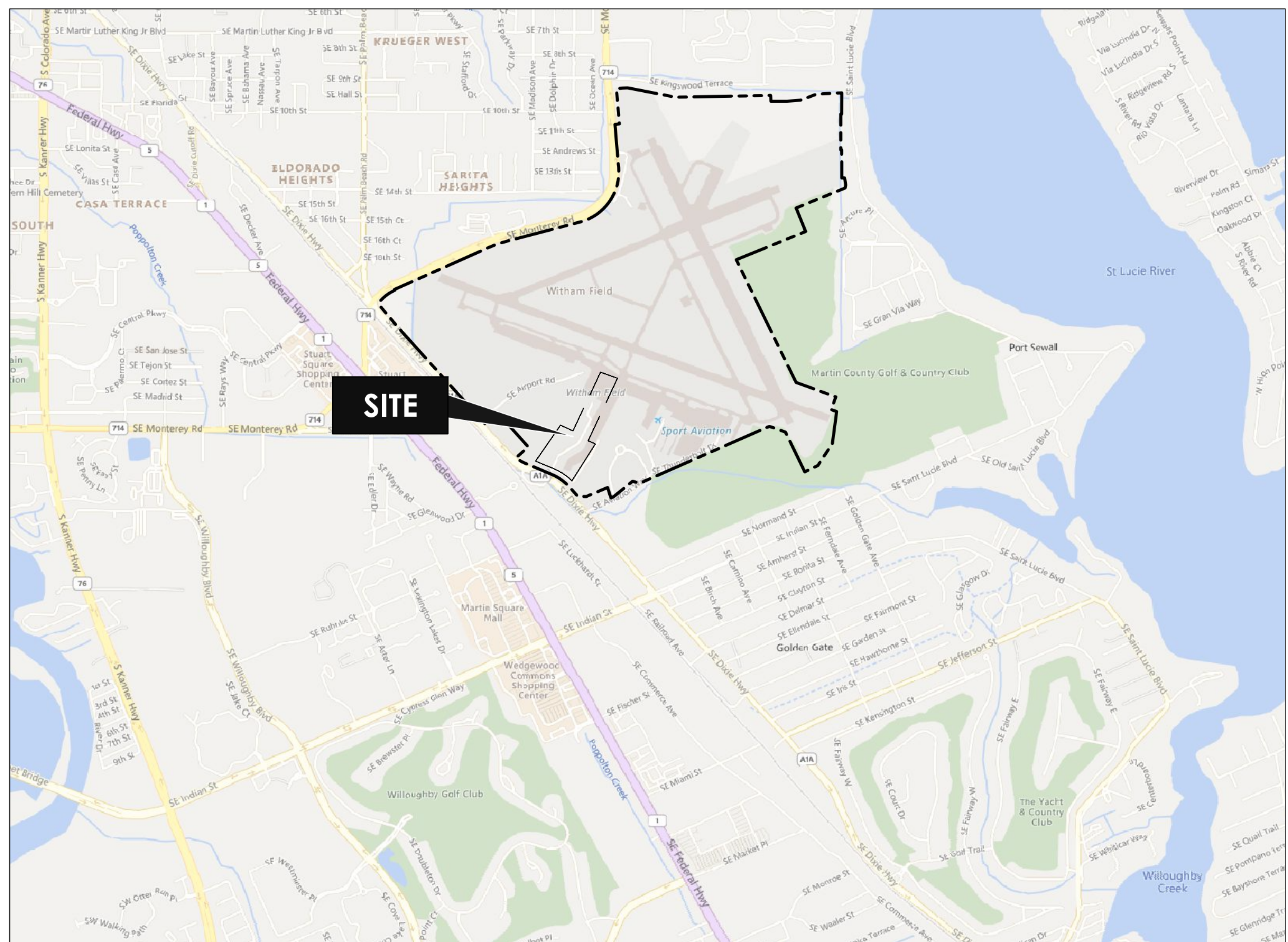


APP JET CENTER - HANGAR 10

2240 SE WITHAM FIELD DR.
STUART, FLORIDA



LOCATION MAP



PROJECT AREA

PROJECT INFORMATION

HW PROJECT NO: 2011761

PARCEL ID #: 10-38-41-000-001-00000-1
ZONE: PAF (PUBLIC AIRPORT FACILITIES DISTRICT)

OWNER: ATLANTIC AVIATION
2240 S.E. WITHAM FIELD DRIVE
STUART, FL 34996

PROJECT DATUM AND COORDINATE SYSTEM:
HORIZONTAL: FLORIDA STATE PLANE NAD83 (FL83-EF)
VERTICAL: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

COORDINATES: N: 1033754.6883 E: 907941.7763
LAT: N27.175527 LONG: W80.225589

FLOOD ZONE: FEDERAL FLOOD ZONE X, PER FEMA MAP COMMUNITY
NO. 120161, PANELS 0161 AND 0162, SUFFIX H,
EFFECTIVE DATE FEBRUARY 19, 2020.

ISSUED FOR REGULATORY REVIEW
NOT FOR CONSTRUCTION

REVISIONS	
DATE	ISSUE

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C-201	SECTIONS
C-501	DETAILS
C-502	DETAILS
C-503	DETAILS
C-504	DETAILS
C-505	DETAILS

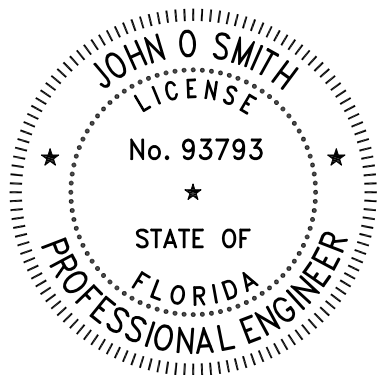


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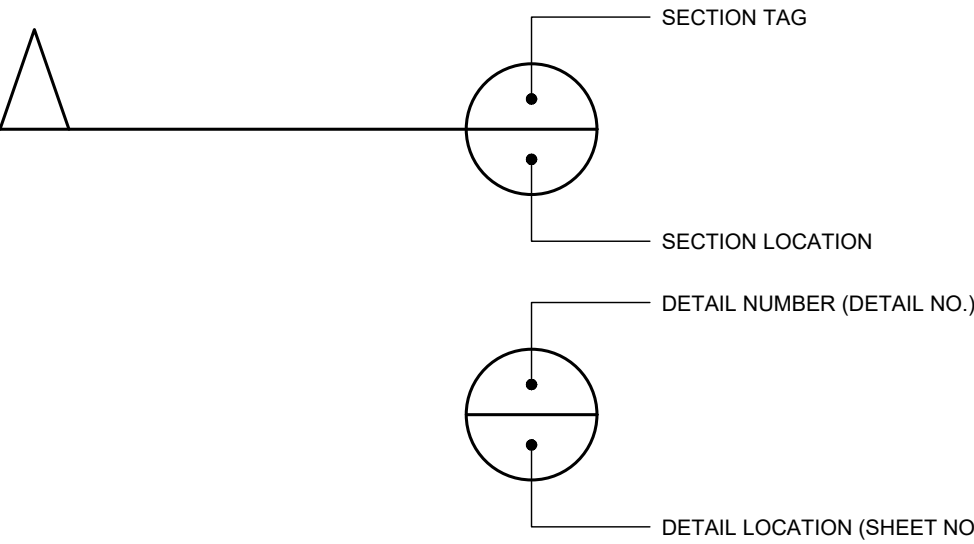


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LEGEND

	FL	FIRE LINE
	FM	FORCE MAIN
	FUEL	FUEL LINE
	GAS	GAS MAIN
	IRR	IRRIGATION LINE
	IQ	IRRIGATION QUALITY
	OHU	OVERHEAD ELECTRIC
	PVC	POLY VINYL CHLORIDE
	RWM	RAW WATER MAIN
	SS	SANITARY SEWER
		SLEEVING
	UGC	UNDER-GROUND CABLE
	UGE	UNDER-GROUND ELECTRIC
	UGFO	UNDER-GROUND FIBER OPTICS
	UGT	UNDER-GROUND TELEPHONE
	W	WATER MAIN
	WS	WATER SERVICE
		CHECK VALVE
		FIRE HYDRANT
		GATE VALVE
		GREASE TRAP
		LIGHT POLE
		POWER POLE
		SANITARY MANHOLE
		SANITARY SEWER LATERAL (SINGLE SERVICE)
		SANITARY SEWER LATERAL (DOUBLE SERVICE)
		TERMINAL CLEAN OUT
		WATER METER (SINGLE SERVICE)
		WATER METER (DOUBLE SERVICE)
		WELL

		BUILDING
		CENTER LINE
		CURB & GUTTER
		EASEMENT
		EDGE OF WATER
		EDGE OF PAVEMENT
		FENCE
		GUARD RAIL
		IMPERMIABLE BARRIER
		LIMIT OF DISTURBANCE
		MATCH LINE
		PRESERVE BARRICADE
		PROJECT PHASE LINE
		PROPERTY LINE
		SETBACK LINE
		SILT FENCE
		DOUBLE SILT FENCE
		TOP OF BANK
		TOP OF SLOPE
		TURBIDITY BARRIER
		RIGHT-OF-WAY
		SIGN
		DRAINAGE FLOW ARROW
		MITERED END SECTION
		DRAINAGE INLET
		DRAINAGE MANHOLE
		YARD DRAIN
	CMP	CORRUGATED METAL PIPE (CMP)
	DIP	DUCTILE IRON PIPE (DIP)
	HDPE	HIGH DENSITY POLYETHYLENE PIPE (HDPE)
	RCP	REINFORCED CONCRETE PIPE (RCP)
		DRAINAGE PIPE



ABBREVIATIONS

BFP	BACK FLOW PREVENTER
CB	CATCH BASIN
CM	CONCRETE MONUMENT
DE	DRAINAGE EASEMENT
DM	DRAINAGE MANHOLE
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
EL	ELEVATION
EOP	EDGE OF PAVEMENT
EOW	EDGE OF WATER
FFE	FINISH FLOOR ELEVATIONS
FH	FIRE HYDRANT
FL	FIRE LINE
FM	FORCE MAIN
GM	GAS MAIN
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
INV	INVERT
IQ	IRRIGATION QUALITY
IRC	IRON ROD & CAP
IRR	IRRIGATION LINE
LF	LINEAR FEET
LME	LAKE MAINTENANCE EASEMENT
ME	MATCH EXISTING
MES	MITERED END SECTION
MIN	MINIMUM
MH	MANHOLE
OC	ON CENTER
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PT	POINT OF TANGENT
PVC	POLY VINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT-OF-WAY
RWM	RAW WATER MAIN
SAN	SANITARY SEWER
SW	SIDEWALK
TOB	TOP OF BANK
TOE	TOE OF SLOPE
TOW	TOP OF WALL
UGE	UNDER-GROUND ELECTRIC
UE	UTILITY EASEMENT
UGFO	UNDER-GROUND FIBER OPTICS
UGT	UNDER-GROUND TELEPHONE
WM	WATER MAIN



REV	DATE	DESCRIPTION	BY	CHK	
DRAWING ISSUE STATUS					
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION					
 ENGINEERING ENVIRONMENTAL SURVEYING 13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331 WWW.HALEYWARD.COM					
PROJECT					
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA					
TITLE					
LEGEND AND ABBREVIATIONS					
		DATE	2024.06.28	SCALE	AS NOTED
DRAWN BY	DESIGNED BY	CHECKED BY			
AT/BQ	DG/AV/BQ	RB			
PROJECT No.	ENGINEERING BUSINESS REGISTRY:				
2011761	32664				
DRAWING No.	REV				
C-001					

FILE LOCATION: P:\JL0111761-BAYVIEW_CONSTRUCTION\0303-APP HANGAR - LIAIG-CAD_FILES\DESIGN\20111761-GALVING_2024.06.28_1.28 PM



GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE "OTHER UTILITIES", CONFLICTS OR DISCREPANCIES THE CONTRACTOR SHALL OBTAIN THE NECESSARY ELEVATIONS, DIMENSIONS AND OTHER PERTINENT DATA. CONTRACTOR TO NOTIFY THE RESPECTIVE UTILITY DEPARTMENT AND THE ENGINEER TO RESOLVE UTILITY CONFLICTS AND ADJUSTMENTS, AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING UTILITIES FROM DAMAGE, DISRUPTION OF SERVICE OR DESTRUCTION. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY AGENCY. ANY AND ALL COSTS INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO THE PROPOSED START OF CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY MARTIN COUNTY AIRPORT REPRESENTATIVE, THE CONTRACTOR AND ENGINEER.
- ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AND ARE BASED ON BENCHMARKS NOTED ON PLANS.
- EXISTING DRAINAGE STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS AND SPECIFICATIONS ON SITE.
- EXISTING SECTION CORNERS AND OTHER LAND MARKERS OR MONUMENTS LOCATED WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE MAINTAINED BY THE CONTRACTOR AND/OR RESET AFTER CONSTRUCTION BY A REGISTERED LAND SURVEYOR.
- COMPLETE AS- BUILT INFORMATION RELATIVE TO LOCATIONS AND ELEVATIONS OF STRUCTURES, LENGTHS AND INVERT OF PIPES AND THE LIKE SHALL BE ACCURATELY RECORDED AND SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE OF THE WORK. ALL INFORMATION SHALL BE TAKEN BY A REGISTERED LAND SURVEYOR AND SHOWN ON A SIGNED AND SEALED AS-BUILT PLAN.
- CONTRACTOR SHALL, AS A MINIMUM, HAVE A REGISTERED LAND SURVEYOR LAYOUT THE WORK AND PROVIDE A COPY OF SIGNED AND SEALED FIELD NOTES UPON COMPLETION OF WORK. FIELD NOTES SHALL BE MADE AVAILABLE TO THE ENGINEER AT ANY TIME IF REQUIRED.
- THE SOIL BORING DATA PROVIDED IS FOR THE CONTRACTOR'S INFORMATION. THE ENGINEER DOES NOT MAKE ANY REPRESENTATION REGARDING EXISTING SUBSOIL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ADDITIONAL SOIL BORINGS TO VERIFY THE LIMITS OF UNSUITABLE MATERIAL ON-SITE.
- ALL DEVIATIONS FROM PLANS ARE TO BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION, INSPECTIONS AND TESTING.
- SHOP DRAWINGS FOR ALL STRUCTURES AND MATERIALS TO BE USED ON THE PROJECT SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION OR INSTALLATION. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS APPROVED PRIOR TO CONSTRUCTION. SUBSTITUTE MATERIALS SHALL NOT BE APPROVED AFTER DELIVERY TO THE JOB SITE. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY.
- ALL PAVEMENTS, GRASSED AREAS, LANDSCAPING, DRAINAGE STRUCTURES, IRRIGATION, CURBING, AND OTHER ABOVE GROUND OR SURFACE FEATURES DISRUPTED AS A RESULT OF THIS CONSTRUCTION EFFORT SHALL BE RESTORED TO ITS ORIGINAL CONDITION PRIOR TO THE COMPLETION OF THE PROJECT AT NO ADDITIONAL COST.
- UPON COMPLETION OF CONSTRUCTION, A FINAL INSPECTION WILL BE CONDUCTED TO VERIFY IF THE WORK COMPLETED IS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- ADJUST ALL EXISTING UTILITY COVERS, FRAMES, GRATES, CASTINGS AND LIDS (TO REMAIN) WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO MATCH FINISH GRADE.
- CONTRACTOR TO CONTACT SUNSHINE STATE ONE OF FLORIDA INC. (1-800-432-4770) AND LOCAL UTILITY COMPANIES FOR UNDERGROUND UTILITY LOCATION PRIOR TO CONSTRUCTION.
- ALL EXCESS EXCAVATED MATERIAL NOT REQUIRED FOR BACKFILL SHALL BE HAULED AND DISPOSED OF OUTSIDE AIRPORT PROPERTY BY THE CONTRACTOR AT AN APPROPRIATE LEGAL SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFFSITE DISPOSAL OF ALL MATERIALS AND DEBRIS OBTAINED FROM THE CLEARING, GRUBBING AND DEMOLITION OPERATIONS.
- COORDINATE SYSTEM IS BASED ON STATE PLANE COORDINATES (FL83-EF) NAVD 88.
- ITEMS CALLED FOR TO BE RELOCATED SHALL BE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- AREAS OF DEMOLITION AND TRENCHING WHICH WILL REMAIN UNPAVED SHALL BE FILLED, GRADED, AND SODDED.
- PAVEMENT REMOVED SHALL BE HAULED AND DISPOSED OF OUTSIDE AIRPORT PROPERTY BY THE CONTRACTOR AT AN APPROPRIATE LEGAL SITE.
- THE FDOT INDICES REFERRED TO IN THE DRAWINGS ARE FROM THE "ROADWAY AND TRAFFIC DESIGN STANDARDS", 2017-2018 EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE SAFETY PRECAUTIONS DURING EXCAVATION AND TRENCHING OPERATIONS AS REQUIRED BY THE "FRENCH SAFETY ACT".
- PRIOR TO CONNECTING TO EXISTING DRAINAGE STRUCTURES OR PIPES, THE CONTRACTOR SHALL IDENTIFY THE SIZE, DEPTH AND INVERT ELEVATIONS OF THE STRUCTURE AND CULVERTS.
- ALL SIGNAGE WILL COMPLY WITH CURRENT SIGN REGULATION, PER MARTIN COUNTY BUILDING DEPARTMENT, AT THE TIME OF PERMITTING.

ACCESS/HAUL ROUTE AND STAGING NOTES:


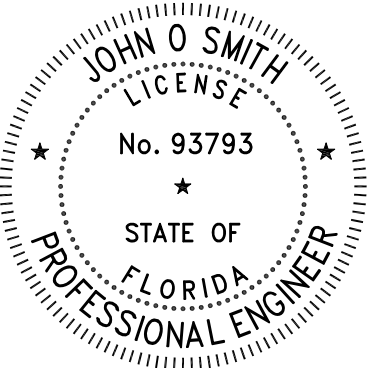
- CONTRACTOR SHALL ACCESS THE STAGING AREA AND PROJECT WORK AREAS VIA THE DESIGNATED ACCESS ROUTES AS SHOWN ON PLANS. CONTRACTOR SHALL INSTALL TEMPORARY GATE AT ACCESS POINT AND TEMPORARY SECURITY FENCE AS REQUIRED. AT COMPLETION OF THE PROJECT, COST OF GATE AND FENCE RESTORATION IS INCIDENTAL TO THE PROJECT.
- ALL VEHICLES AND EQUIPMENT SHALL BE KEPT WITHIN THE WORK AREAS ESTABLISHED FOR THAT WORKSHIFT UNLESS TRAVELING TO OR FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL ANY VEHICLES BE PARKED OUTSIDE THE BARRICADED AREAS AND/OR LIMITS OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING SIGNAGE AS REQUIRED TO DELINEATE THE CONSTRUCTION ACCESS ROUTES SHOWN ON PLANS. THE CONTRACTOR SHALL CONTINUOUSLY SWEEP AND WASHDOWN ALL ACCESS ROUTES TO/FROM THE CONSTRUCTION AREAS AND EXISTING ADJACENT PAVED AREAS. THESE AREAS SHALL BE KEPT FREE FROM DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE WHATEVER MEANS NECESSARY TO ALLEVIATE OR PREVENT DUST NUISANCE AT ALL TIMES.
- THE CONTRACTOR SHALL HAVE A POWER SWEEPER ON THE SITE WHEN REQUIRED TO SWEEP PAVEMENTS IN WORK AREAS AND HAUL ROUTES.
- ALL MATERIALS USED IN THIS EFFORT SHALL BE STORED IN THE CONTRACTORS STAGING AREA
- THE NECESSARY IMPROVEMENT AND THE MAINTENANCE OF THE ACCESS ROUTES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCIDENTAL TO THE PROJECT. CONTRACTOR SHALL REMOVE ANY TEMPORARY ACCESS ROUTE SEGMENTS TO THE PROJECT WORK AREAS AT THE CONCLUSION OF THE PROJECT. REMOVAL SHALL INCLUDE THE DEMOLITION OF ANY PAVEMENT AND RESTORATION TO ORIGINAL CONDITION. THE HAUL ROUTE CAN BE REMOVED AT ANY TIME DURING THE PROJECT BY THE CONTRACTOR WHEN IT HAS BEEN DETERMINED THAT THE ROUTE IS NO LONGER USEFUL IN THE CONSTRUCTION EFFORT.
- UNDER NO CIRCUMSTANCES SHALL MATERIAL BE STOCKPILED OUTSIDE OF AIRPORT. CONTRACTOR IS REQUIRED TO PROVIDE ALL POWER AND UTILITIES AND THE DEFINED STAGING AREA WITHOUT THE APPROVAL OF MARTIN COUNTY SECURITY FENCING AS REQUIRED. CONTRACTOR IS TO MEET ALL FAA AND MARTIN COUNTY AIRPORT SECURITY REQUIREMENTS FOR PERSONNEL AND VEHICLES.
- CONTRACTOR SHALL RESTORE THE STAGING AREA, ACCESS ROUTE AND HAUL ROUTE TO EXISTING CONDITION PRIOR TO COMPLETION OF JOB.

SECURITY AND SAFETY NOTES:

- THE AIRPORT WILL BE OPERATIONAL AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF FAA FORM 7460. THE FORM SHALL BE SUBMITTED TO MARTIN COUNTY AIRPORT AND FAA-ADO A MINIMUM OF 60 DAYS IN ADVANCE OF CONSTRUCTION ACTIVITIES. REFER TO NOTE NO.12 WITHIN SECTION.
- ALL WORK OCCURRING WITHIN AIRCRAFT MOVEMENT AREAS IS SUBJECT TO THE OPERATIONAL SAFETY AND SECURITY REQUIREMENTS OF FAA ADVISORY CIRCULAR 150/5370-2C (CURRENT EDITION), OPERATIONAL SAFETY ON AIRPORTS DURING CONSTRUCTION AND 150/5210-5B (CURRENT EDITION).
- EACH CONTRACTOR AND SUBCONTRACTOR EMPLOYEE, WHO WILL OPERATE A GROUND VEHICLE ON ANY PORTION OF THE AIRPORT OPERATIONS AREA (AOA) AT MARTIN COUNTY AIRPORT MUST BE FAMILIAR WITH AND UNDERSTAND THE FOLLOWING:
A. THE AIRPORT'S RULES AND REGULATIONS
B. THE AIRPORT'S PROCEDURES FOR THE OPERATION OF GROUND VEHICLES
C. THE DESIGNATED HAUL ROUTES FOR THIS PROJECT, AND THE OPERATIONAL REQUIREMENTS AND LIMITATIONS DEFINED FOR AND GOVERNING THESE ROUTES.
D. THE CONSEQUENCES OF NONCOMPLIANCE WITH THE ABOVE
- IN THE EVENT THAT THE CONTRACTOR ACCIDENTALLY BREACHES THE AIRSIDE SECURITY FENCE HE IS TO IMMEDIATELY CONTACT DOA OPERATIONS A REPLACE AND/OR REPAIR THE DAMAGED FENCING AT NO COST TO THE AIRPORT.
- LIGHTED BARRICADES SHALL BE PROVIDED BY THE CONTRACTOR TO DIRECT AIRCRAFT AWAY FROM CONSTRUCTION AREAS. WORK AREAS AND DETOURS FOR TAXING AIRCRAFT SHALL BE BARRICADED NIGHT AND DAY AS DIRECTED. BARRICADES SHALL BE BRIGHTLY COLORED, MAX. 24" HIGH AND SPACED NO MORE THAN 10' FROM ANY PAVEMENT EDGE UNLESS APPROVED BY THE ENGINEER.
- BARRICADES SHALL BE SECURED BY WEIGHTING AGAINST WIND AND AIRCRAFT JET AND PROP BLASTS.
- STOCKPILED MATERIAL SHOULD BE CONSTRAINED IN A MANNER TO PREVENT MOVEMENT RESULTING FROM AIRCRAFT JET BLAST OR WIND CONDITIONS.
- OPEN TRENCHES, EXCAVATIONS AND STOCKPILED MATERIAL LOCATED IN THE AOA SHALL BE PROMPTLY MARKED WITH FLAGS AND LIGHTED BY APPROVED LIGHT UNITS DURING HOURS OF RESTRICTED VISIBILITY AND DARKNESS.
- THE CONTRACTOR'S SECURITY OFFICER (C.S.O.) WILL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS. PRIOR TO THE COMMENCEMENT OF THE WORK THE C.S.O. SHALL PROVIDE THE ENGINEER AN OUTLINE OF A PROPOSED ACCIDENT AND FIRE PROTECTION PLAN FOR ALL WORK CONTEMPLATED UNDER THE CONTRACT AND CONDUCT AT LEAST ONE SAFETY MEETING EACH MONTH FOR EACH SHIFT AND REQUIRE THE ATTENDANCE OF ALL SUPERVISORS OF SUCH MEETINGS. COPIES OF THE MINUTES OF SAFETY MEETINGS SHALL BE KEPT ON FILE IN THE CONTRACTOR'S FIELD OFFICE AND AVAILABLE UPON REQUEST BY THE ENGINEER.
- ALL CONTRACTOR'S MATERIAL ORDERS FOR DELIVERY TO WORK SITE WILL USE A DELIVERY ADDRESS, THE STREET NAME ASSIGNED TO THE ACCESS POINT AT THE CONTRACTOR'S STORAGE SITE AT THE AIRPORT. THE NAME "MARTIN COUNTY AIRPORT" SHALL NOT BE USED IN THE DELIVERY ADDRESS AT ANY TIME. THIS WILL PRECLUDE DELIVERY TRUCKS FROM ENTERING INTO THE TERMINAL COMPLEX OR TAKING SHORT CUTS THROUGH THE PERIMETER GATES AND ENTERING INTO AIRCRAFT OPERATIONS AREAS INADVERTENTLY.
- THE LIMITS OF CONSTRUCTION, MATERIAL STORAGE AREAS, EQUIPMENT STORAGE AREA, PARKING AREA AND OTHER AREAS DEFINED FOR THE CONTRACTORS EXCLUSIVE USE DURING CONSTRUCTION SHALL BE MARKED BY THE CONTRACTOR. THE CONTRACTOR SHALL ERECT AND MAINTAIN AROUND THE PERIMETER OF THESE AREAS SUITABLE FENCING, MARKING AND OR WARNING DEVICES VISIBLE FOR DAY AND NIGHT USE. ORANGE SNOW FENCE, IN PARTICULAR, SHALL BE USED TO DEFINE CONSTRUCTION LIMITS OR AS DIRECTED BY THE ENGINEER, TEMPORARY BARRICADES, FLAGGING AND FLASHING WARNING LIGHTS WILL BE REQUIRED AT CRITICAL ACCESS POINTS. TYPE OF MARKING AND WARNING DEVICES SHALL BE APPROVED BY AIRPORT OPERATIONS, THROUGH THE ENGINEER.
- IT IS UNDERSTOOD AND AGREED THAT NO CONSTRUCTION CAN BEGIN PRIOR TO THE RECEIPT OF WRITTEN APPROVAL FROM THE FEDERAL AVIATION ADMINISTRATION (FAA) OF THE "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FAA FORM 7460-1 (2-99). REFER TO NOTE NO.1 WITHIN THIS SECTION.
- FOR AIRSIDE SAFETY TYPE I BARREL BARICADES ARE TO BE USED.

GENERAL PHASING NOTES:

- PRIOR TO BEGINNING WORK IN ANY OF THE PROJECT WORK AREAS OR OPERATING VEHICLES ON THE ACCESS ROUTE OR HAUL ROUTES, BARRICADE LINES MUST BE IN PLACE AND DESIGNATED FLAGMAN POSITIONS MUST BE STAFFED.
- ALL ACTIVE AIRFIELD COMPONENTS ADJACENT TO THE CONSTRUCTION AREAS SHALL BE BARRICADED TO PROTECT AIRCRAFT AND CONSTRUCTION VEHICLES FROM OPERATING IN AREAS THAT MAY COMPROMISE THE SAFETY OF AIRCRAFT OPERATIONS.
- CONTRACTOR SHALL ENSURE UNOBSTRUCTED VEHICULAR AND AIRCRAFT ACCESS TO ALL TENANT LEASE AREAS AT ALL TIMES.
- CONSTRUCTION ACTIVITIES WITHIN AREAS THAT IMPACT VEHICLE & AIRCRAFT PARKING FACILITIES SHALL BE SECURELY BARRICADED TO PROTECT THE SAFETY OF VEHICULAR MOVEMENTS IN AND AROUND THE PARKING FACILITIES. CONTRACTOR SHALL PROVIDE ACCESS TO AND AVAILABILITY OF AS MUCH VEHICLE & AIRCRAFT PARKING AS POSSIBLE AT ALL TIMES. CONTRACTOR SHALL NOTIFY MARTIN COUNTY AIRPORT AT LEAST 10 DAYS PRIOR TO THE START OF WORK IN AREAS THAT WILL IMPACT VEHICLE AND AIRCRAFT PARKING FACILITIES.
- ALL PAVEMENT MARKINGS MUST BE IN PLACE ON ALL PAVEMENT THAT IS DISTURBED DURING THE CONSTRUCTION PRIOR TO OPENING FOR AIRCRAFT OPERATIONS.
- TEMPORARY DIRECTIONAL SIGNS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR TO ROUTE AIRCRAFT TRAFFIC AWAY FROM BARRICADED AREAS AND TO THE EXISTING APRON AND FBO AREAS. SIGNS SHALL BE SIZED AND COLORED SIMILAR TO PERMANENT GUIDANCE SIGNS ALTHOUGH WOOD AND PAINT WILL BE ACCEPTABLE AND LIGHTING IS NOT REQUIRED. INSCRIPTIONS SHALL BE DISCUSSED AT THE PRE-CONSTRUCTION CONFERENCE AND APPROVED BY THE ENGINEER PRIOR TO THE FABRICATION AND USE.

