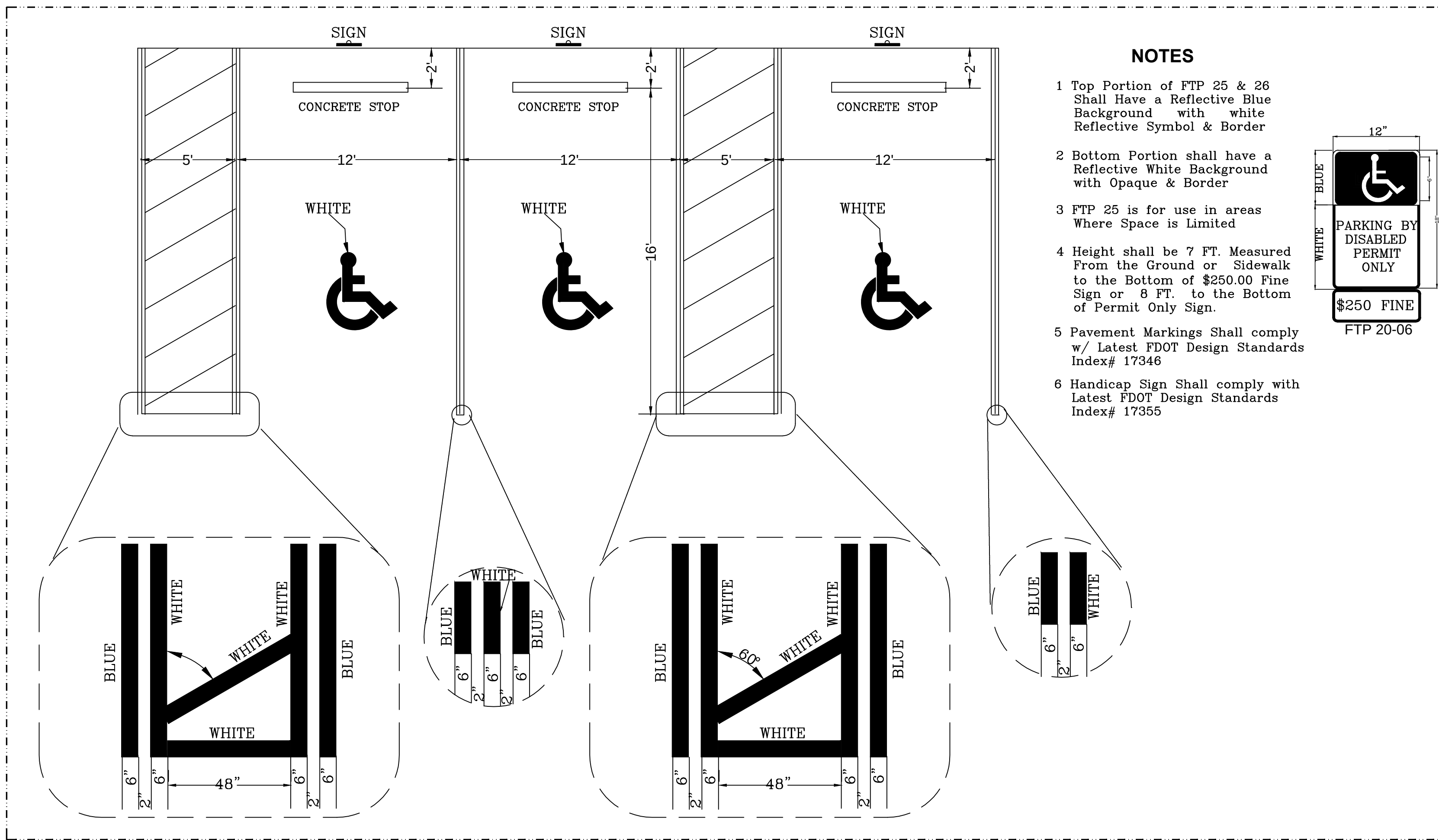
HANDICAP RAMP DETAIL
N.T.S.

NOTE :

Proposed Sidewalks & Ramps
Must Comply W/ADA Standards

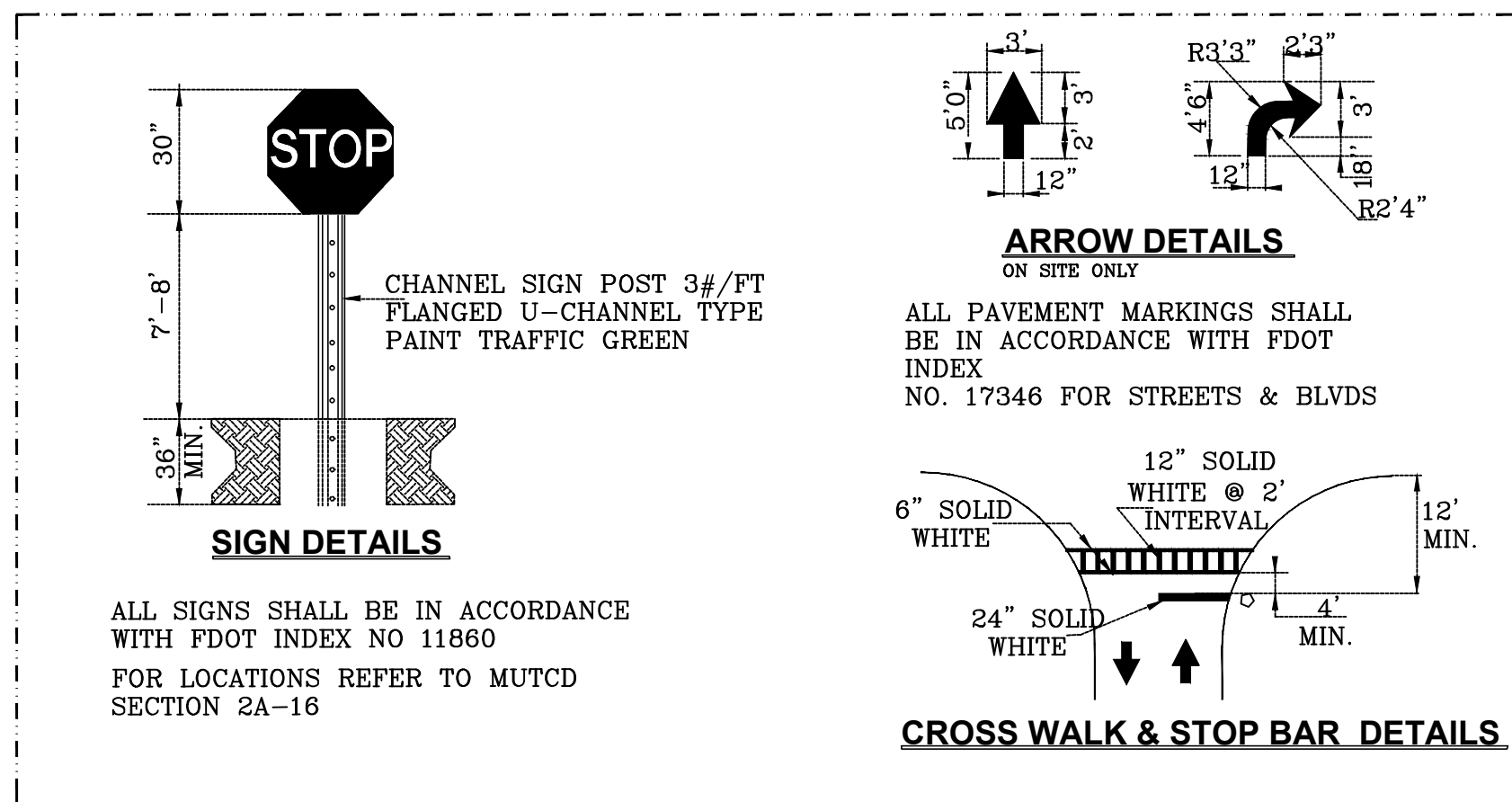
NOTE :

Proposed Sidewalks & Ramps
Must Comply with most recent
edition of ADA Guidelines

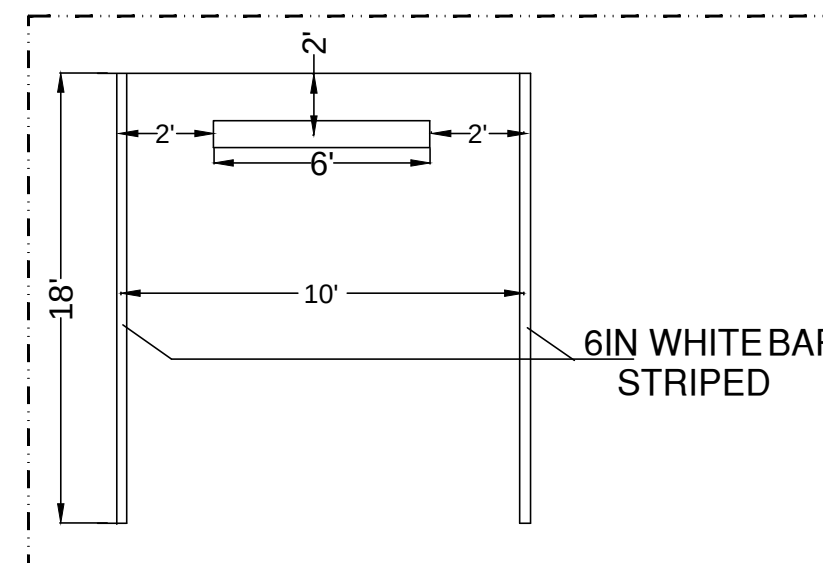


H.C. Pavement Markings and Signs shall comply with Latest FDOT Standards

H.C. PAVEMENT MARKING DETAIL
N.T.S.

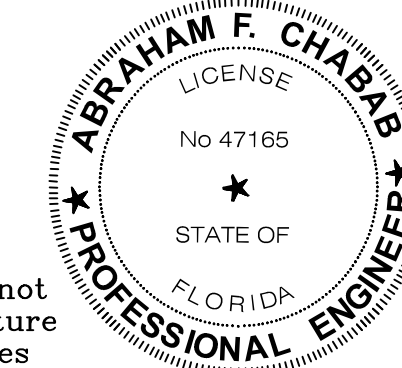


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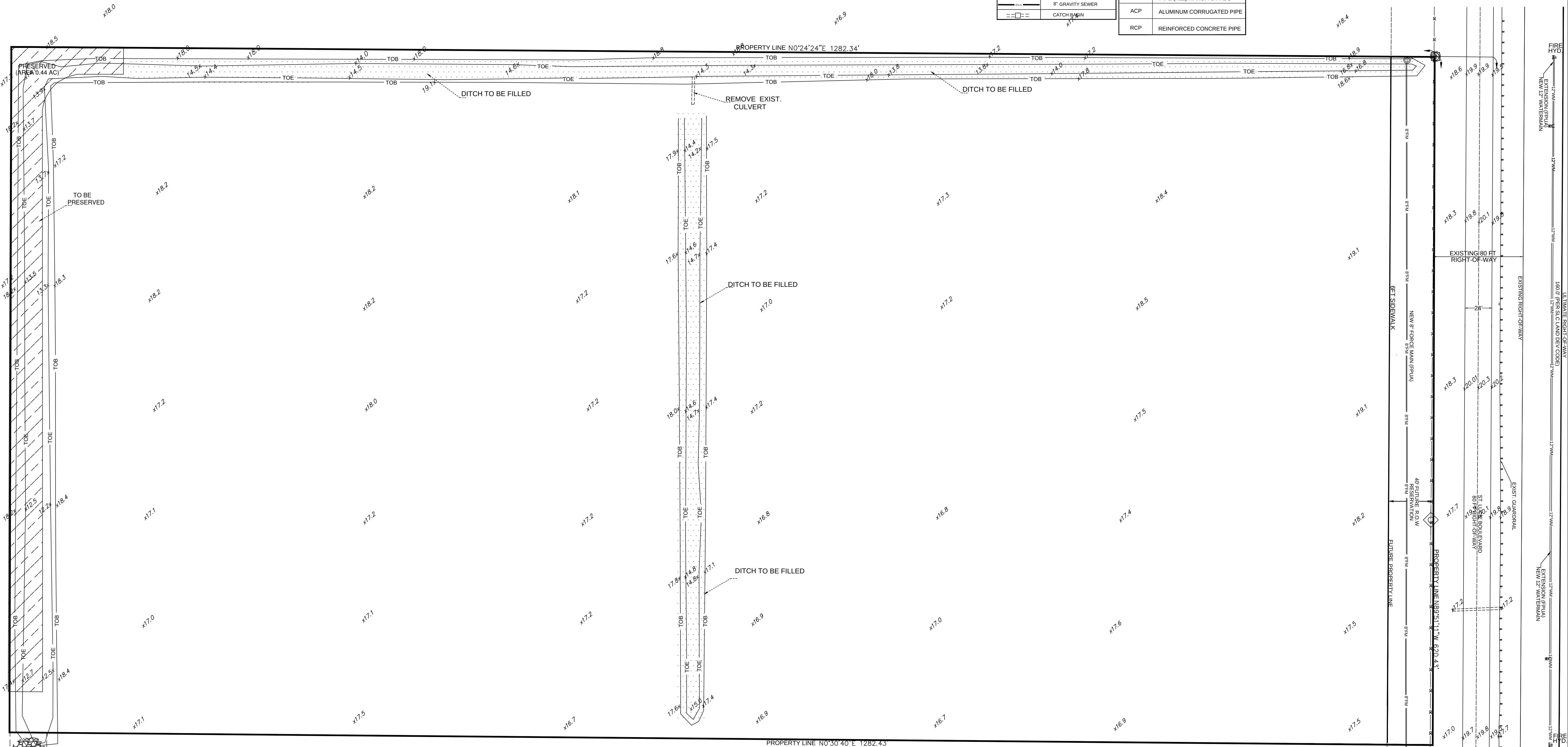
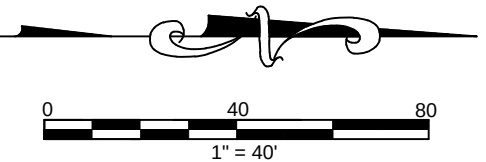
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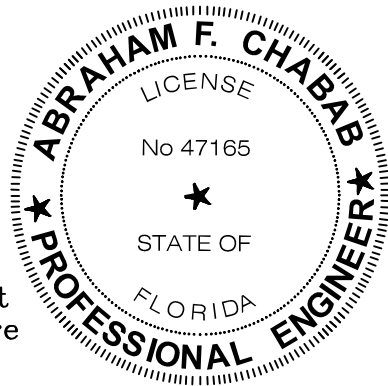


 ABRAHAM CHABAB, Inc. FL. BOARD OF PROF. ENG. AUTH.#26790		BHASIN PROPERTIES	DESIGNED BY	AC	REVISIONS	DATE
			DRAWN BY	AC		
			DATE	Dec.7/2022		
			SHEET	2 OF 10		
5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630		SITE PLAN DETAILS				

LEGEND		LEGEND	
	TEE		EXISTING GRADE ELEVATION
	45° BEND		HIGH POINT
	90° ELBOW		PROPOSED ELEVATION
	F.H. FIRE HYDRANT		RUNOFF FLOW DIRECTION
	GATE VALVE		FOOT MITERED END SECTION
	BACKFLOW PREVENTER		PIPE INVERT
	SERVICE CLEAN OUT		CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS
	METER BOX		ALUMINUM CORRUGATED PIPE
	6" WATER MAIN		REINFORCED CONCRETE PIPE
	EXIST 6" WATER MAIN		
	EXIST 16" WATER MAIN		
	8" GRAVITY SEWER		
	CATCH BASIN		



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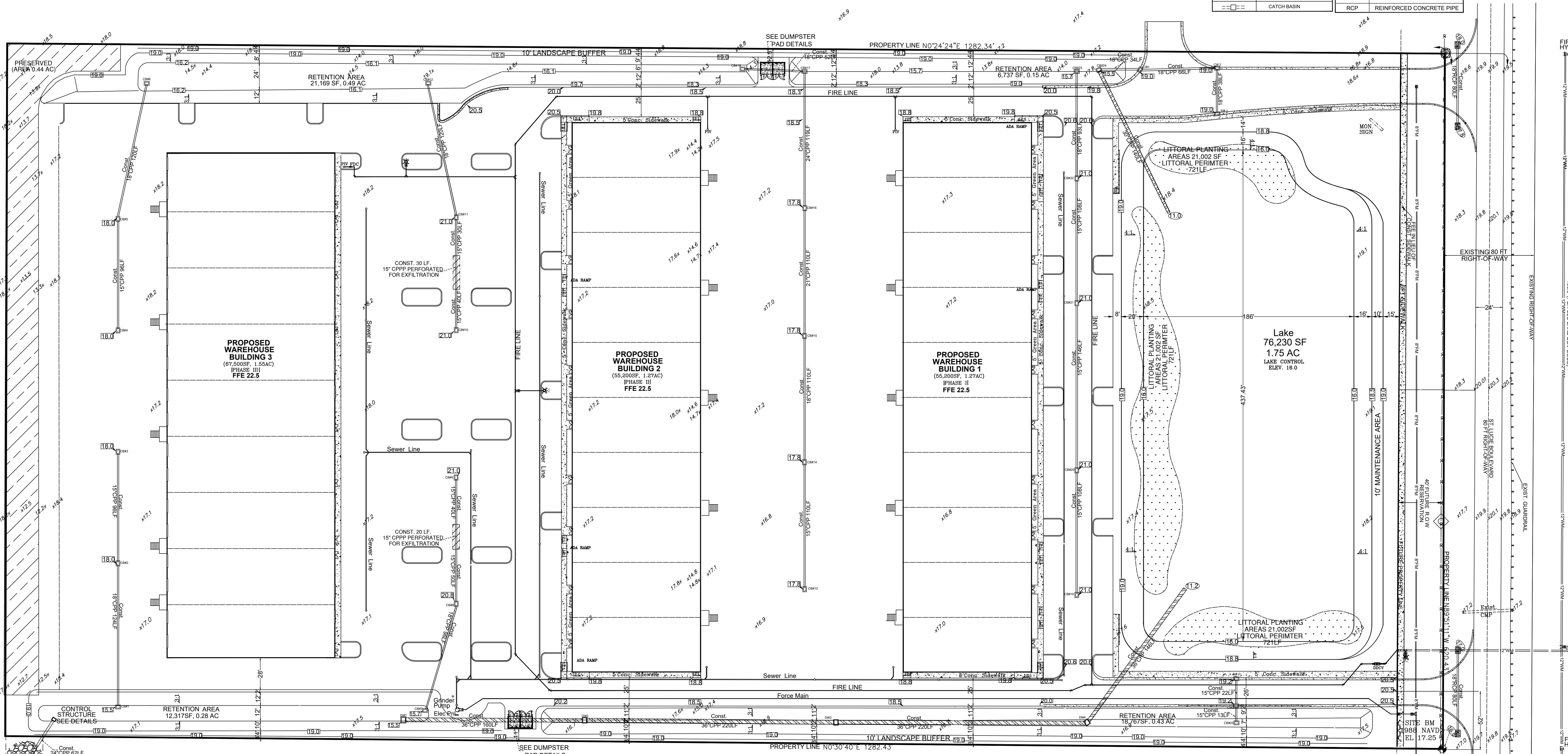
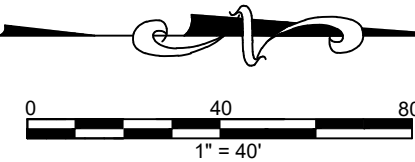
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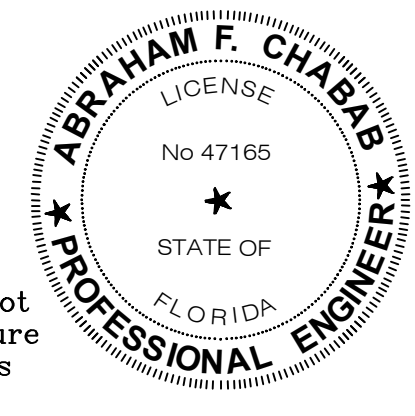
BHASIN PROPERTIES		LOCATIONS OF EXISTING DITCHES TO BE FILLED		REVISIONS		DATE
DESIGNED BY	AC	SHEET 3 OF 10				
DRAWN BY	AC					
DATE	Dec. 2/22					

TYPE C INLET	CB#1 TYPE C INLET FOOT IND 425 TOP 15.50 INV E 13.50 BOT 13.00	CB#2 TYPE C INLET FOOT IND 425 TOP 18.00 INV W 14.30 BOT 13.50	CB#3 TYPE C INLET FOOT IND 425 TOP 18.00 INV E 14.70 BOT 14.20	CB#4 TYPE C INLET FOOT IND 425 TOP 18.00 INV W 14.70 BOT 14.20	CB#5 TYPE C INLET FOOT IND 425 TOP 18.00 INV E 14.30 BOT 13.50	CB#6 TYPE C INLET FOOT IND 425 TOP 16.30 INV E 13.80 BOT 13.00	CB#7 TYPE C INLET FOOT IND 425 TOP 15.70 INV N W 13.50 BOT 13.00	CB#8 TYPE C INLET FOOT IND 425 TOP 20.80 INV S E 14.30 BOT 15.00	CB#9 TYPE C INLET FOOT IND 425 TOP 21.00 INV E 16.00 BOT 15.50	CB#10 TYPE C INLET FOOT IND 425 TOP 21.00 INV W 16.00 BOT 15.50	CB#11 TYPE C INLET FOOT IND 425 TOP 21.00 INV S W 14.20 BOT 15.00	CB#12 TYPE C INLET FOOT IND 425 TOP 16.00 INV N E 14.00 BOT 13.00	CB#13 TYPE C INLET FOOT IND 425 TOP 17.80 INV W 14.80 BOT 14.00	CB#14 TYPE C INLET FOOT IND 425 TOP 17.80 INV W 14.50 BOT 13.50	CB#15 TYPE C INLET FOOT IND 425 TOP 17.80 INV W 14.20 BOT 13.50	CB#16 TYPE C INLET FOOT IND 425 TOP 17.80 INV W 12.30 BOT 13.50	CB#17 TYPE C INLET FOOT IND 425 TOP 15.80 INV S 12.30 BOT 11.50	CB#18 TYPE C INLET FOOT IND 425 TOP 15.80 INV N 12.50 BOT 11.50	CB#19 TYPE C INLET FOOT IND 425 TOP 21.00 INV E 17.30 BOT 16.50	CB#20 TYPE C INLET FOOT IND 425 TOP 21.00 INV E 17.30 BOT 16.50	CB#21 TYPE C INLET FOOT IND 425 TOP 21.00 INV W 17.10 BOT 16.00	CB#22 TYPE C INLET FOOT IND 425 TOP 21.00 INV E 16.80 BOT 16.00	CB#23 TYPE C INLET FOOT IND 425 TOP 15.70 INV E 12.00 BOT 11.00	CB#24 TYPE C INLET FOOT IND 425 TOP 15.50 INV N 12.70 BOT 11.00	CB#25 TYPE C INLET FOOT IND 425 TOP 16.00 INV E 12.00 BOT 11.00		
	TYPE V INLET	CI#1 TYPE V INLET USF FRAME 5106 GRATE 6149 TOP 19.00 INV N 14.00 INV S 14.00 BOT 13.50	CI#2 TYPE V INLET USF FRAME 5106 GRATE 6149 TOP 19.00 INV N 14.20 INV E 14.30 BOT 13.50	CI#3 TYPE V INLET USF FRAME 5106 GRATE 6149 TOP 19.20 INV E 12.30 INV W 12.30 BOT 11.30			SI#1 TYPE 9 INLET FOOT IND 425-024 GRATE 16149 TOP 19.00 INV W 14.50 BOT 14.00	SI#2 TYPE 9 INLET FOOT IND 425-024 GRATE 16149 TOP 19.20 INV W 12.50 BOT 11.30							DI#1 TYPE D INLET FOOT IND 425-024 TOP 15.50 INV N 10.00 BOT 9.00	DI#2 TYPE E INLET FOOT IND 425 TOP 15.50 INV N 10.30 BOT 9.30	DI#3 TYPE E INLET FOOT IND 425 TOP 15.50 INV N 10.60 BOT 9.60	DI#4 TYPE E INLET FOOT IND 425 TOP 15.50 INV N 10.90 BOT 10.00									

LEGEND		LEGEND	
	TEE		EXISTING GRADE ELEVATION
	45° BEND		HIGH POINT
	90° ELBOW		PROPOSED ELEVATION
	F.H. FIRE HYDRANT		RUNOFF FLOW DIRECTION
	GATE VALVE		FOOT MITERED END SECTION
	BACKFLOW PREVENTER		PIPE INVERT
	SERVICE CLEAN OUT		CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS
	METER BOX		ALUMINUM CORRUGATED PIPE
	6" WATER MAIN		REINFORCED CONCRETE PIPE
	EXIST 6" WATER MAIN		
	EXIST 16" WATER MAIN		
	8" GRAVITY SEWER		
	CATCH BASIN		



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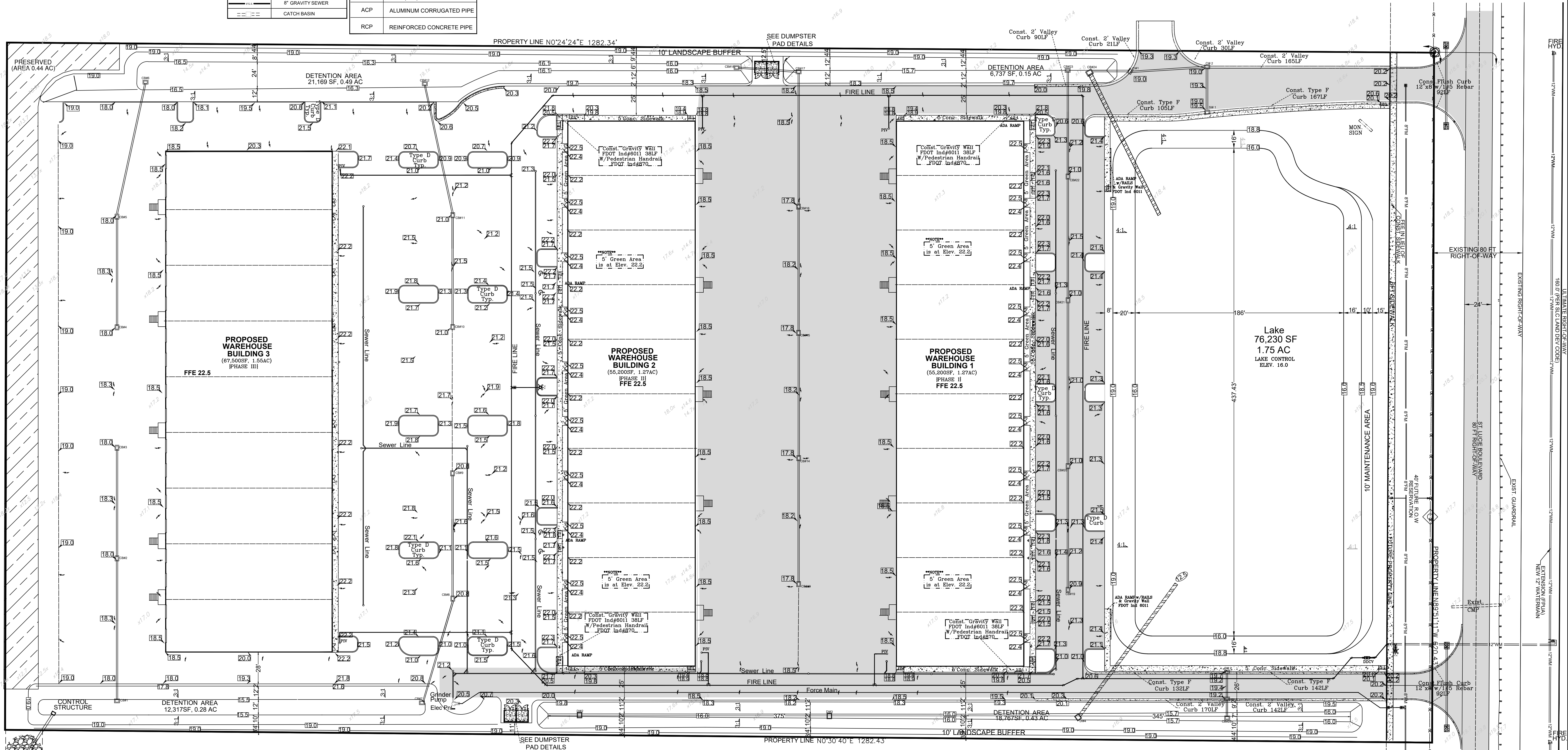
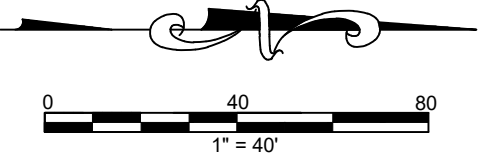


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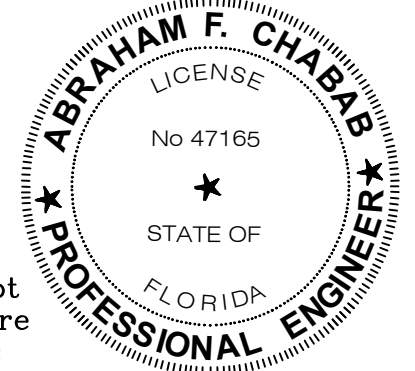
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BHASIN PROPERTIES		STORM SEWER DRAINAGE PLAN	
DESIGNED BY	AC	DATE	Dec. 2/22
DRAWN BY	AC	SHEET	4 OF 10
REVISIONS		DATE	