REV	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				
<div><div><div><div>HALEY WARD</div><div>ENGINEERING ENVIRONMENTAL SURVEYING</div><div>WWW.HALEYWARD.COM</div></div></div><div><div>13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331</div></div></div>				
PROJECT				
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA				
TITLE				
GENERAL NOTES				
<div><div></div></div>		DATE 2024.06.28	SCALE AS NOTED	
DRAWN BY AT/BQ	DESIGNED BY DG/AV/BQ	CHECKED BY RB		
PROJECT No. 2011761	ENGINEERING BUSINESS REGISTRY: 32664			
DRAWING No.	REV.	C-002		



HANSON GRANT
SECTION 10, TOWNSHIP 38 SOUTH, RANGE 41 EAST
A PORTION OF PARCEL CONTROL NUMBER
1038410000010000010000

ATLANTIC AVIATION LEASE AREA:

A PARCEL OF LAND LYING IN SECTIONS 10 AND 15, TOWNSHIP 38 SOUTH, RANGE 41 EAST, AND A PORTION OF GOLDEN GATE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 50 MARTIN COUNTY, FLORIDA, A RE-PLAT OF A PORTION OF THE HANSON GRANT AS RECORDED IN PLAT BOOK 1, PAGE 11, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 10, THENCE S 89°53'48" E ALONG THE SOUTH LINE OF SAID SECTION A DISTANCE OF 2544.15 FEET TO THE INTERSECTION WITH THE NORTHEASTLY LINE OF THE AIRPORT OUT PARCEL AND THE MARTIN COUNTY AIRPORT JURISDICTIONAL LINE PER APPROVED BOUNDARY BY GCV INC. DATED SEPTEMBER 12, 2013 AS RECORDED IN MAP BOOK 1, PAGE 1, MARTIN COUNTY, FLORIDA PUBLIC RECORD; THENCE S 42°00'18" E A DISTANCE OF 340.29 FEET TO THE SOUTHEASTLY CORNER OF SAID AIRPORT OUT PARCEL; THENCE CONTINUE S 42°00'18" E ON THE SOUTHEASTLY PROJECTION OF SAID NORTHEASTLY LINE OF THE AIRPORT OUT PARCEL A DISTANCE OF 245.08 FEET TO THE POINT OF BEGINNING; THENCE N 34°45'09" E A DISTANCE OF 662.66 FEET; THENCE S 64°55'54" E A DISTANCE OF 228.93 FEET; THENCE N 25°09'46" E A DISTANCE OF 1085.77 FEET (POINT OF BEGINNING OF ADDITIONAL PARCEL BY THIRD LEASE AMENDMENT DATED SEPTEMBER 17, 2002, THE FOLLOWING 3 COURSES ARE ALONG SAID ADDITIONAL PARCEL); THENCE N 25°09'46" E A DISTANCE OF 133.42 FEET; THENCE S 50°09'49" E A DISTANCE OF 310.11 FEET; THENCE S 22°26'39" W A DISTANCE OF 27.33 FEET TO THE POINT OF INTERSECTION WITH THE ORIGINAL LEASE DESCRIPTION; THENCE S 25°09'46" W A DISTANCE OF 1152.80 FEET; THENCE S 64°55'54" E A DISTANCE OF 131.00 FEET; THENCE S 32°26'39" W A DISTANCE OF 729.81 FEET TO THE INTERSECTION WITH A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 915.00 FEET, AND A CENTRAL ANGLE OF 22°38'05"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 361.47 FEET SAID CURVE SUSTENTED BY A CHORD BEARING OF N 56°00'09" W A DISTANCE OF 359.12 FEET TO THE POINT OF TANGENCY; THENCE N 67°19'11" E A DISTANCE OF 334.90 FEET; THENCE N 34°45'09" W A DISTANCE OF 69.76 FEET TO THE POINT OF BEGINNING.

CONTAINING 19.236 ACRES MORE OR LESS.

SITE DEVELOPMENT SUMMARY			
ATLANTIC AVIATION LEASE AREA - PRIOR TO SITE PLAN			
	AREA (SF)	AREA (AC)	PERCENTAGE
TOTAL SITE AREA (LEASE)	837,891	19.24	100.00%
BUILDINGS *	129,351	2.97	15.44%
PAVEMENT & CONCRETE **	560,294	12.86	66.87%
TOTAL IMPERVIOUS:	689,645	15.83	82.31%
TOTAL PERVIOUS:	148,246	3.40	17.69%

ATLANTIC AVIATION LEASE AREA - AFTER SITE PLAN			
	AREA (SF)	AREA (AC)	PERCENTAGE
TOTAL SITE AREA (LEASE)	837,891	19.24	100.00%
BUILDINGS	152,116	3.49	18.15%
PAVEMENT & CONCRETE	544,719	12.51	65.01%
TOTAL IMPERVIOUS:	696,835	16.00	83.17%
TOTAL PERVIOUS:	141,056	3.24	16.83%

* Building area reflects removal of 3 shade hangars, totaling 14,520 SF (Removed in 2019)

**Includes parking improvements along SE Witham Field Drive (Separate Project)

NOTE: MINIMUM OPEN SPACE OF 40% PROVIDED BASED ON OVERALL AIRPORT ACREAGE OF 41- 636.8 AC

CONSTRUCTION NOTICE REQUIREMENT

TO PROTECT OPERATIONAL SAFETY AND FUTURE DEVELOPMENT, ALL PROPOSED CONSTRUCTION ON THE AIRPORT MUST BE COORDINATED WITH THE FAA. AIRPORTS DISTRICT OFFICE PRIOR TO CONSTRUCTION. FAA'S REVIEW TAKES APPROXIMATELY 60 DAYS.

PROJECT INFORMATION

OWNER: APP JET CENTERS
BRAD HENDERSON
2240 S.E. WITHAM FIELD DRIVE
STUART, FL 34998

ENGINEER: JOHN O. SMITH, P.E., BCEE
HALEY WARD
13041 MCGREGOR BLVD.
FORT MYERS, FL 33919

ARCHITECT: KWA DESIGN GROUP, LLC
JAMES L. MOORE, AIA, NCARB
2720 WRIGHT AVENUE
WINTER PARK, FL 32789

PROJECT DATUM AND COORDINATE SYSTEM:

HORIZONTAL: FLORIDA STATE PLANE NAD83 (FL83-EF)
VERTICAL: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

COORDINATES: N: 1033754.6883 E: 907941.7763
LAT: N27.175527 LONG: W80.225589

HW PROJECT NO: 2011761

PROJECT LOCATION:
S.E. WITHAM FIELD DRIVE, STUART, FL 34998
TOWNSHIP 38, RANGE 41E, SECTION 15
PARCEL ID #: 10-38-41-000-001-00000-1

ZONING: PUBLIC AIRPORT FACILITIES DISTRICT (PAF)
DEVELOPMENT ZONE: GENERAL AVIATION 1 ZONE (GA-1)
FUTURE LAND USE: GENERAL INSTITUTION
PROPOSED USE: AIRCRAFT HANGAR

FLOOD ZONE: FEDERAL FLOOD ZONE X, PER FEMA MAP COMMUNITY NO. 120161, PANELS 0161 AND 0162, SUFFIX H, EFFECTIVE DATE FEBRUARY 19, 2020.

SETBACKS: (FROM AIRPORT PERIMETER)
FRONT: 30'
SIDE: 25'
REAR: 25'

PROPOSED MEAN ROOF HEIGHT: 37'-8"

PARKING TABULATION

REQUIRED:
OFFICE SPACE = 1 SPACE PER 300 SF GFA
2300 SF x 1/300 = 7.6 SPACES

PROVIDED:
8 SPACES (INCLUDES 1 VAN ACCESSIBLE SPACE)

NOTE:
THIS PROJECT INCLUDES REMOVAL OF AN EXISTING PARKING LOT SERVING HANGARS 4 AND 5. THE 8 PARKING SPACES SERVING THOSE HANGARS ARE TO BE RELOCATED ALONG WITHAM FIELD DRIVE AS PART OF A SEPARATE PROJECT WHICH IS CURRENTLY UNDER CONSTRUCTION.

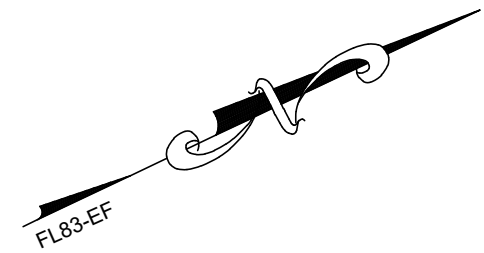
A PARKING LOT CONTAINING 4 SPACES IS BEING PROPOSED FOR THIS PROJECT TO SERVE THE NEW HANGAR. THE ADDITIONAL 4 REQUIRED SPACES WILL BE LOCATED ALONG WITHAM DRIVE, AS NOTED ON THE PLAN VIEW.

NOTES:

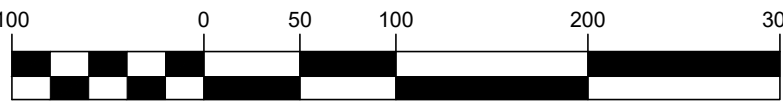
- MARTIN COUNTY AIRPORT RESERVES THE RIGHT TO RELOCATE THE CONTRACTOR'S STAGING AREA WITHIN AIRPORT PROPERTY.
- THE PROPOSED DEVELOPMENT AREA (LIMITS OF CONSTRUCTION) DETERMINED AS 1.50 ACRES.
- THE CONTRACTOR SHALL CONDUCT CONSTRUCTION ACTIVITIES WITHIN THE IDENTIFIED "LIMITS OF CONSTRUCTION" AS DEPICTED WITHIN THE CONSTRUCTION PLANSET. ACTIVITIES OUTSIDE OF THE LIMITS OF CONSTRUCTION, IF REQUIRED, SHALL BE COORDINATED BETWEEN THE MARTIN CO. DOA, OWNER, AND ENGINEER FOR FINAL APPROVAL.
- IN THE EVENT OF ANY ADDITIONAL WORK IDENTIFIED BY THE CONTRACTOR, THE CONTRACTOR SHALL COORDINATE EFFORTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCING SAID WORK.
- IN NO EVENT SHALL CONSTRUCTION EQUIPMENT PENETRATE THE ELEVATION LIMITS SHOWN ON THIS SHEET WITHOUT SPECIFIC AUTHORIZATION IN WRITING FROM THE ENGINEER.
- THE STORMWATER DRAINAGE COLLECTION SYSTEM SHALL MEET THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) AND MARTIN COUNTY REQUIREMENTS. STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH THE APPROVED MASTER DRAINAGE PLAN SFWMD PERMIT NO. 43-00674-S (APPLICATION NO. 010702-4) AND SHALL BE ACCOMMODATED BY AN EXISTING ON SITE POND.

LEGEND

- PROPOSED DEVELOPMENT LIMITS OF CONSTRUCTION
- ACCESS ROUTE TO WORK SITE.
- CONTRACTOR'S STAGING AREA
- RSA
- ROFA
- BRL
- RUNWAY SAFETY AREA
- RUNWAY OBJECT FREE AREA
- BUILDING RESTRICTION LINE



GRAPHIC SCALE




REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				



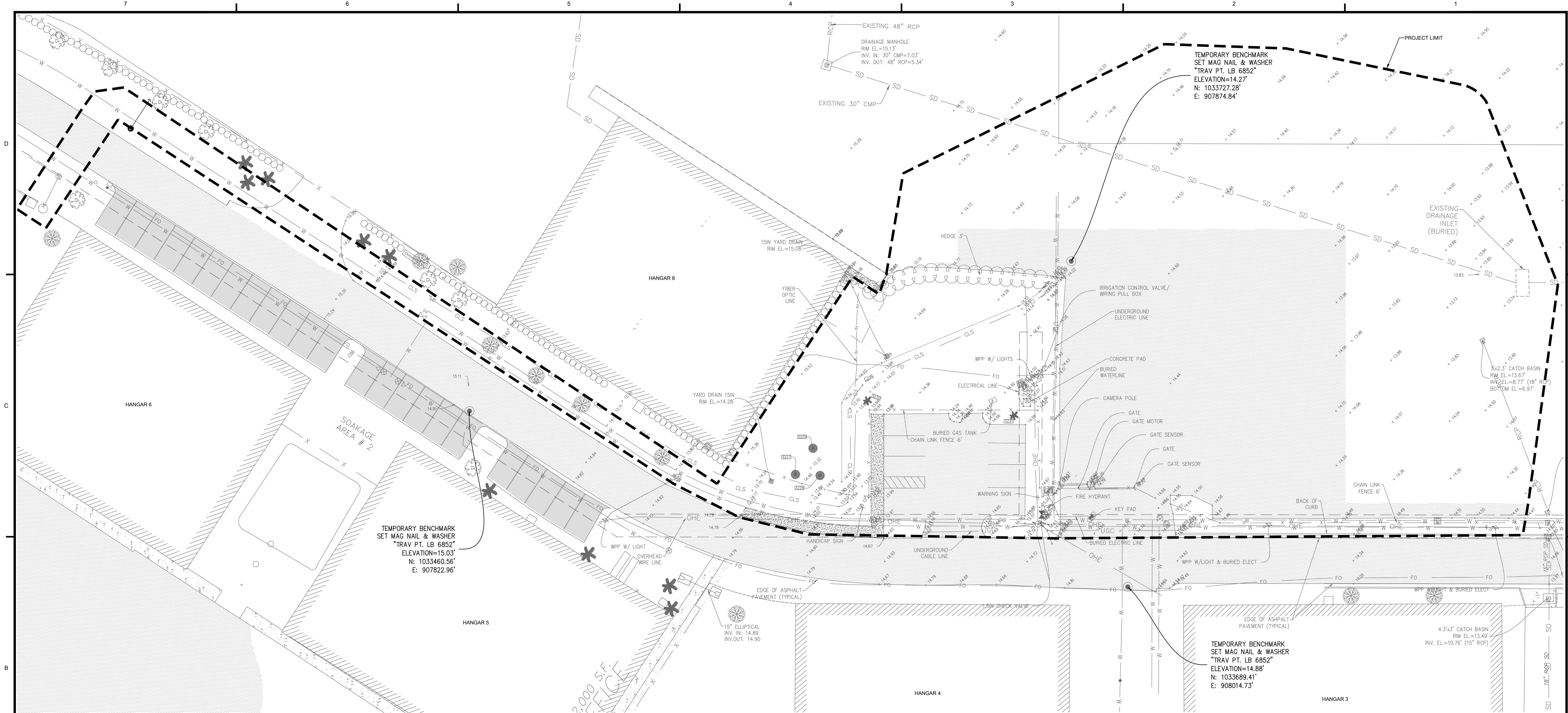
APP JET CENTER - HANGAR 10
WITHAM FIELD STUART, FLORIDA

PROJECT LAYOUT PLAN

	DATE	SCALE	
	2024.06.28	AS NOTED	
	DRAWN BY	DESIGNED BY	CHECKED BY
	AT/BQ	DG/AV/BQ	RB
	PROJECT No.	ENGINEERING BUSINESS REGISTRY:	
	2011761	32664	
	DRAWING No.	REV.	
	C-003		

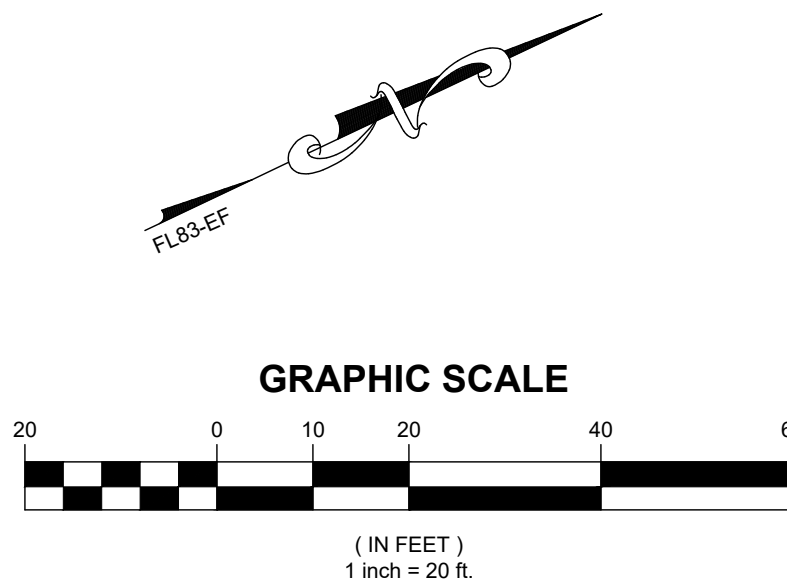



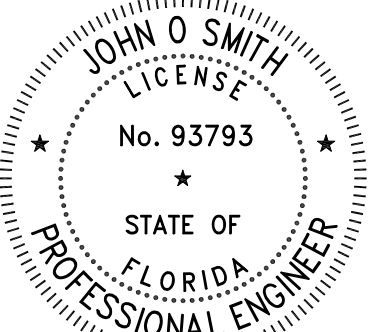
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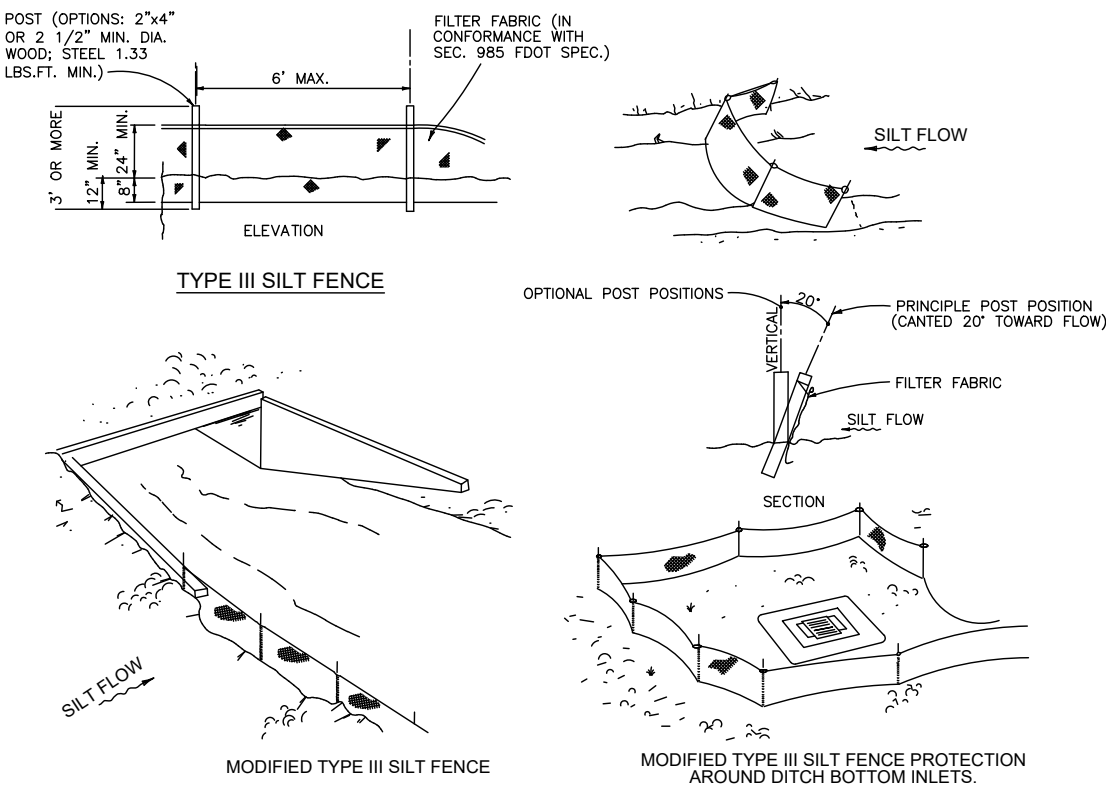


SOURCE:

THIS PLAN DEPICTS EXISTING CONDITIONS PER PLAN "TOPOGRAPHIC SURVEY, BAYVIEW CONSTRUCTION, WITHAM FIELD HANGAR, MARTIN COUNTY, FLORIDA" PREPARED BY BETSY LINDSAY, REVISED 5/20/24.



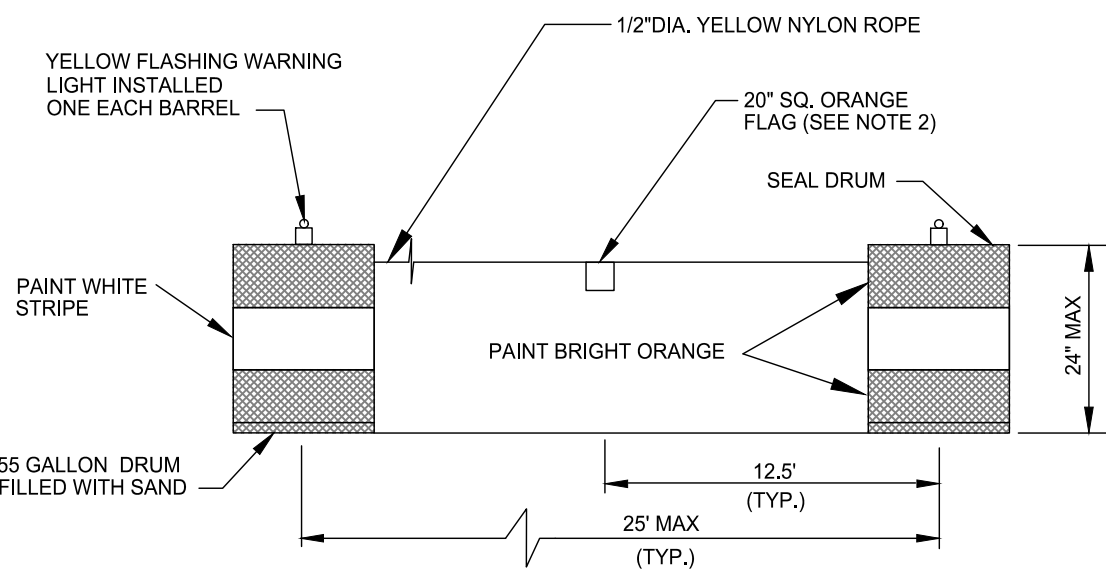
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DRAWING ISSUE STATUS							
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION							
<div><div><div><div>HALEY WARD</div><div>ENGINEERING ENVIRONMENTAL SURVEYING</div><div>WWW.HALEYWARD.COM</div></div></div><div><div>13041 McGregor Boulevard</div><div>Fort Myers, FL 33919</div><div>239.481.1331</div></div></div>							
PROJECT							
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA							
TITLE							
EXISTING CONDITIONS PLAN							
<div><div></div></div>		DATE	2024.06.28	SCALE	AS NOTED		
		DRAWN BY	AT/BQ	DESIGNED BY	DG/AV/BQ	CHECKED BY	RB
		PROJECT No.		ENGINEERING BUSINESS REGISTRY:			
		2011761		32664			
DRAWING No.		C-102			REV.		



SILT FENCE APPLICATIONS

- TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL (LATEST EDITION)
- TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
- DO NOT CONSTRUCT SILT FENCE ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
- WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

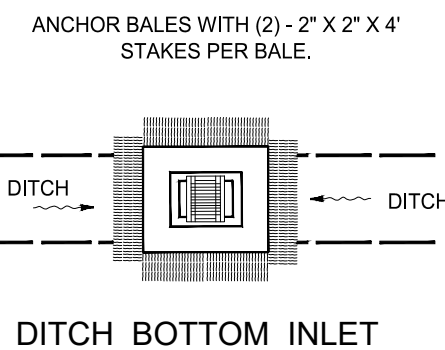
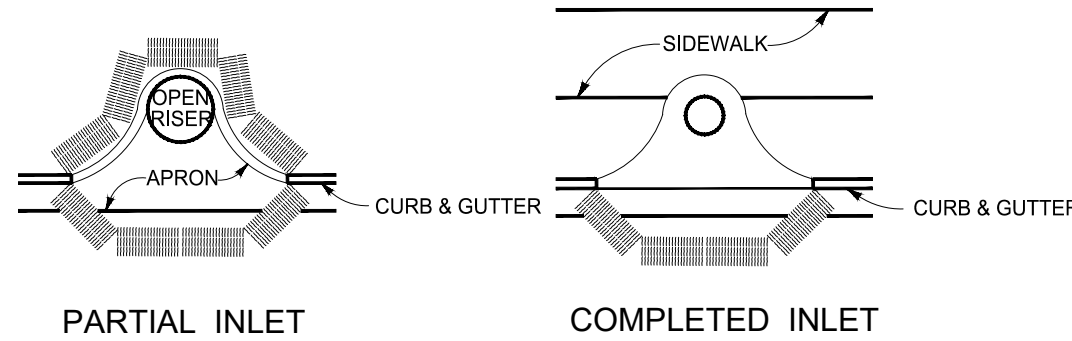
SILT FENCE



NOTES:

- FLASHING YELLOW LIGHTS SHALL BE BATTERY POWERED AND SHALL OPERATED INDEPENDENTLY OF EACH OTHER.
- 2-20" x 20" SQUARE ORANGE FLAGS SHALL BE INSTALLED SO THAT THE FLAG IS ALWAYS IN THE EXTENDED POSITION