LEGEND		LEGEND	
	TEE		EXISTING GRADE ELEVATION
	45° BEND		HIGH POINT
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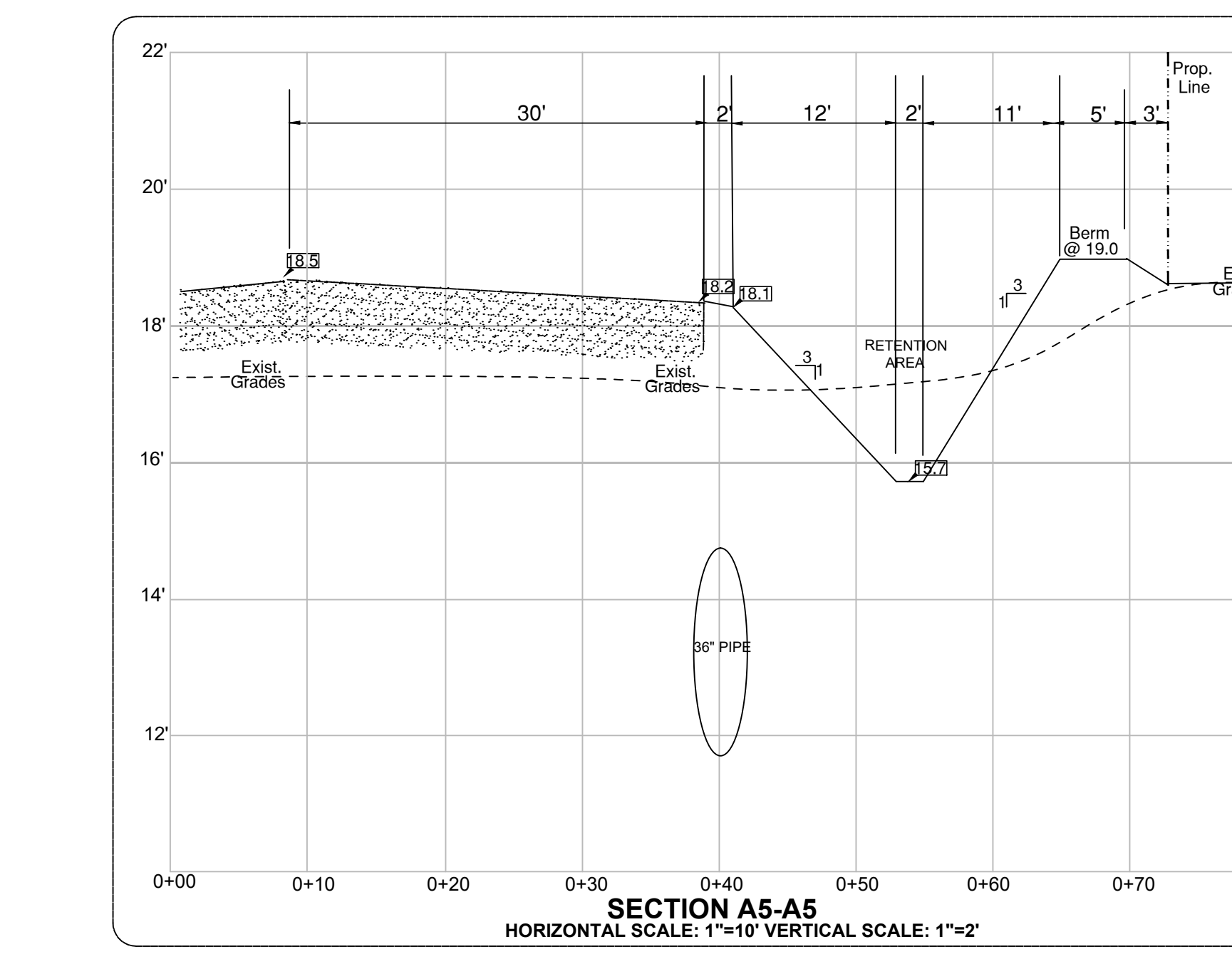
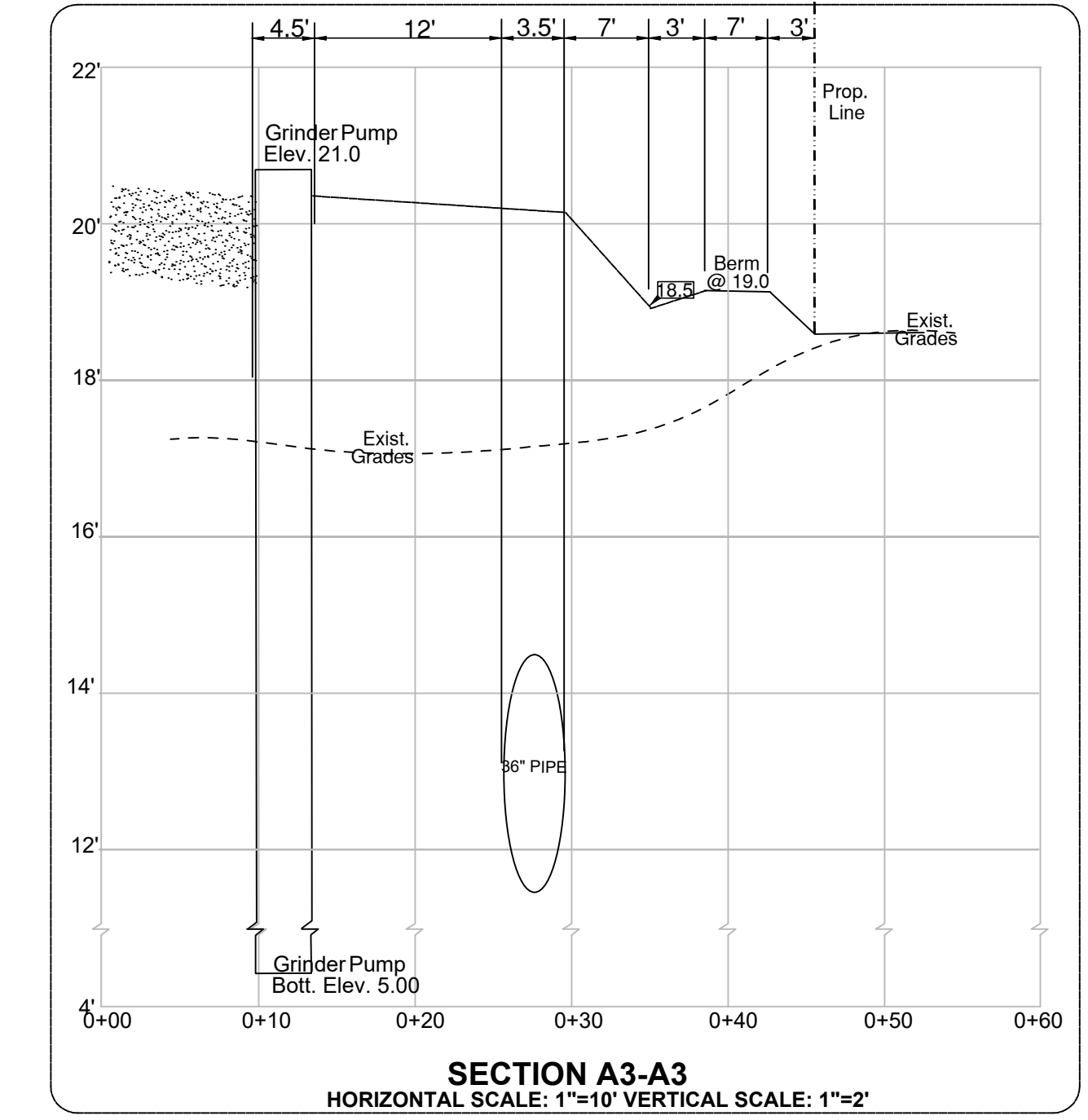
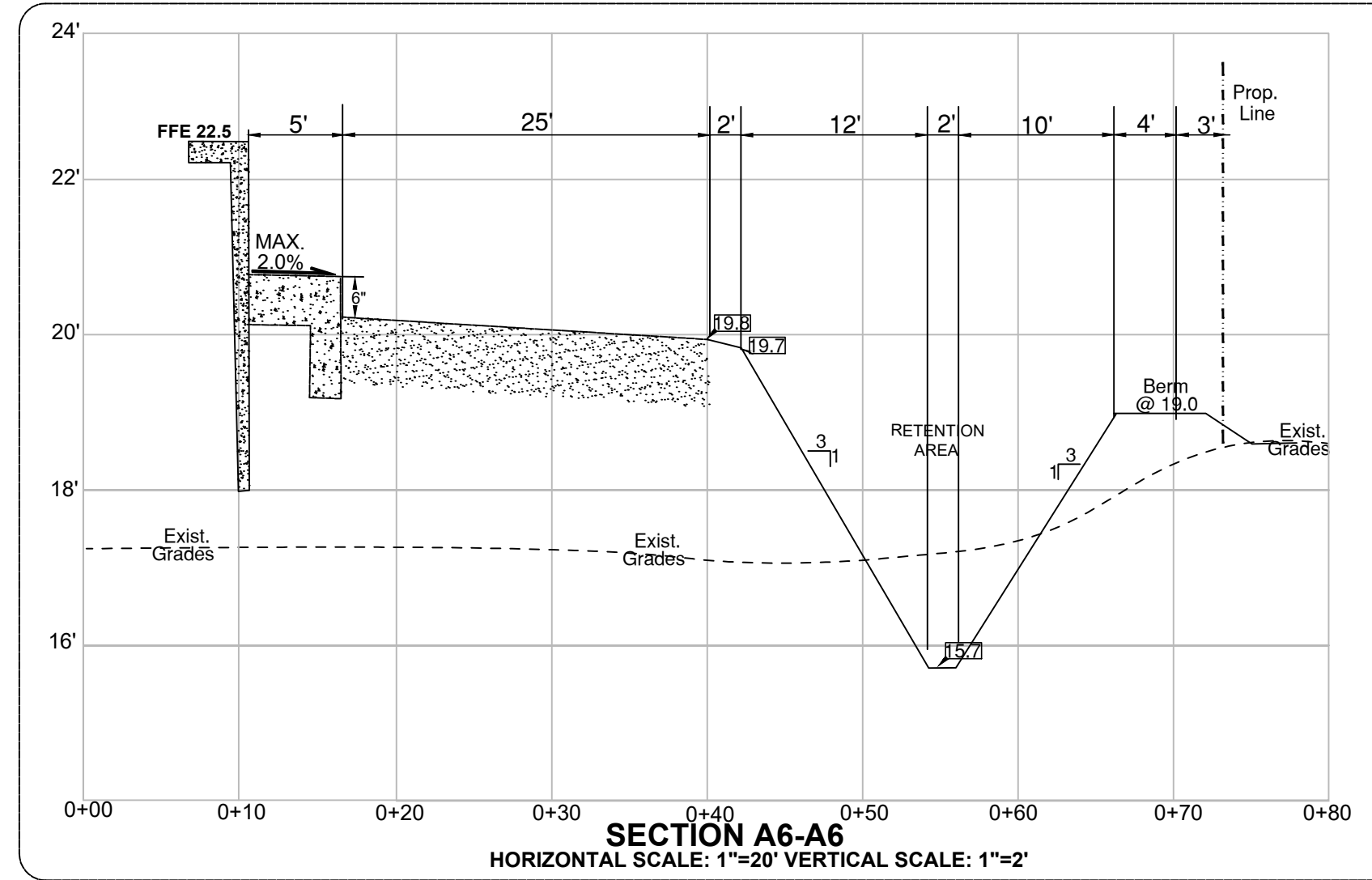
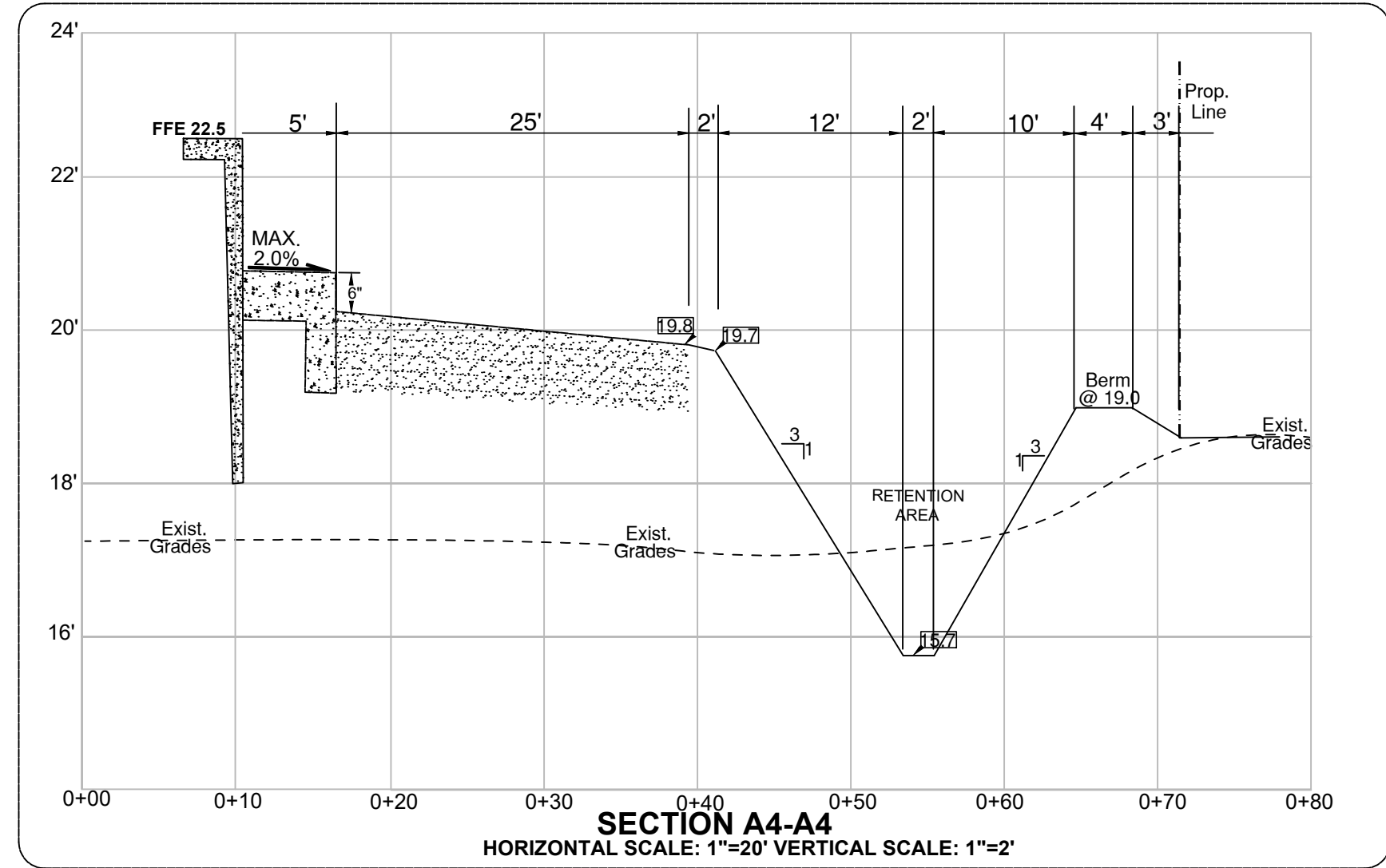
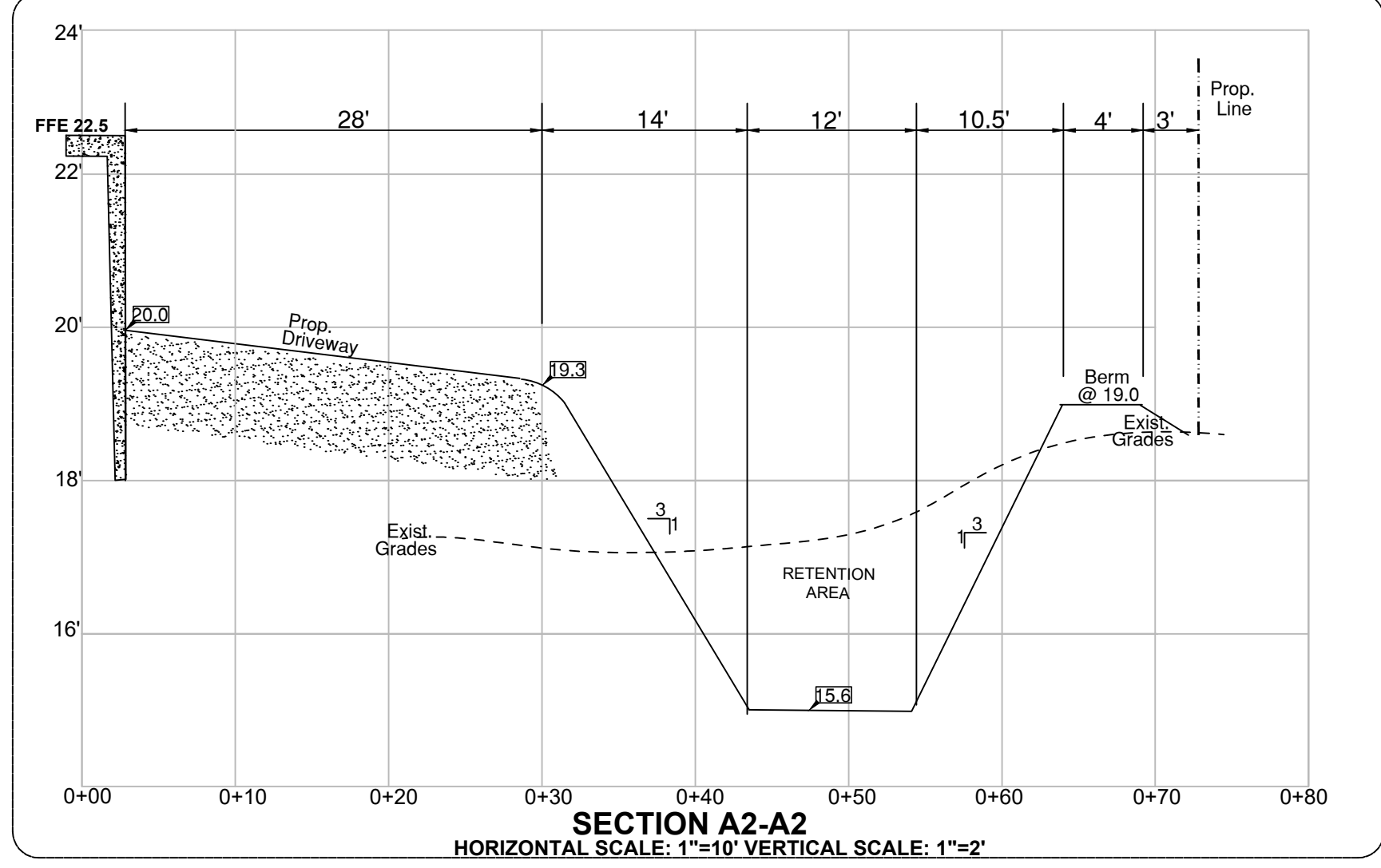
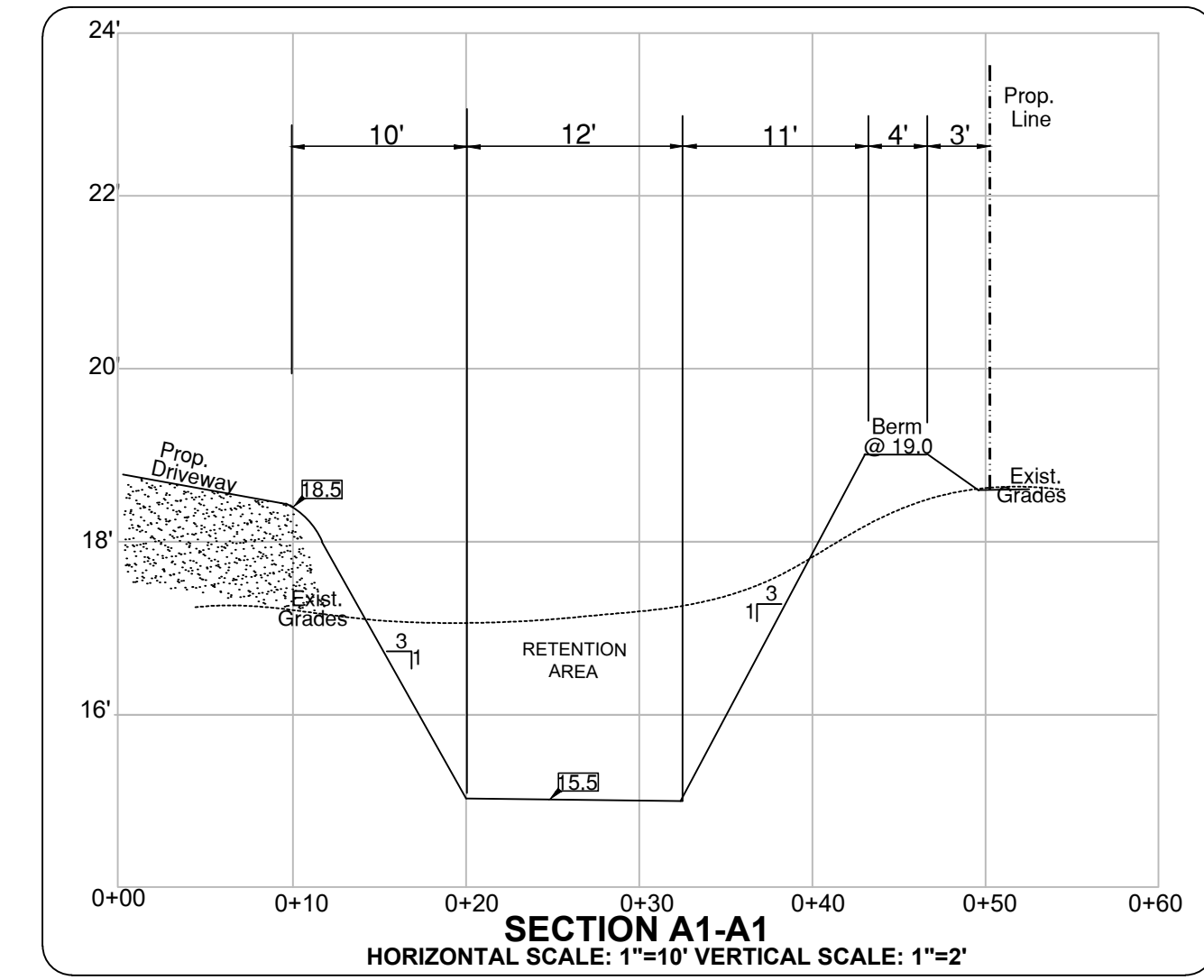
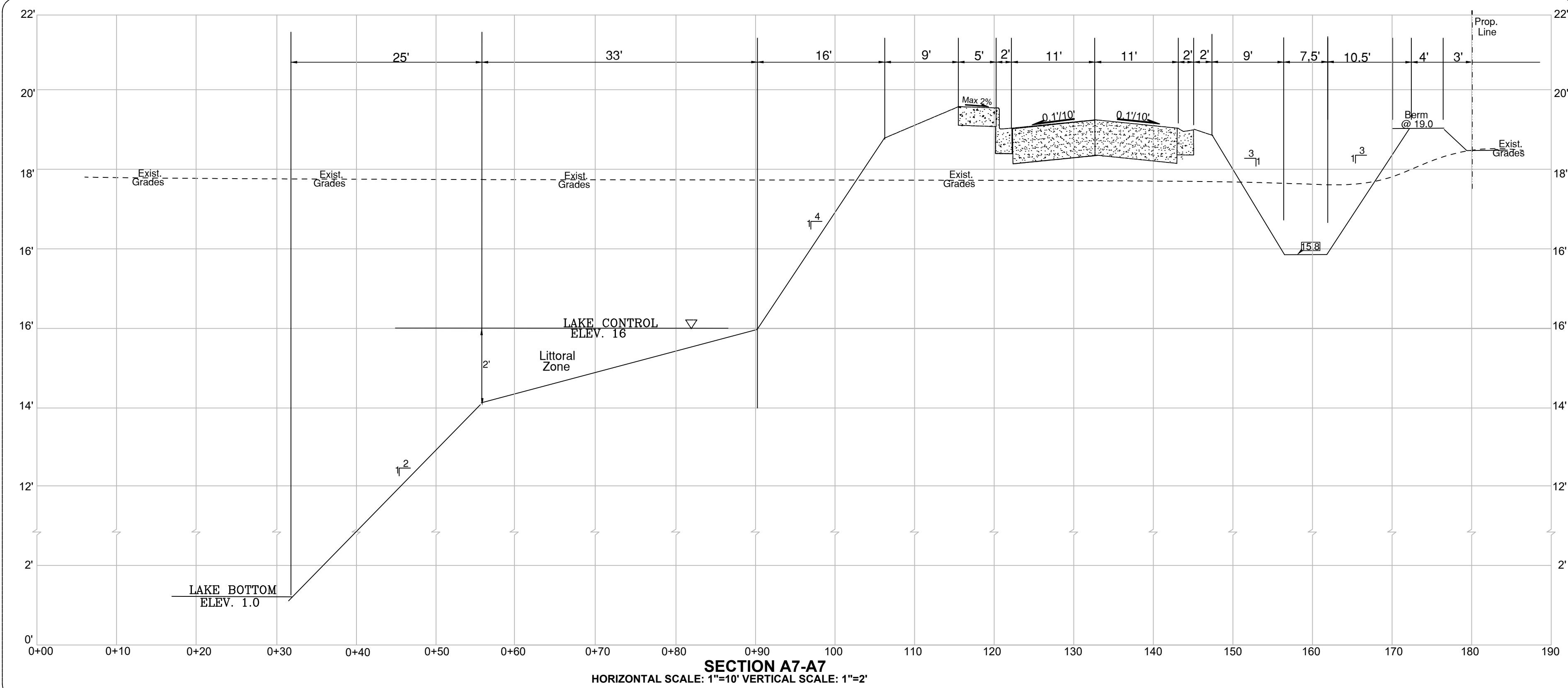
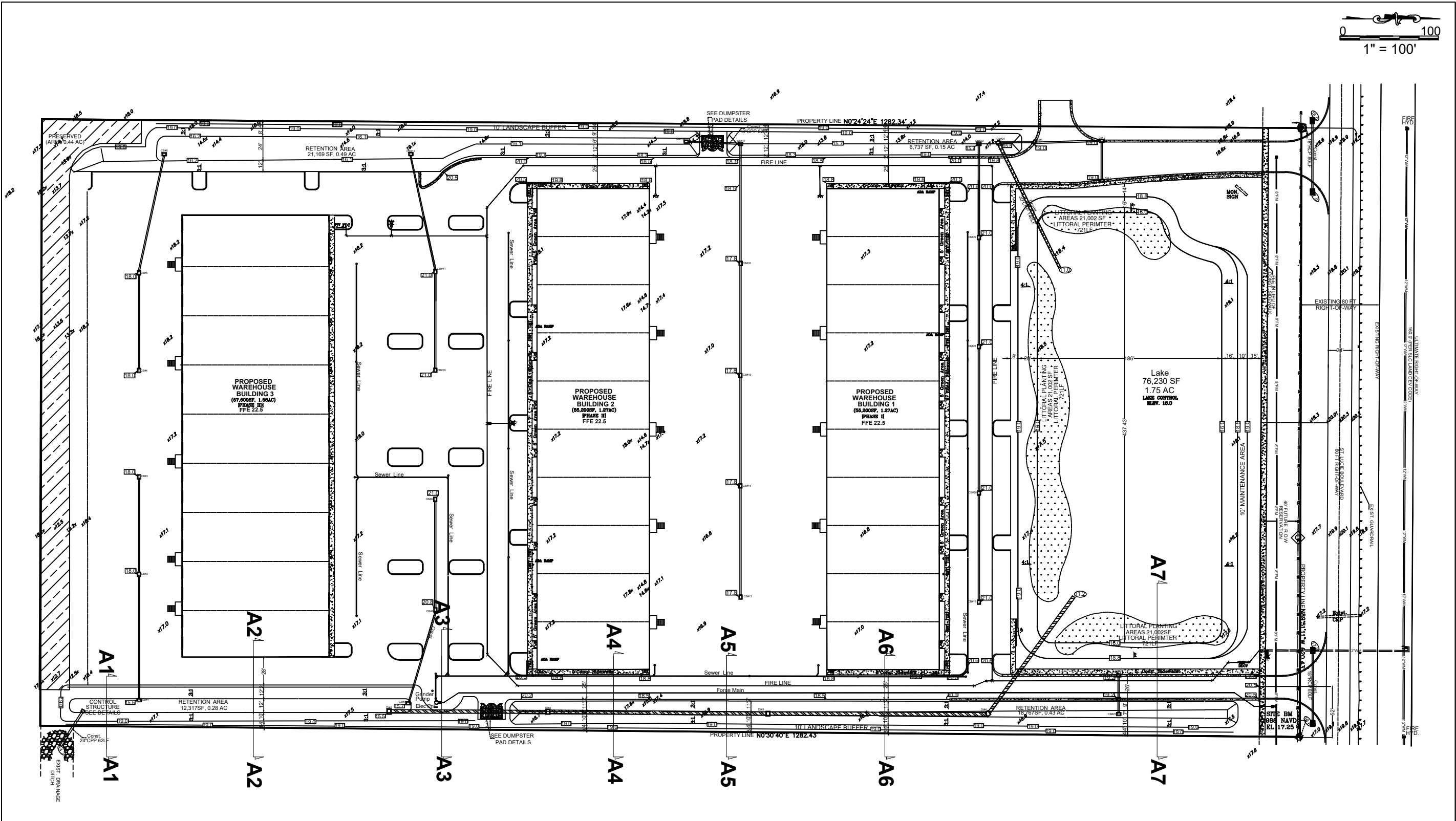


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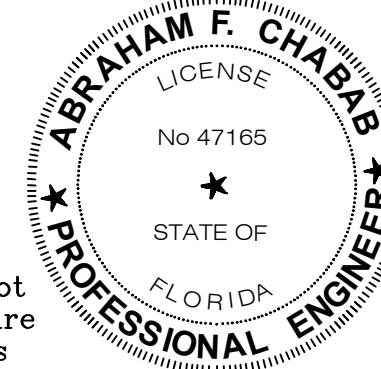
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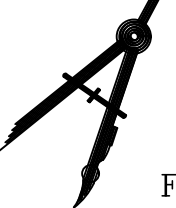
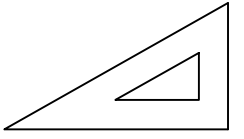
 ABRAHAM CHABAB, Inc. FL. BOARD OF PROF. ENG. AUTH.#26790 5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630	BHASIN PROPERTIES GRADING & PAVING PLAN	DESIGNED BY	AC	<table><tr><th>REVISIONS</th><th>DATE</th></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>	REVISIONS	DATE						
REVISIONS	DATE											
DRAWN BY	AC											
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SHEET	5 OF 10											