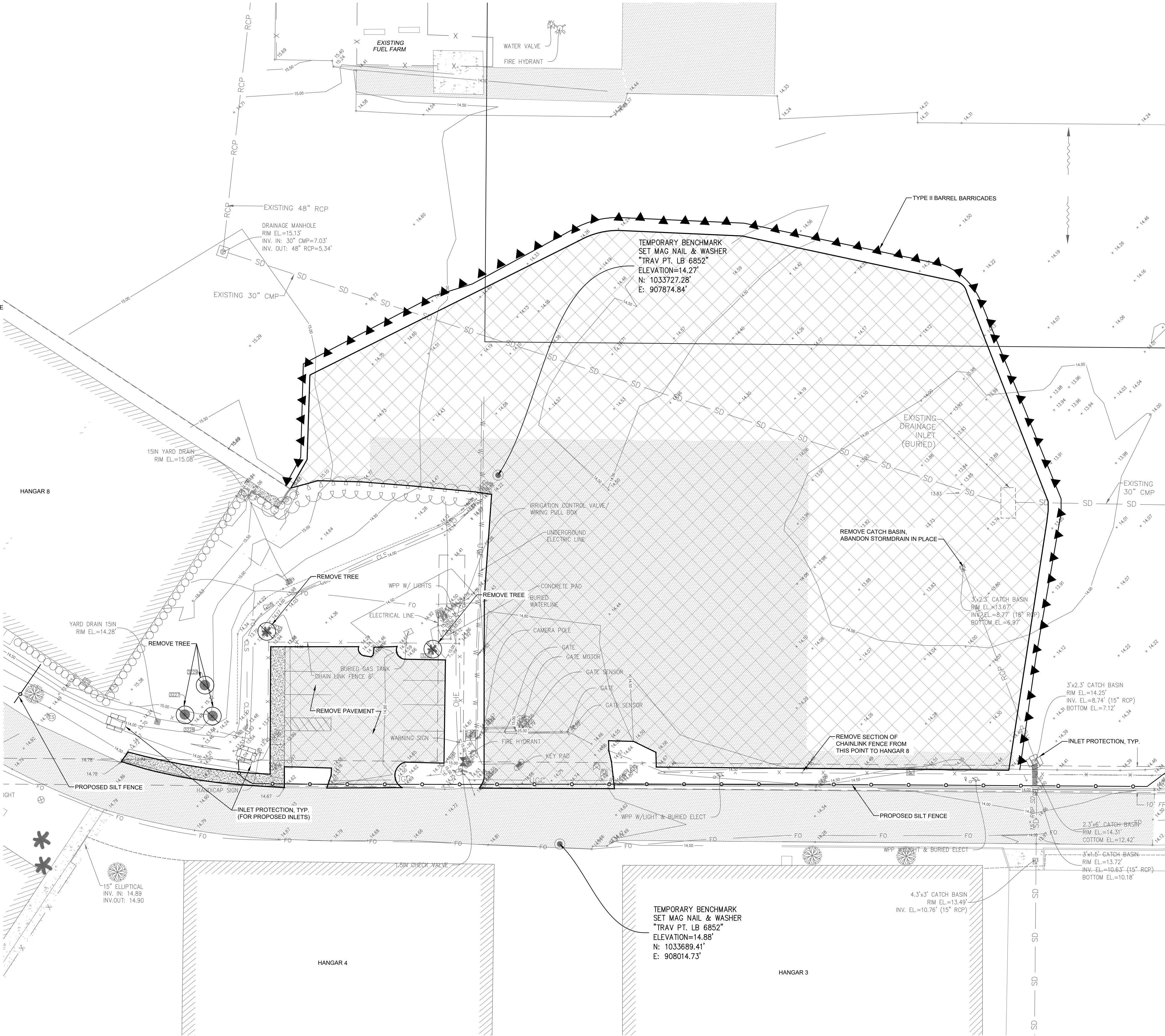
TYPE II BARREL BARRICADE



HAYBALE INLET PROTECTION



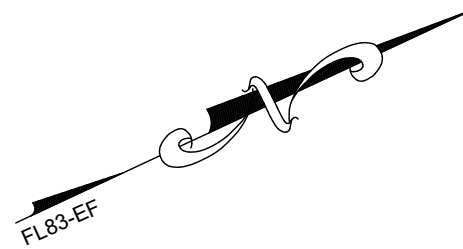
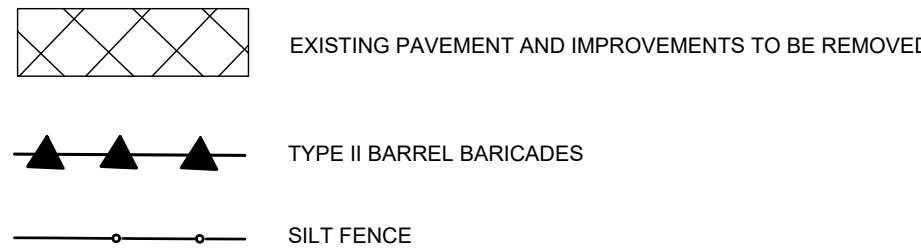
Know what's below.
811 before you dig.



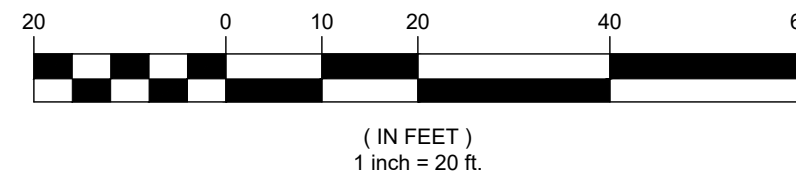
NOTES:

- ALL EROSION AND SEDIMENT CONTROLS SHALL MEET NPDES POLLUTION PREVENTION REQUIREMENTS, IN ACCORDANCE WITH THE STATE OF FLORIDA "NPDES GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES".
- A SITE OPERATOR'S NPDES INSPECTION REPORT SHALL BE MAINTAINED ON SITE FOR THE DURATION OF THE CONSTRUCTION FOR USE BY THE APPROVED INSPECTION PERSONNEL TO MONITOR AND DOCUMENT SITE CONDITIONS. THE OWNER SHALL SUPPLY DAILY INSPECTIONS OF THE WORK, ALONG WITH THE CONTRACTORS ON SITE SUPERINTENDENT, MARTIN COUNTY, THE ENGINEER OF RECORD, AND ENGINEER'S NPDES CERTIFIED INSPECTOR, WILL PROVIDE PERIODIC INSPECTIONS.
- ALL EROSION AND SEDIMENTATION CONTROL FACILITIES TO BE INSPECTED BY THE CONTRACTOR DAILY AND ANY DAMAGED OR DEFICIENT AREAS TO BE REPAIRED IMMEDIATELY.
- AT COMMENCEMENT OF CONSTRUCTION FOR THE PROJECT THE SILT FENCE SHALL BE INSTALLED AND MAINTAINED ALONG THE PERIMETER AND ALL EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION AND CERTIFICATION OF COMPLETION OF CONSTRUCTION.
- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MARTIN COUNTY MINIMUM DESIGN AND CONSTRUCTION STANDARDS AND F.D.O.T. ROAD AND BRIDGE STANDARDS.
- DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
- THE CONTRACTOR SHALL PROVIDE SILT SCREENS OR OTHER SUCH SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE SELECTED SEDIMENT CONTROL MEASURES SHALL BE INSTALLED LANDWARD OF THE WETLAND AND UPLAND PRESERVE AROUND ALL PROTECTED WETLANDS.
- ALL AREAS SHALL BE STABILIZED AND VEGETATED IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION INTO THE WETLANDS AND UPLAND BUFFER ZONES. STABILIZATION TO BE SOD, SAME AS DISTURBED.
- ENGINEERING DEPARTMENT AND GROWTH MANAGEMENT DEPARTMENT ENVIRONMENTAL DIVISION STAFF ARE TO BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION OF AUTHORIZED IMPACTS TO WETLANDS AND/OR WETLAND BUFFERS AS SHOWN ON THE APPROVED PLANS.

LEGEND



GRAPHIC SCALE

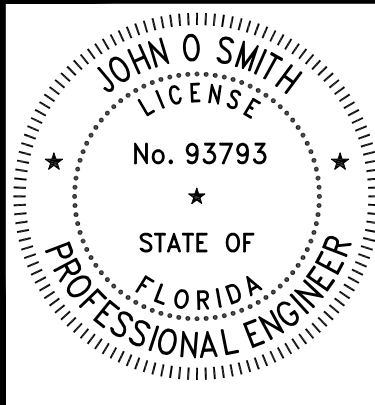


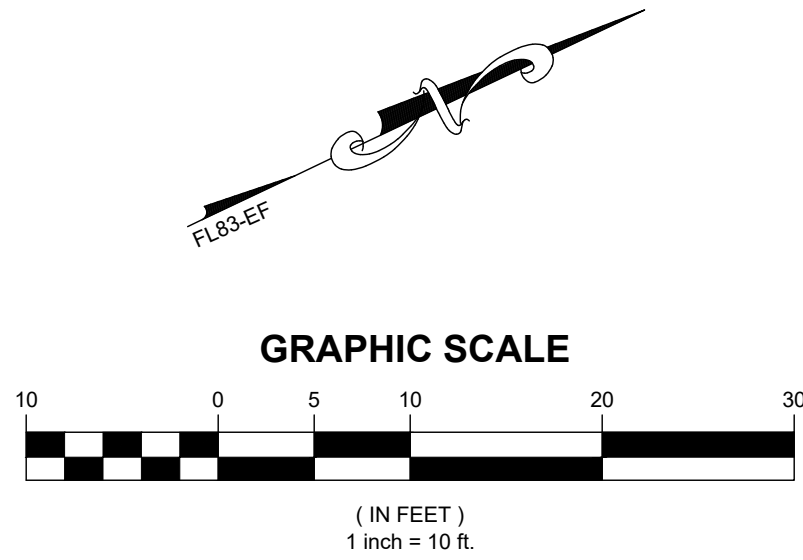
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DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				



PROJECT	
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA	

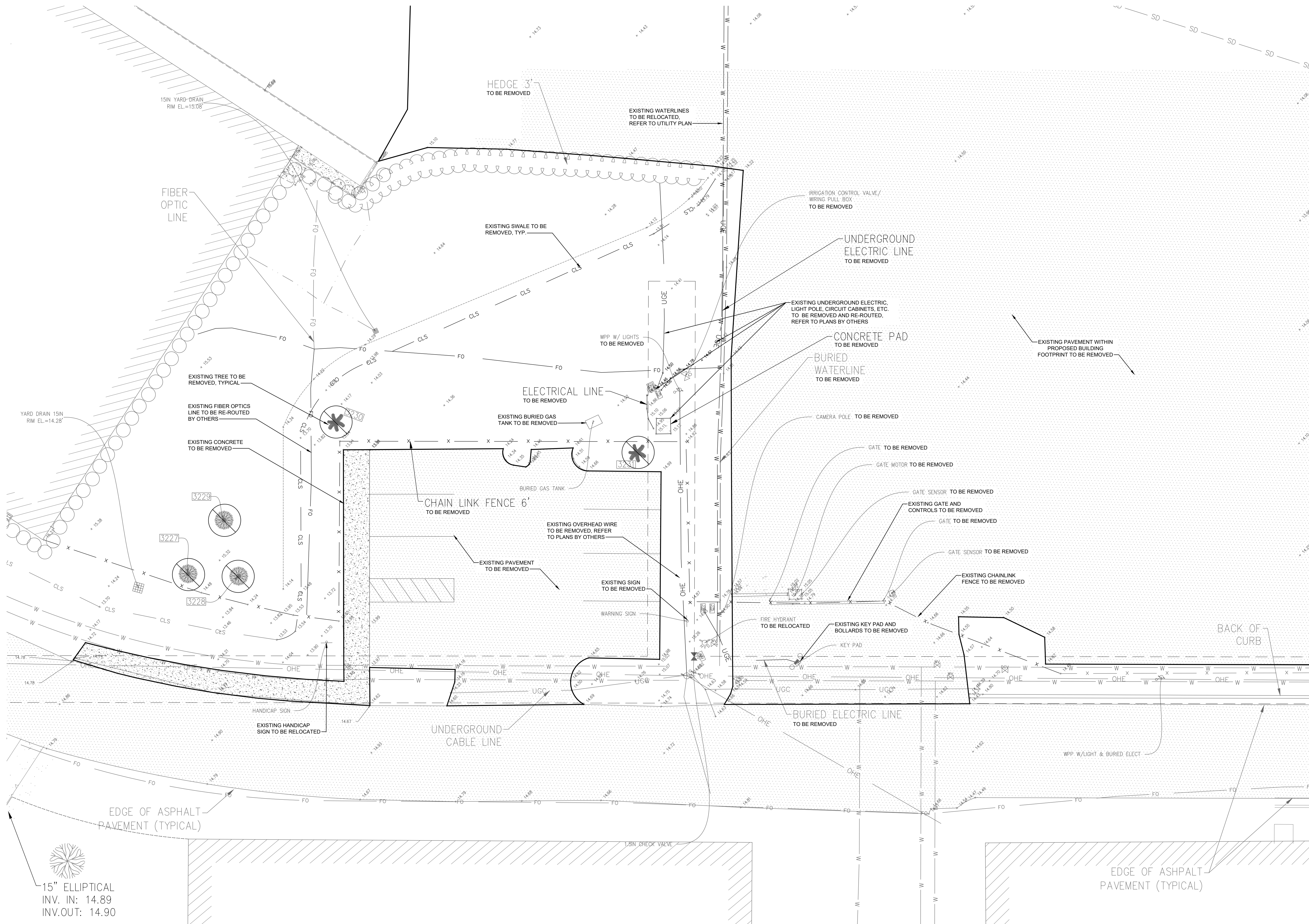
TITLE	
CLEARING AND EROSION CONTROL PLAN	


	DATE 2024.06.28		SCALE AS NOTED	
	DRAWN BY AT/BQ	DESIGNED BY DG/AV/BQ	CHECKED BY RB	
	PROJECT NO. 2011761		ENGINEERING BUSINESS REGISTRY: 32664	
	DRAWING No.		REV.	
	C-102			

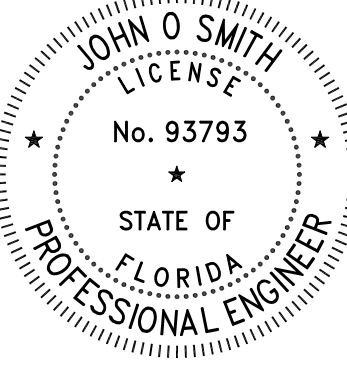


NOTES:

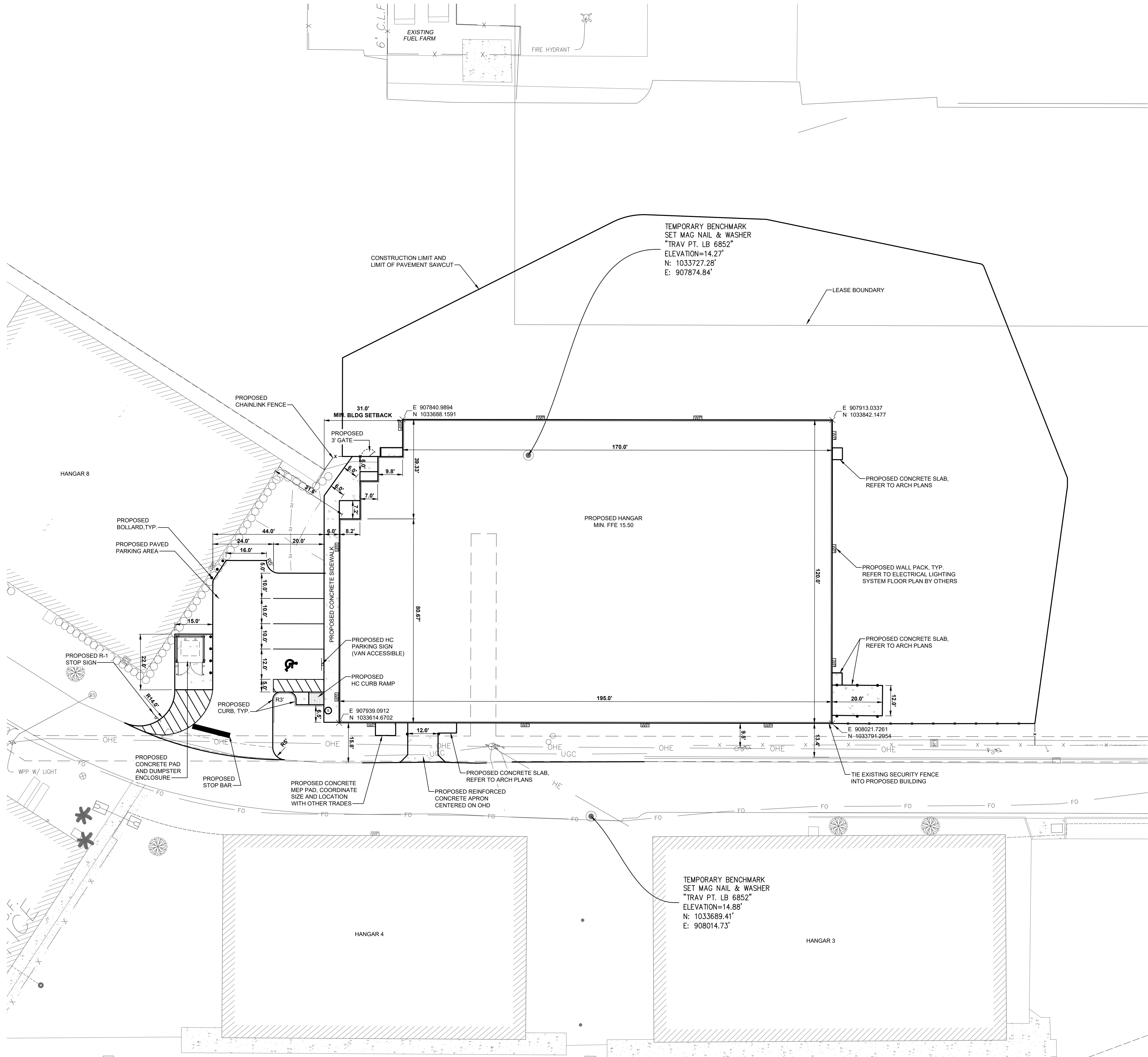
1. UTILITIES SERVING FACILITIES THAT ARE IDENTIFIED AS BEING REMOVED SHALL BE RE-ROUTED AS REQUIRED. CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS.
2. EXISTING GAS TANK TO BE REMOVED SHALL BE COMPLETED BY A CERTIFIED TANK REMOVAL ENTITY.