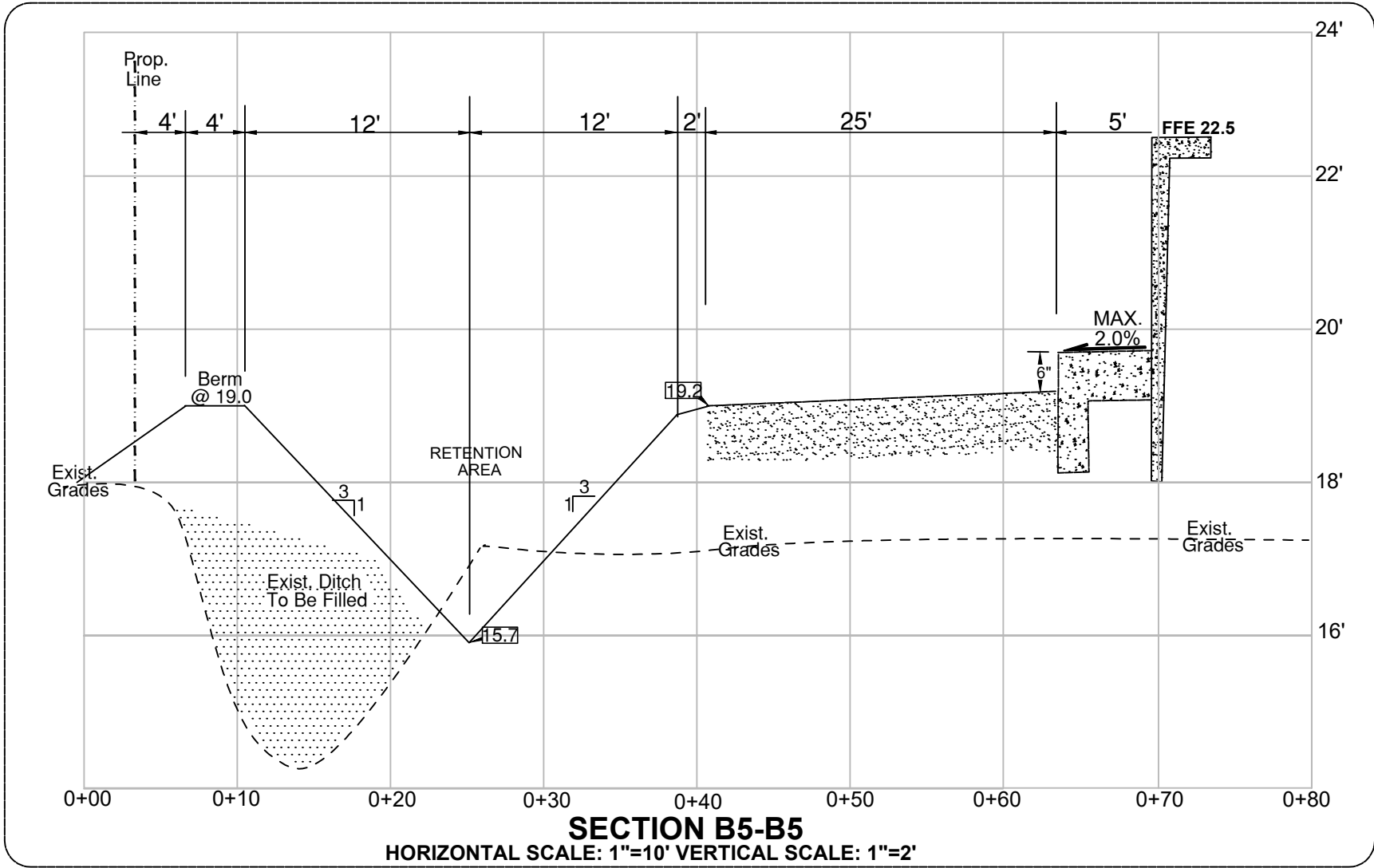
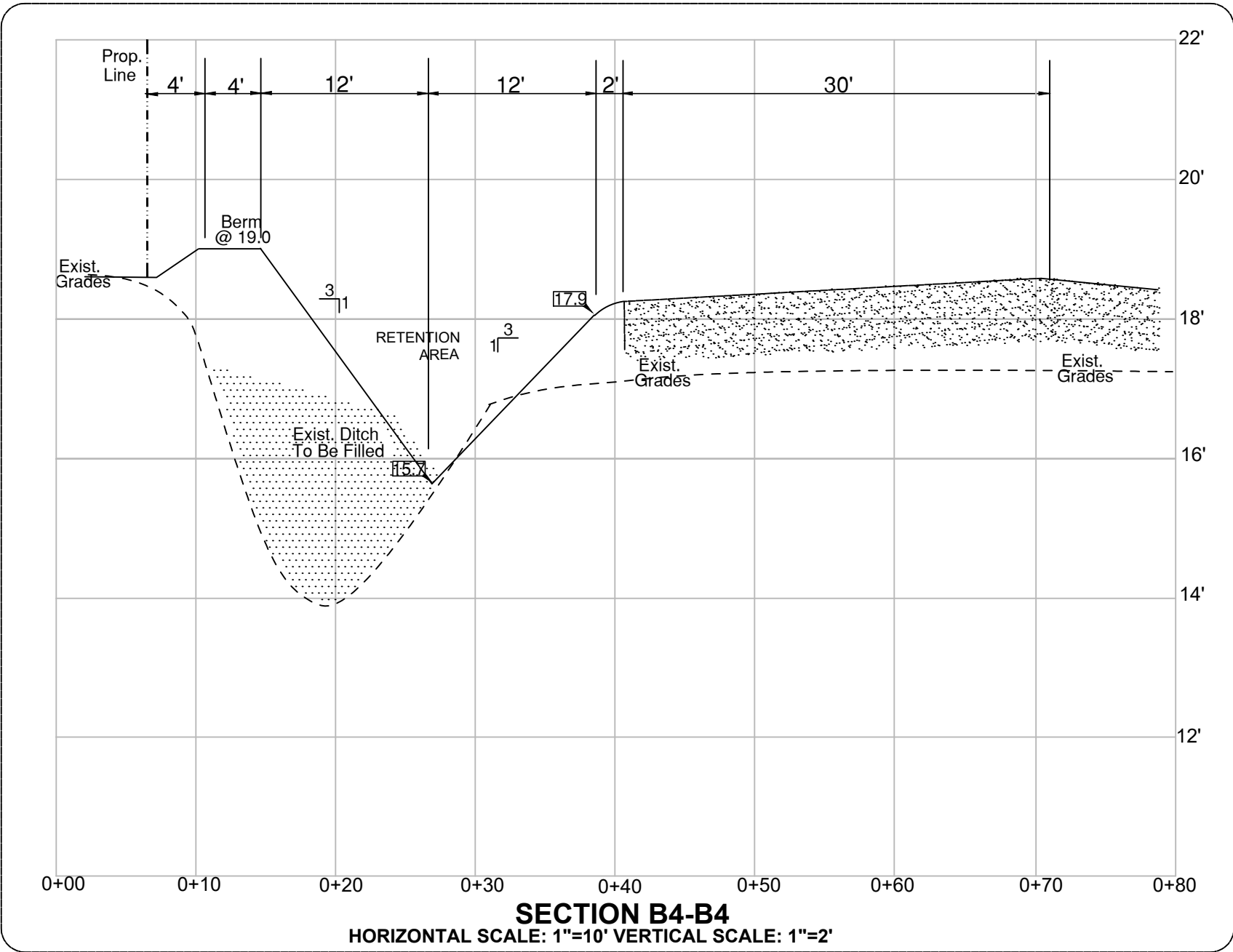
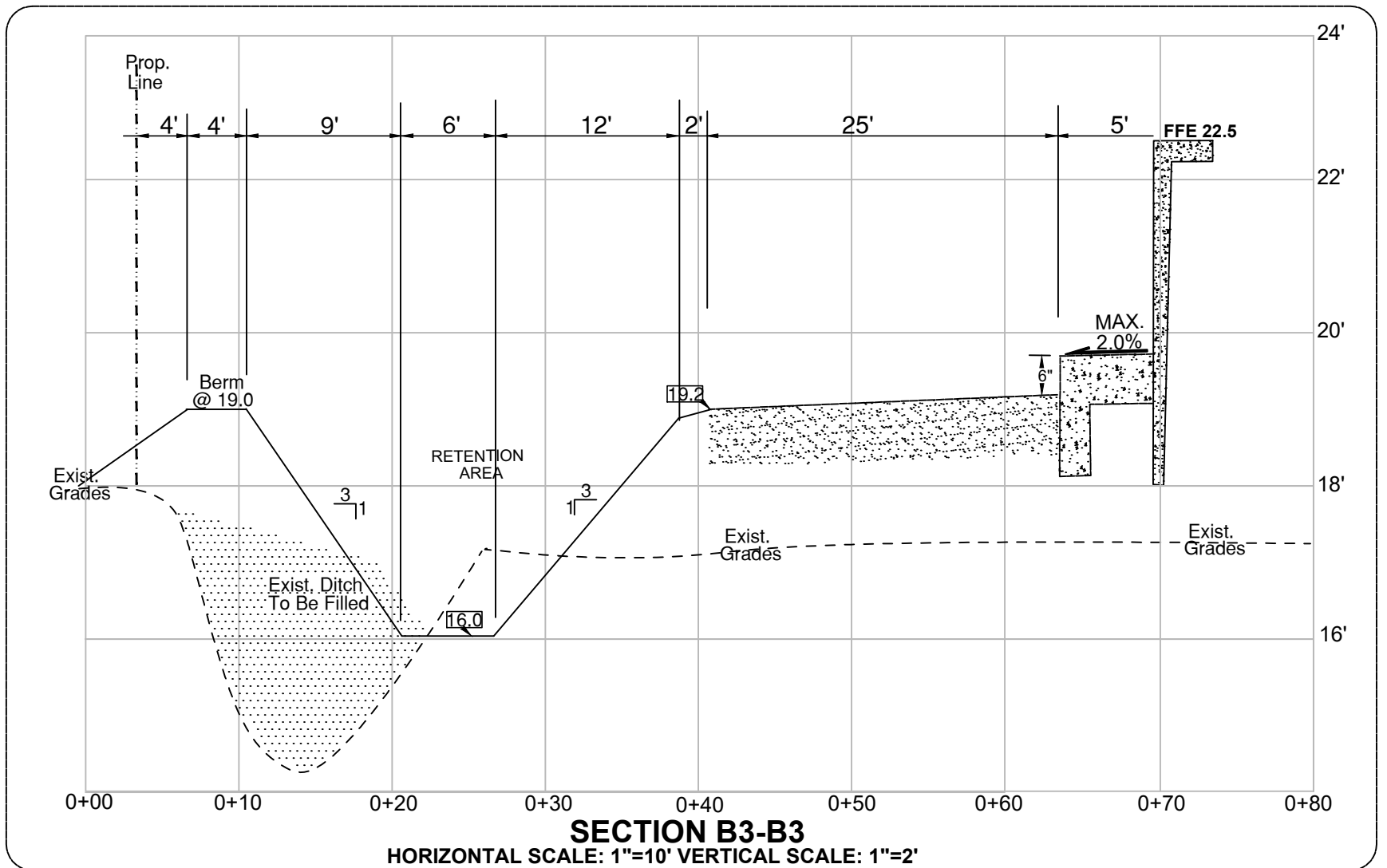
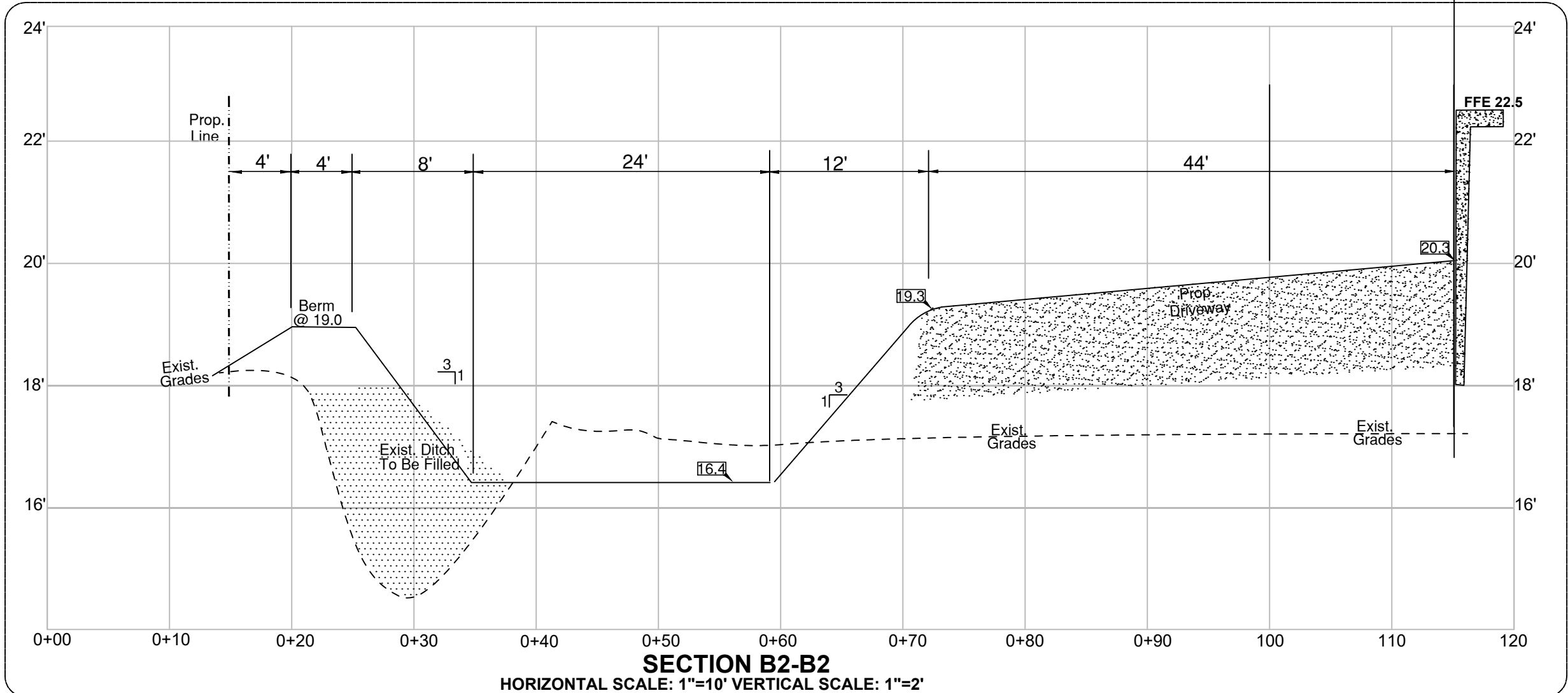
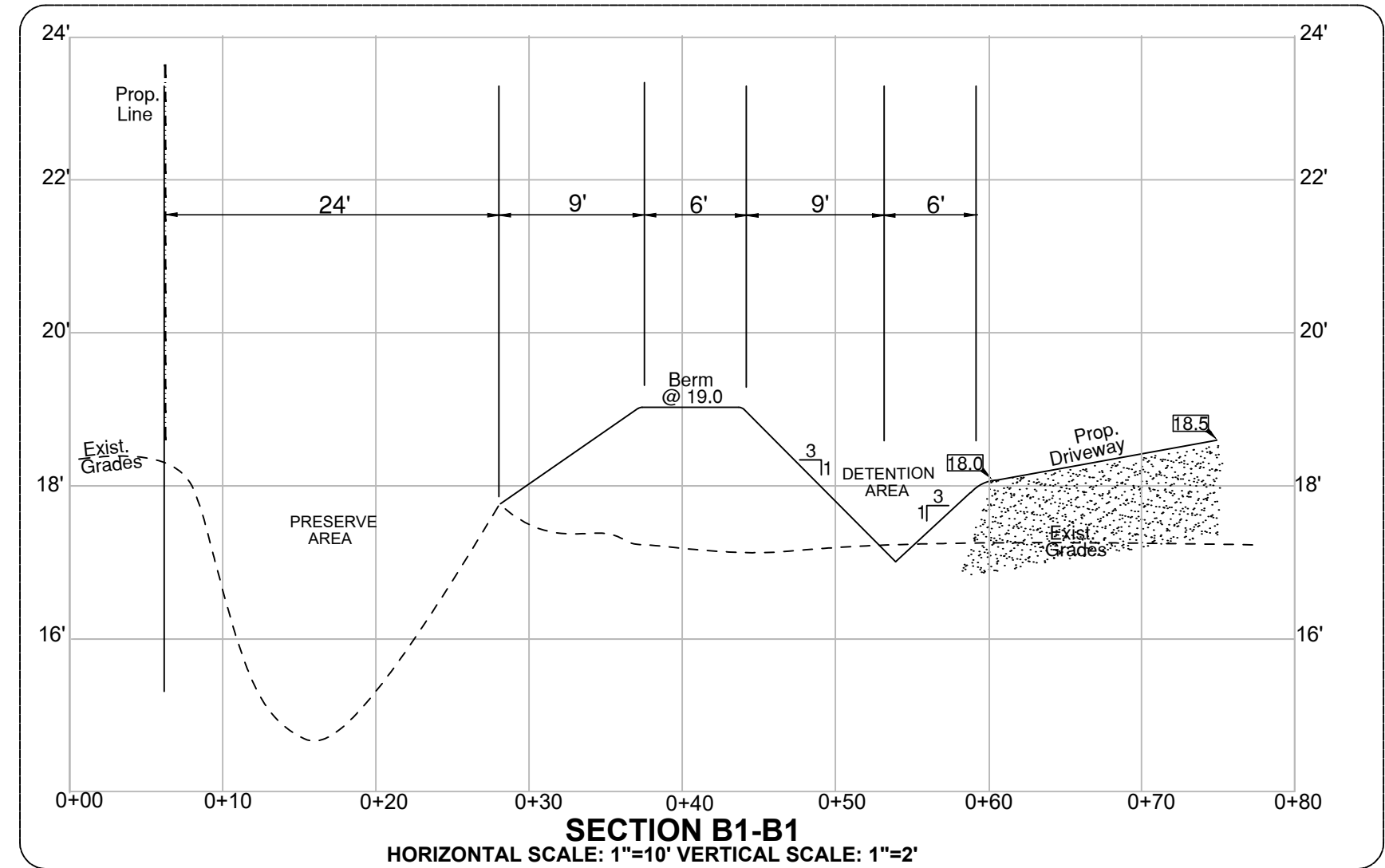
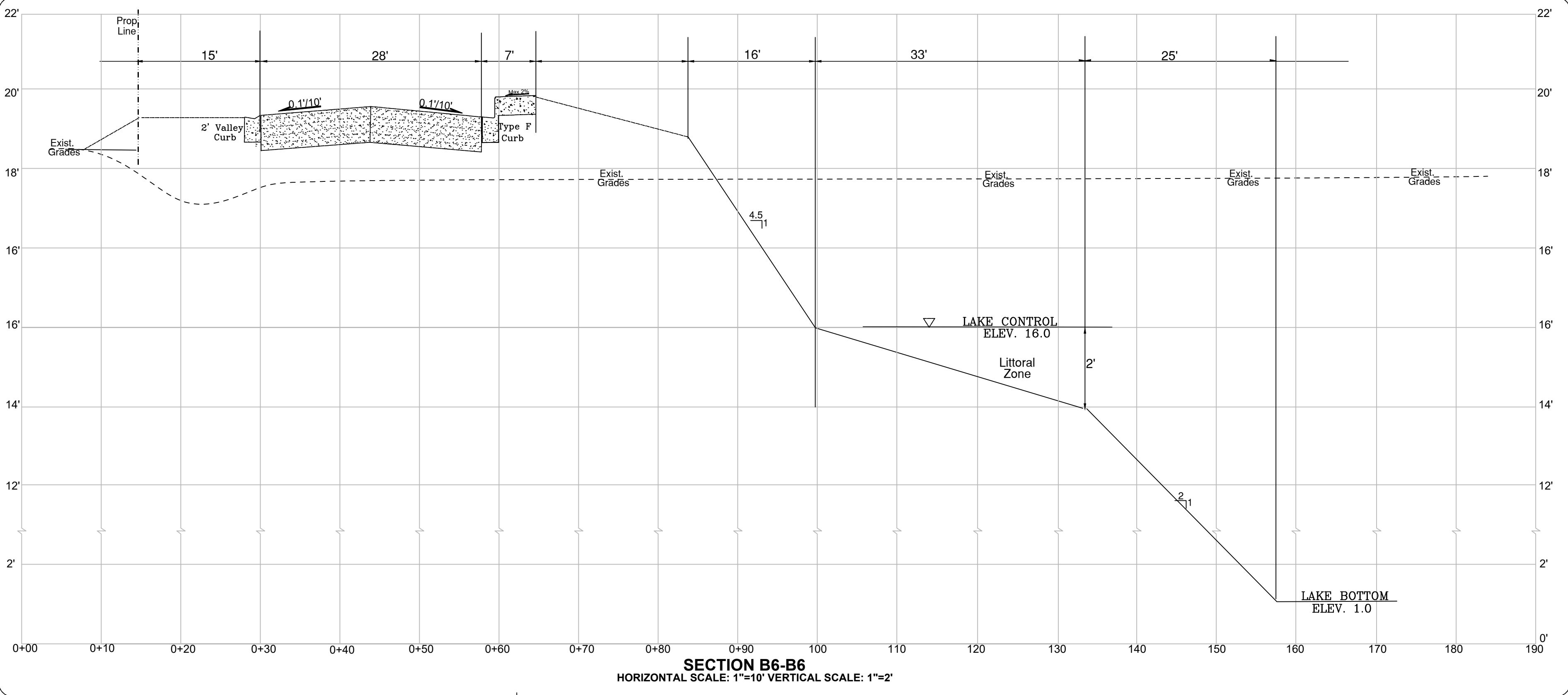
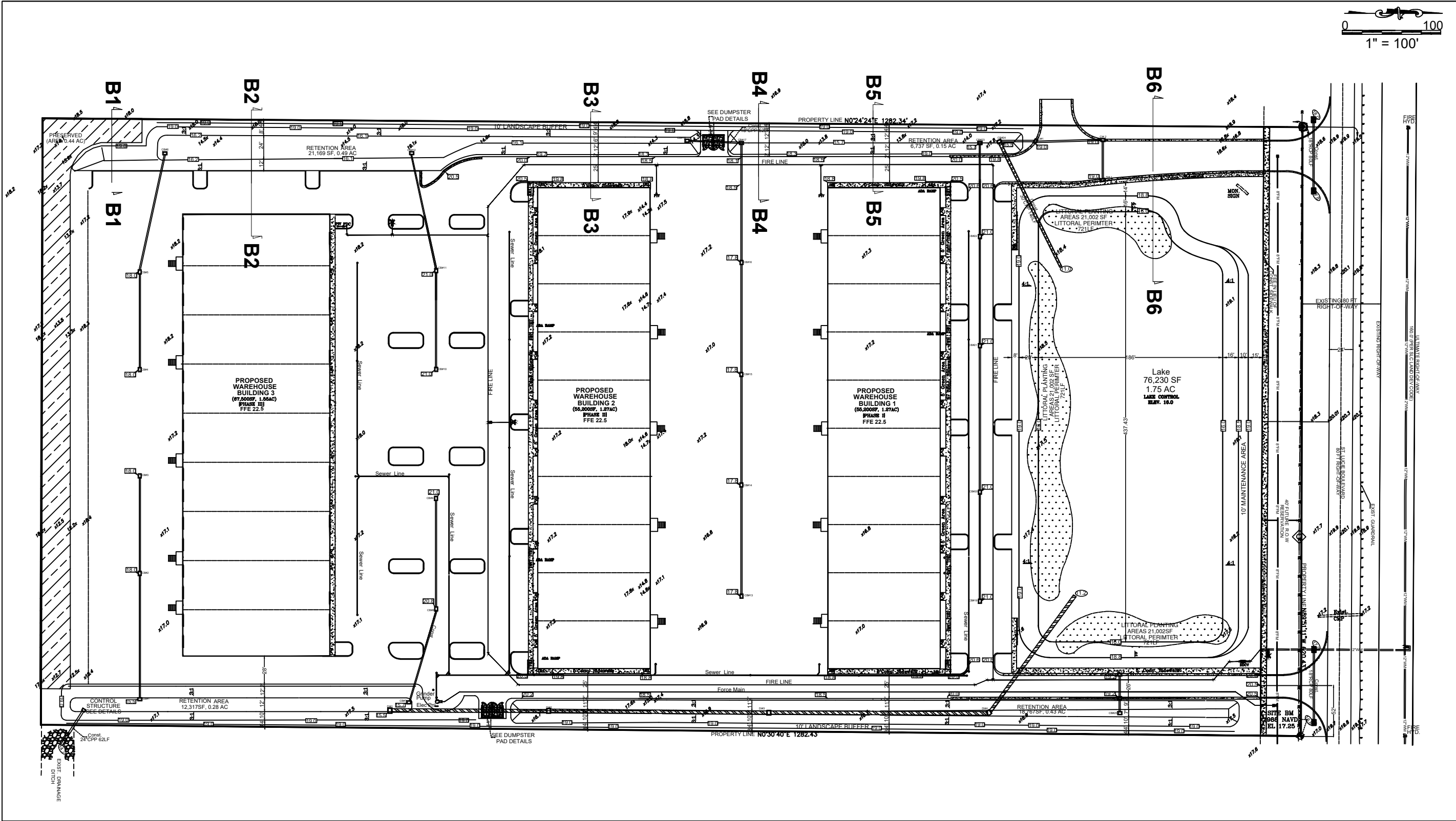


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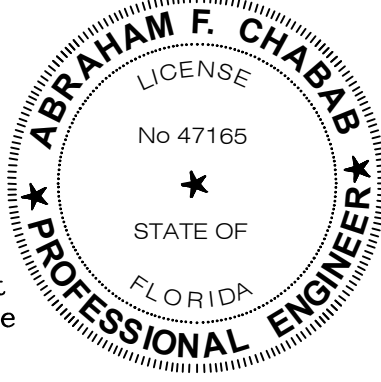
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		DRAWN BY AC		
		DATE Dec. 2/22		
		SHEET 6 OF 10		



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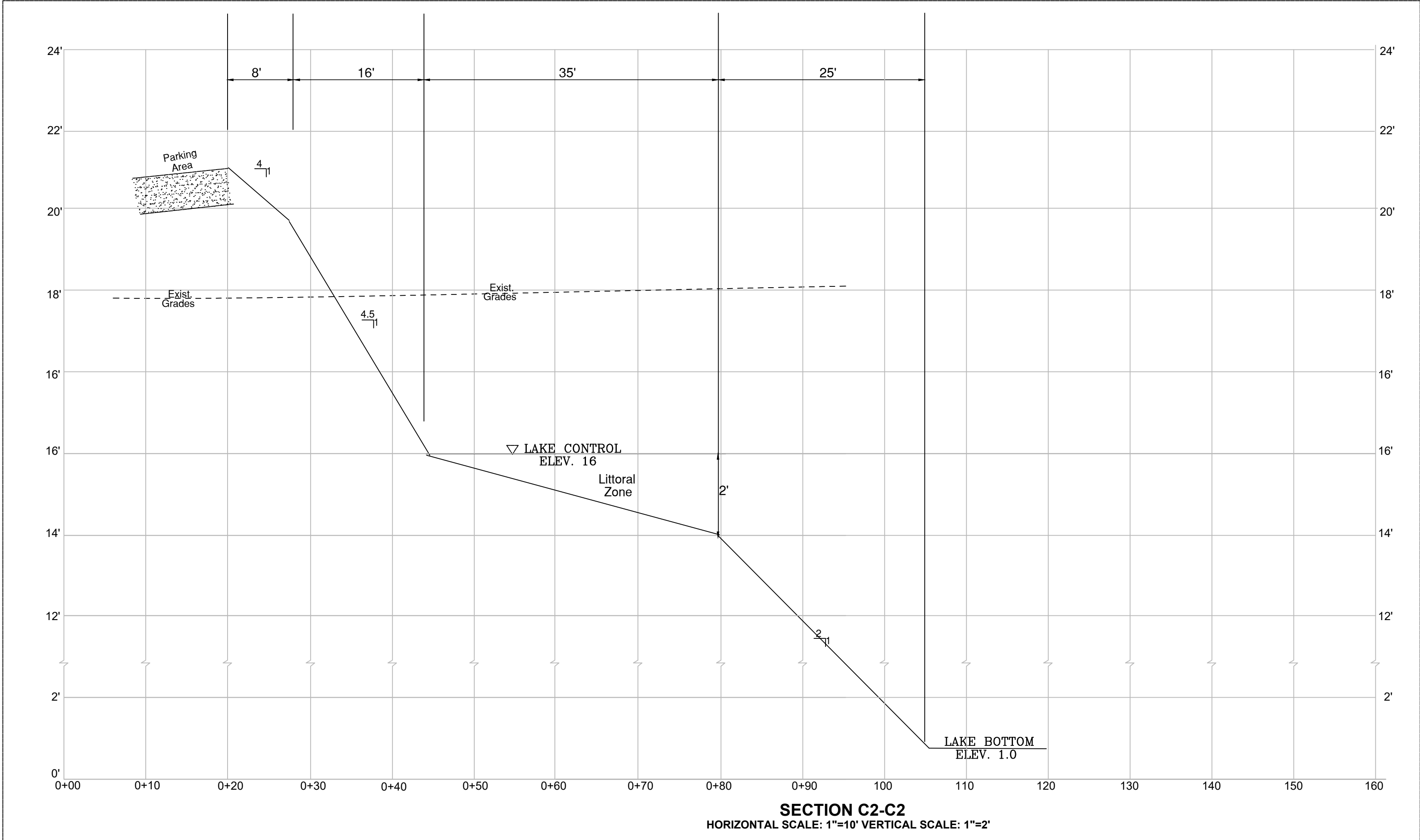
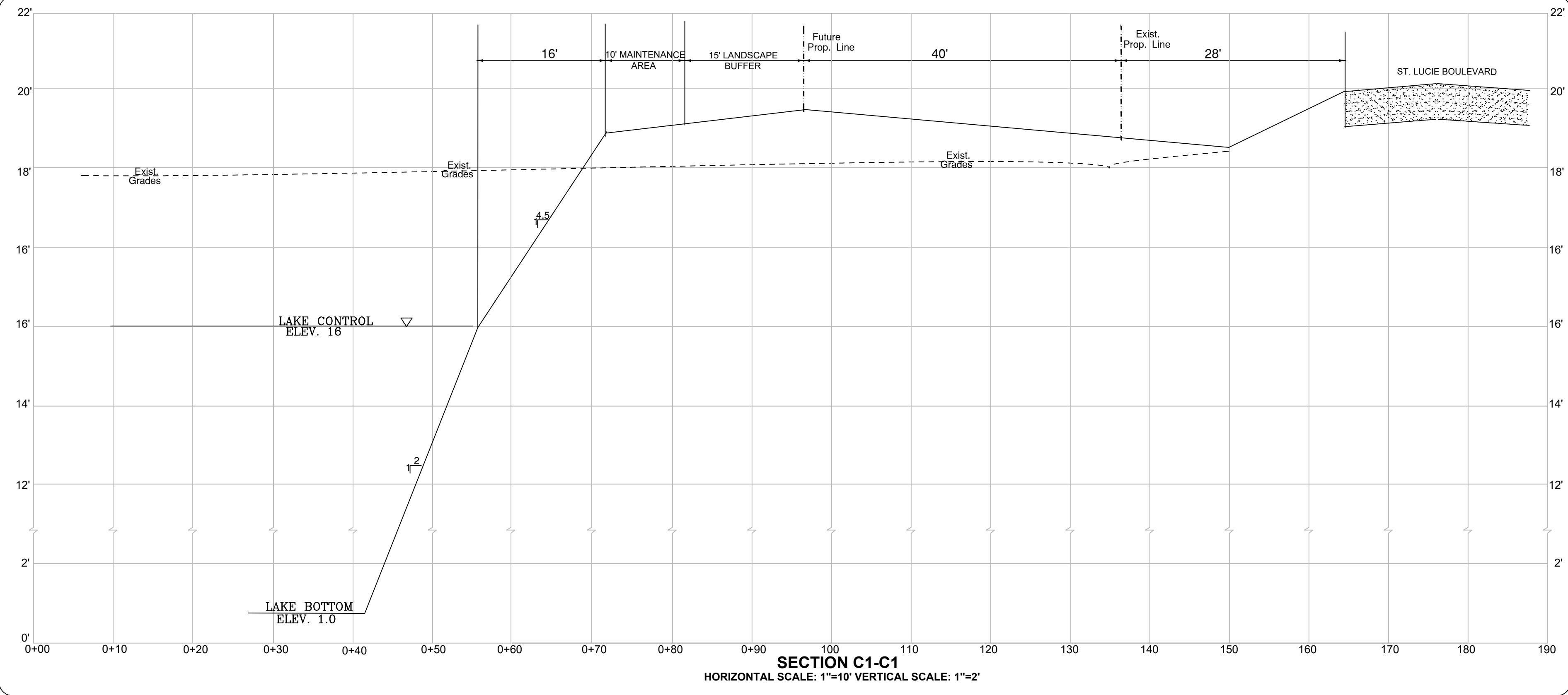
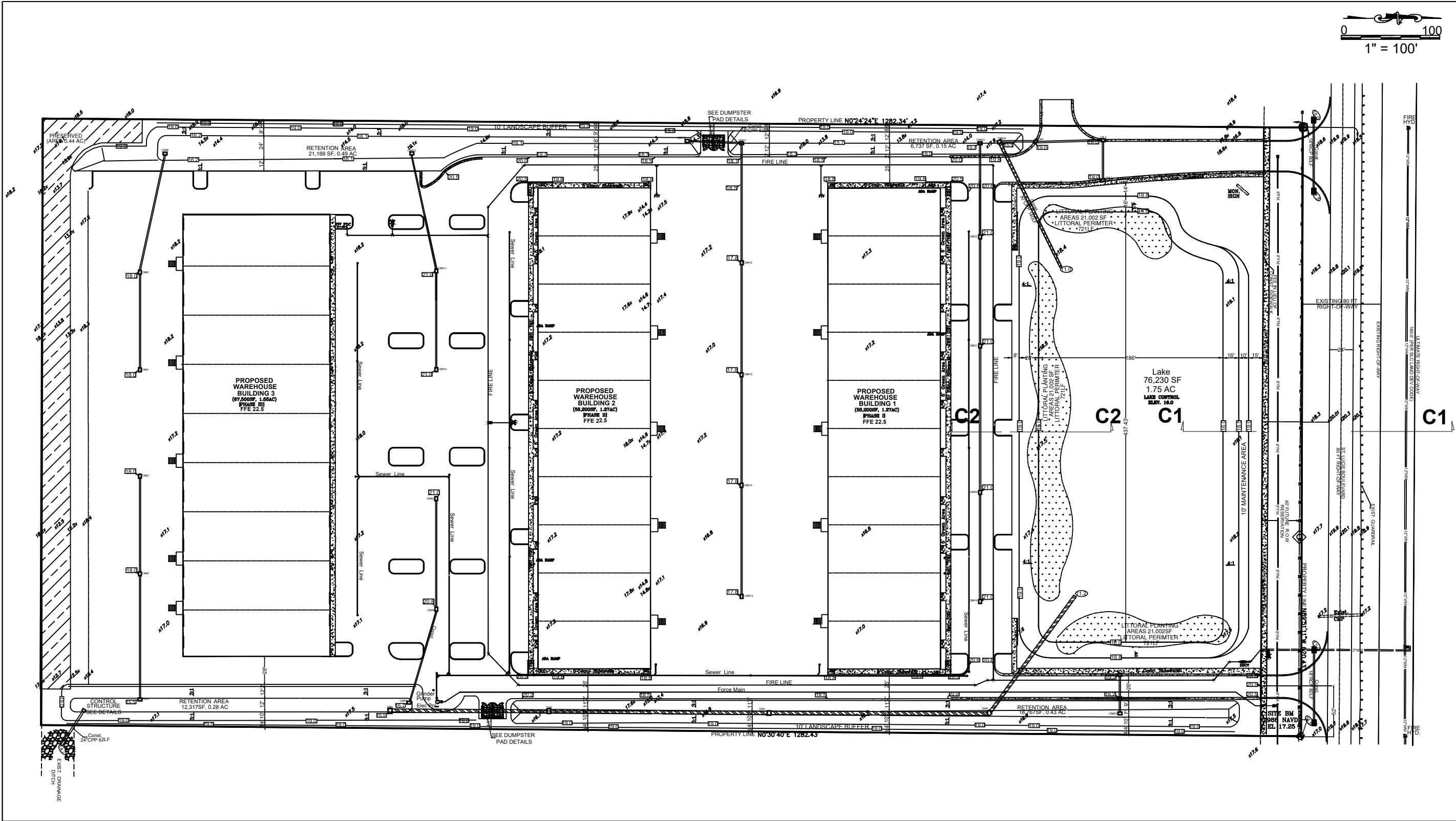
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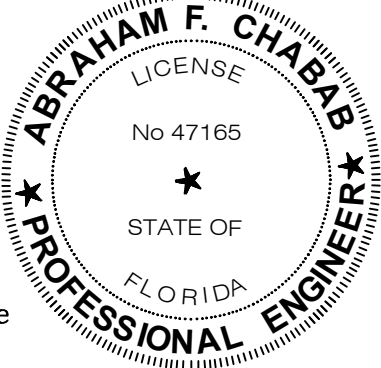
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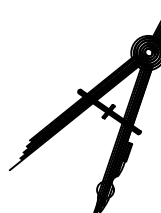
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SECTION DETAILS**