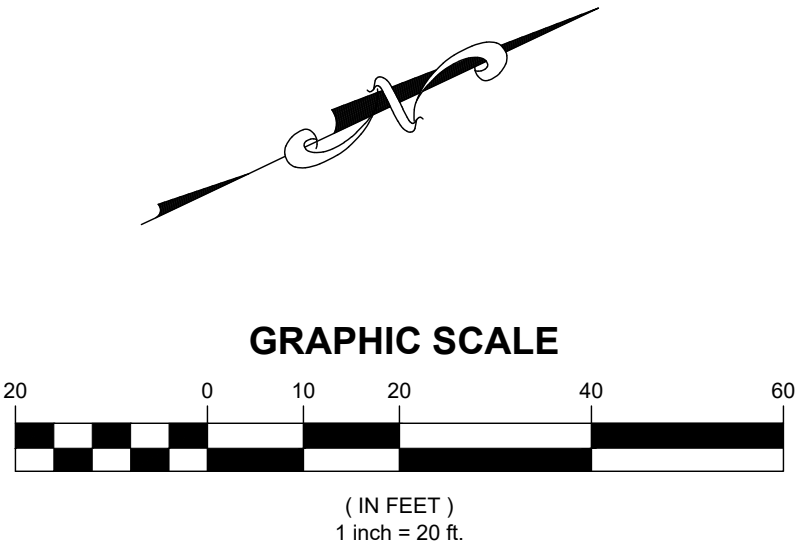
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DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331 www.haleyward.com				
PROJECT				
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA				
TITLE				
REMOVALS PLAN				
DATE 2024.06.28		SCALE AS NOTED		
DRAWN BY AT/BQ	DESIGNED BY DG/AV/BQ	CHECKED BY RB		
PROJECT No. 2011761	ENGINEERING BUSINESS REGISTRY: 32664			
DRAWING No.			REV.	
C-103				


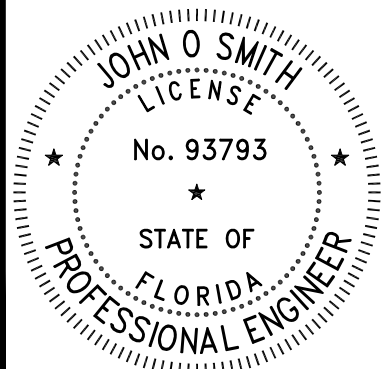






- NOTES:
1. ALL STRIPING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE MOST STRINGENT OF LOCAL MUNICIPALITY REGULATIONS.
 2. SITE LIGHTING SHALL BE PROVIDED VIA PROPOSED WALL PACKS AND SOFFIT LIGHTS ON HANGAR 10, AND EXISTING WALL PACKS ON HANGARS 8 AND 4.

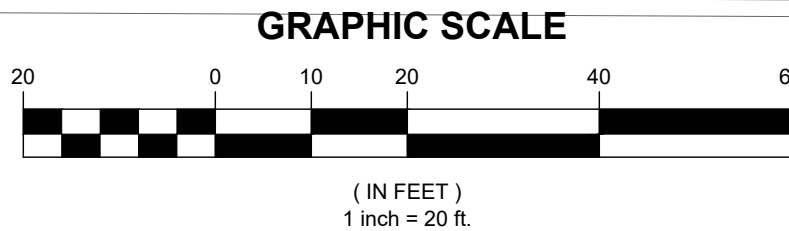
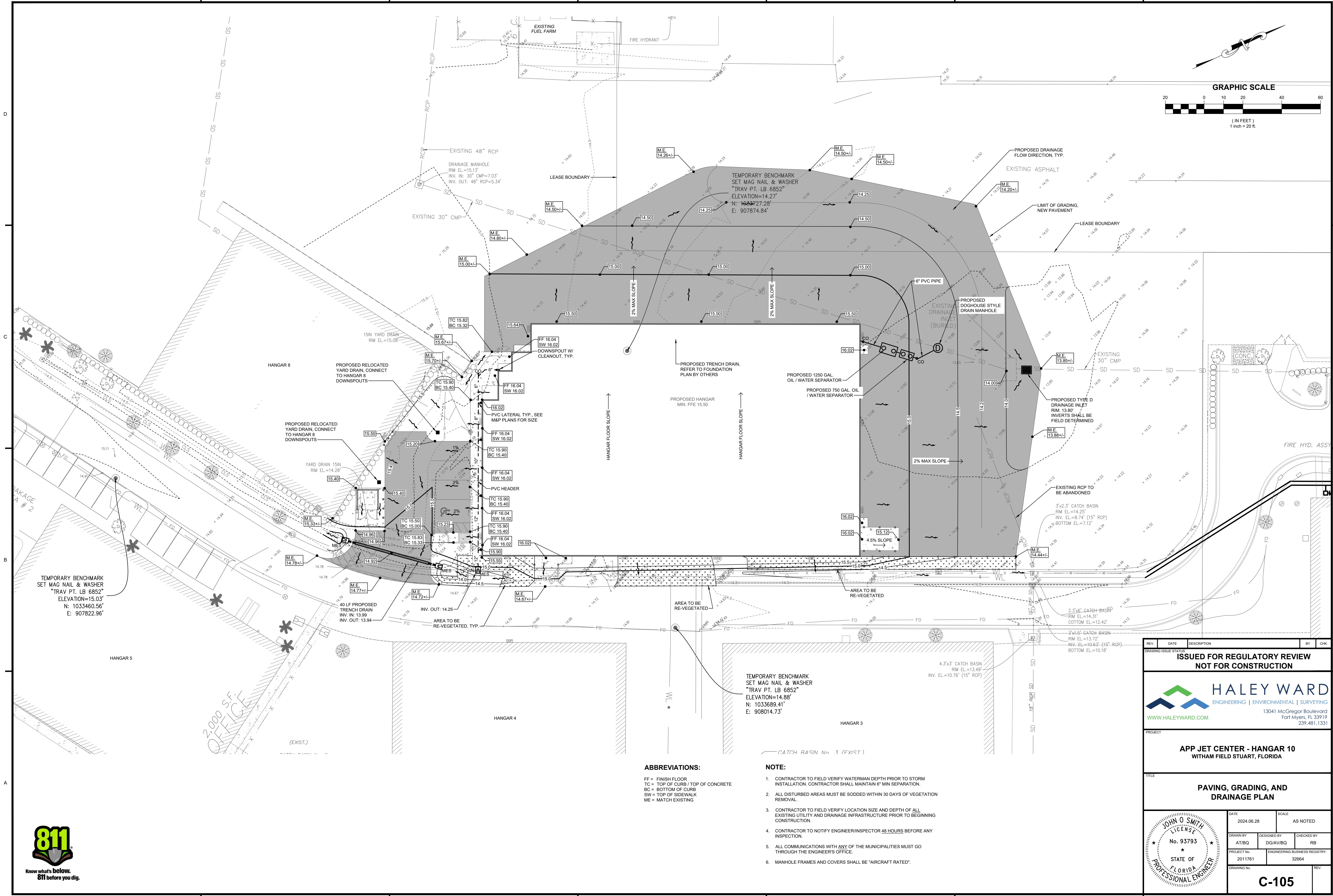


REV	DATE	DESCRIPTION	BY	CHK			
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ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION							
<div><div><div>HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING www.haleyward.com</div></div><div>13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331</div></div>							
PROJECT							
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA							
TITLE							
HORIZONTAL LAYOUT PLAN							
<div></div>		DATE	2024.06.28	SCALE	AS NOTED		
		DRAWN BY	AT/BQ	DESIGNED BY	DG/AV/BQ	CHECKED BY	RB
		PROJECT No.	2011761	ENGINEERING BUSINESS REGISTRY:	32664	DRAWING No.	C-104
		REV.					



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ABBREVIATIONS:

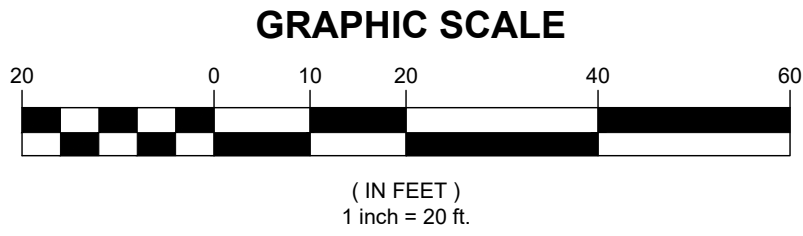
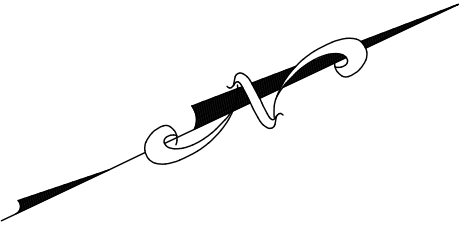
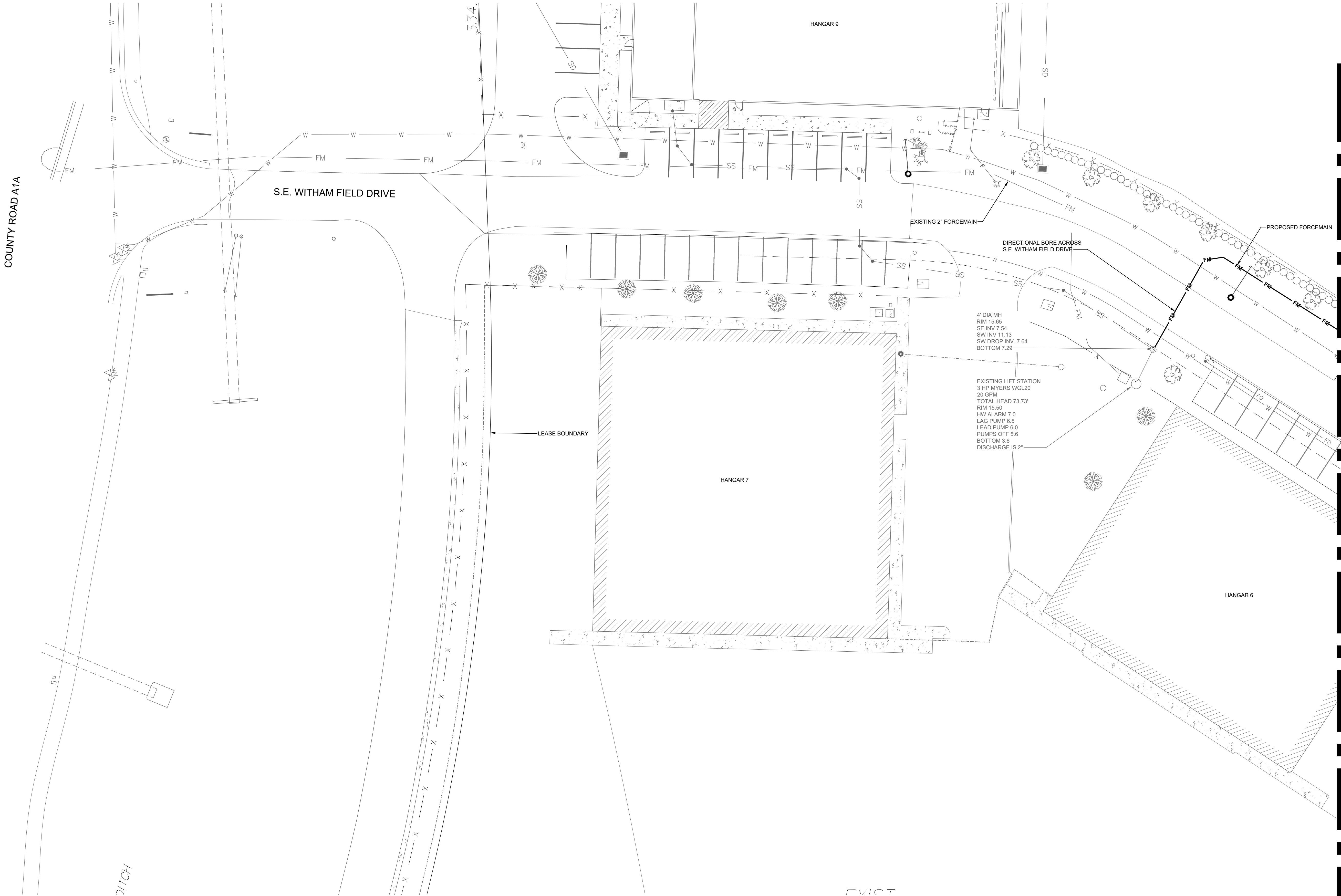
FF = FINISH FLOOR
TC = TOP OF CURB / TOP OF CONCRETE
BC = BOTTOM OF CURB
SW = TOP OF SIDEWALK
ME = MATCH EXISTING

NOTE:

- CONTRACTOR TO FIELD VERIFY WATERMAN DEPTH PRIOR TO STORM INSTALLATION. CONTRACTOR SHALL MAINTAIN 6" MIN SEPARATION.
- ALL DISTURBED AREAS MUST BE SODDED WITHIN 30 DAYS OF VEGETATION REMOVAL.
- CONTRACTOR TO FIELD VERIFY LOCATION SIZE AND DEPTH OF ALL EXISTING UTILITY AND DRAINAGE INFRASTRUCTURE PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR TO NOTIFY ENGINEER/INSPECTOR 48 HOURS BEFORE ANY INSPECTION.
- ALL COMMUNICATIONS WITH ANY OF THE MUNICIPALITIES MUST GO THROUGH THE ENGINEER'S OFFICE.
- MANHOLE FRAMES AND COVERS SHALL BE "AIRCRAFT RATED".