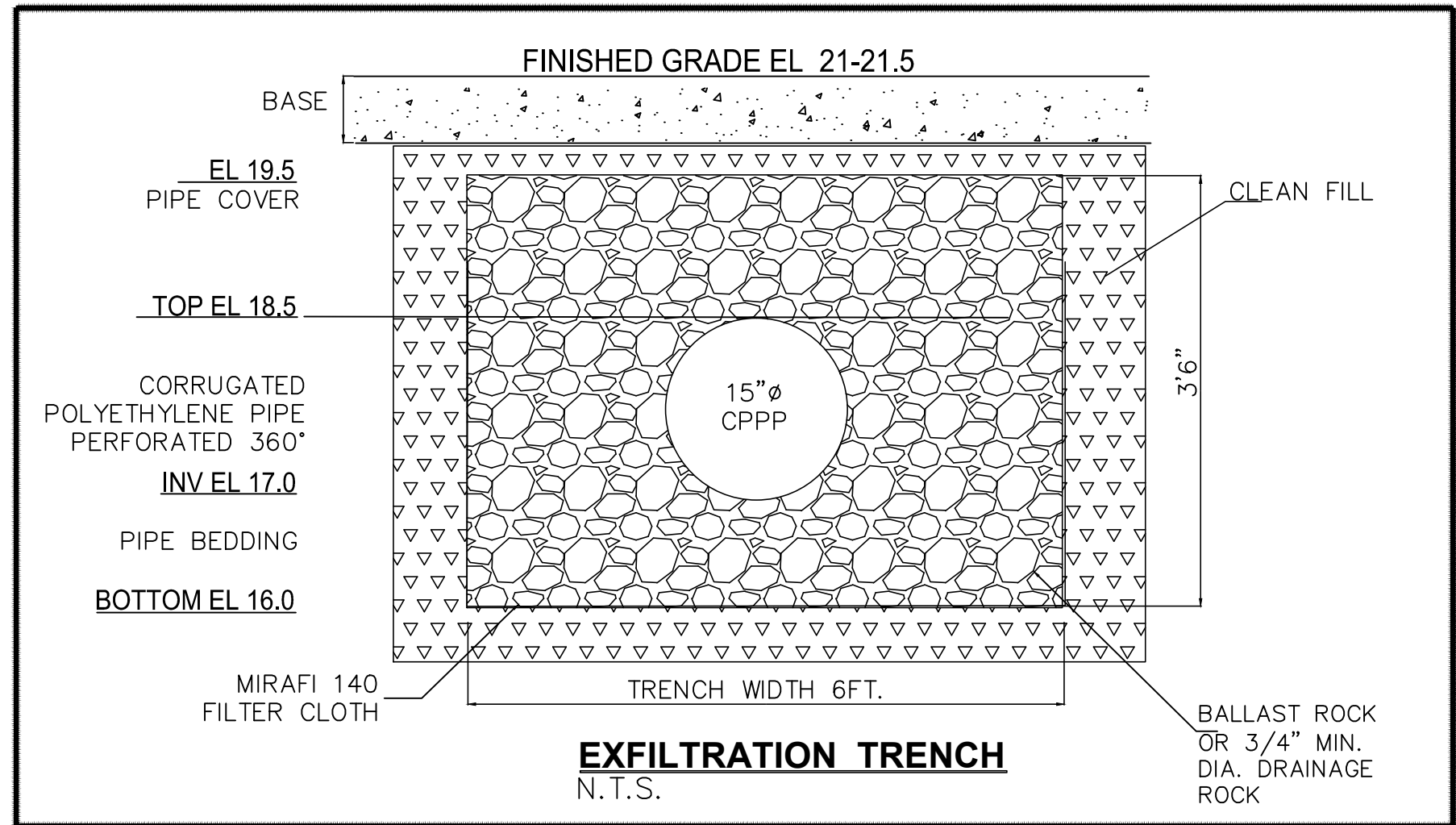
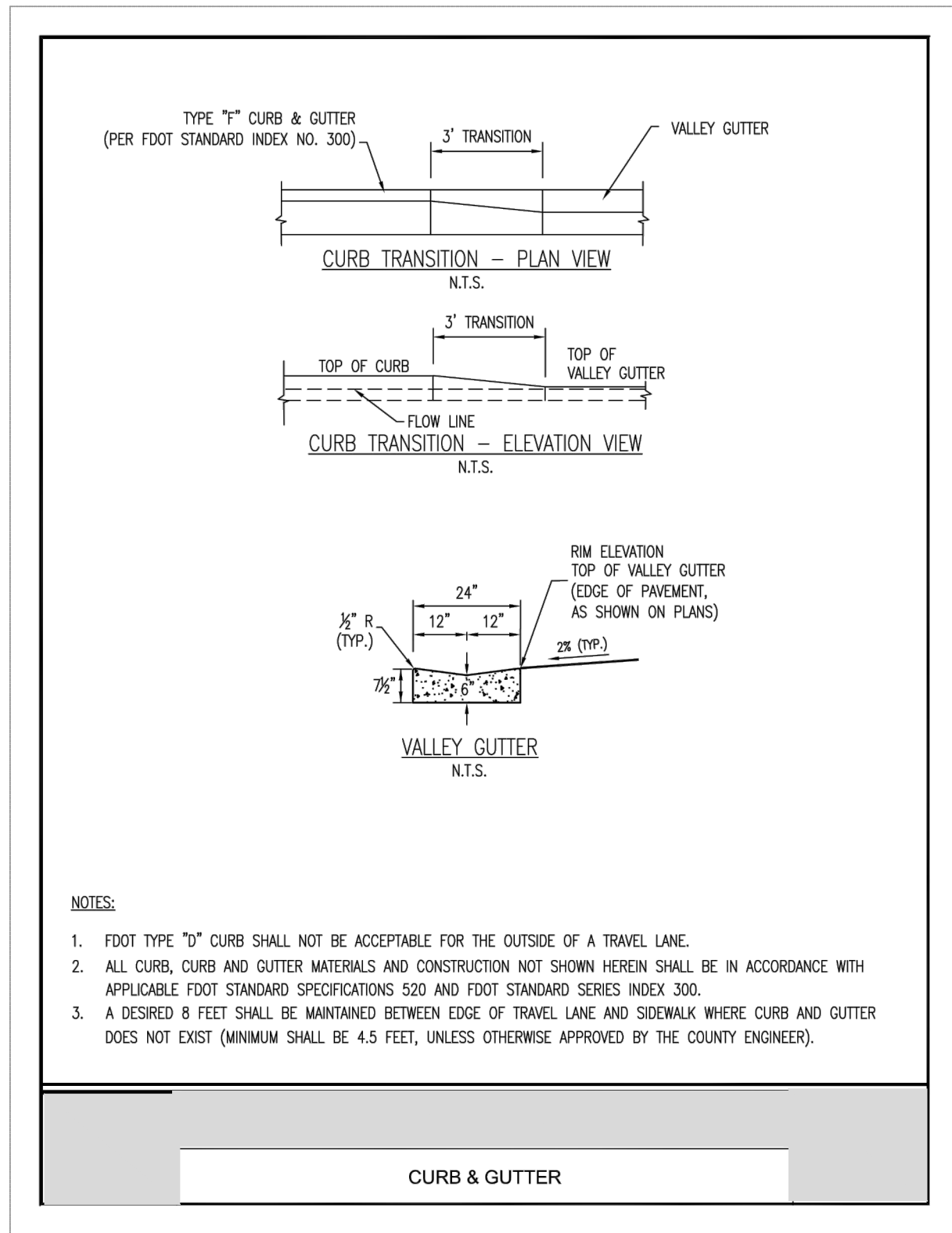
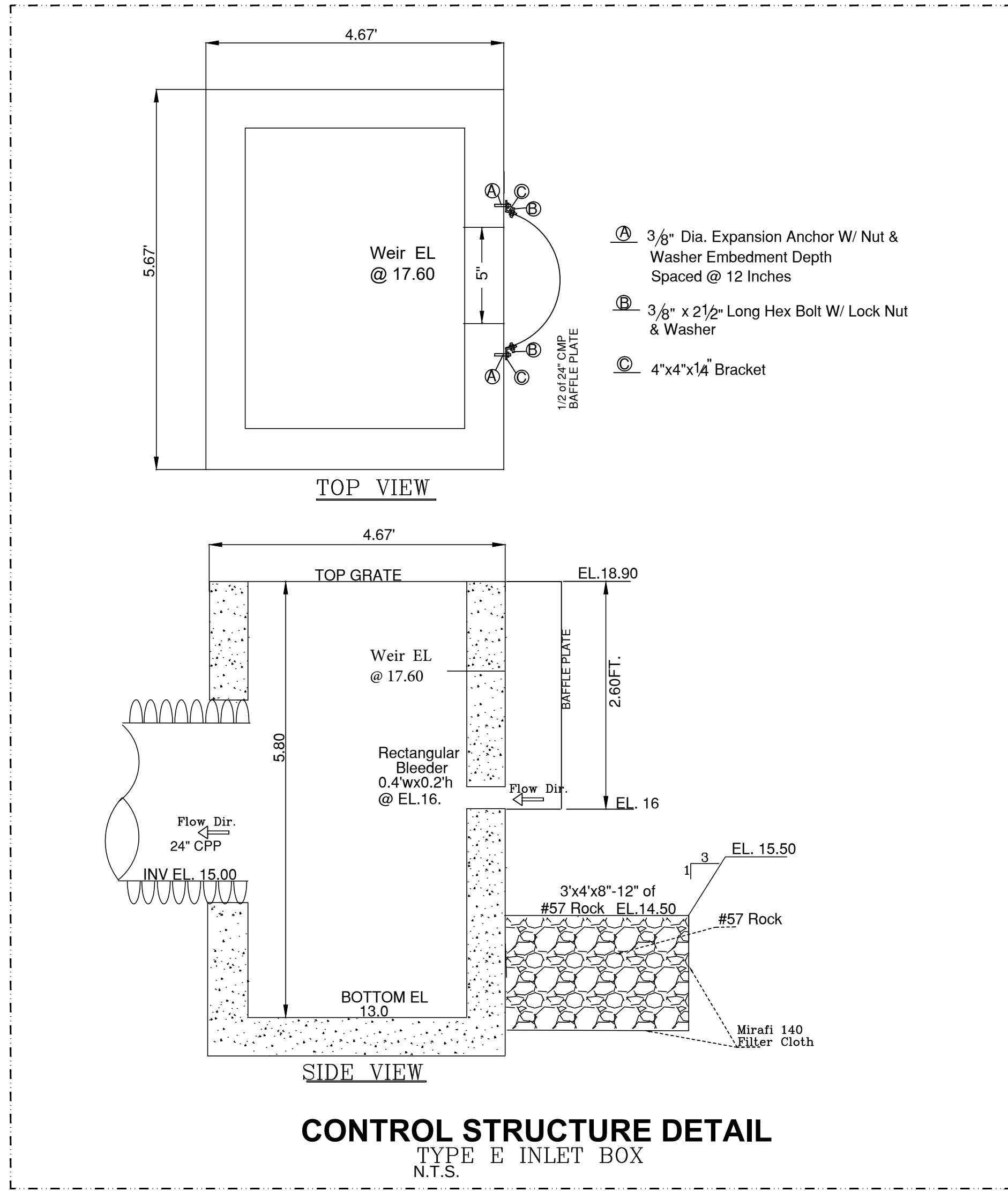
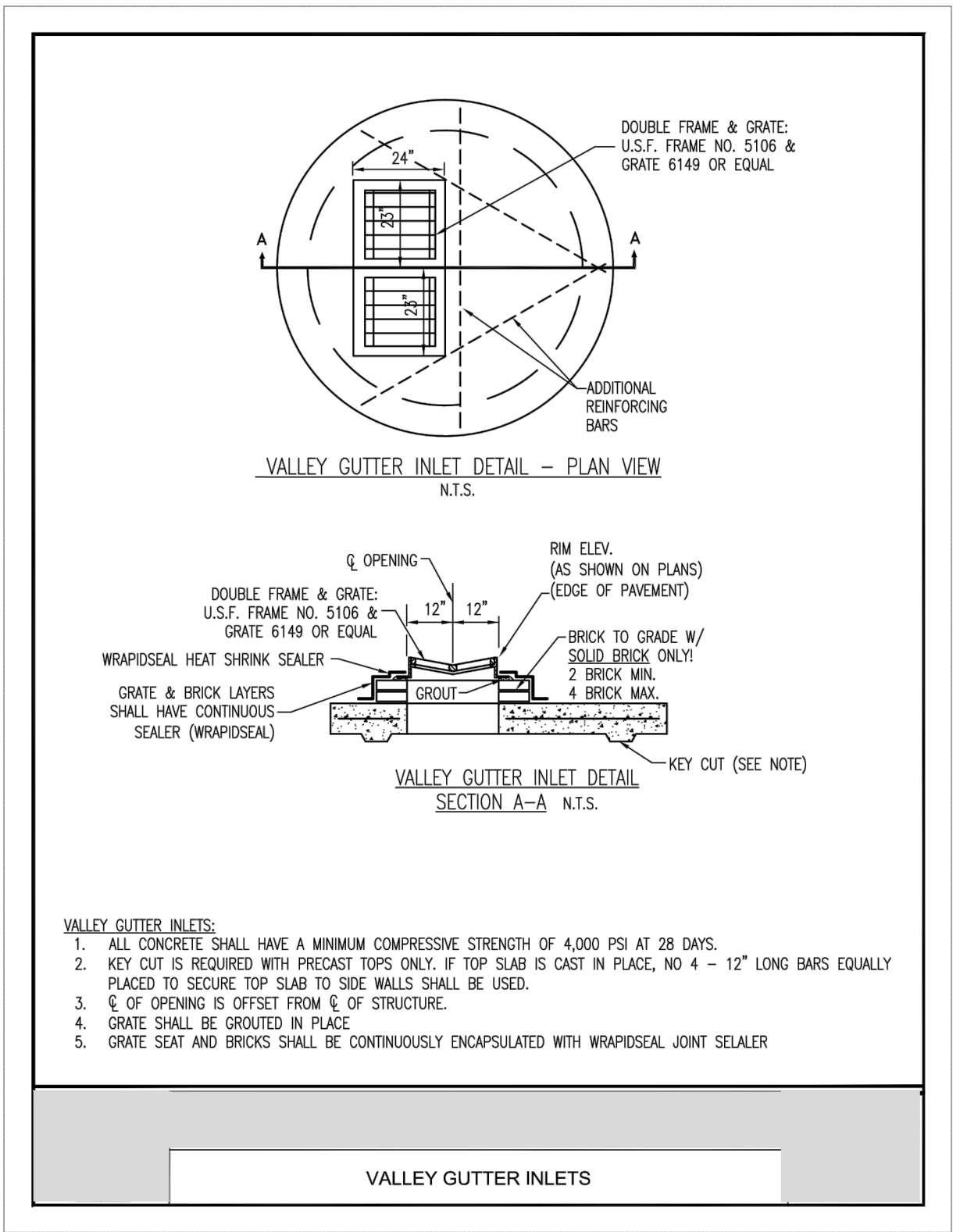
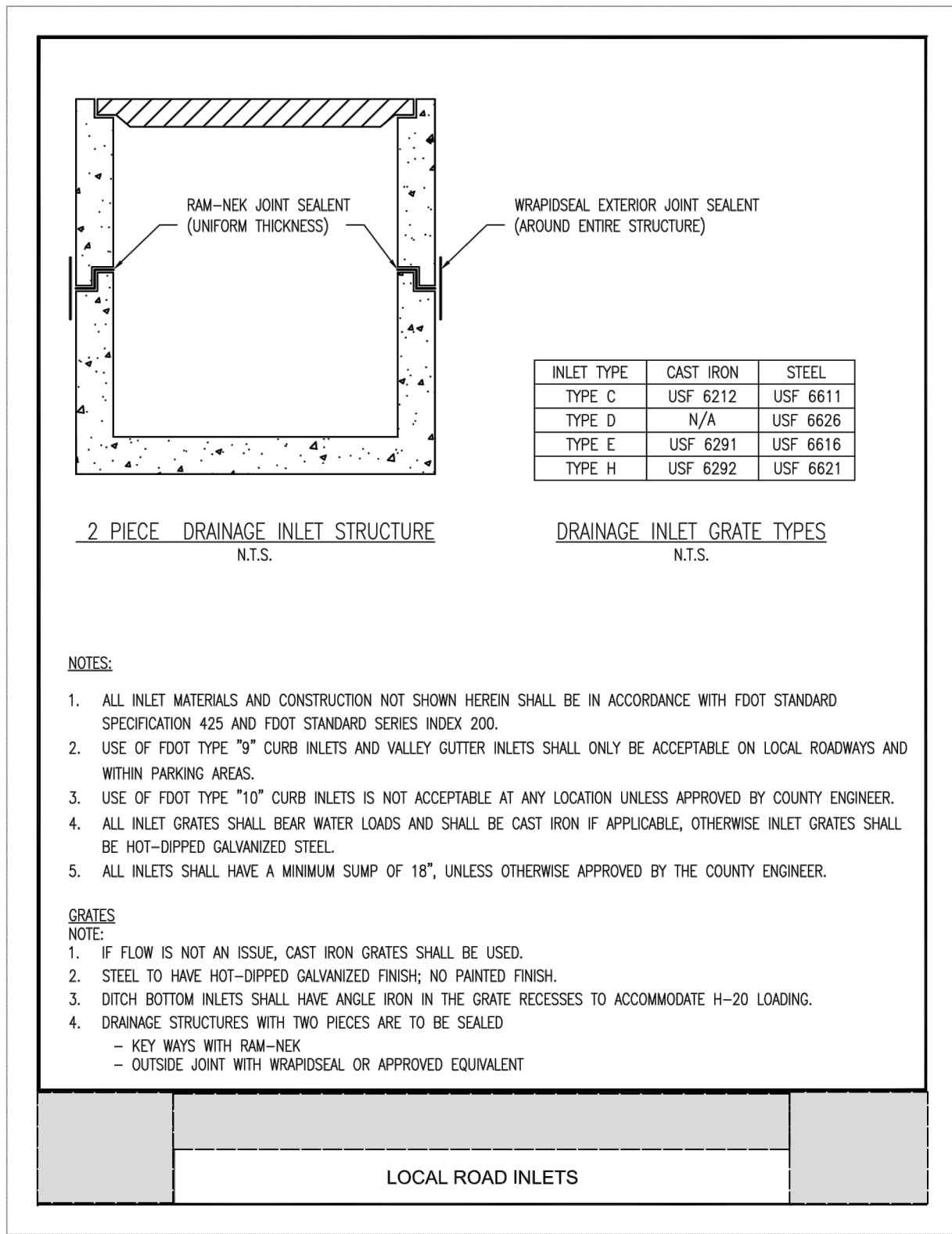


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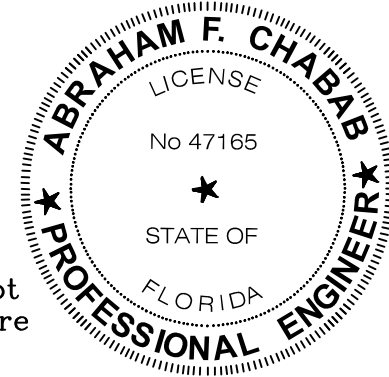
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		DATE	Dec. 2/22		
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GRADING & DRAINAGE SECTION DETAILS					



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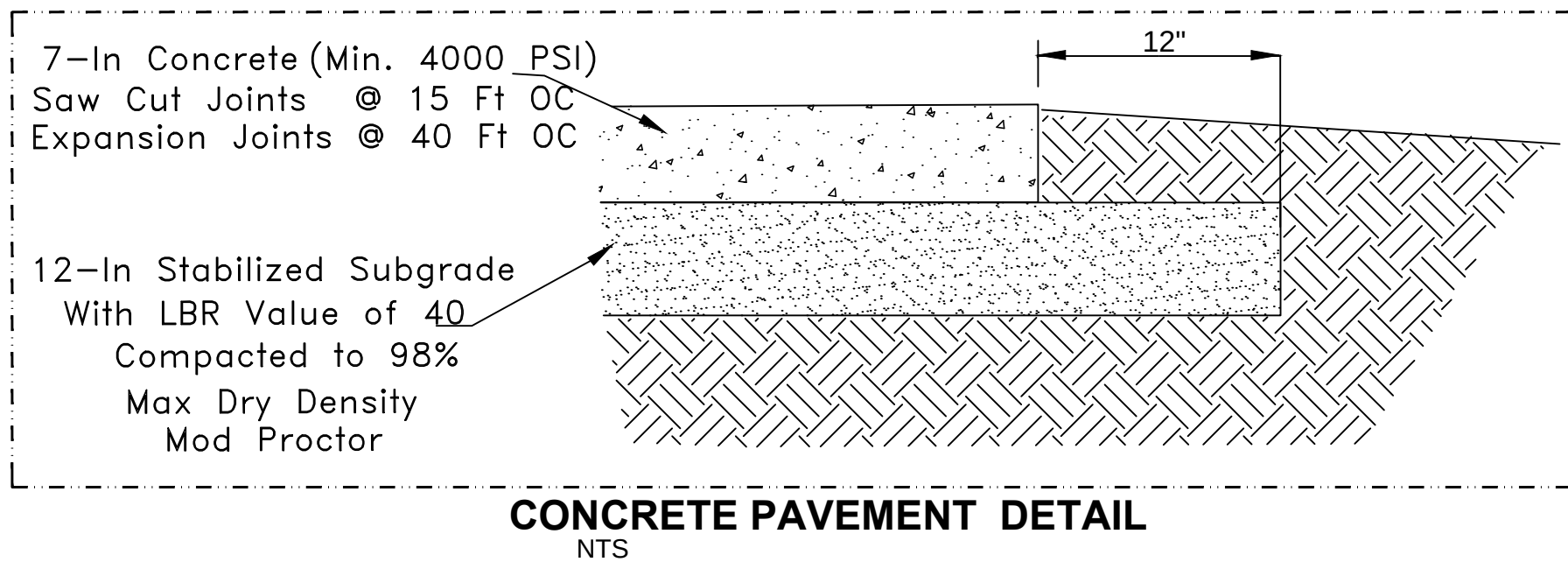
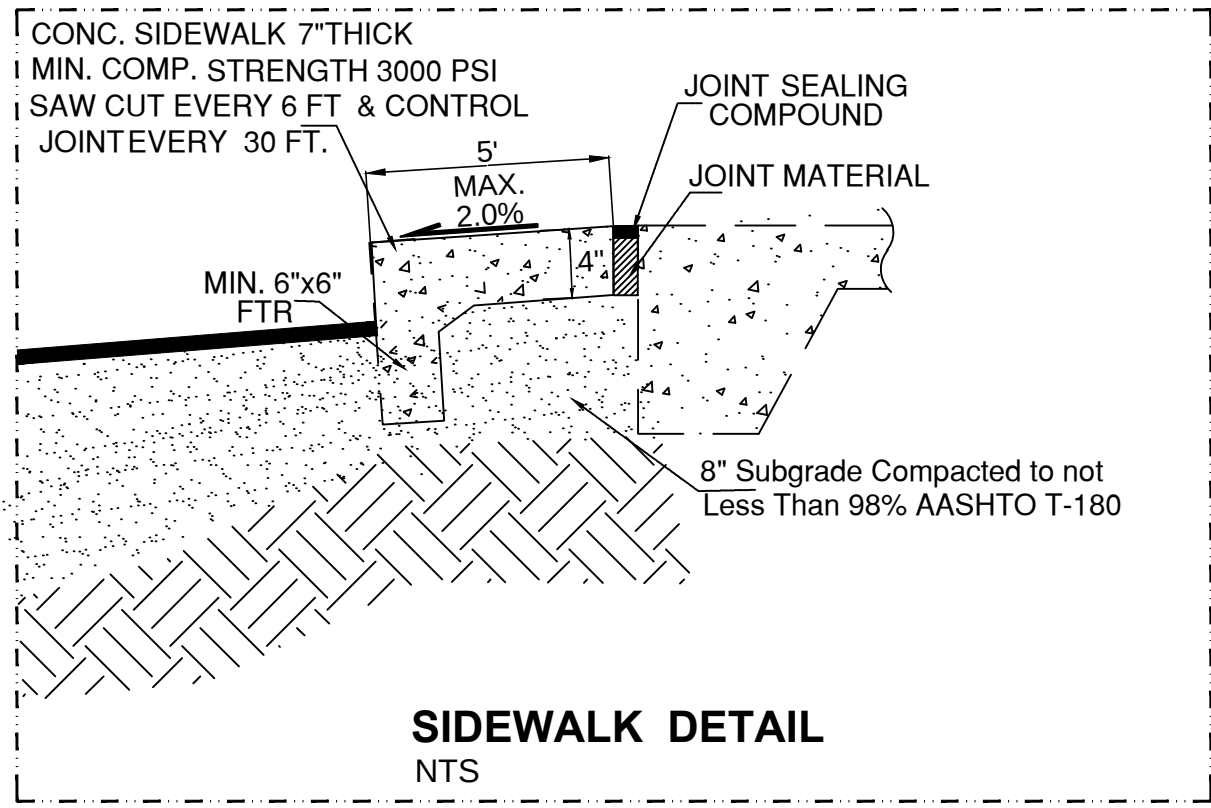


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5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630	CONTROL STRUCTURE AND TYPE V INLET DETAILS DETAILS	DATE Dec. 2/22		
		SHEET 9 OF 10		

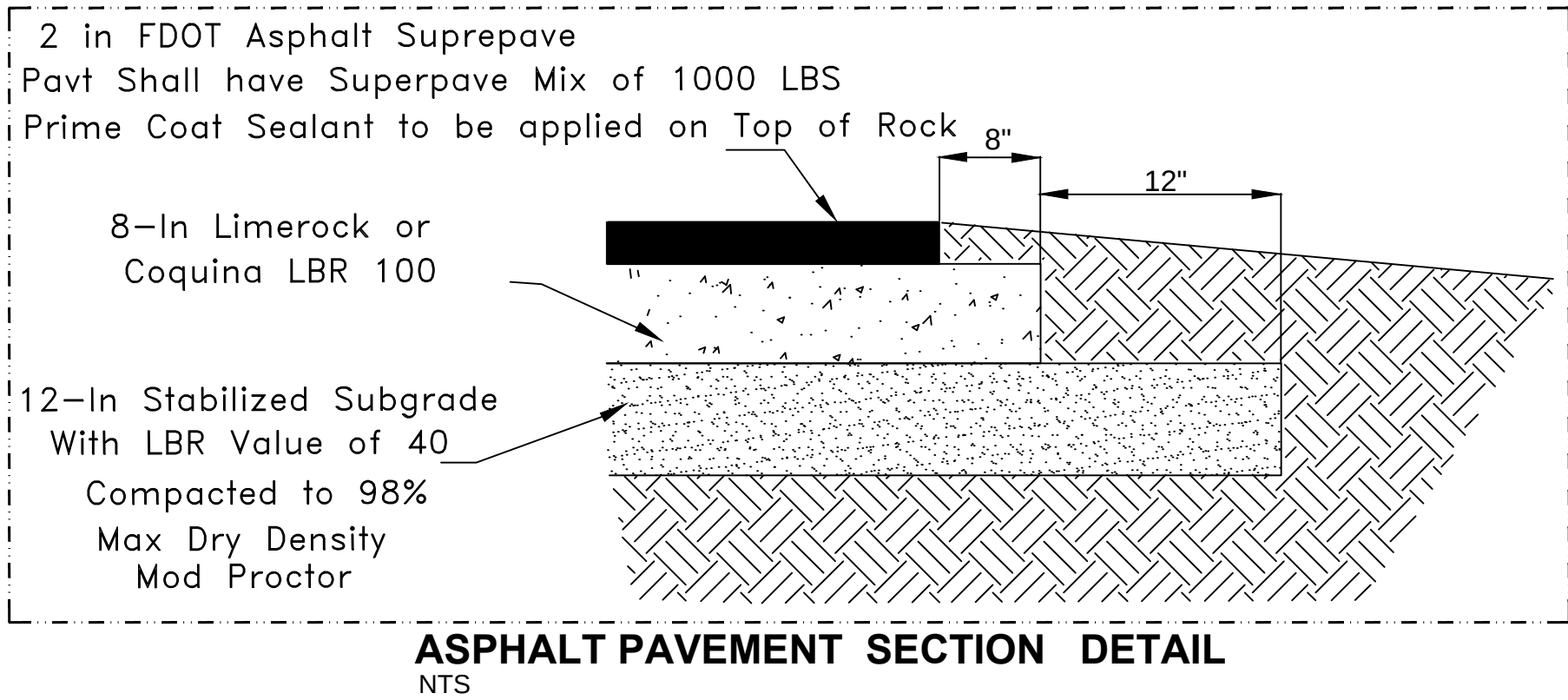
GENERAL NOTES

- All construction shall be in accordance with the latest Florida Department of Transportation Standard Specifications for Road and Bridge Construction with the Standard Specifications of the St. Lucie County.
- All applicable County permits must be obtained prior to commencement of construction.
- All work shall be done in a good workmanlike manner . Material installation shall be in accordance with manufacturer's recommendations.
- Shop drawings of all materials being used shall be submitted to the engineer of record for approval prior to commencement of construction .
- Contractor shall notify the city & the engineer of record 48 hours in advance prior to commencing work in city Right-of-Way.
- Contractor to be totally responsible for maintenance of traffic and safety of motorists and pedestrians using this site. Adjacent streets roadways and waterways during construction maintenance and safety procedures shall conform to M.U.T.C.D.
- All Elevations shown or referenced within these plans are based upon information obtained from survey.
- The existing elevations shown are for the purpose of indicating the approximate ground elevation at the location shown and in no way reflect surface conditions or subsurface soil condition.
- The locations of existing utilities shown on the approved plans are to be verified in the field by the contractor. Any discrepancies shall be brought to the attention of the engineer . At no time is the contractor to tamper with existing utilities except as noted on the plans.
- The contractor shall be responsible at all times throughout the duration of construction for the protection of existing and newly installed utilities from damage or disruption of service .
- All muck and yielding material within road right of ways , paved areas , sidewalks , building pads, drainage and utility trenched shall be removed completely and replaced with clean fill material in 8 inch layers compacted to 100% maximum density as determined by A.A.S.H.T.O. T-99C .
- Backfill and Bedding material shall be non-cohesive and non-plastic , free of debris , lumps , clods , wood , broken pavement or any organic or unstable material . No rocks larger than 6 inches shall be permitted as backfill or bedding.
- Record Drawing certified by a Florida Professional Engineer or Land Surveyor shall be submitted for review and approval to engineer of record and proper jurisdictions for final acceptance of the system .
- U.N.C.L.E. registration number must be shown on drawings prior to start of construction in right-of-way and prior to permit issuance .
- Turbidity barriers must be installed at all outfall locations prior to connecting to receiving waters. Turbidity barriers must remain in place until construction is completed , soils are stabilized and vegetation has been established .

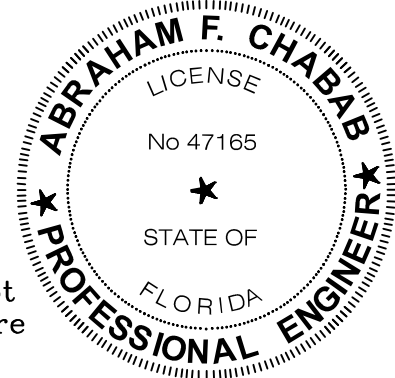


PAVING GRADING AND DRAINAGE NOTES :

- Asphalt pavement shall conform to applicable parts of section 300-339 as described in Florida D.O.T. standard specification for Road and Bridge Construction .
- Limerock base construction shall conform to applicable parts of section 200-230 as described in Florida D.O.T. Standard Specification for Road and Bridge Construction . Base course shall be compacted to a density not less than 98% of the maximum density as determined by A.A.S.H.T.O. T-180 and have a minimum LBR of 100. Prime coat application rate at .10 Gal/SY density tests for base course greater than 8 inches in depth shall be take in 6-in lifts.
- Compacted subgrade construction shall conform to applicable parts of section 120 , as described in Florida D.O.T. Standard Specification for Road and Bridge Construction compacted subgrade shall be compacted to 100 % maximum density as determined by A.A.S.H.T.O. T-99C .
- Proctor tests for subgrade and base materials shall be supplied by the developer . Density tests shall be taken at a minimum of one per 500 square yards . The developer shall pay for all testing if the required density is achieved . Contractor shall be liable for all retests for any failures . Tests location shall be determined by the Engineer of Record . Base/Asphalt shall not commence until satisfactory density tests have been reviewed by the Engineer of Record.
- All underground utilities situated in paved areas , included but not limited to ; sewer and water mains , gas mains , electrical distribution , telephone , etc. shall be completed and approved before any subgrade work commences .
- Concrete for curbs , gutters , drainage inlets , sidewalks , etc. shall be class 1 in accordance with F.D.O.T. Standard Specification for Road and Bridge Construction section 345.
- Pavement markings and signage shall conform to Florida D.O.T. Roadway and Traffic Design Standards , the Manual on Uniform Traffic Control Devices , with the Standards of the Agency having jurisdictions .
- Radii refer to edge of pavement unless otherwise noted.
- Materials and workmanship in county rights-of-way shall meet the requirements of the county.
- No asphalt shall be placed in city , county or state rights-of-way until certified as-built of the finished rock base have been submitted to and approved by proper agency.
- Any Muck (A-8) materials found in subgrade shall be removed and replaced with approved materials .
- All berms and grassed areas will be seeded and mulched . Slopes will be sodded .
- Location of drainage structures shall govern and pipe lengths may have to be adjusted to accomplish construction as shown on plans.
- If hardpan is encountered within retention area or swales , it shall be completely removed and replaced with granular material .
- Erosion and sediment control ; contractor is responsible for providing erosion and sediment control using the latest FDOT standards , baled hay , straw and siltation barriers will be installed where needed to prevent siltation of adjacent property , public right-of-way wetlands and waterways . These measures will remain in place until grassing or sodding has been completed or until siltation and erosion are no longer a threat to adjacent properties.
- Entrance traffic control , stop sign , stop bar and lane delineator shall be in accordance with M.U.T.C.D. specifications.
- MES indicates mitered end section per FDOT index # 272.
- All areas disturbed by construction shall be restored to pre-construction conditions or better.



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	GENERAL NOTES/ DETAILS	DATE	Dec. 7/2022		
		SHEET	10 ^{OF} 10		

GENERAL NOTES

- No clearing, including the installation of erosion control devices, is authorized until the Permit for the Installation of Erosion Control Devices and Preserve Area Barricade has been issued.
- Property corners shall be located by a licensed land surveyor and clearly marked in the field prior to the Engineering Department's pre-construction meeting for site development.
- Authorization to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. This authorization shall be posted on the site, in the permit box, its location shown elsewhere on this page.
- No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained.
- A Land Clearing Permit may be obtained subsequent to the satisfactory inspection of the control structures and barricades. This permit shall be posted in the permit box, its location shown elsewhere on this page.
- All construction barricades and silt fences will remain in place and be monitored for compliance by the permit holder during the permitted development activities.
- Soil stabilization shall be completed within 30 days of vegetation removal.
- Following certification of occupancy for the development, all barricades and erosion control devices shall be removed and disposed of by the contractor.

EROSION CONTROL MEASURES DURING CONSTRUCTION

- Prior to clearing, a silt fence (trenched 12-in deep and backfilled on the uphill side) shall be installed around the perimeter of the site.
- During the clearing, grubbing and site grading stages, areas that are disturbed more than 7 days shall be stabilized with rye grass applied at manufacturer's recommendations. After seeding, each area shall be mulched with 4,000 pounds of straw per acre. All expected slopes that are equal to or greater than 5%, an Erosion Blanket shall be utilized until the area achieves final stabilization. A rock access road (that is 50ft long with a 6 inch depth of FDOT#1 stone and lined with filter fabric) shall be constructed to minimize the effects of truck and sedimentation tracking both on and off of the site. There will be only one construction entrance at this site.
- After the initial site grading work, all proposed inlet(s)/outfall, once installed, shall be protected from erosion and sediment runoff by the use of filter fabric and properly installed hay bales (with the same installation as above). Disturbed portions of the site where construction activities have permanently ceased shall be stabilized with permanent stabilization methods no later than 14 days after the last construction activity.

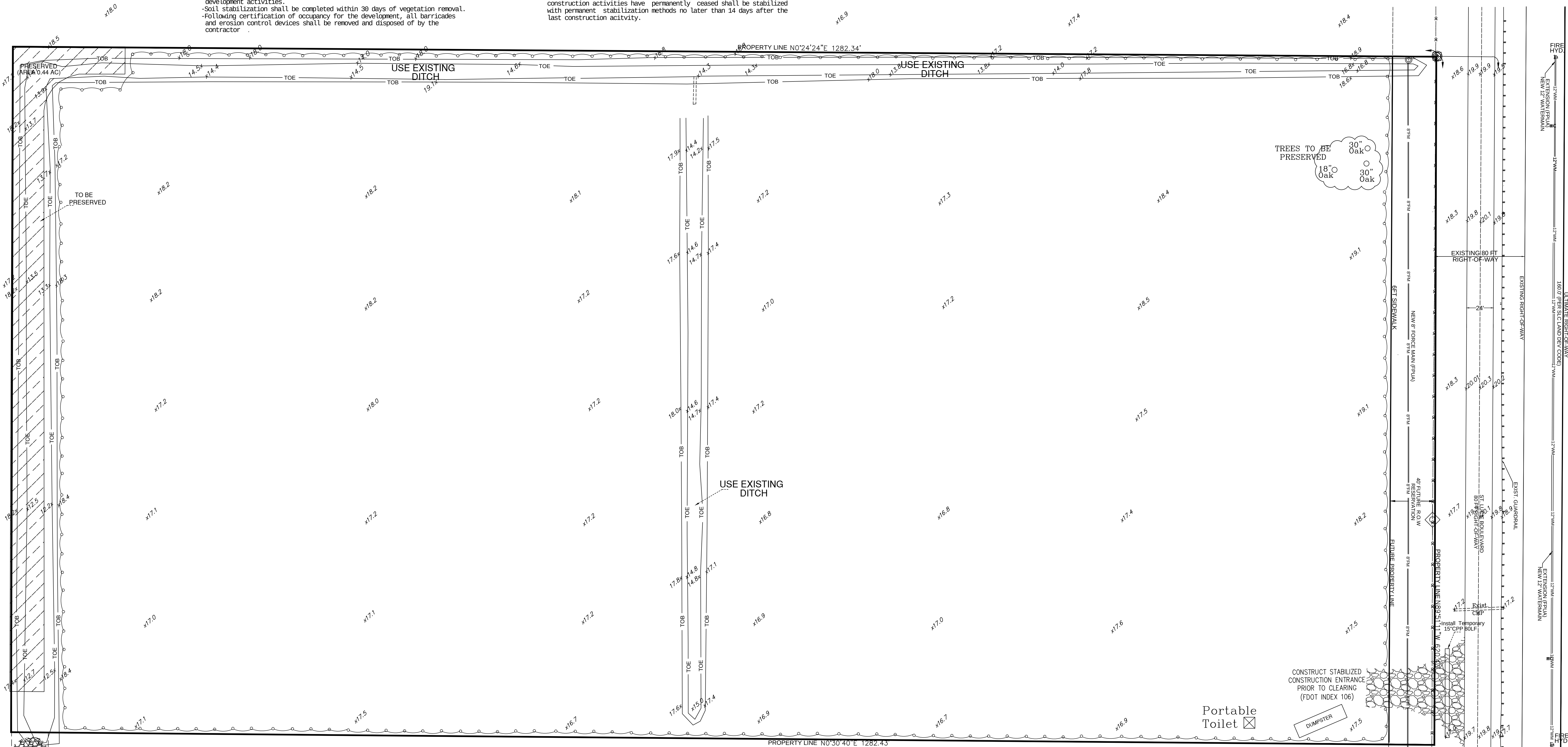
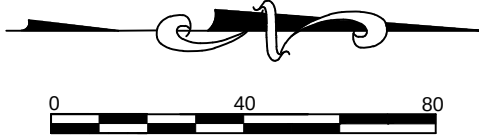
CONSTRUCTION ENTRANCE NOTES

- The entrance shall be maintained in a condition that will prevent tracking of sediment onto public rights-of-way. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.
- When necessary, wheels shall be cleaned prior to entrance onto public right-of-way.
- When washing is required, it shall be done on a area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.

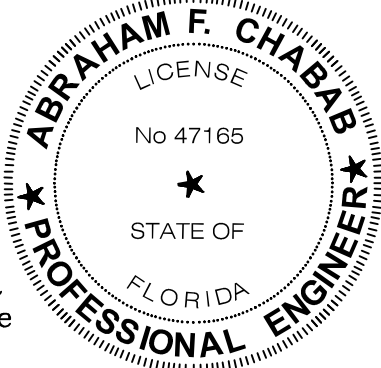
TABULATION AREA :

PROPOSED AREAS THAT WILL BE UNDER CONSTRUCTION 17.21 AC

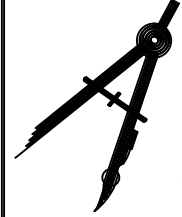
TOTAL SITE 18.22 AC



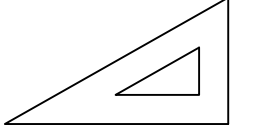
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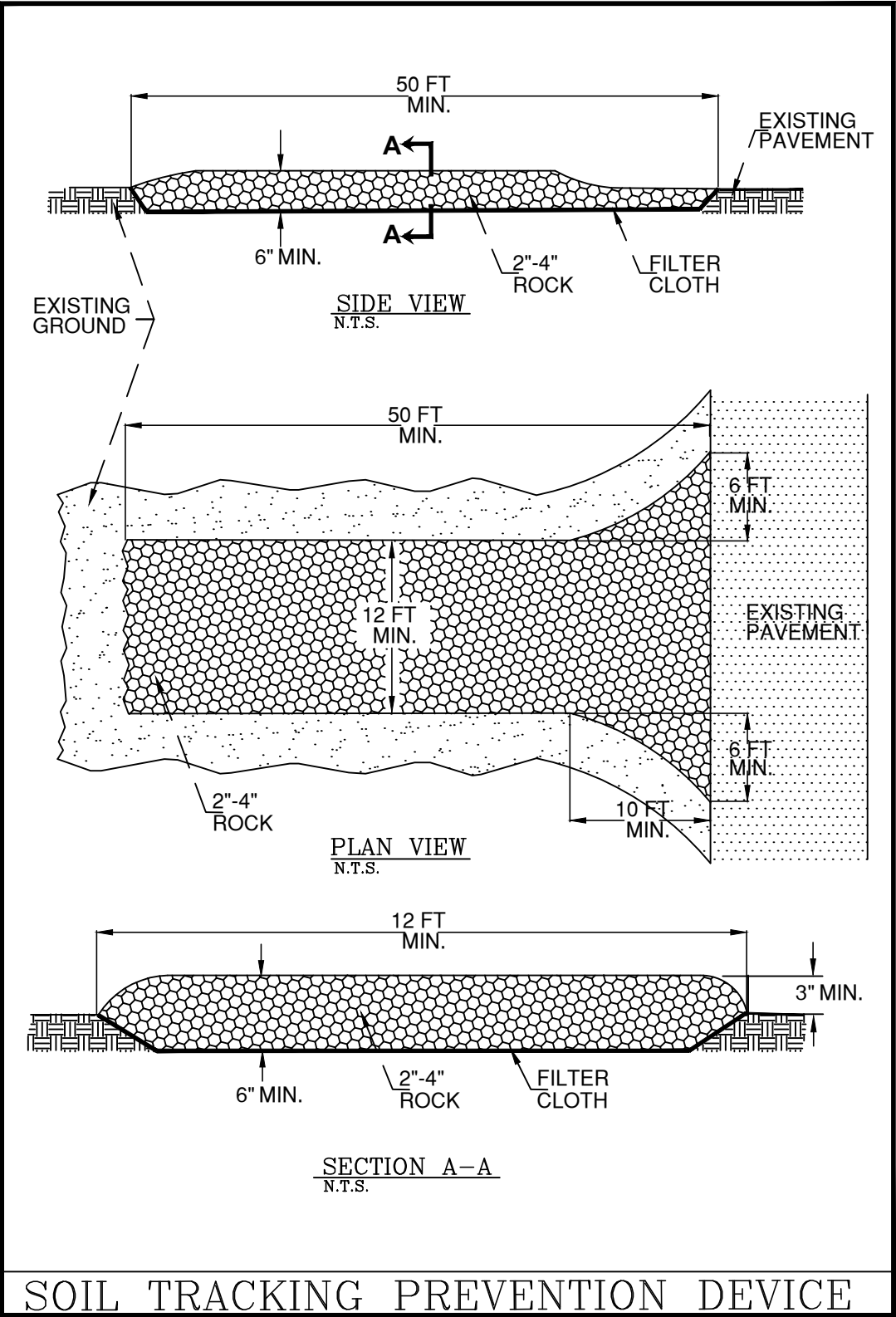
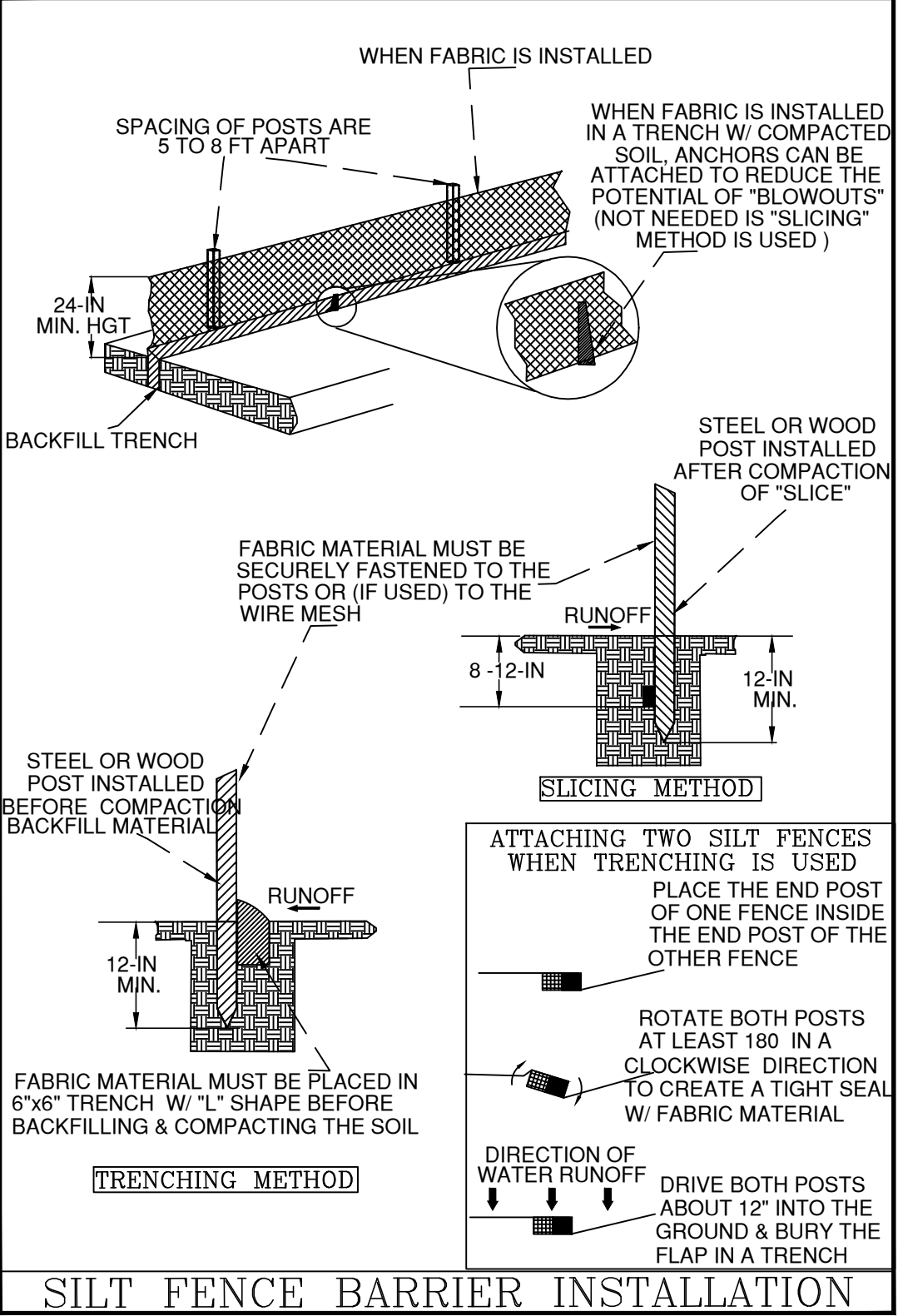
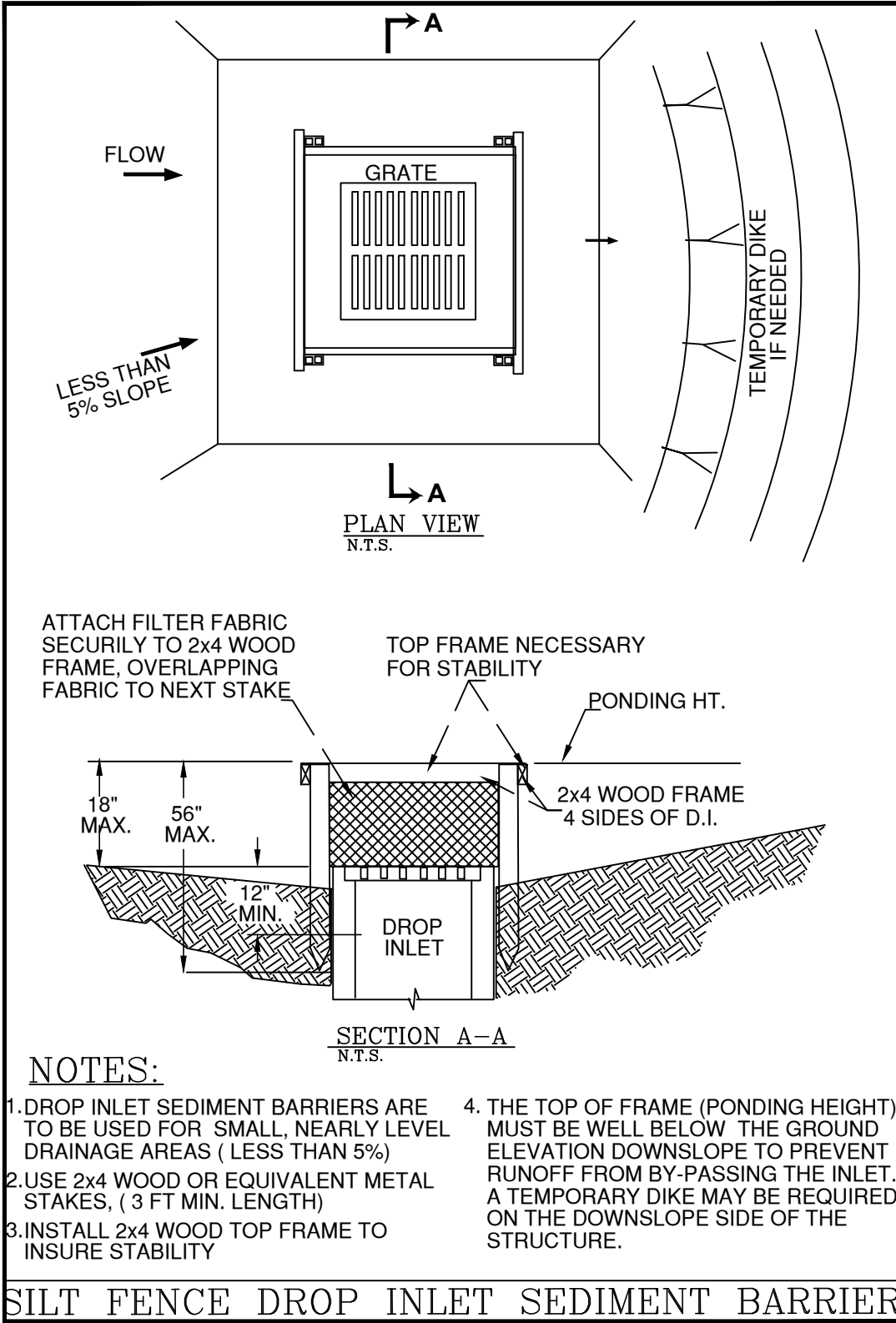
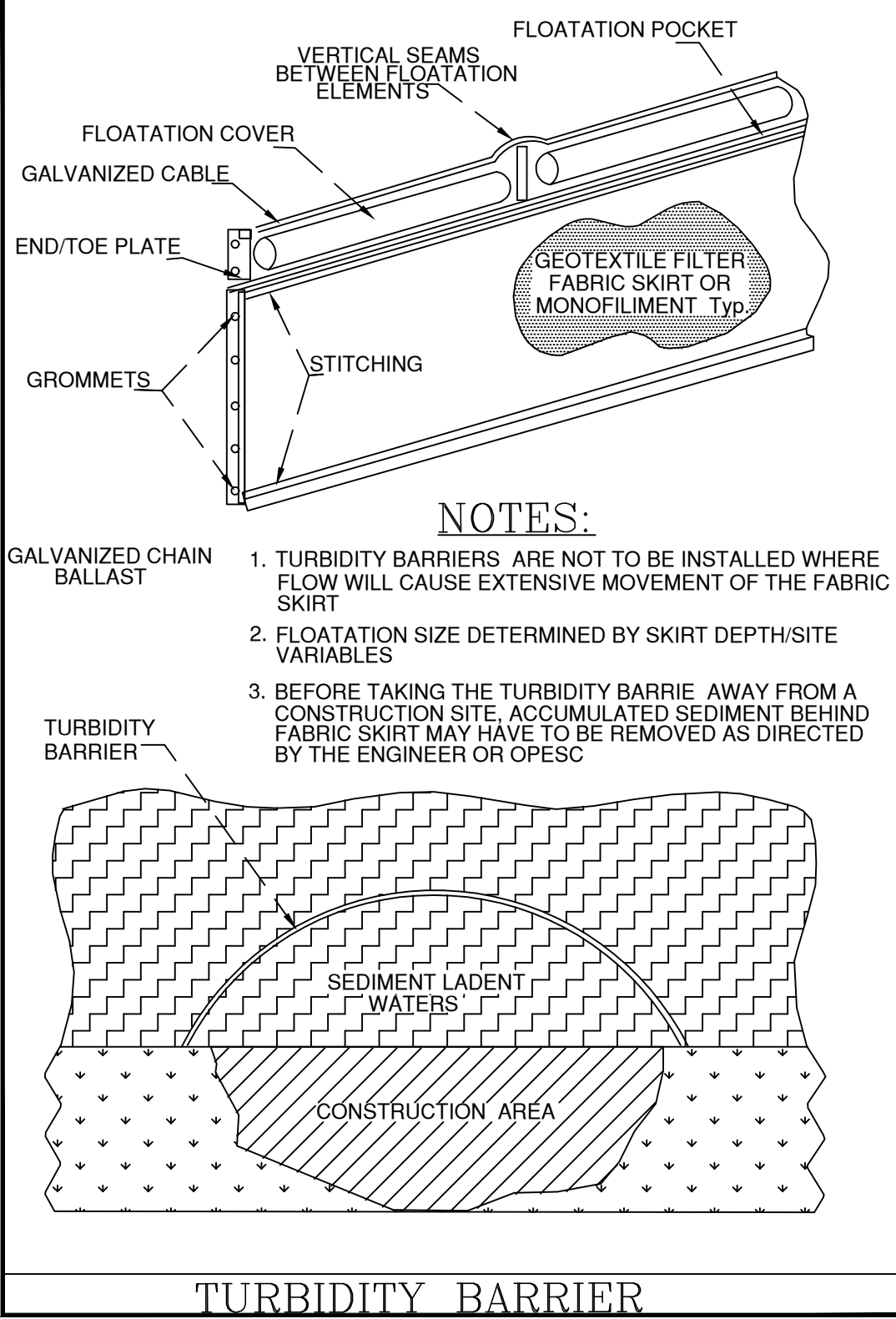
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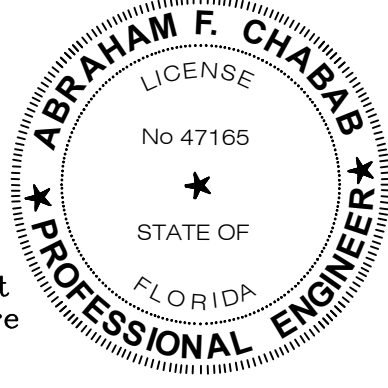
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DATE	Nv. 2/23			
SHEET	1 OF 2			

Section 1	Project Name and Location Information:	Bhasin Properties, LLC
Section 2	Describe the nature of the construction activity:	Excavate 1.75-acre lake, build 6 buildings, parking lot drainage, sewer & water infrstructures
Section 3	Describe the intended sequence of major soil disturbing activities:	0-3 Days: Site preparation & construct stabilized construction entrance 4-7 Days: Construct temporary Swales 8-10 Days: Install Silt fence & erosion Control 11-100 Days: Clearing/ Grubbing & site prep. 100-250Days: Construct building, foundation, frame structure roof, finish interior & exterior work. 250-300Days: Install Utilities, storm sewers, grading & paving 300-350Days: Landscaping, sodding & clean debris 350-370Days: Punch list items & final inspection
Section 4	Total area of the site	18.22 acres
Section 5	Total area of the site to be disturbed	17.21 acres
Section 6	Existing data describing the soil or quality of any stormwater discharge from the site:	Gray & brown fine sand with little silt, draining toward existing ditch at the south property line.
Section 7	Estimate the drainage area size of each discharge point:	17.21 acres
Section 8	Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:	Lat: 27° 28' 56" Long: 80° 23' 26" Receiving water body is FPFWCD FORT PIERCE FARMS WATER CONTROL DISTRICT CANAL #3
Section 9	Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented. NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in S.62-40.432, F.A.C., the applicable Stormwater or Environmental resource Permitting requirements of the Deparmtnet or a Water Management District, and the guidelines contained in the State of Florida Erosion and Sediemnt Control Designer and Receiver Manual FDOT, FDEP and any subsequent amendments.	
		Prior to clearing a silt fence staked with 2"x2" wooden stakes shall be installed around the perimeter of the site. Place hay bales around existing inlets. Exposed slopes shall use erosion blanket until area is stabilized There will be one temporary construction entrance. Use seed and mulch for exposed areas during construction.
Section 10	Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc.	
	Temporary seeding shall be applied for areas that will be subject to erosion.	
Section 11	Describe all structural controls to be implemented to divert stromwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way to limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains. pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins.	
	Silt fence staked with 2"x2" wooden stakes shall be installed around the perimeter of the site. Rock Construction Entrance.	
Section 12	Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres	
	Construct two temporary swales 1150'x20' that will provide 11500 cubic feet of storage	
Section 13	Describe all permanent stormwater management controls such as, but not limited to detention or retention systems or vegetated swales that will be installed during the construction process.	
	During construction plans call for the construction of temporary swales. They have the capacity to hold most of the storm events.	

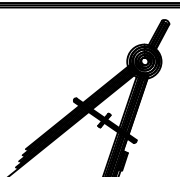
Section 14	Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:	All construction materials and debris will be placed in dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site.																														
Section 15	Offsite vehicle tracking from construction entrances exits:	Off site vehicle tracking of sediments and dust generation will be minimized via a rock construction entrance, street sweeping and the use of water to keep dust down.																														
Section 16	The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:	Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.																														
Section 17	The storage, application, generation and migration of all toxic substances:	All paints and other chemicals will be stored in a locked covered shed.																														
Section 18	Other:	Port-O-lets will be placed away from storm sewer systmes, storm inlets, surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow the discharge of polluted runoff.																														
Section 19	Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good effective operation condition.																															
	Contractor shall provide routine maintenance of permanent and temporary sediments erosion features in accordance with the technical specifications or as follows, whichever is more stringent: * Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier. * Maintenance shall be performed on the rock entrance when any void spaces are full of sediment. * Inlet(s)/ outfalls shall be inspected immediately after each rain event and any required repairs to the filters inlets, silt fence or filter fabric shall be performed immediately. * Bare areas of the site that were previously seeded shall be reseeded per per manufacturers' instructions. * Mulch and sod that has been washed out shall be replaced immediately. * Maintain all other areas of the site with proper controls as necessary.																															
Section 20	Inspections: Describe the inspection and inspection documentation procedures, as required by the FDEP and NPDES Generic Permit for Stormwater Discharge form Large and Small Construction Activities:																															
	Qualified personnel will inspect all points of discharges, all disturbed areas of construction that have not been stabilized, constructed areas and locations where vehicles enter and exit the site, and all BMPs at least once every 7 calendar days and within 24 hours of the end of rainfall event that is 0.5 inches or greater. Where sites have been finally stabilized, said inspections shall be conducted at least once every month until the Notice of Termination is filed.																															
Section 21	Identify and describe all sources of non-stormwater discharge as allowed by the FDEP and NPDES Generic Permit for Stormwater Discharge form Large and Small Construction Activities:																															
Section 22	All contractors(s) and subcontractor(s) identified in the SWPPP must the following certification:																															
	"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge From Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared there under."																															
	<table><tr><td>NAME</td><td>SIGNATURE</td><td>TITLE</td><td>COMPANY NAME, ADDRESS AND PHONE NUMBER</td><td>DATE</td></tr><tr><td></td><td></td><td></td><td>BHASIN PROPERTIES LLC 615 SAN MARCO DR FORT LAUDERDALE, FL 33301 Phone: 973-723-9953</td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr></table>		NAME	SIGNATURE	TITLE	COMPANY NAME, ADDRESS AND PHONE NUMBER	DATE				BHASIN PROPERTIES LLC 615 SAN MARCO DR FORT LAUDERDALE, FL 33301 Phone: 973-723-9953																					
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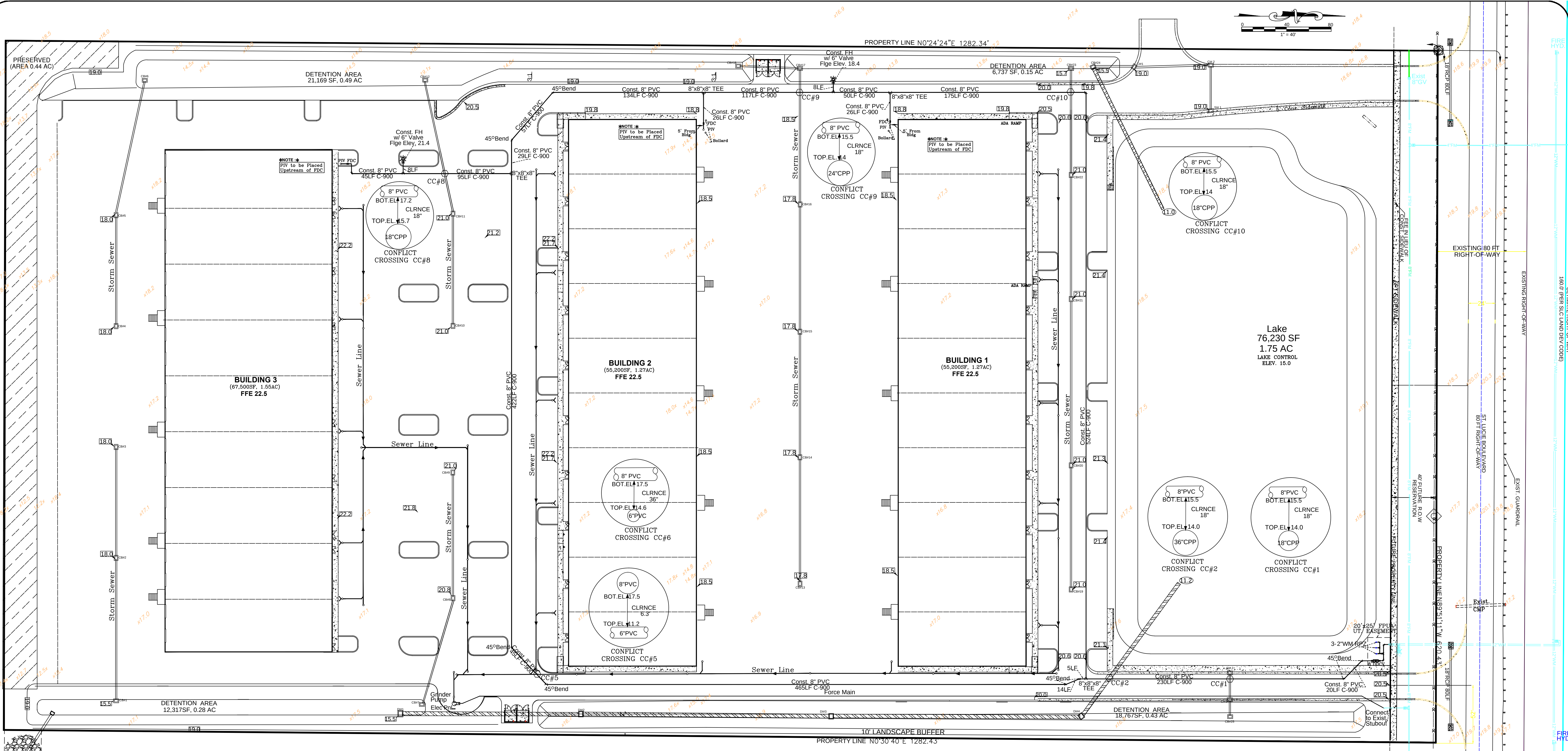


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				DRAWN BY	AC			
				DATE	Feb. 15/2022			
				SHEET	2 OF 2			
5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630		GENERAL NOTES & DETAILS FOR STORM WATER PREVENTION PLAN						

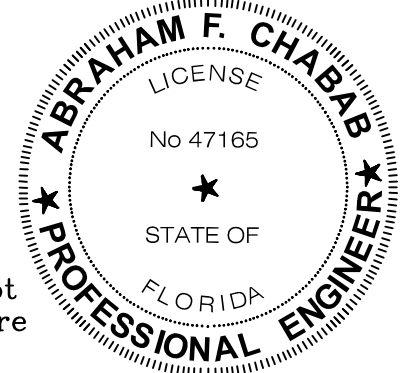


ST. DRAINAGE

SECTION

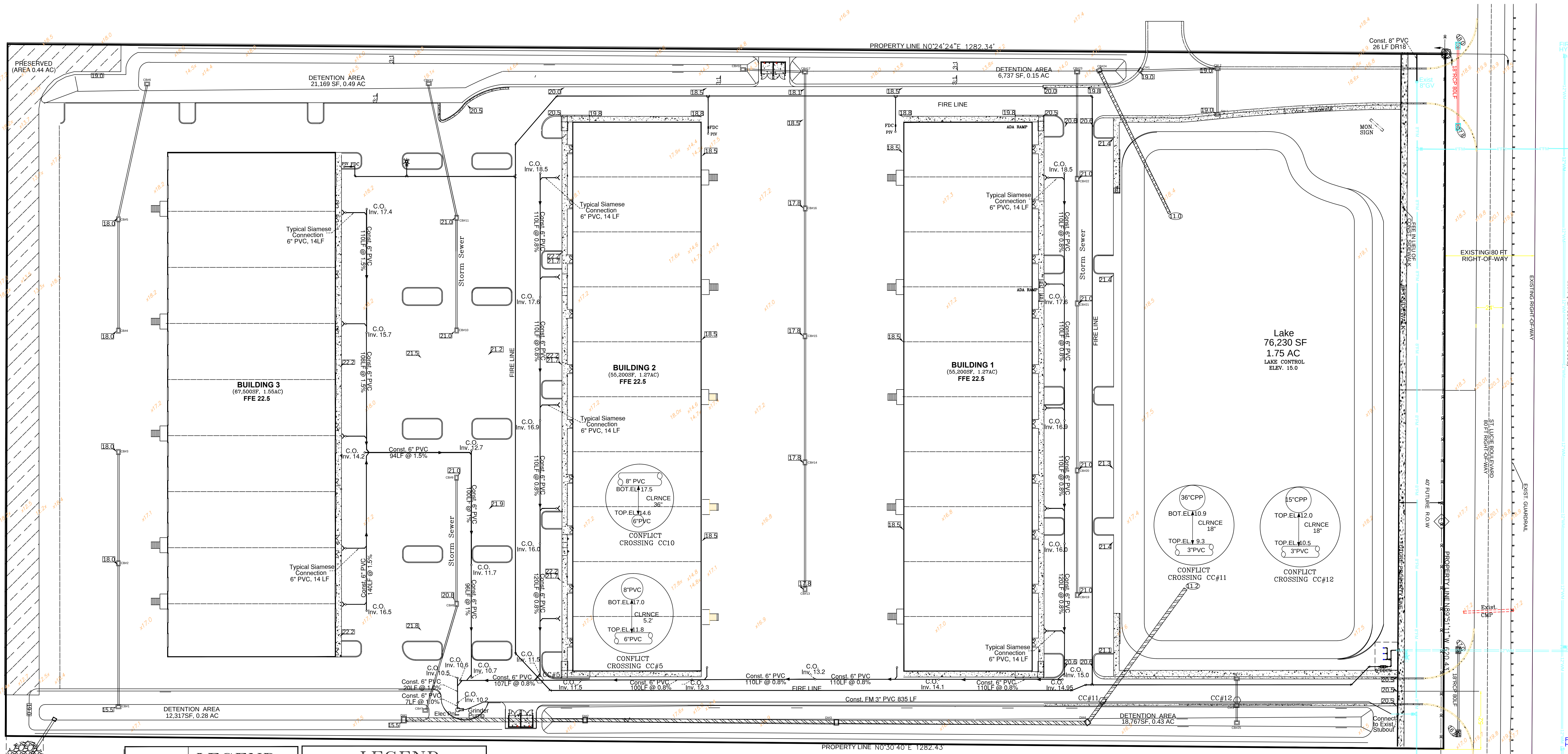
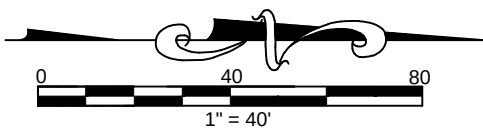
LEGEND		LEGEND	
	TEE		EXISTING GRADE ELEVATION
	45° BEND		HIGH POINT
	90° ELBOW		PROPOSED ELEVATION
	F.H. FIRE HYDRANT		RUNOFF FLOW DIRECTION
	GATE VALVE		FDOT MITERED END SECTION
	BACKFLOW PREVENTER		PIPE INVERT
	SERVICE CLEAN OUT		CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS
	METER BOX		ALUMINUM CORRUGATED PIPE
	6" WATER MAIN		REINFORCED CONCRETE PIPE
	EXIST 6" WATER MAIN		
	EXIST 16" WATER MAIN		
	8" GRAVITY SEWER		
	CATCH BASIN		

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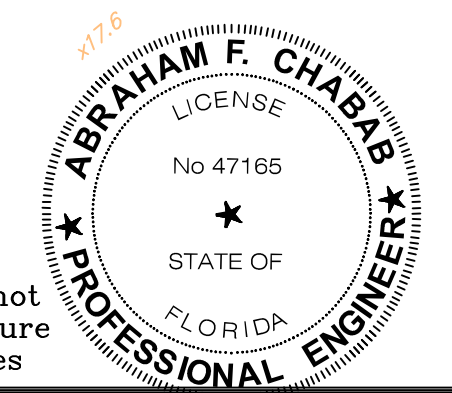
 ABRAHAM CHABAB, Inc. FL. BOARD OF PROF. ENG. AUTH.#26790 5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630	BHASIN PROPERTIES FIRE LINE MASTER PLAN	DESIGNED BY	AC	REVISIONS	DATE
		DRAWN BY	AC		
		DATE	Nv. 2/23		
		SHEET	1 OF 8		



LEGEND	
	TEE
	45° BEND
	90° ELBOW
	F.H. FIRE HYDRANT
	GATE VALVE
	BACKFLOW PREVENTER
	SERVICE CLEAN OUT
	METER BOX
	6" WATER MAIN
	EXIST 6" WATER MAIN
	EXIST 16" WATER MAIN
	8" GRAVITY SEWER
	CATCH BASIN

LEGEND	
	EXISTING GRADE ELEVATION
	HIGH POINT
	PROPOSED ELEVATION
	RUNOFF FLOW DIRECTION
	FDOT MITERED END SECTION
	PIPE INVERT
	CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS
	ALUMINUM CORRUGATED PIPE
	REINFORCED CONCRETE PIPE

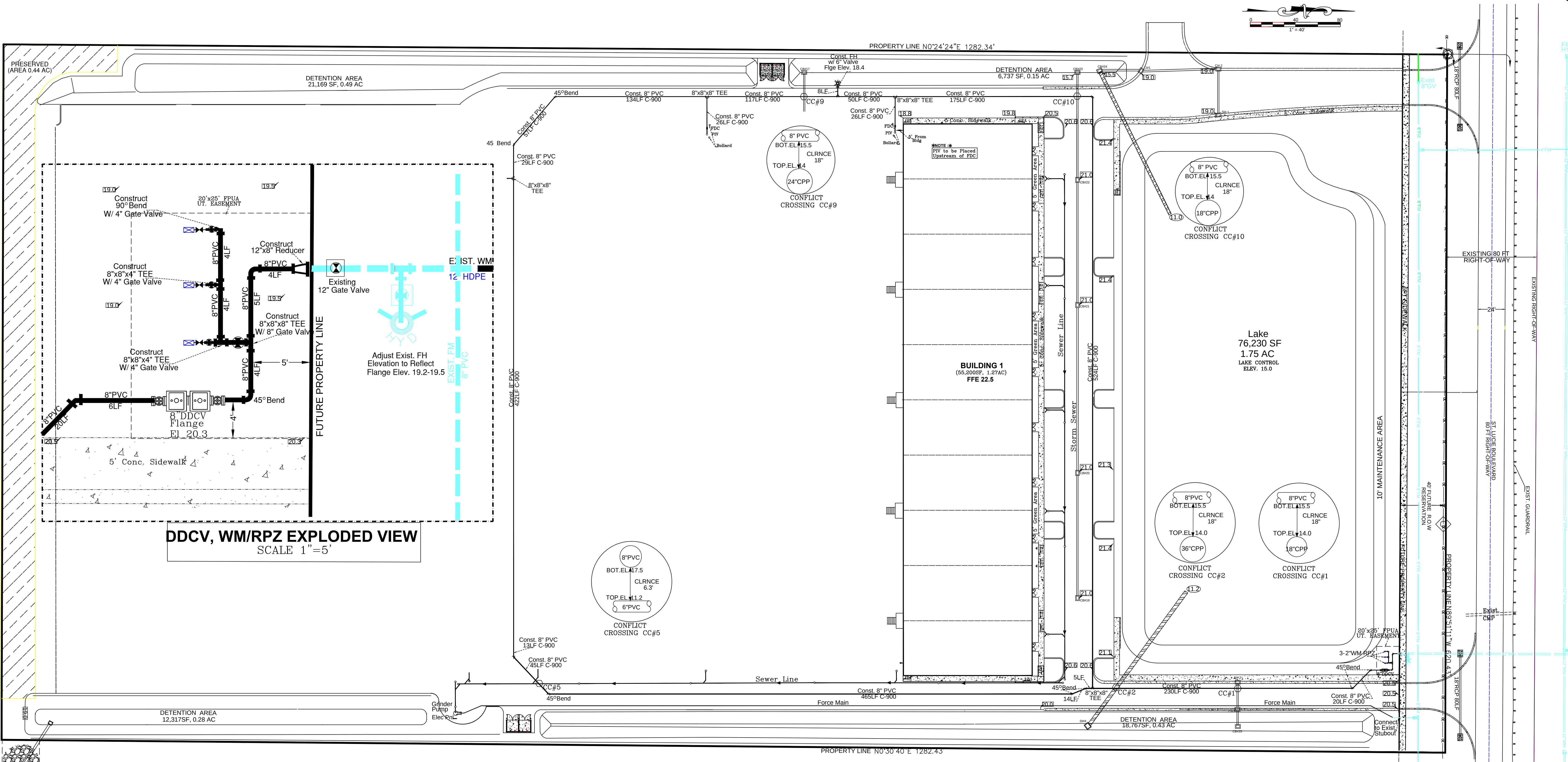
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			DRAWN BY	AC		
			DATE	Nv. 2/23		
			SHEET	2 OF 8		

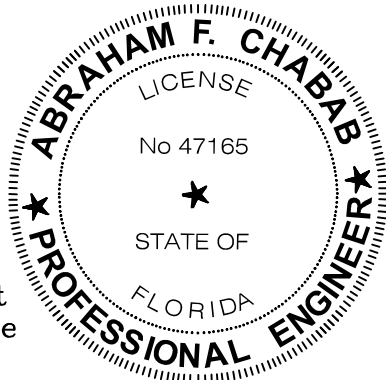
 ABRAHAM CHABAB, Inc.  FL. BOARD OF PROF. ENG. AUTH.#26790 5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630	BHASIN PROPERTIES	DESIGNED BY AC	REVISIONS 	DATE
		DRAWN BY AC		
	WATER LINES PLAN	DATE Nv. 2/23		
		SHEET 3 OF 8		



LEGEND	
	TEE
	45° BEND
	90° ELBOW
	F.H. FIRE HYDRANT
	GATE VALVE
	BACKFLOW PREVENTER
	SERVICE CLEAN OUT
	METER BOX
	6" WATER MAIN
	EXIST 6" WATER MAIN
	EXIST 16" WATER MAIN
	8" GRAVITY SEWER
	CATCH BASIN