REV	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				
 ENGINEERING ENVIRONMENTAL SURVEYING 13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331				
PROJECT				
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA				
TITLE				
PAVING, GRADING, AND DRAINAGE PLAN				
DATE		SCALE		
2024.06.28		AS NOTED		
DRAWN BY	DESIGNED BY	CHECKED BY		
AT/BQ	DG/AV/BQ	RB		
PROJECT No.	ENGINEERING BUSINESS REGISTRY:			
2011761	32664			
DRAWING No.	REV			
C-105				

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NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION SIZE AND DEPTH OF ALL EXISTING UTILITY AND DRAINAGE INFRASTRUCTURE PRIOR TO BEGINNING CONSTRUCTION.
2. ANY CHANGES TO THE FINISH FLOOR ELEVATIONS (FFE) MUST BE APPROVED BY THE ENGINEER BEFORE VERTICAL CONSTRUCTION BEGINS.
3. THE FINISH FLOOR ELEVATIONS (FFE) IS THE LOWEST POINT OF THE STRUCTURE.
4. CONTRACTOR TO NOTIFY ENGINEER/INSPECTOR 48 HOURS BEFORE ANY INSPECTION.
5. ALL COMMUNICATIONS WITH ANY OF THE MUNICIPALITIES MUST GO THROUGH THE ENGINEER'S OFFICE.
6. (PRIVATE) REFERS TO A FIRE LINE MAINTAINED BY ONSITE PERSONNEL FROM THE AIRPORT LEASE HOLDERS (PUBLIC) REFERS TO A WATERMAIN OWNED AND MAINTAINED BY THE CITY OF STUART UTILITIES DEPARTMENT.
7. A 15' UTILITY EASEMENT IS REQUIRED OVER ALL CITY OF STUART (PUBLIC) OWNED INFRASTRUCTURE.
8. ALL PROPOSED UTILITY INFRASTRUCTURE TO BE CONNECTED TO CITY OF STUART MUST BE INSPECTED PRIOR TO BACKFILL. ALL TO BE CONSTRUCTED PER CITY OF STUART SPECS.

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				

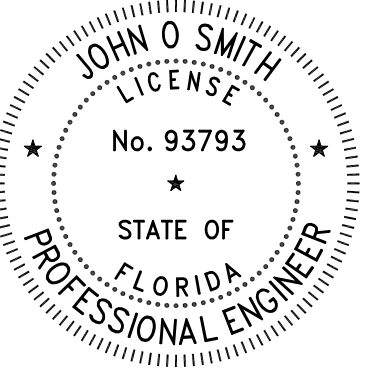


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WWW.HALEYWARD.COM

13041 McGregor Boulevard
Fort Myers, FL 33919
239.481.1331

PROJECT	
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA	

TITLE	
UTILITY PLAN	

	DATE	2024.06.28	SCALE	AS NOTED
	DRAWN BY	AT/BQ	DESIGNED BY	DG/AV/BQ
	CHECKED BY	RB	PROJECT No.	2011761
	ENGINEERING BUSINESS REGISTRY:	32664	DRAWING No.	C-107



TYPICAL PAVEMENT SECTIONS

N.T.S



1. EXPANSION JOINTS MAXIMUM DISTANCE = 25'; USED 3/4"x4" PREMOLD EXPANSION MATERIAL.
2. SAW CUT JOINTS WITHIN 24 HOURS.
3. SIDEWALK SHALL BE SIX INCH THICK CLASS 1 CONCRETE AT ALL DRIVEWAY CROSSINGS.
4. SIDEWALK WIDTH SHALL MATCH EXISTING SIDEWALK WIDTH OF 5' IN RIGHT OF WAY.
5. CONCRETE SHALL BE 3,000 PSI @ 28 DAYS.

CONCRETE SIDEWALK



NOTES:

1. SIDEWALK MATERIALS AND CONSTRUCTION SHOWN HEREIN SHALL BE IN ACCORDANCE WITH APPLICABLE FDOT STANDARD SPECIFICATIONS 522 AND FDOT STANDARD PLANS INDEX 522.
2. FIBER-REINFORCED CONCRETE FOR CURBS AND SIDEWALKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS WITH A WATER TO CEMENT RATIO NOT MORE THAN 0.53 (LB/LB).
3. THICKENED EDGE SHALL CONTAIN APPLICABLE SUBGRADE COMPACTED TO 98% OF MAXIMUM DRY DENSITY (AASHTO T-99)

TYPICAL TYPE 'D' CURB AND
SIDEWALK COMBINATION DETAIL

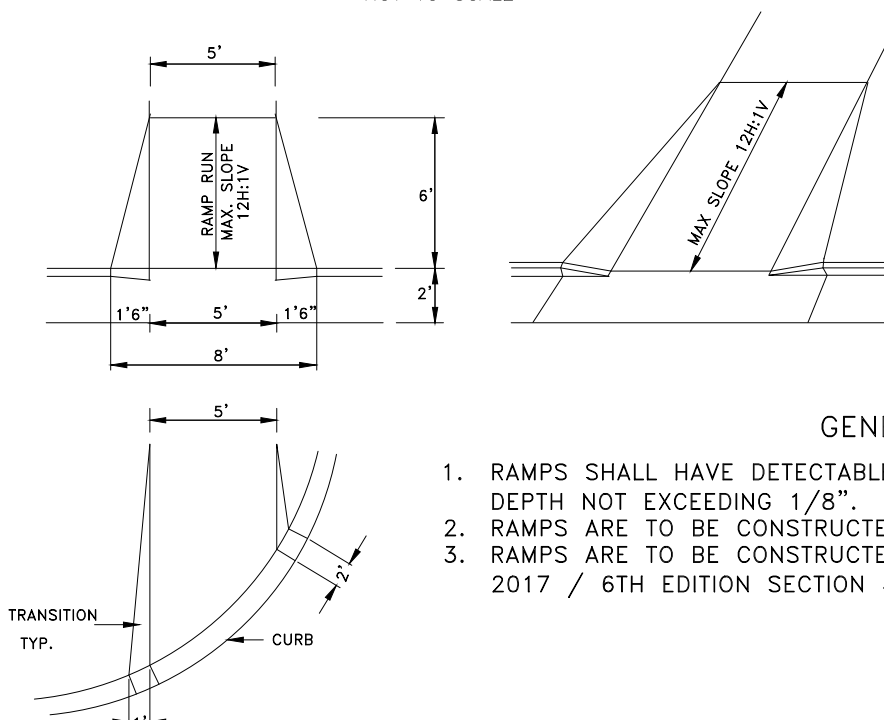
N.T.S.



5. Sidewalks, bikepaths, and driveways aprons shall be constructed of plain portland cement concrete with a maximum slump of 3 inches, a minimum developed compressive strength of 2500 psi, in 28 days, and a minimum thickness of 4 inches. The concrete shall be finished to a smooth surface. Sidewalks thicker where motor vehicles are likely to cross.
6. Sidewalks and bikepaths shall be placed parallel to, and one foot with the right-of-way line except where the City Engineer determines that a different placement is warranted. The pavement, remains within the right-of-way, is not diminished in width, and remains at least 4 feet from the edge of the street pavement, and shall be finished to a smooth surface.
7. The top of the concrete shall be at or elevation no lower than the crown of the adjacent roadway, and shall be finished to a smooth surface. The concrete shall be placed in a continuous surface without the adjacent lane. Cross slope shall be 1/4" per foot.
8. Isolation joints (TYPE A joints) shall be provided between the existing slabs or structures and fresh concrete, and shall be placed at a maximum distance of 12 feet between joints. Isolation joints shall be constructed from concrete which has set for more than 60 minutes, and no farther apart than 100 feet in sidewalks and 200 feet in streets. Isolation joints shall be constructed with a neoprene or nitrile rubber gasket or rubber, plastic or other approved non-biodegradable elastomeric material. Wood is prohibited.
9. The concrete (TYPE A joints) shall be placed in a continuous surface without the adjacent lane. The thickness and spaced apart a distance equal to the width of the slab or 5 feet whichever is greatest.
10. The slab surface shall be broom finished to be slip resistant, and shall match on closely as possible to the existing concrete surface.
11. The bearing subsurface shall have all organic loose, and deleterious material removed, and the remaining clean soil shall be smooth, sound, and solid. Any fill material shall be compacted with a minimum of 12 lifts, and each lift shall be compacted to a minimum of 95 percent compaction in maximum 4 inch lifts. The City shall require a compaction test for each lift (if the total filled section is greater than 4 inches) and the City shall require a minimum Proctor field density of 95 percent. When such test is required, the results shall show a minimum Proctor field density of 95 percent.
12. All concrete work in the right-of-way shall be inspected by the City after the subsoil is prepared and before the concrete is placed.
13. The contractor shall be responsible for protecting the finished slab from all damage and vandalism, and shall be responsible for the cost of repair. The contractor shall be responsible for the cost of repair of the slab in accordance with the City Code. Any slab section damaged or vandalized shall be replaced with new concrete, and the City shall require a minimum Proctor field density of 95 percent.
14. Sidewalks located within the right-of-way shall not be tinted, stained, colored, or colored.
15. All forms shall be removed prior to acceptance or approval and the disturbed ground shall be backfilled, reggraded, and soded so that the wear surface of the concrete is reasonably flush with the existing surface.

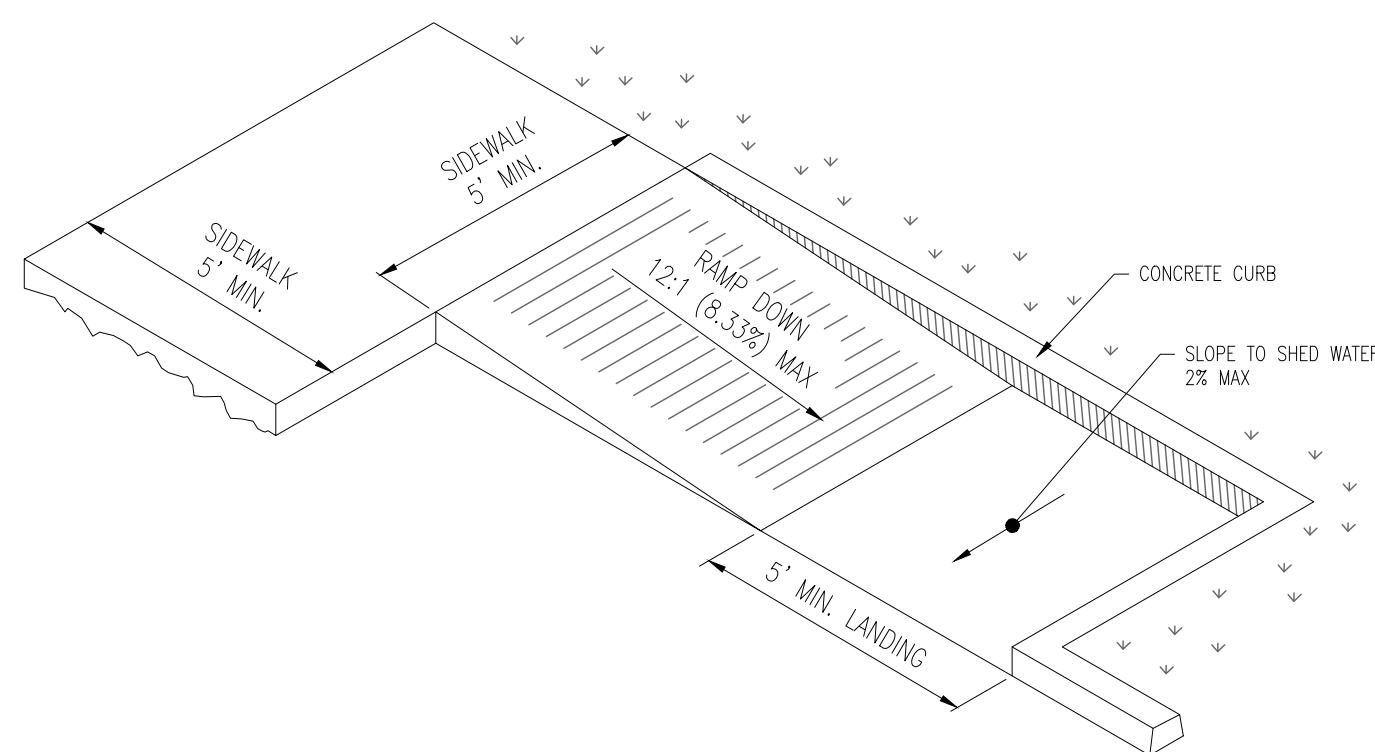
CONCRETE SIDEWALK DETAIL

NOT TO SCALE



TYPICAL SIDEWALK RAMP DETAIL

N.T.S.



TYPICAL HANDICAP CURB RAMP

N.T.S.




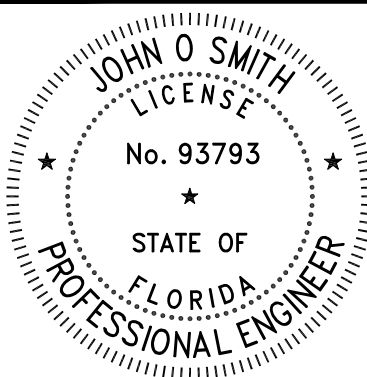
1. BOLLARD FINISH SHALL HAVE A PVC COVER OR ENAMEL PAINT. COLOR SHALL BE "SAFETY YELLOW" WITH A MINIMUM OF TWO (2) RETROREFLECTIVE BANDS.