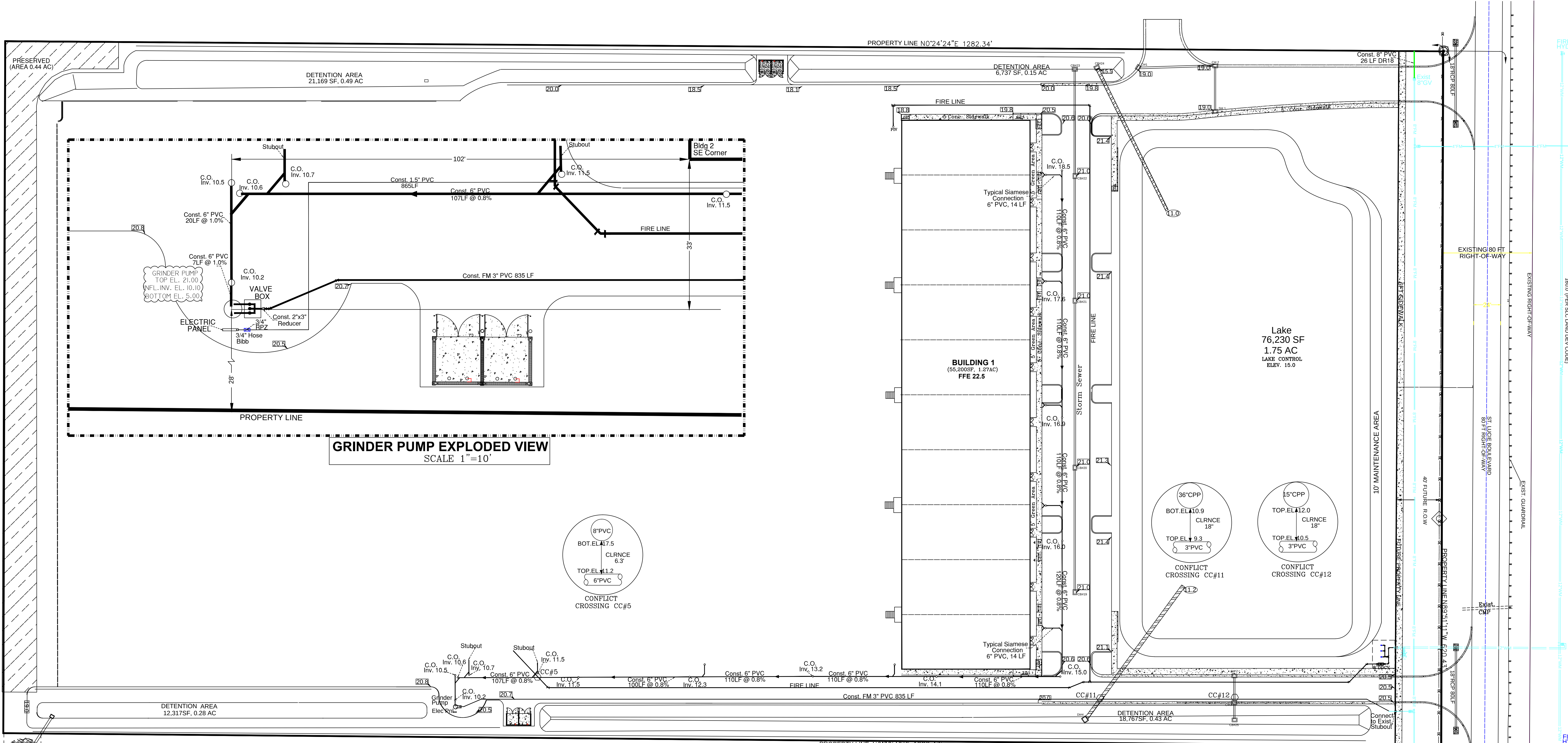
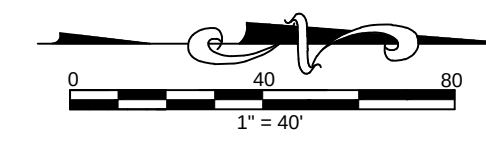
LEGEND	
	EXISTING GRADE ELEVATION
	HIGH POINT
	PROPOSED ELEVATION
	RUNOFF FLOW DIRECTION
	FDOT MITERED END SECTION
	PIPE INVERT
CPP	CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS
ACP	ALUMINUM CORRUGATED PIPE
RCP	REINFORCED CONCRETE PIPE

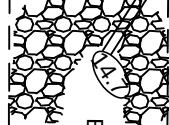
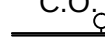
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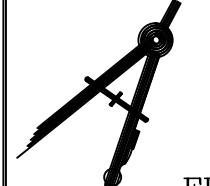
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		DRAWN BY	AC		
		DATE	Nv. 2/23		
		SHEET	4 OF 8		

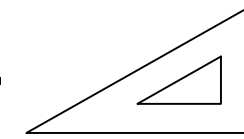


 EXIST. DRAINAGE DITCH		TEE
		45° BEND
		90° ELBOW
		F.H. FIRE HYDRANT
		GATE VALVE
		BACKFLOW PREVENTER
		SERVICE CLEAN OUT
		METER BOX

LEGEND	
	EXISTING GRADE ELEVATION
	HIGH POINT
	PROPOSED ELEVATION
	RUNOFF FLOW DIRECTION
	FDOT MITERED END SECTION
	PIPE INVERT
	CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS
	ALUMINUM CORRUGATED PIPE

**ABRAHAM CHABAB, Inc.**

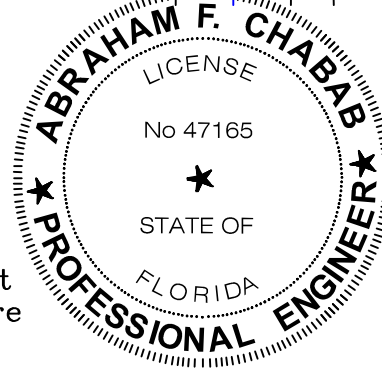
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5019 NW Rugby Dr
PORT ST. LUCIE FL. 34983
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Ph: 772-475-6630

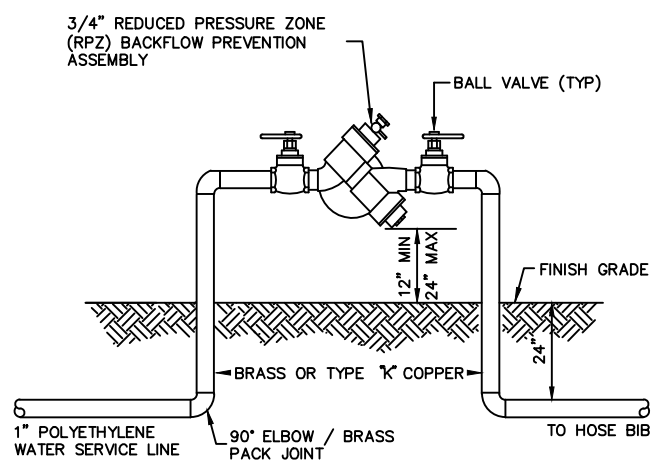


BHASIN PROPERTIES		DESIGNED BY		REVISIONS		DATE
		AC				
		DRAWN BY				
		AC				
		DATE				
		Nv. 2/23				
		SHEET				
		5 OF 8				

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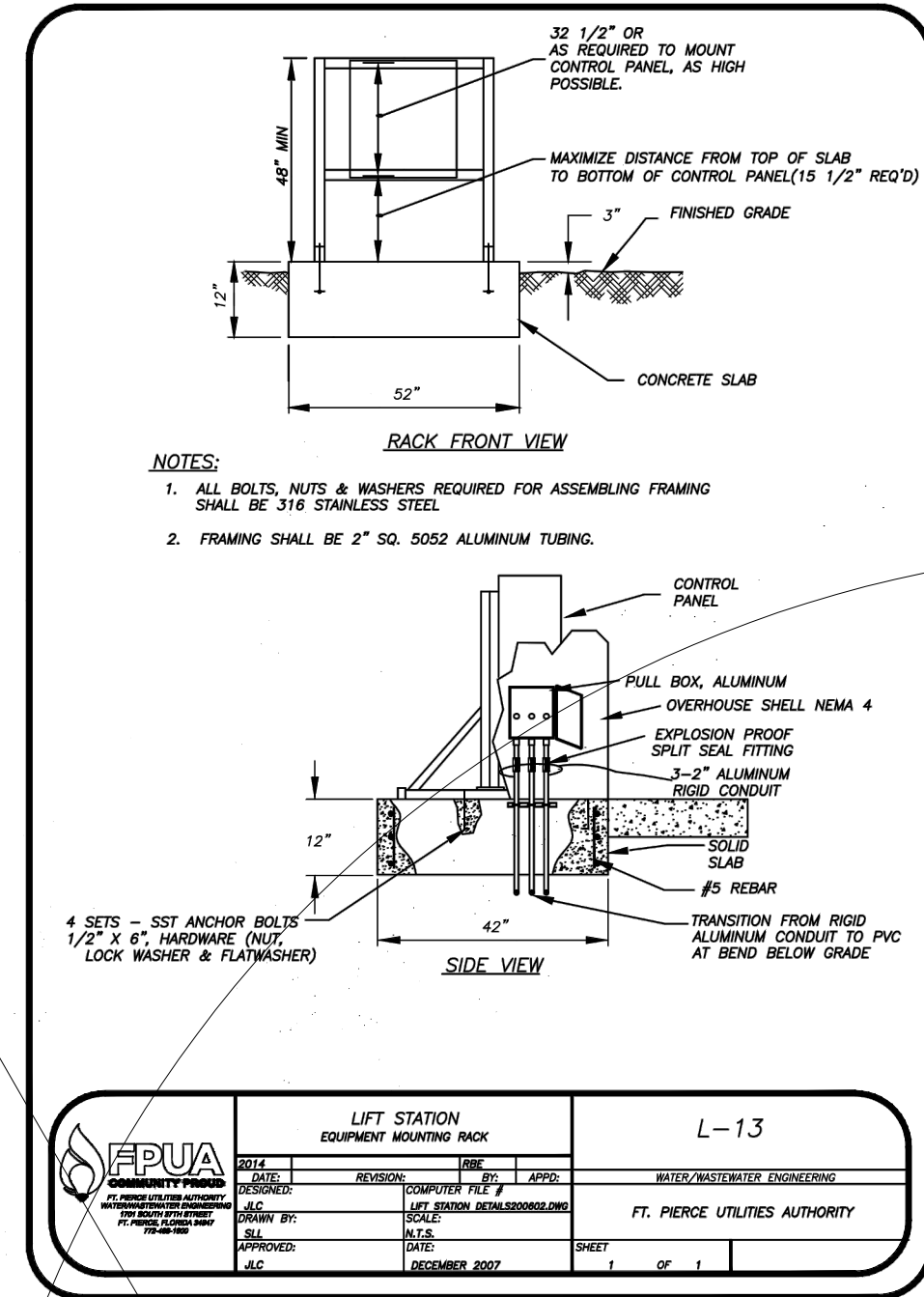
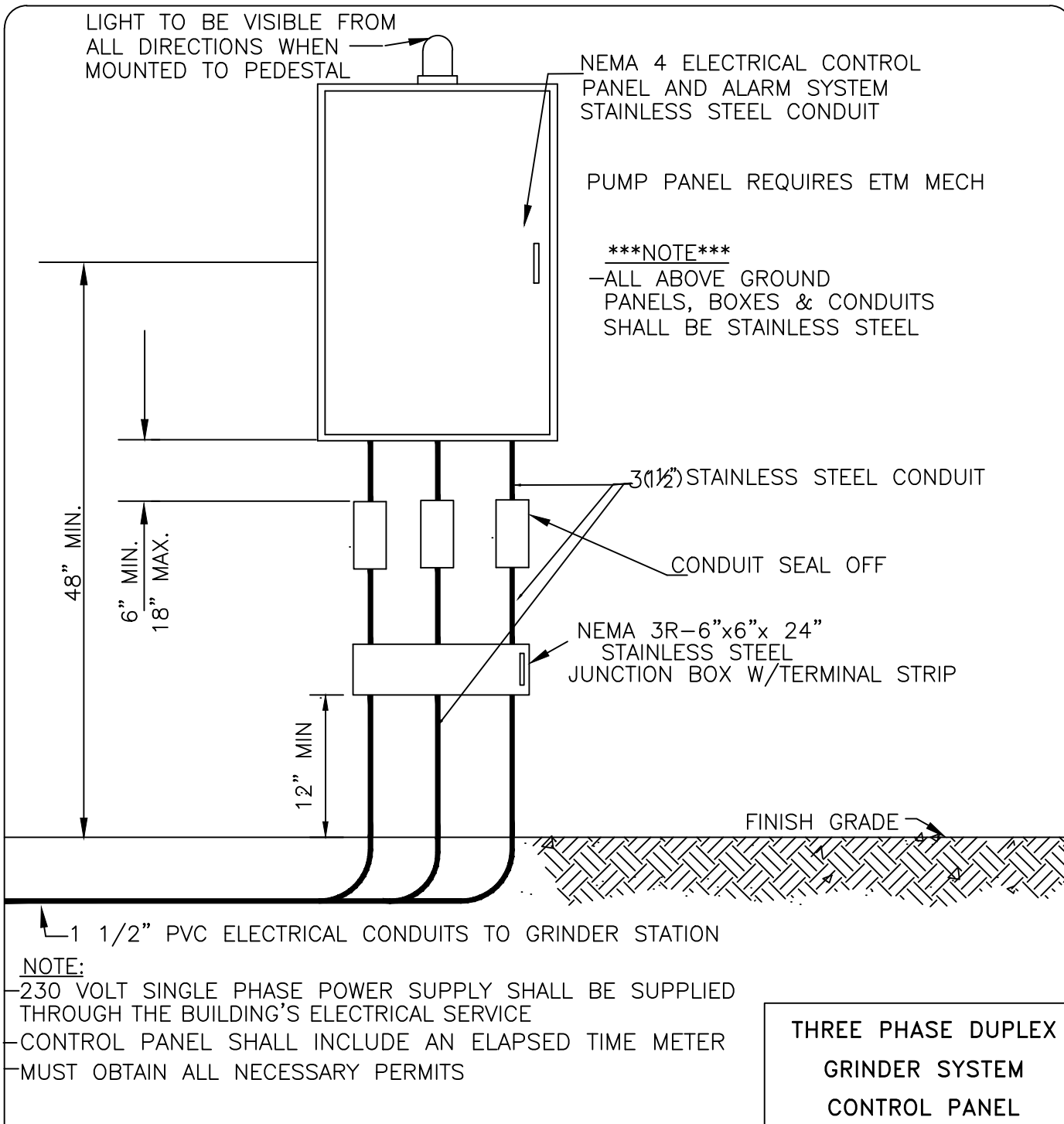
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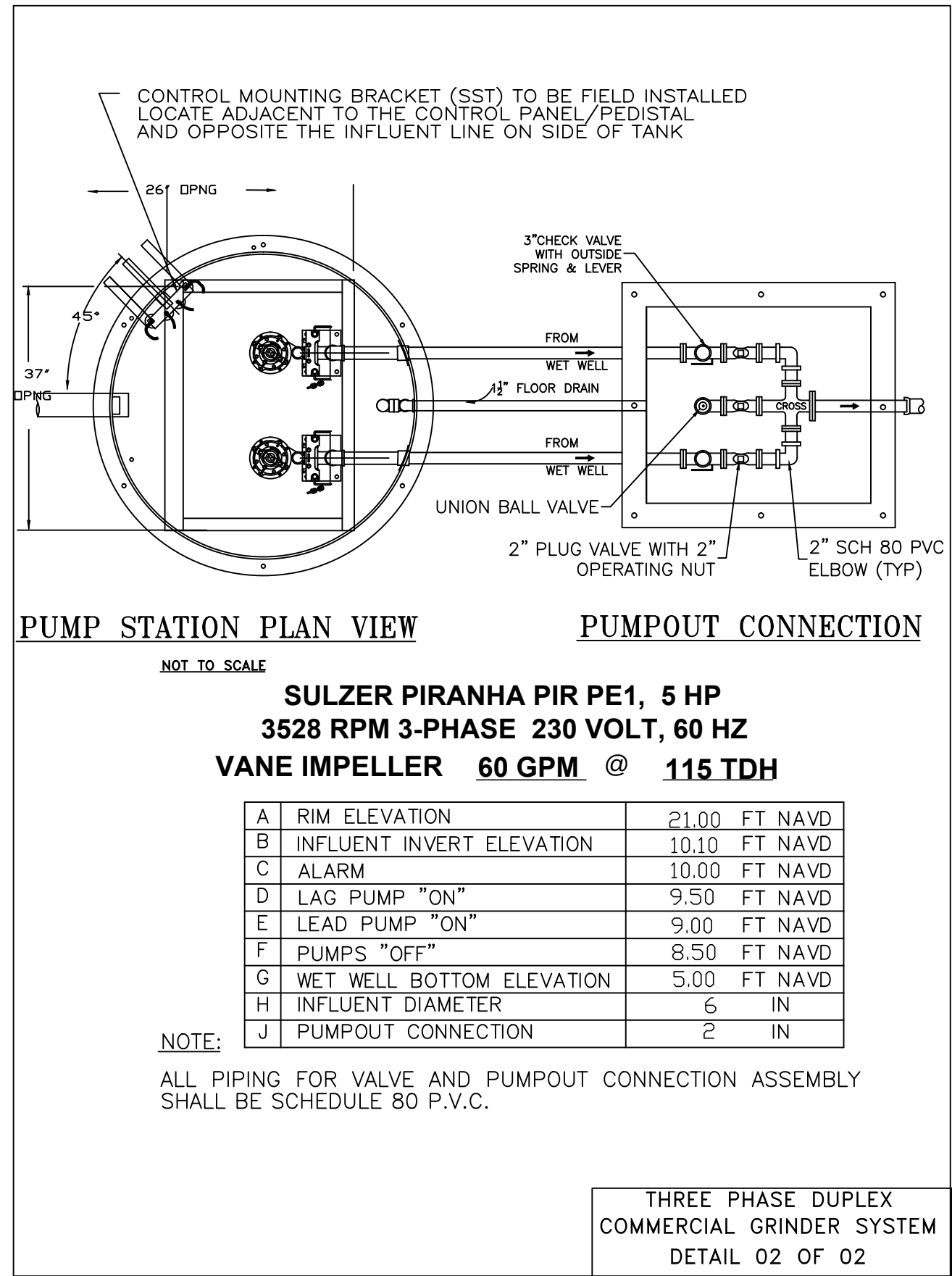
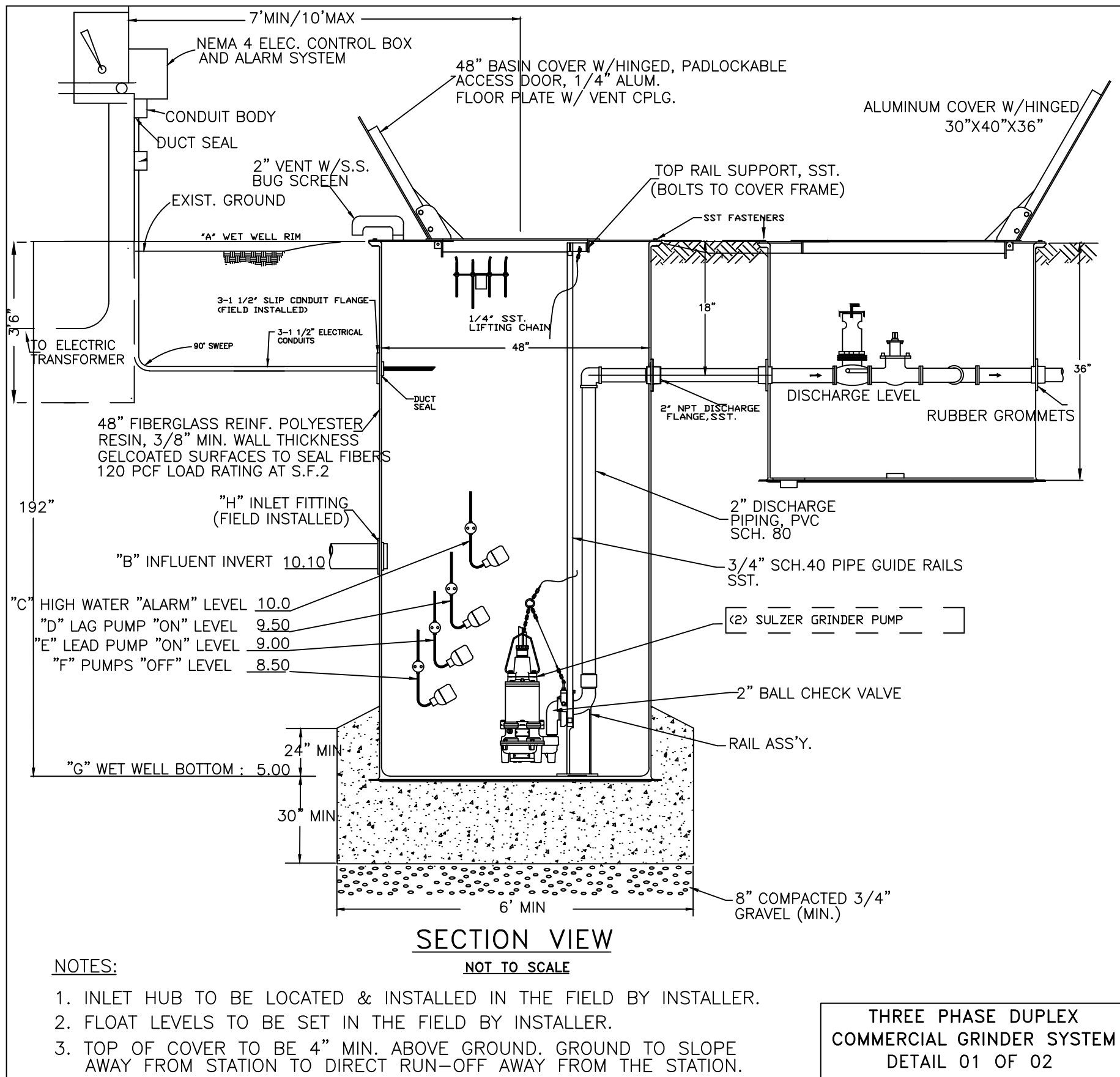
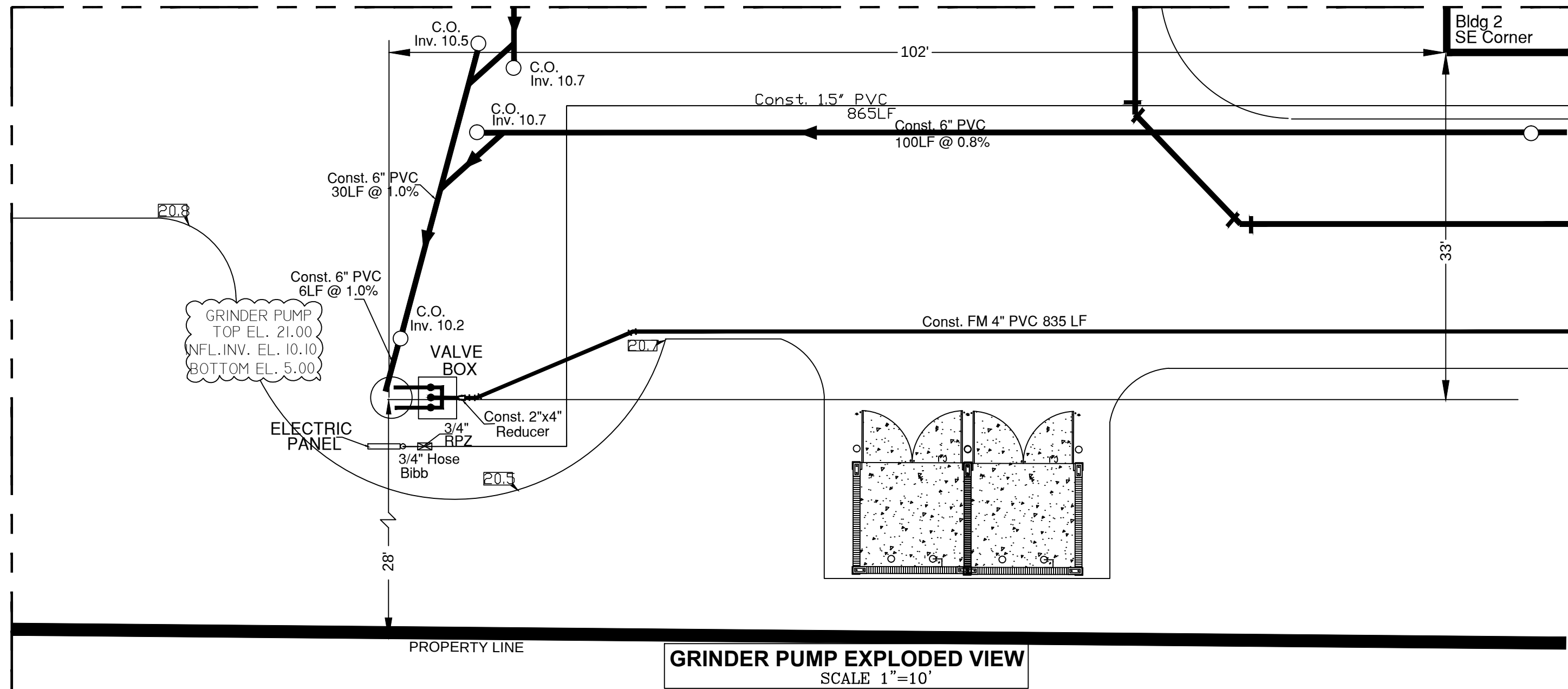


- NOTES:
- BOTH RISERS SHALL BE BRASS OR TYPE "C" COPPER TUBING (HARD DRAWN) WITH COPPER/BRASS THREADED FITTINGS AND ADAPTERS.
 - PROVIDE ADDITIONAL SUPPORT AS NECESSARY TO SECURELY SUPPORT BACKFLOW PREVENTION ASSEMBLY.

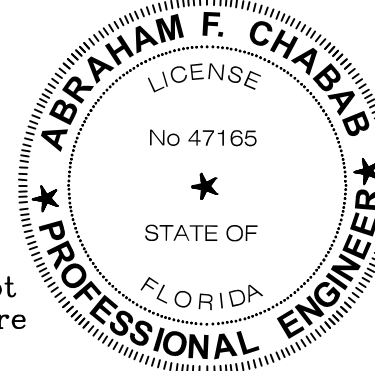
GRINDER PUMP
BACKFLOW PREVENTION
ASSEMBLY



LEGEND	
	TEE
	45° BEND
	90° ELBOW
	F.H. FIRE HYDRANT
	GATE VALVE
	BACKFLOW PREVENTER
	SERVICE CLEAN OUT
	METER BOX
	EXIST'G 12" WATER MAIN
	EXIST'G 8" FORCE MAIN
	CATCH BASIN
	GAS MAIN
	PVC POLYVINYL CHLORIDE
	CIP CAST IRON PIPE
LEGEND	
	EXISTING GRADE ELEVATION
	HIGH POINT
	PROPOSED ELEVATION
	RUNOFF FLOW DIRECTION
	FOOT MITERED END SECTION
	PIPE INVERT



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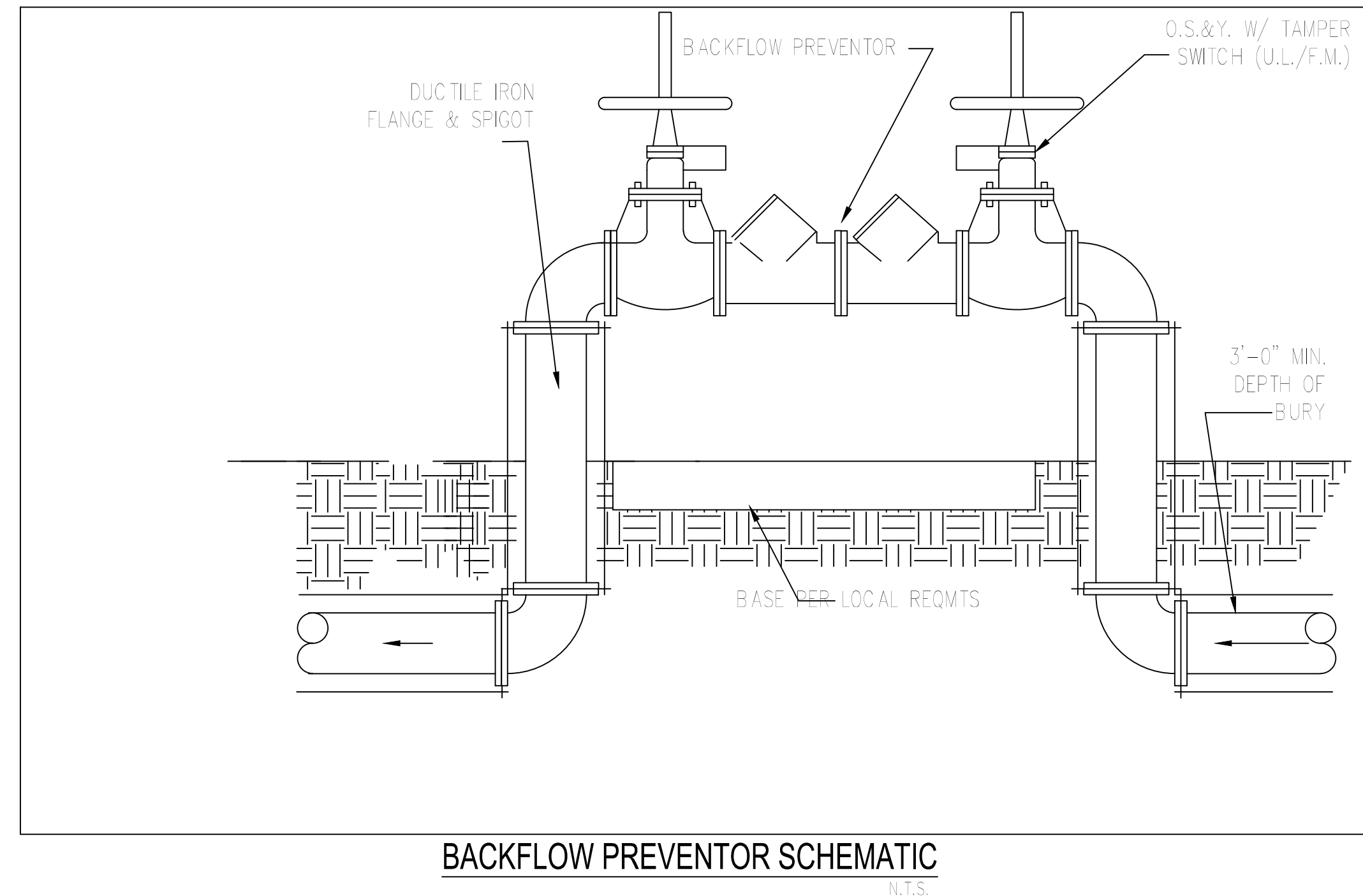
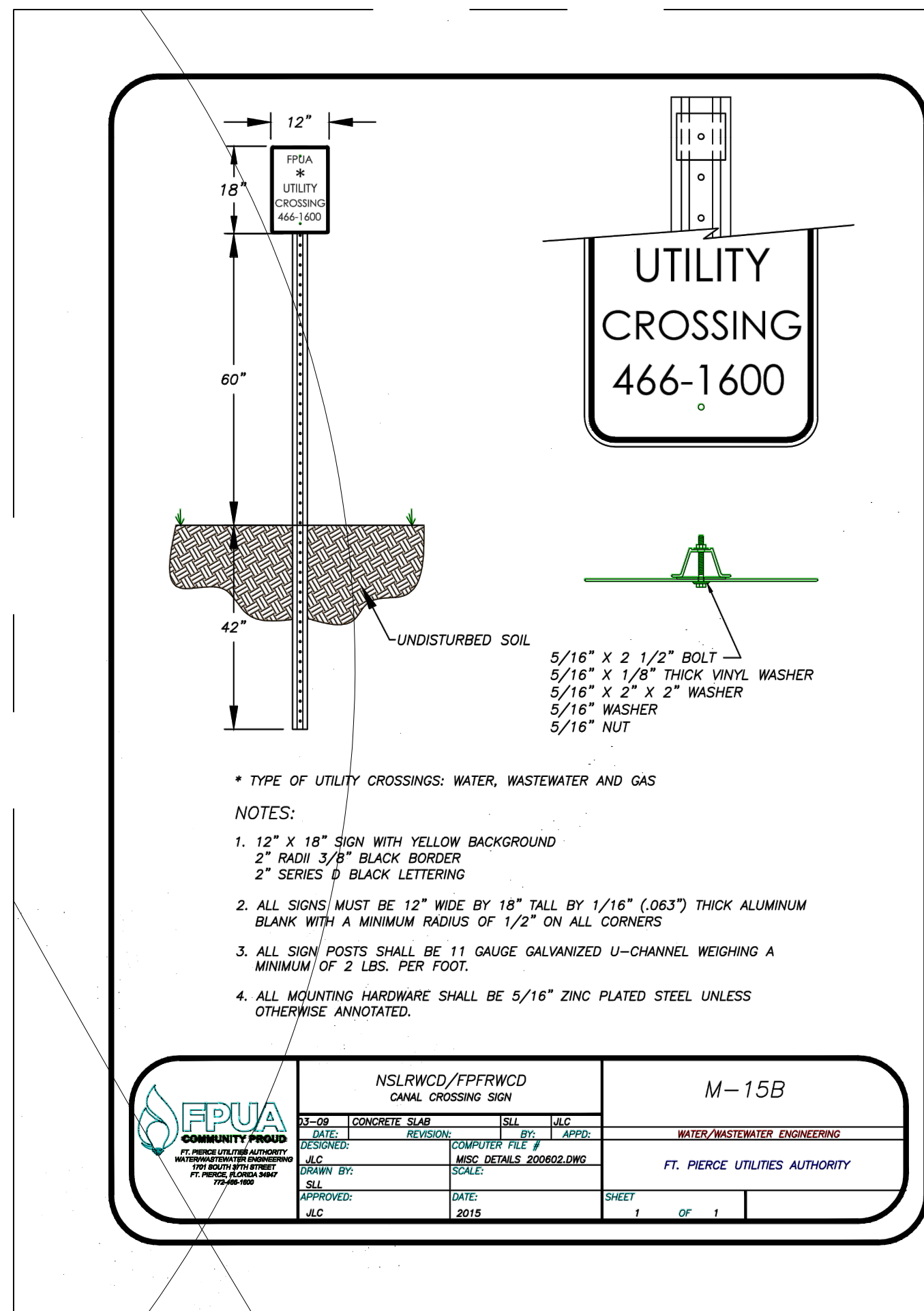
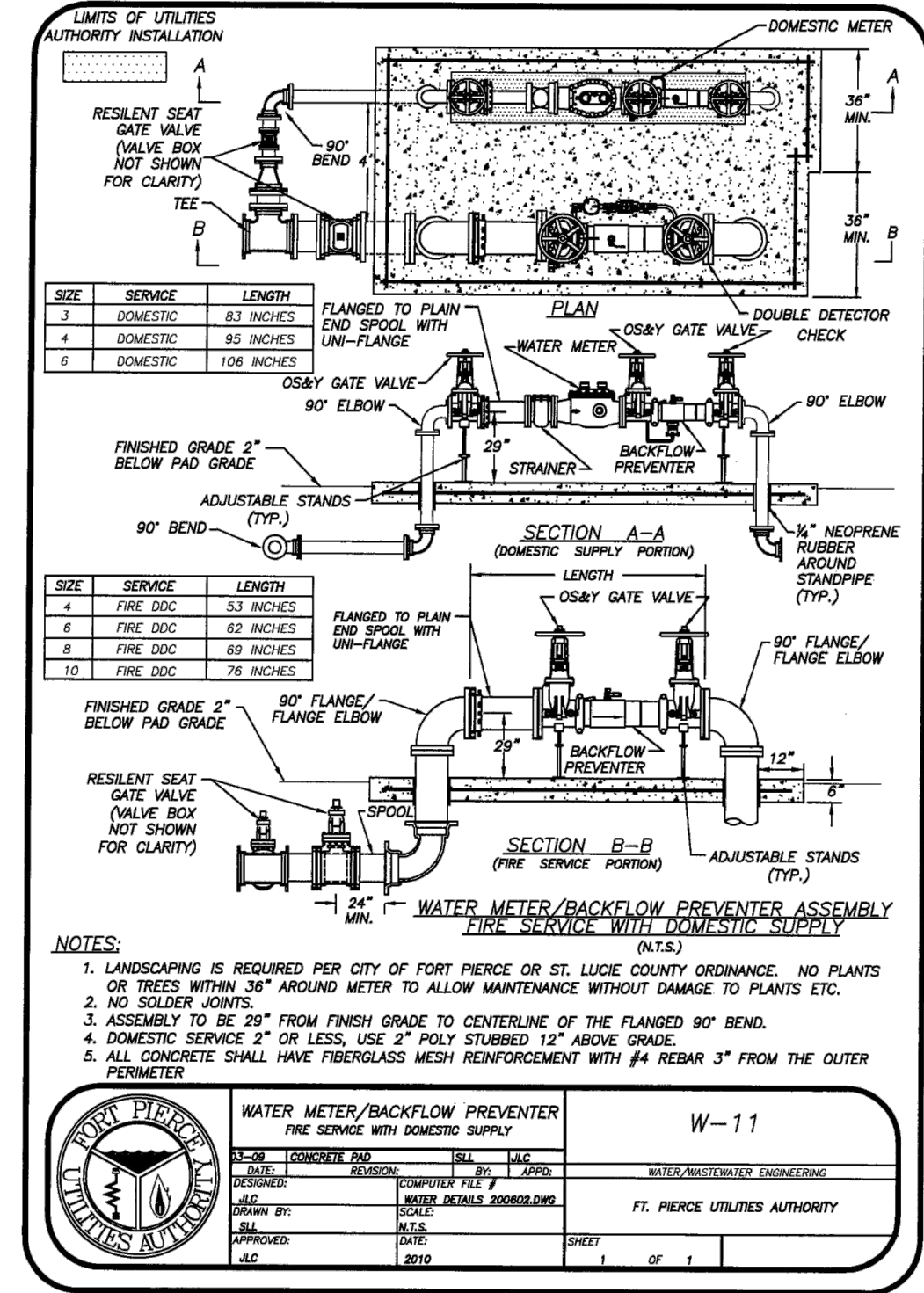
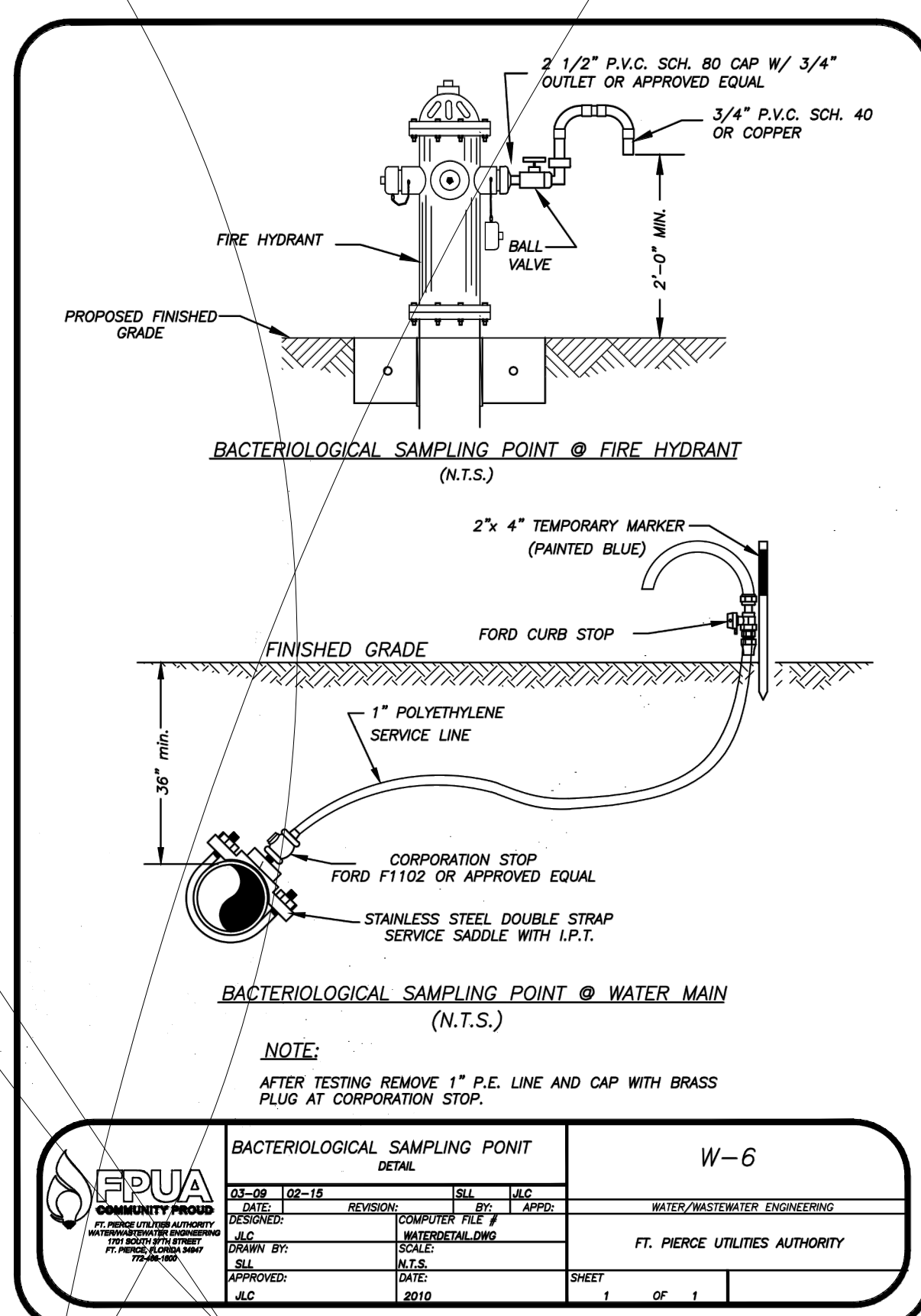
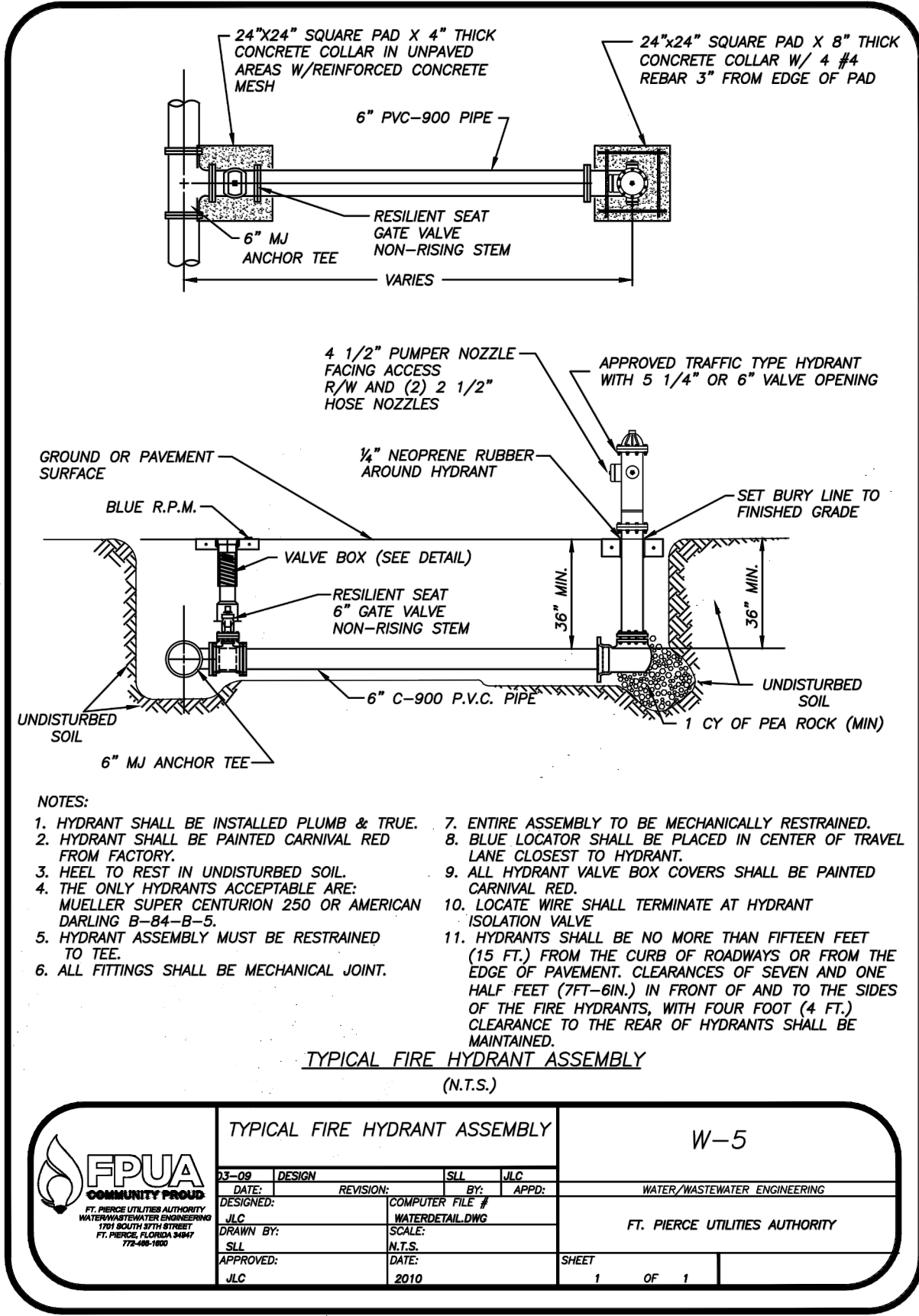


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5019 NW RUGBY DR.
PORT ST. LUCIE FL. 34983
Email: agchabab1@msn.com
Ph (772) 475-6630

BHASIN PROPERTIES		REVISIONS		DATE
GRINDER PUMP PLAN & DETAILS	DESIGNED BY	AC		
	DRAWN BY	AC		
	DATE	Nv. 10/2023		
	SHEET	6	OF	8



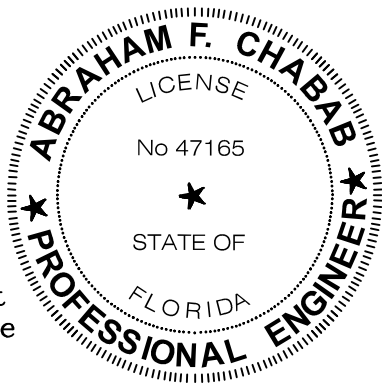
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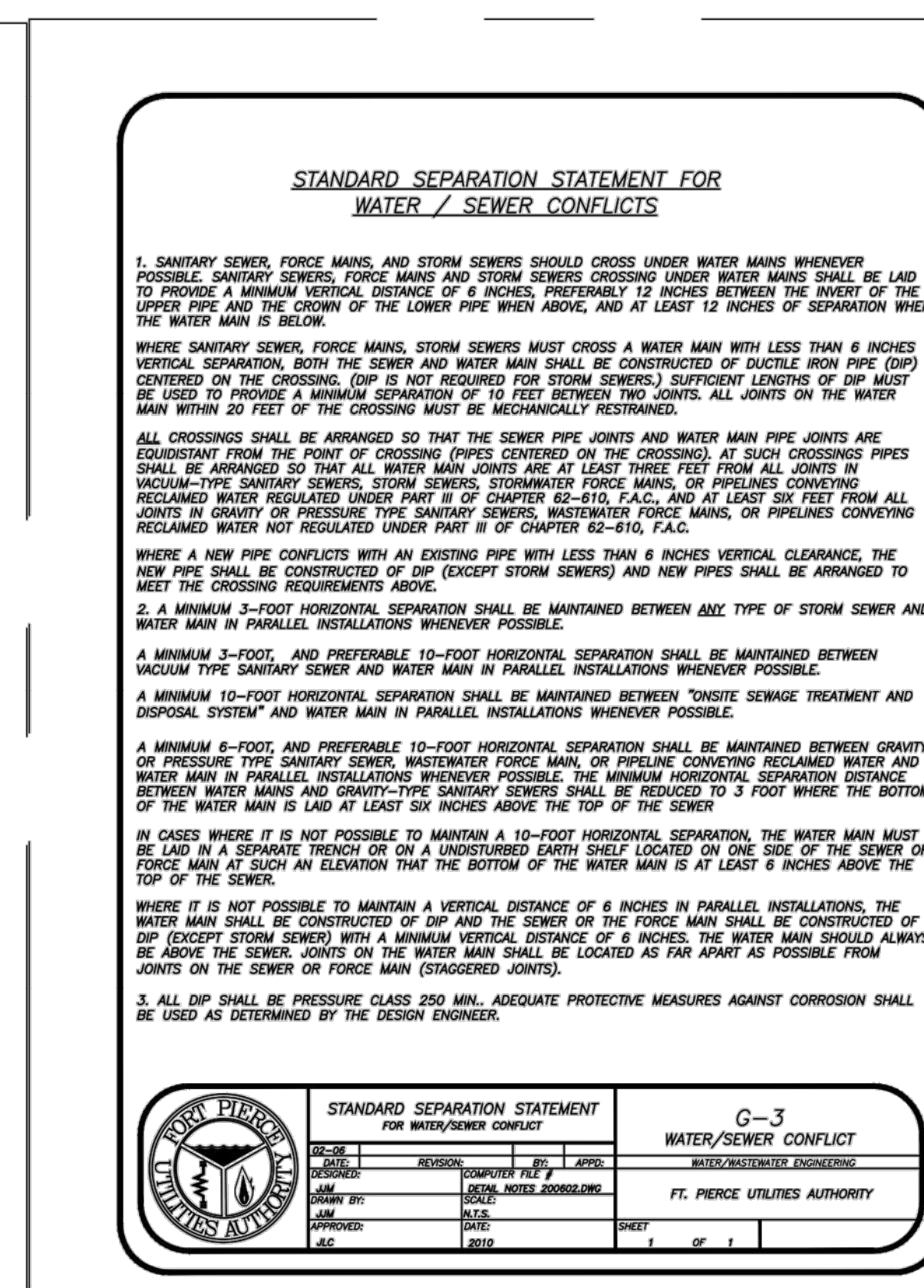
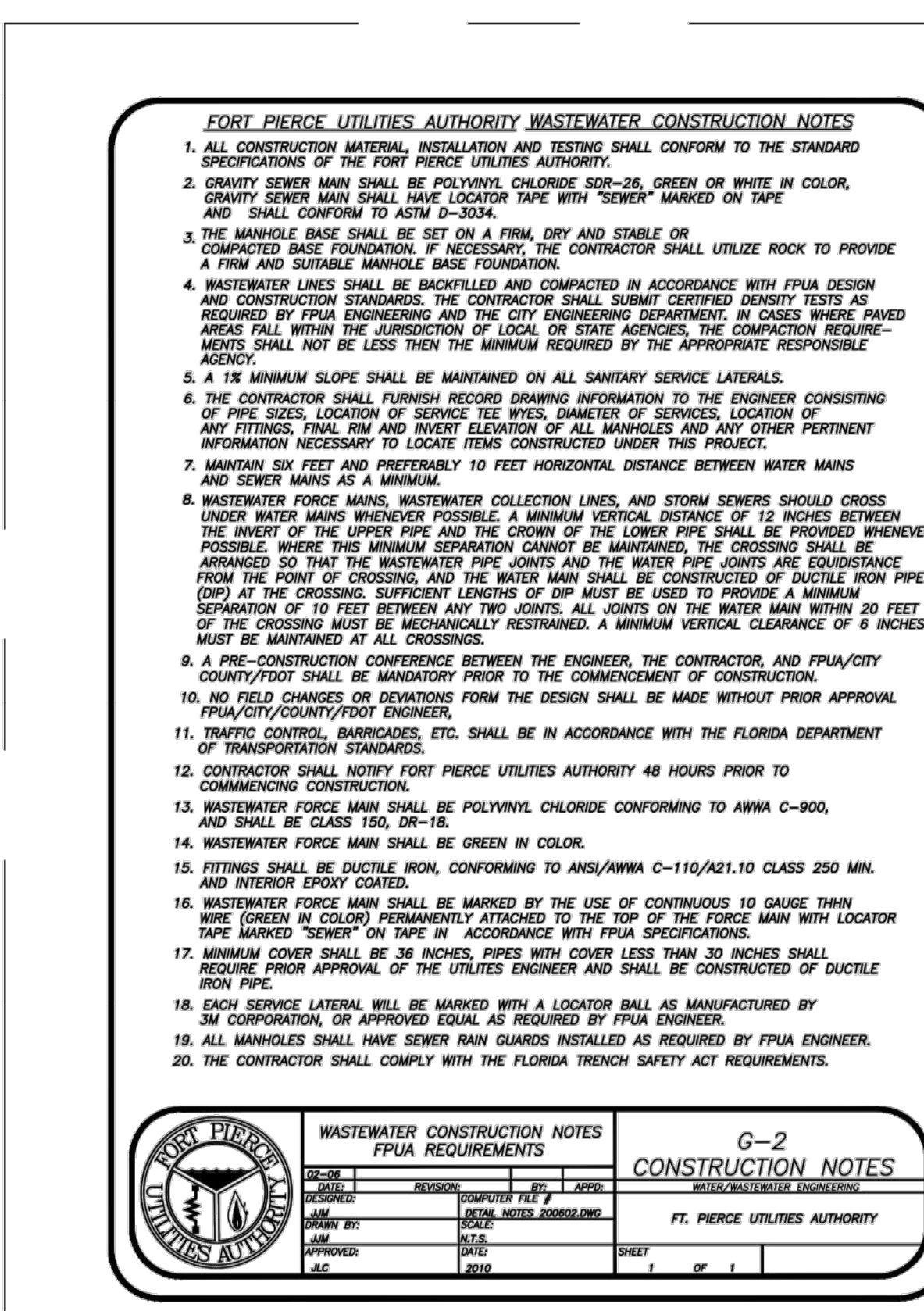
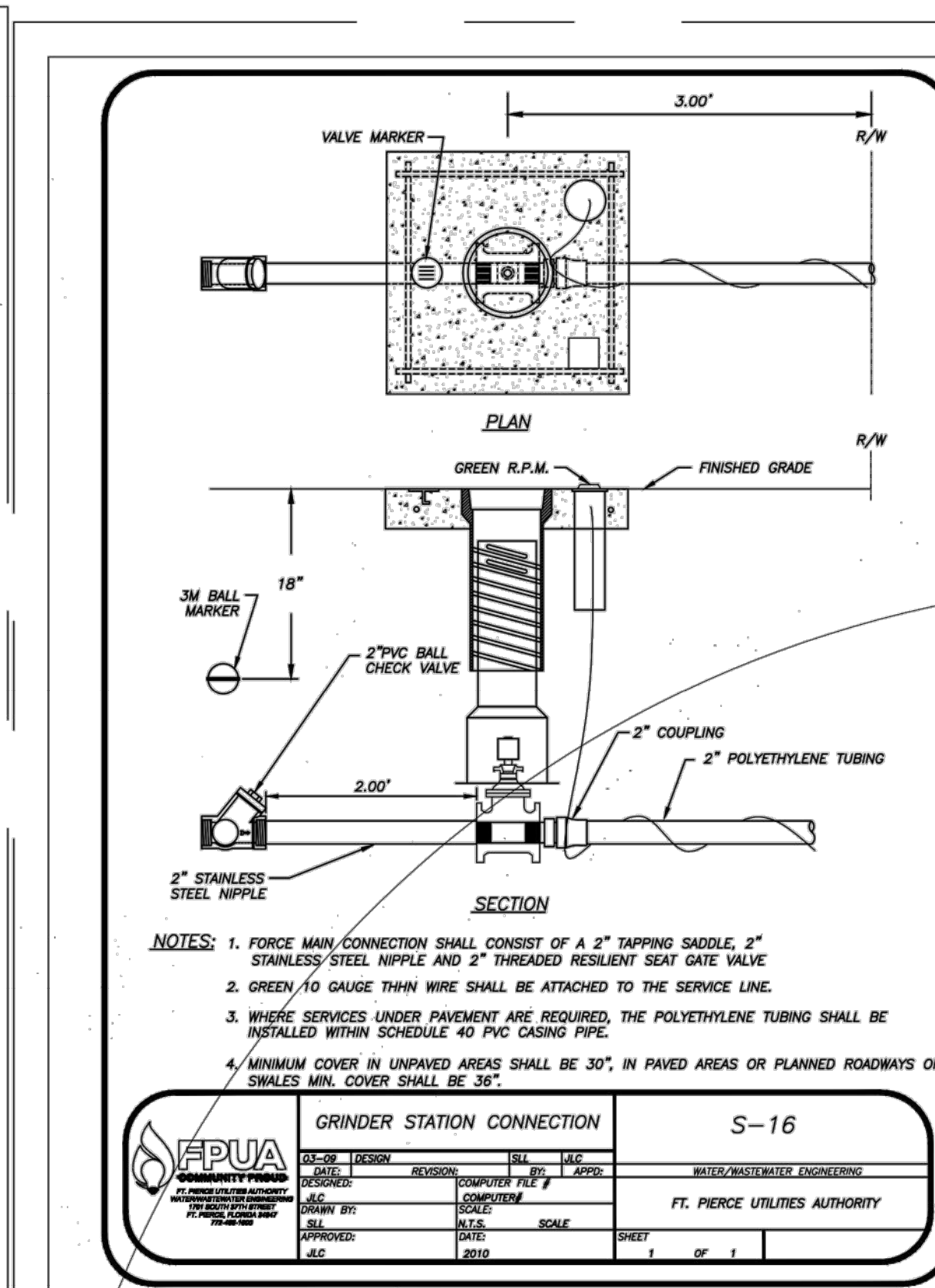
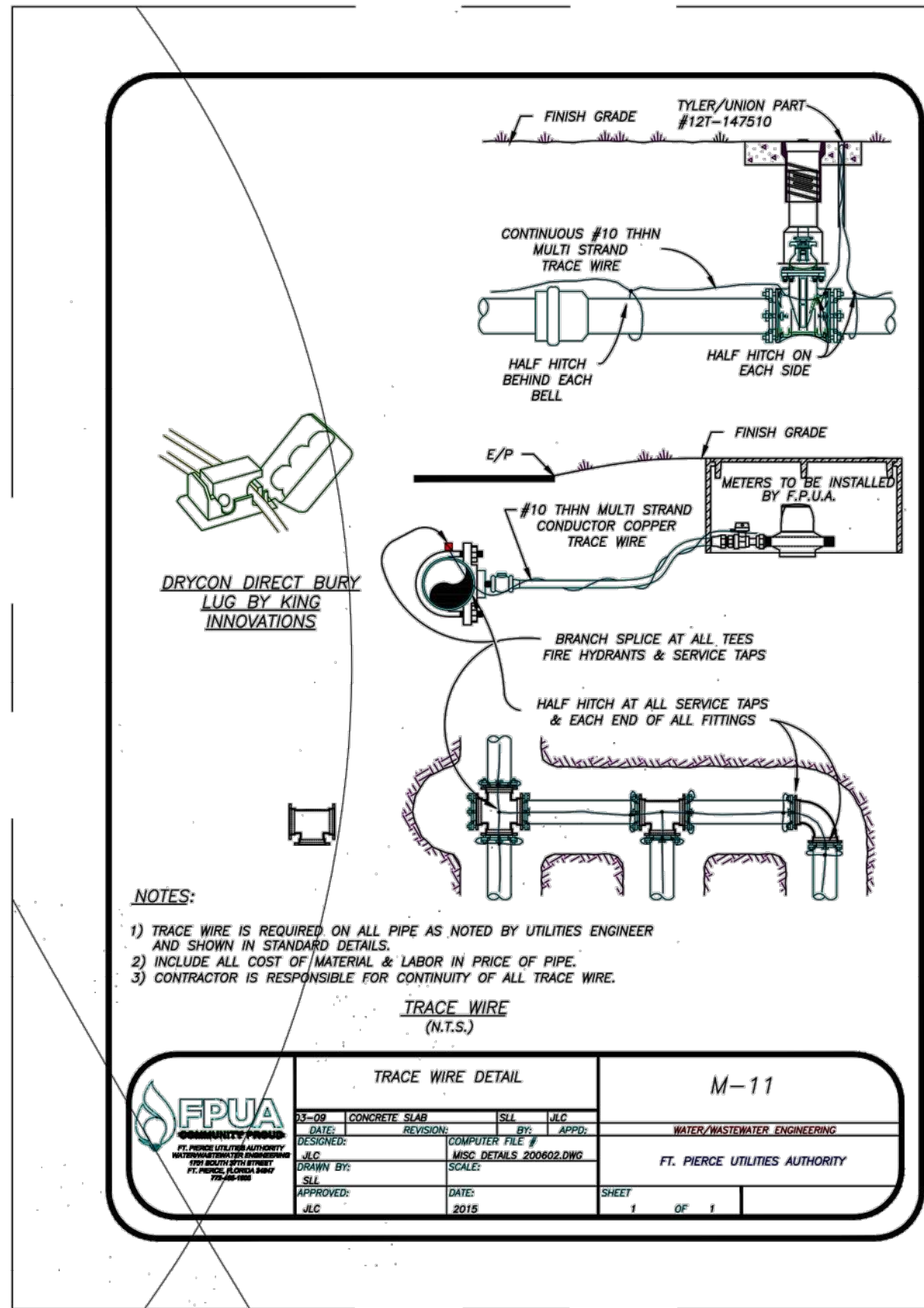
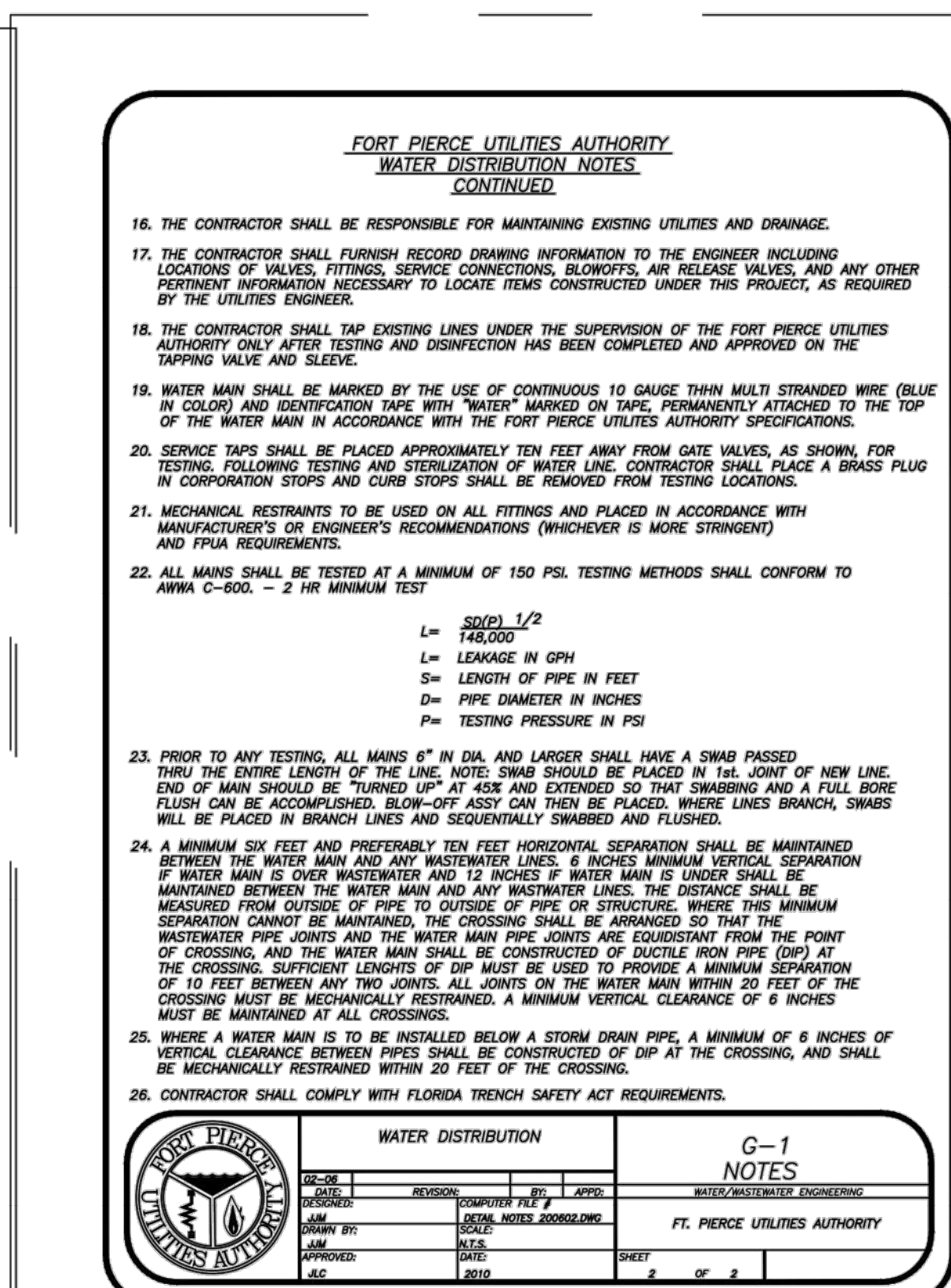
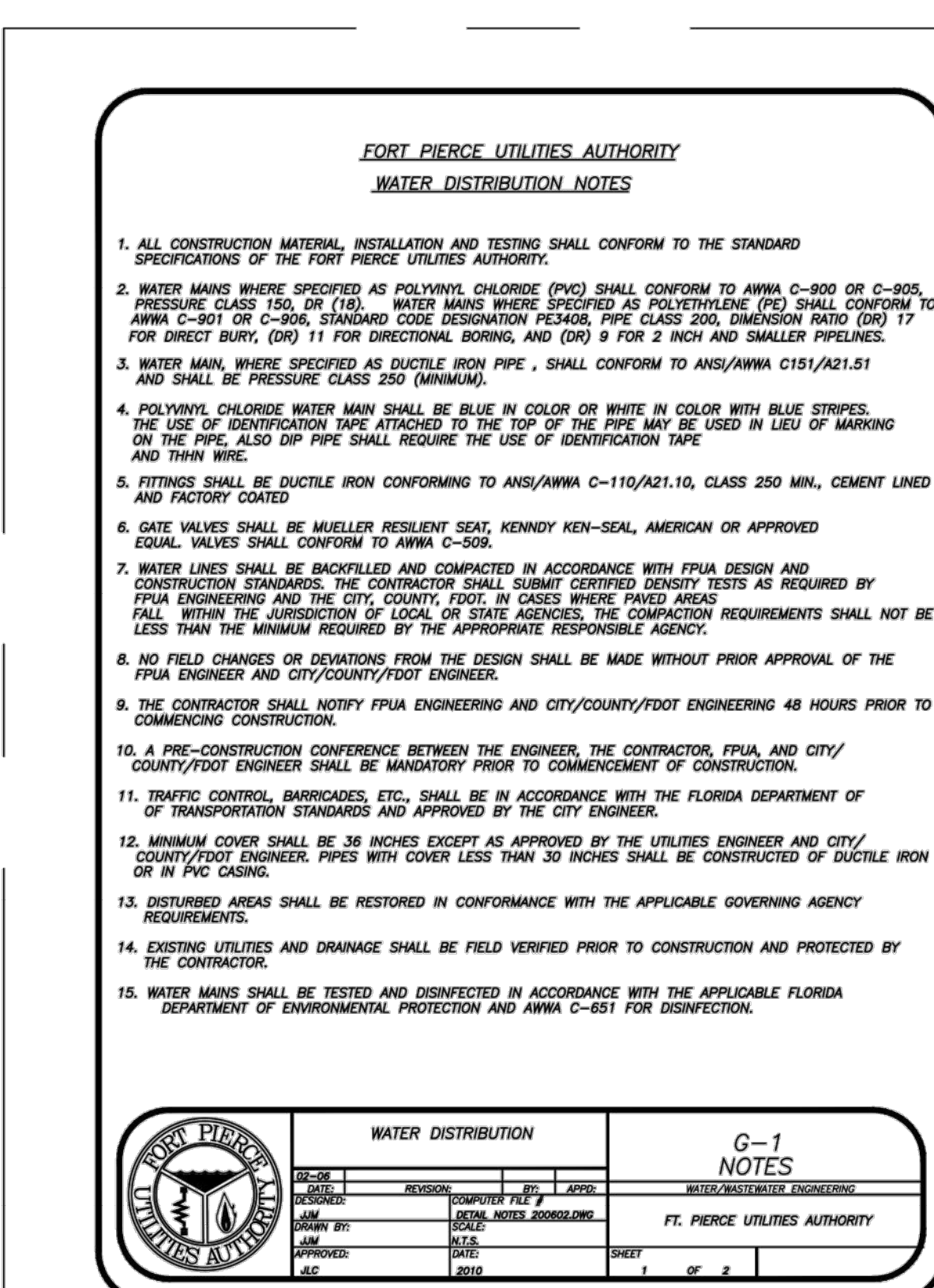
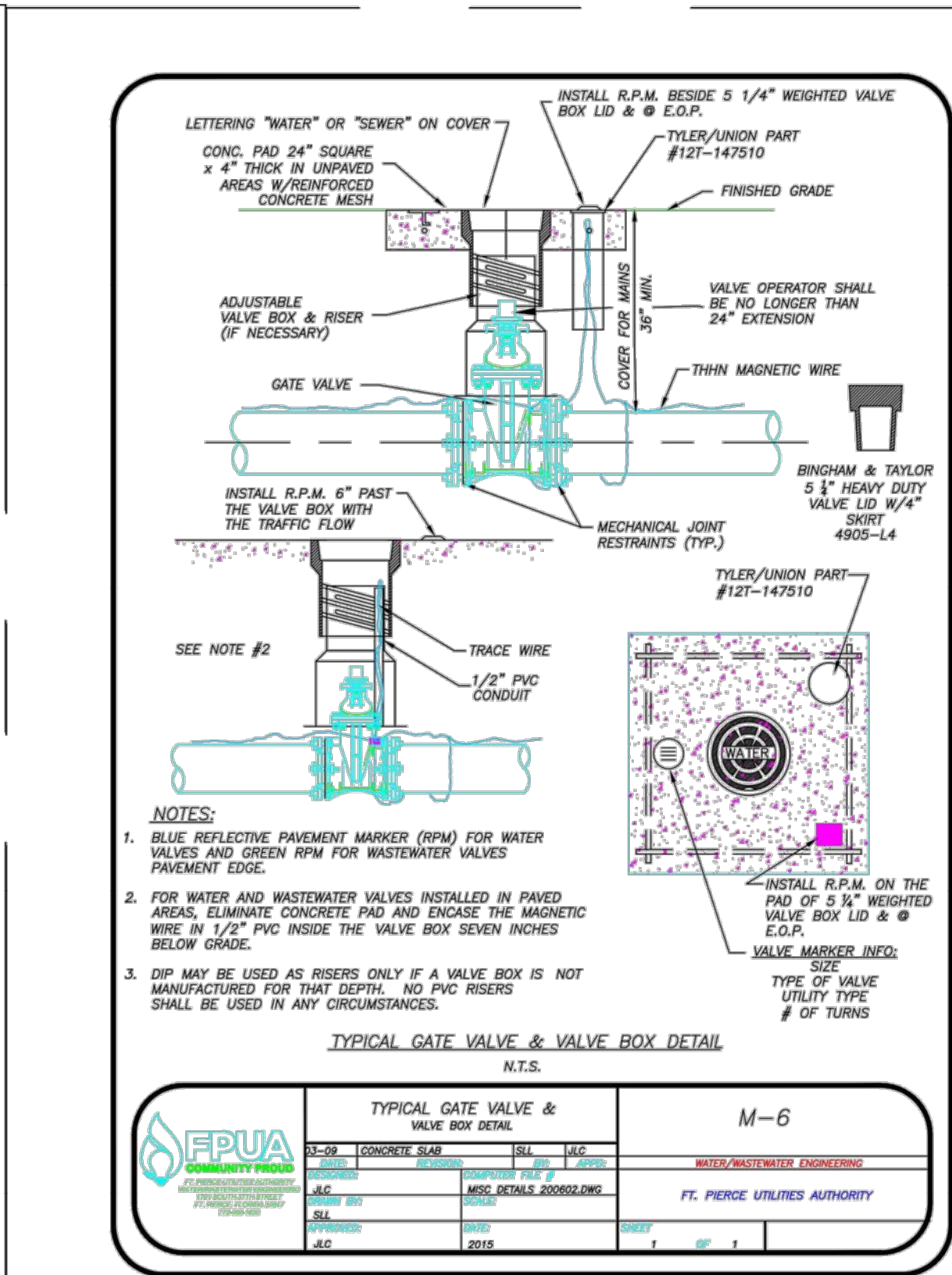
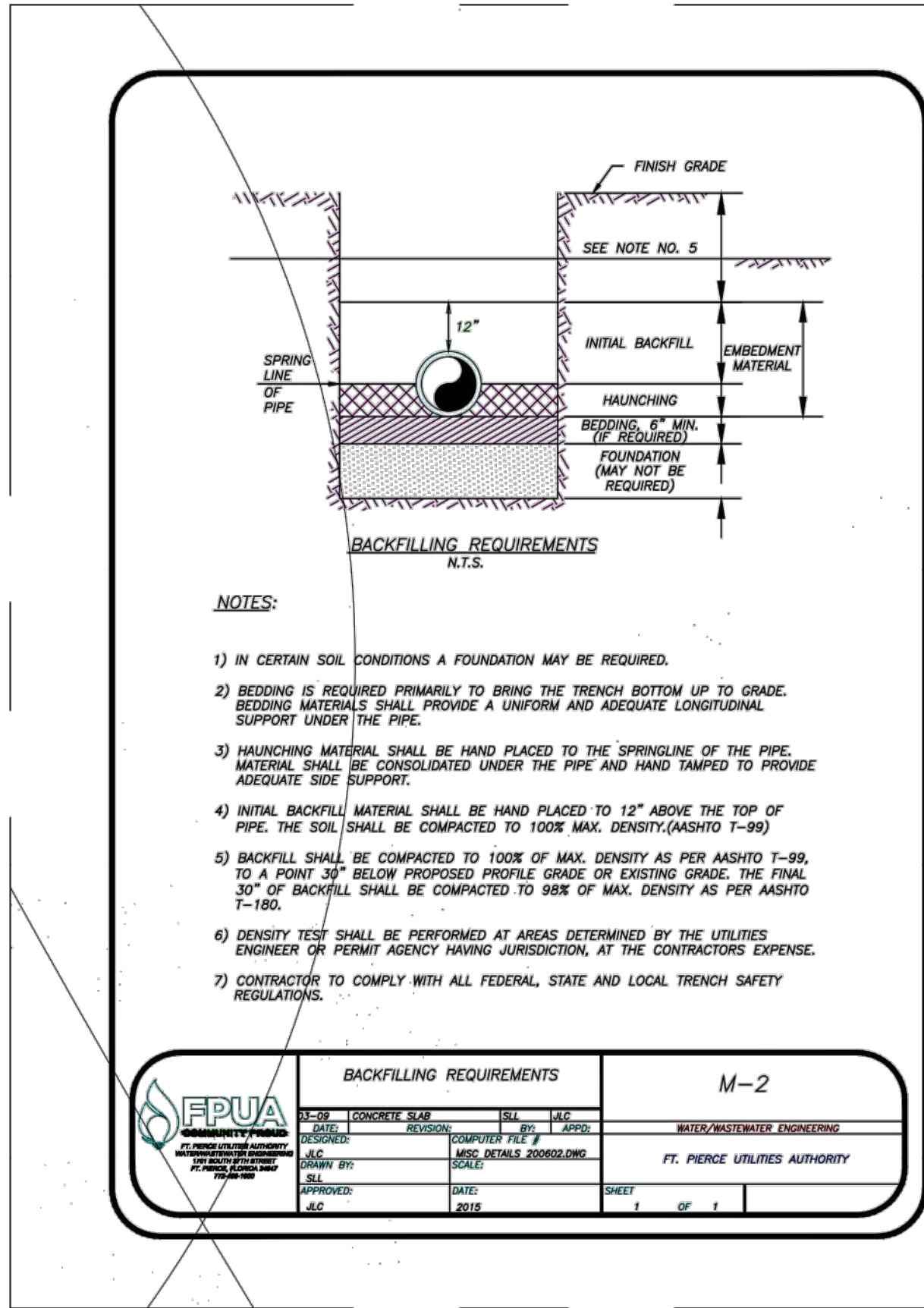
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		DRAWN BY	AC		
		DATE	Nv. 10/2023		
		SHEET	7 OF 8		

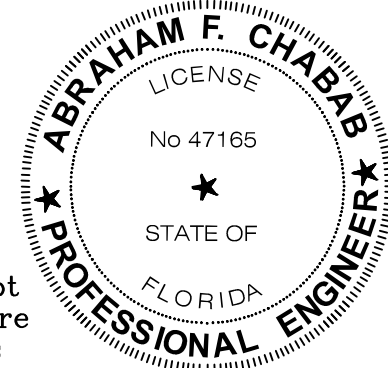


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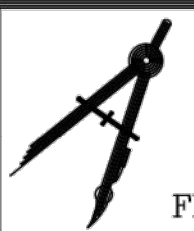
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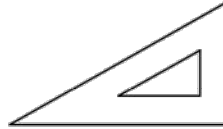


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BHASIN PROPERTIES

WATER & SEWER
DETAILS & NOTES

DESIGNED BY	AC	REVISIONS	DATE
DRAWN BY	AC		
DATE	Nv 10,23		
SHEET	OF		
8	8		

GENERAL NOTES

- No clearing, including the installation of erosion control devices, is authorized until the Permit for the Installation of Erosion Control Devices and Preserve Area Barricade has been issued.
- Property corners shall be located by a licensed land surveyor and clearly marked in the field prior to the Engineering Department's pre-construction meeting for site development.
- Authorization to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. This authorization shall be posted on the site, in the permit box, its location shown elsewhere on this page.
- No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained.
- A Land Clearing Permit may be obtained subsequent to the satisfactory inspection of the control structures and barricades. This permit shall be posted in the permit box, its location shown elsewhere on this page.
- All construction barricades and silt fences will remain in place and be monitored for compliance by the permit holder during the permitted development activities.
- Soil stabilization shall be completed within 30 days of vegetation removal.
- Following certification of occupancy for the development, all barricades and erosion control devices shall be removed and disposed of by the contractor.

EROSION CONTROL MEASURES DURING CONSTRUCTION

- Prior to clearing, a silt fence (trenched 12-in deep and backfilled on the uphill side) shall be installed around the perimeter of the site.
- During the clearing, grubbing and site grading stages, areas that are disturbed more than 7 days shall be stabilized with rye grass applied at manufacturer's recommendations. After seeding, each area shall be mulched with 4,000 pounds of straw per acre. All expected slopes that are equal to or greater than 5%, an Erosion Blanket shall be utilized until the area achieves final stabilization. A rock access road (that is 50ft long with a 6 inch depth of FDOT#4 stone and lined with filter fabric) shall be constructed to minimize the effects of truck and sedimentation tracking both on and off of the site. There will be only one construction entrance at this site.
- After the initial site grading work, all proposed inlet(s)/outfall, once installed, shall be protected from erosion and sediment runoff by the use of filter fabric and properly installed hay bales (with the same installation as above). Disturbed portions of the site where construction activities have permanently ceased shall be stabilized with permanent stabilization methods no later than 14 days after the last construction activity.

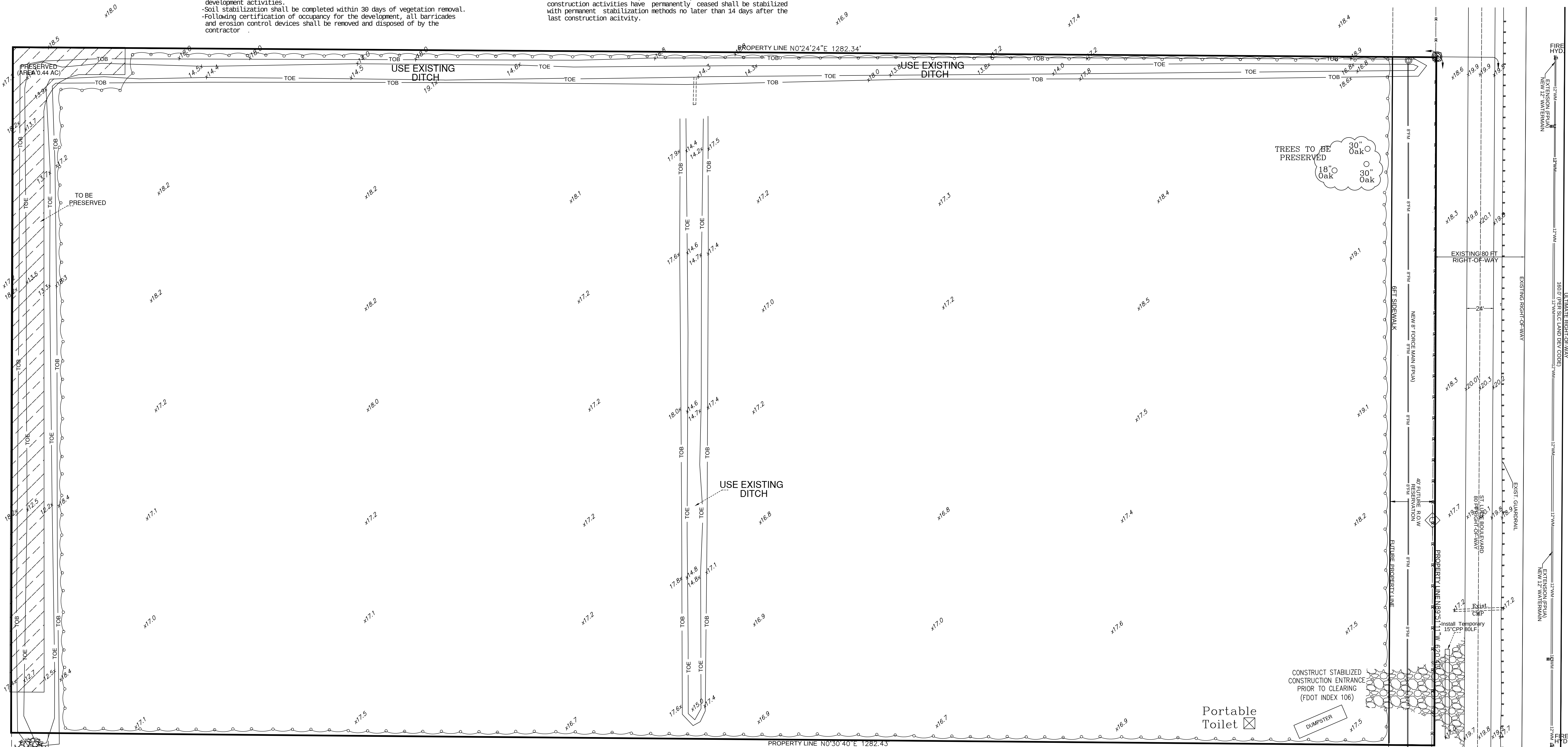
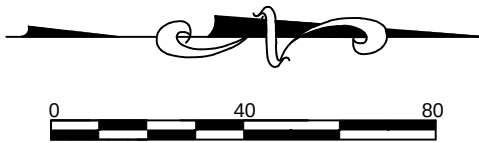
CONSTRUCTION ENTRANCE NOTES

- The entrance shall be maintained in a condition that will prevent tracking of sediment onto public rights-of-way. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.
- When necessary, wheels shall be cleaned prior to entrance onto public right-of-way.
- When washing is required, it shall be done on a area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.

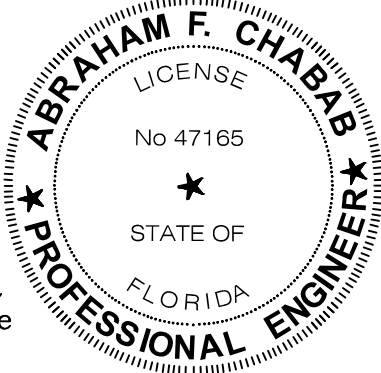
TABULATION AREA :

PROPOSED AREAS THAT WILL BE UNDER CONSTRUCTION 17.21 AC

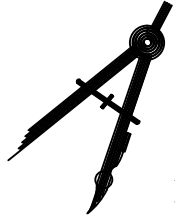
TOTAL SITE 18.22 AC



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BHASIN PROPERTIES

SURFACE WATER POLLUTION PREVENTION PLAN

DESIGNED BY AC

DRAWN BY AC

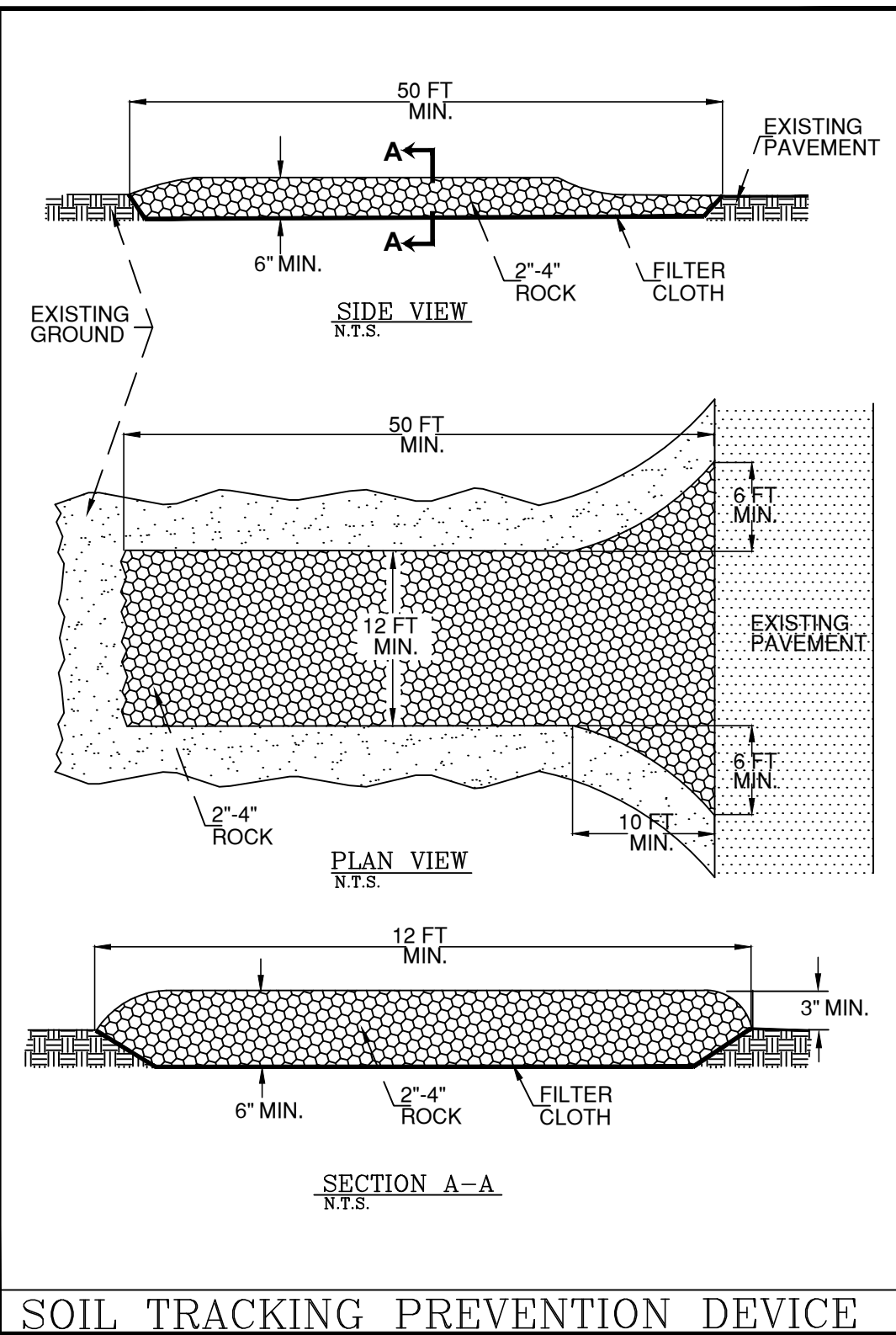
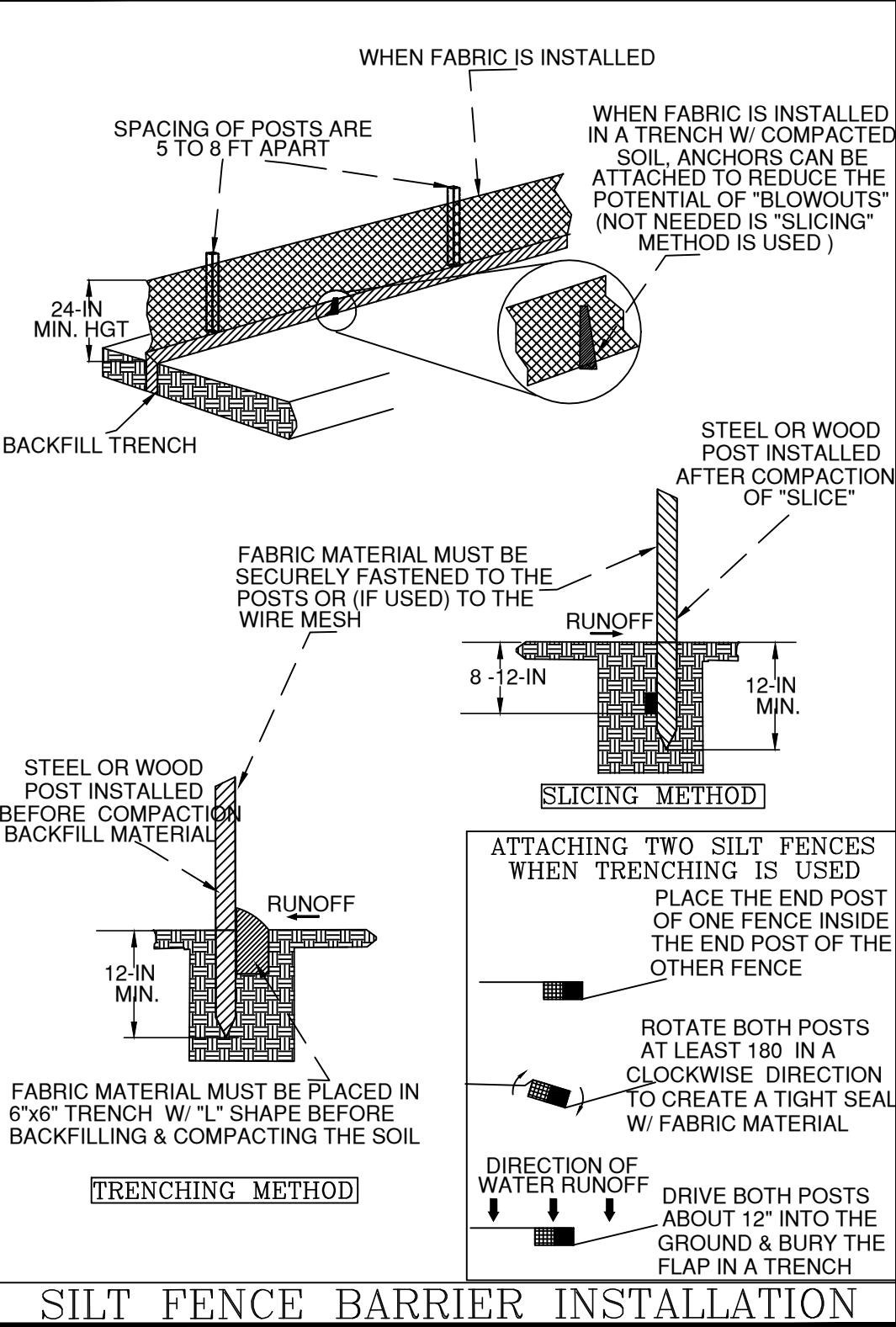
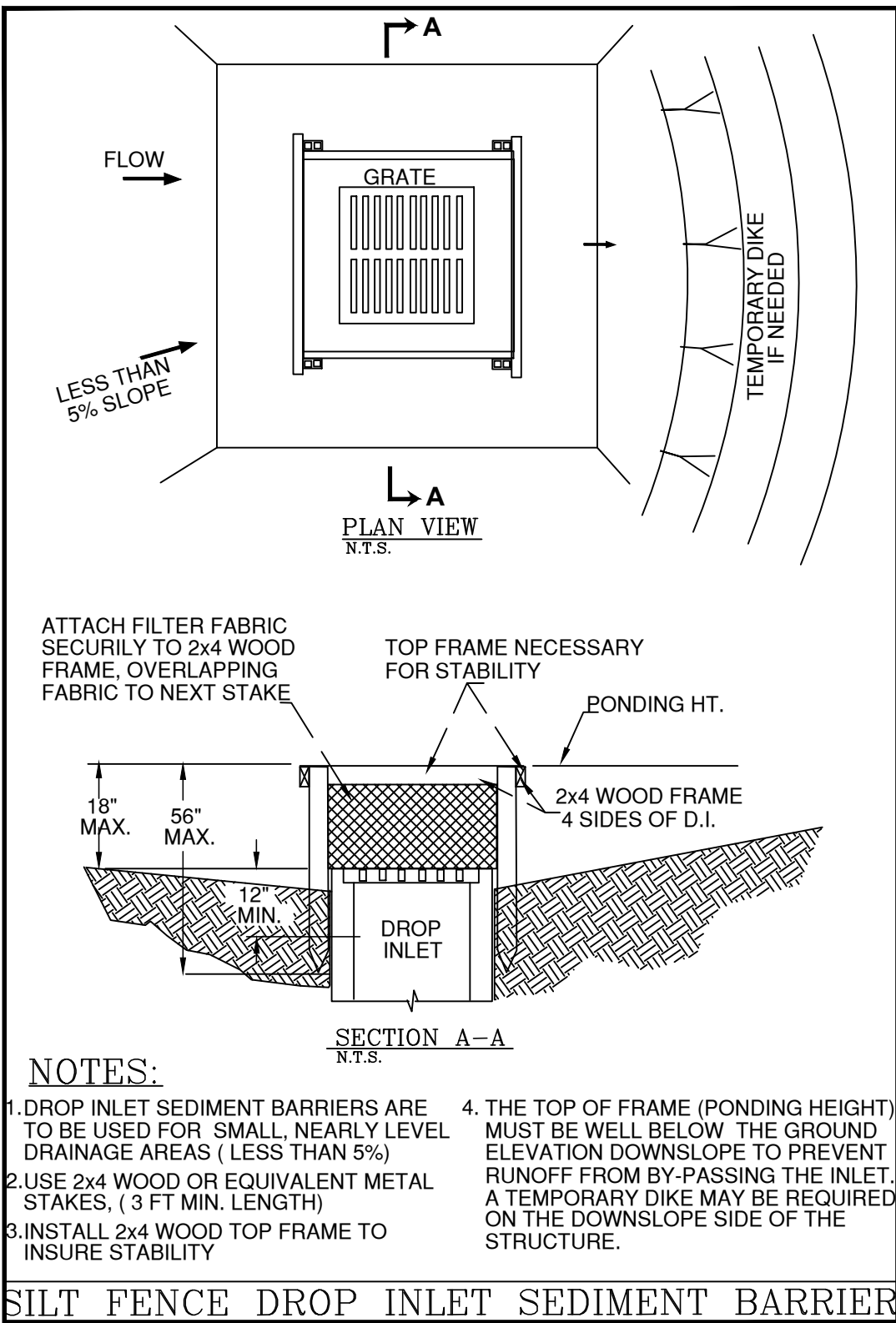
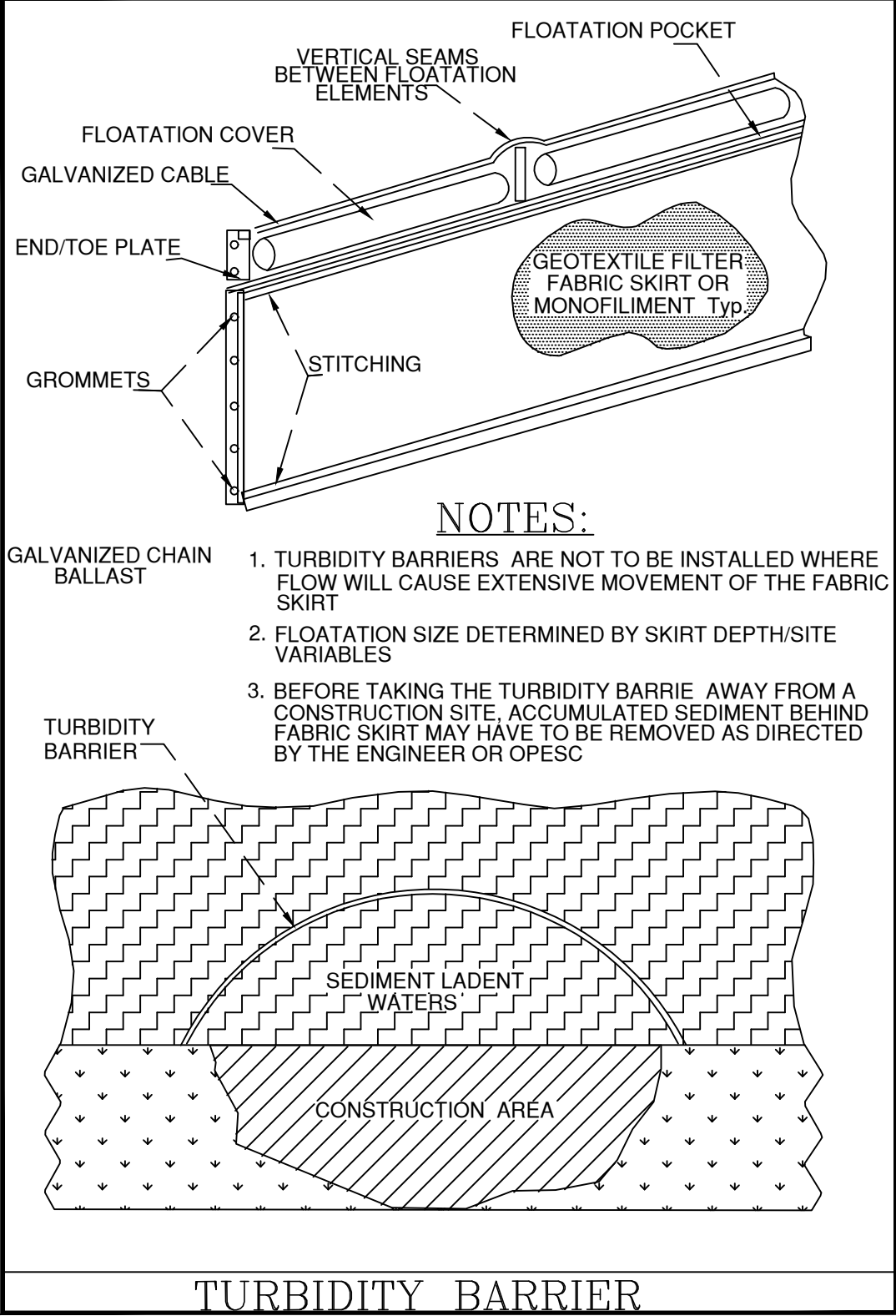
DATE Nv. 2/23

SHEET 1 OF 2

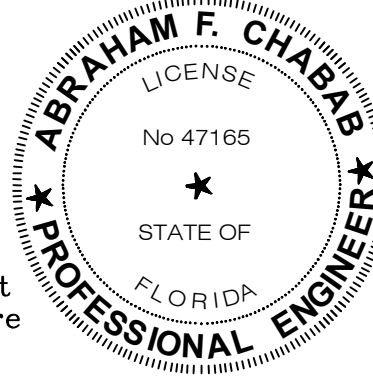
REVISIONS DATE

Section 1	Project Name and Location Information:	Bhasin Properties, LLC
Section 2	Describe the nature of the construction activity:	Excavate 1.75-acre lake, build 6 buildings, parking lot drainage, sewer & water infrastructures
Section 3	Describe the intended sequence of major soil disturbing activities:	0-3 Days: Site preparation & construct stabilized construction entrance 4-7 Days: Construct temporary Swales 8-10 Days: Install Silt fence & erosion Control 11-100 Days: Clearing/ Grubbing & site prep. 100-250Days: Construct building; foundation, frame structure roof, finish interior & exterior work. 250-300Days: Install Utilities, storm sewers, grading & paving 300-350Days: Landscaping, sodding & clean debris 350-370Days: Punch list items & final inspection
Section 4	Total area of the site	18.22 acres
Section 5	Total area of the site to be disturbed	17.21 acres
Section 6	Existing data describing the soil or quality of any stormwater discharge from the site:	Gray & brown fine sand with little silt. draining toward existing ditch at the south property line.
Section 7	Estimate the drainage area size of each discharge point:	17.21 acres
Section 8	Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:	Lat: 27° 28' 56" Long: 80° 23' 26" Receiving water body is FPFWCD FORT PIERCE FARMS WATER CONTROL DISTRICT CANAL #3
Section 9	Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented. NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in S.62-40.432, F.A.C., the applicable Stormwater or Environmental resource Permitting requirements of the Departmntet or a Water Management District, and the guidelines contained in the State of Florida Erosion and Sediemnt Control Designer and Receiver Manual FDOT, FDEP and any subsequent amendments.	
	Prior to clearing a silt fence staked with 2"x2" wooden stakes shall be installed around the perimeter of the site. Place hay bales around existing inlets. Exposed slopes shall use erosion blanket until area is stabilized There will be one temporary construction entrance. Use seed and mulch for exposed areas during construction.	
Section 10	Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc.	
	Temporary seeding shall be applied for areas that will be subject to erosion.	
Section 11	Describe all structural controls to be implemented to divert stromwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way to limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains. pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins.	
	Silt fence staked with 2"x2" wooden stakes shall be installed around the perimeter of the site. Rock Construction Entrance.	
Section 12	Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres	
	Construct two temporary swales 1150'x20' that will provide 11500 cubic feet of storage	
Section 13	Describe all permanent stormwater management controls such as, but not limited to detention or retention systems or vegetated swales that will be installed during the construction process.	
	During construction plans call for the construction of temporary swales. They have the capacity to hold most of the storm events.	

Section 14	Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:	All construction materials and debris will be placed in dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site.																																								
Section 15	Offsite vehicle tracking from construction entrances exits:	Off site vehicle tracking of sediments and dust generation will be minimized via a rock construction entrance, street sweeping and the use of water to keep dust down.																																								
Section 16	The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:	Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.																																								
Section 17	The storage, application, generation and migration of all toxic substances:	All paints and other chemicals will be stored in a locked covered shed.																																								
Section 18	Other:	Port-O-lets will be placed away from storm sewer systmes, storm inlets, surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow the discharge of polluted runoff.																																								
Section 19	Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good effective operation condition.																																									
	Contractor shall provide routine maintenance of permanent and temporary sediments erosion features in accordance with the technical specifications or as follows, whichever is more stringent: * Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier. * Maintenance shall be performed on the rock entrance when any void spaces are full of sediment. * Inlet(s)/ outfalls shall be inspected immediately after each rain event and any required repairs to the filters inlets, silt fence or filter fabric shall be performed immediately. * Bare areas of the site that were previously seeded shall be reseeded per per manufacturers' instructions. * Mulch and sod that has been washed out shall be replaced immediately. * Maintain all other areas of the site with proper controls as necessary.																																									
Section 20	Inspections: Describe the inspection and inspection documentation procedures, as required by the FDEP and NPDES Generic Permit for Stormwater Discharge form Large and Small Construction Activities:																																									
	Qualified personnel will inspect all points of discharges, all disturbed areas of construction that have not been stabilized, constructed areas and locations where vehicles enter and exit the site, and all BMPs at least once every 7 calendar days and within 24 hours of the end of rainfall event that is 0.5 inches or greater. Where sites have been finally stabilized, said inspections shall be conducted at least once every month until the Notice of Termination is filed.																																									
Section 21	Identify and describe all sources of non-stormwater discharge as allowed by the FDEP and NPDES Generic Permit for Stormwater Discharge form Large and Small Construction Activities:																																									
Section 22	All contractors(s) and subcontractor(s) identified in the SWPPP must the following certification:																																									
	"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge From Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared there under."																																									
	<table><tr><td>NAME</td><td>SIGNATURE</td><td>TITLE</td><td>COMPANY NAME, ADDRESS AND PHONE NUMBER</td><td>DATE</td></tr><tr><td></td><td></td><td></td><td>BHASIN PROPERTIES LLC</td><td></td></tr><tr><td></td><td></td><td></td><td>615 SAN MARCO DR</td><td></td></tr><tr><td></td><td></td><td></td><td>FORT LAUDERDALE, FL 33301</td><td></td></tr><tr><td></td><td></td><td></td><td>Phone: 973-723-9953</td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr></table>	NAME	SIGNATURE	TITLE	COMPANY NAME, ADDRESS AND PHONE NUMBER	DATE				BHASIN PROPERTIES LLC					615 SAN MARCO DR					FORT LAUDERDALE, FL 33301					Phone: 973-723-9953																	
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This item has been digitally signed & sealed by **Abraham Chabab, PE**



Printed copies of this document are not considered signed & sealed & the signature must be verified on any electronic copies

 ABRAHAM CHABAB, Inc. FL. BOARD OF PROF. ENG. AUTH.#26790	BHASIN PROPERTIES	DESIGNED BY	AC	REVISIONS		DATE
		DRAWN BY	AC			
		DATE	Feb. 15/2022			
		SHEET	2 OF 2			
5019 NW Rugby Dr PORT ST. LUCIE FL. 34983 Email agchabab1@msn.com Ph: 772-475-6630	GENERAL NOTES & DETAILS FOR STORM WATER PREVENTION PLAN					