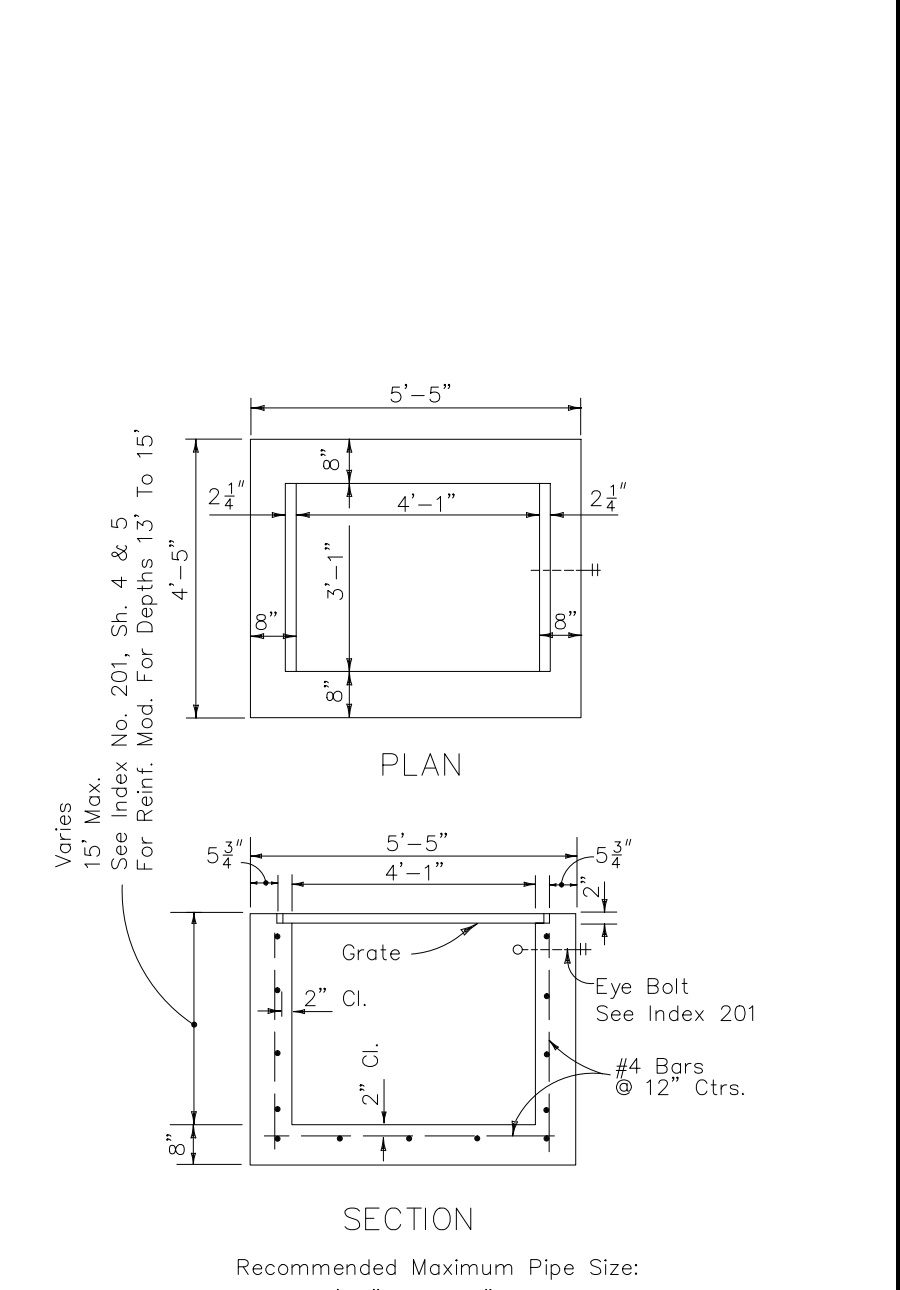
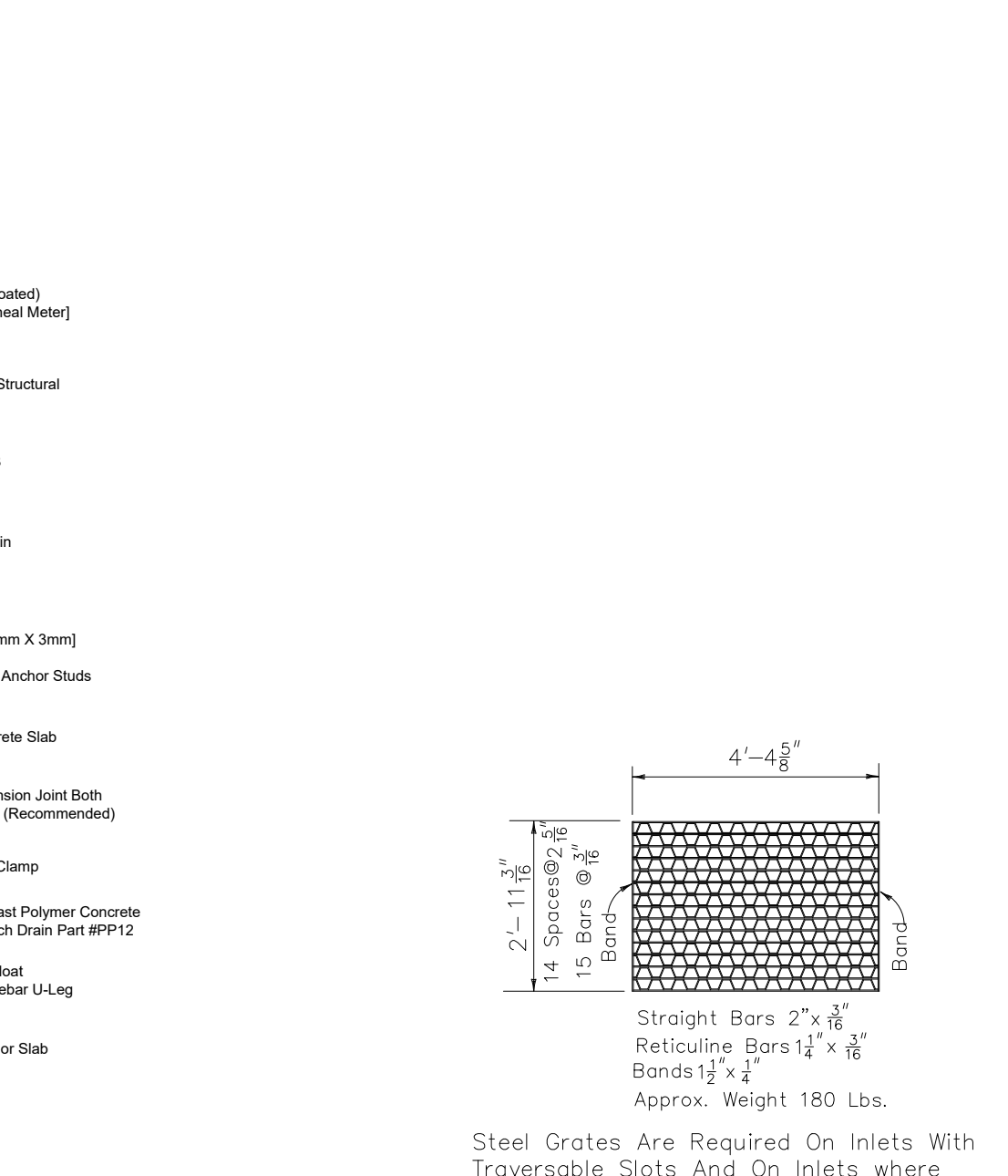
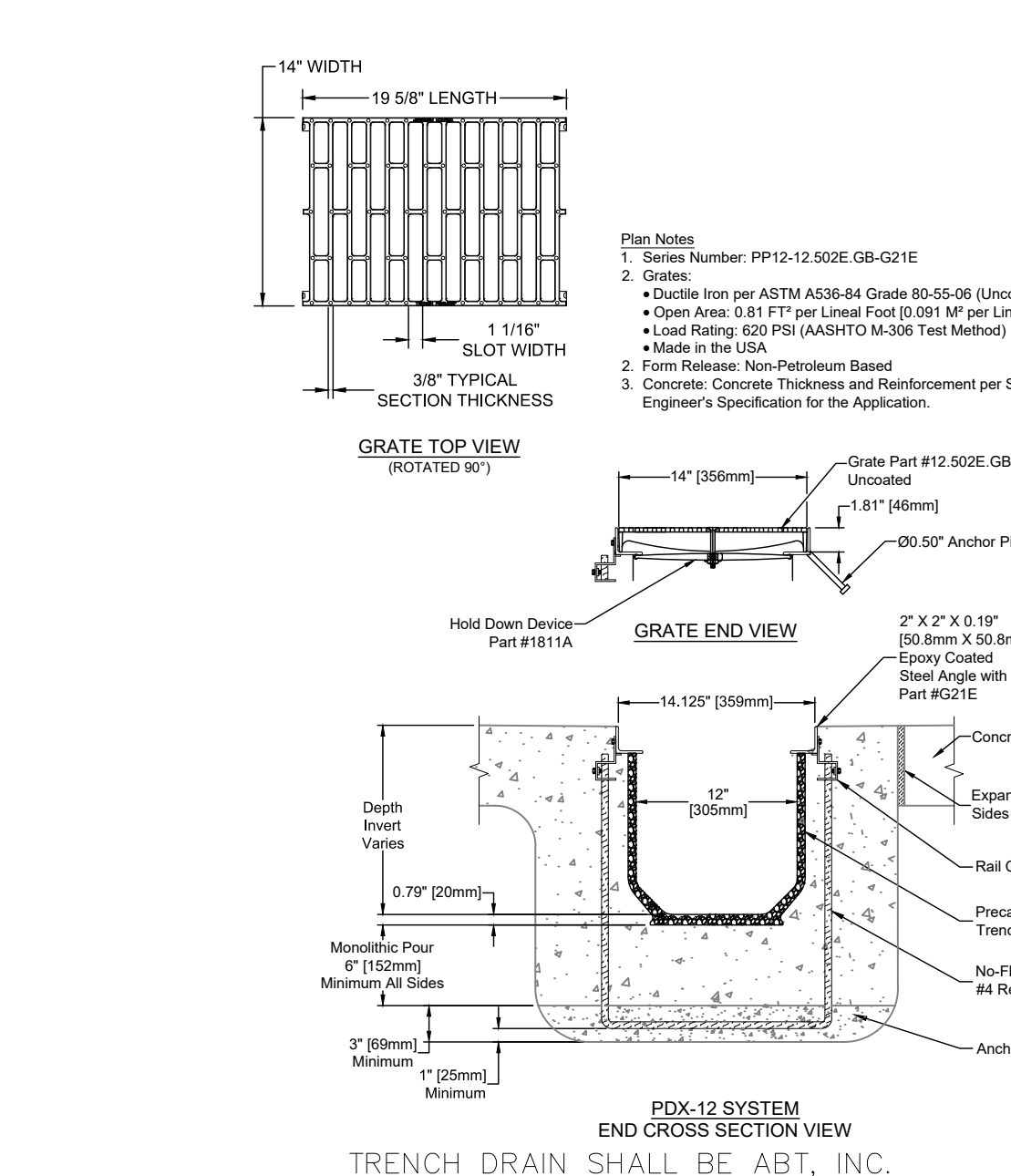
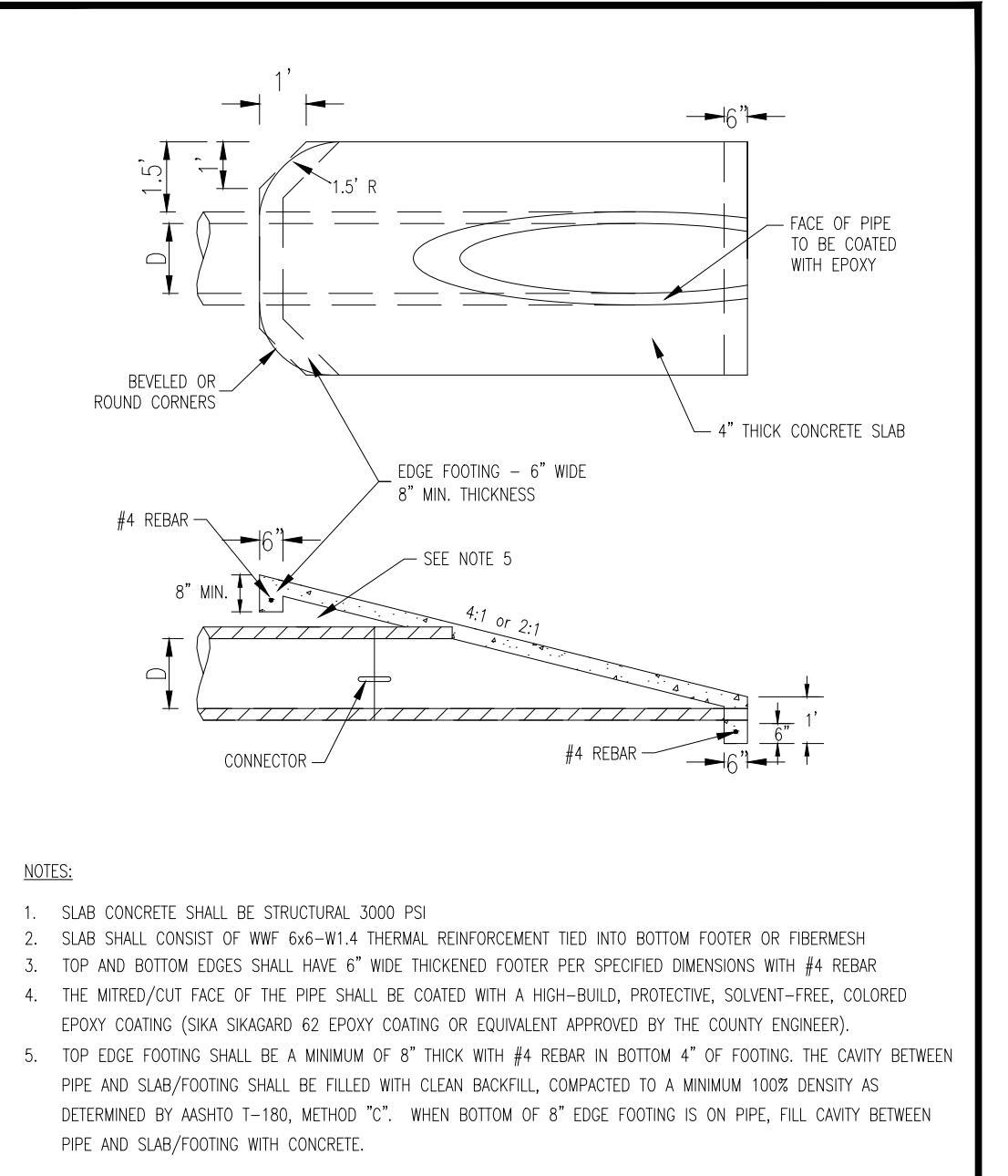
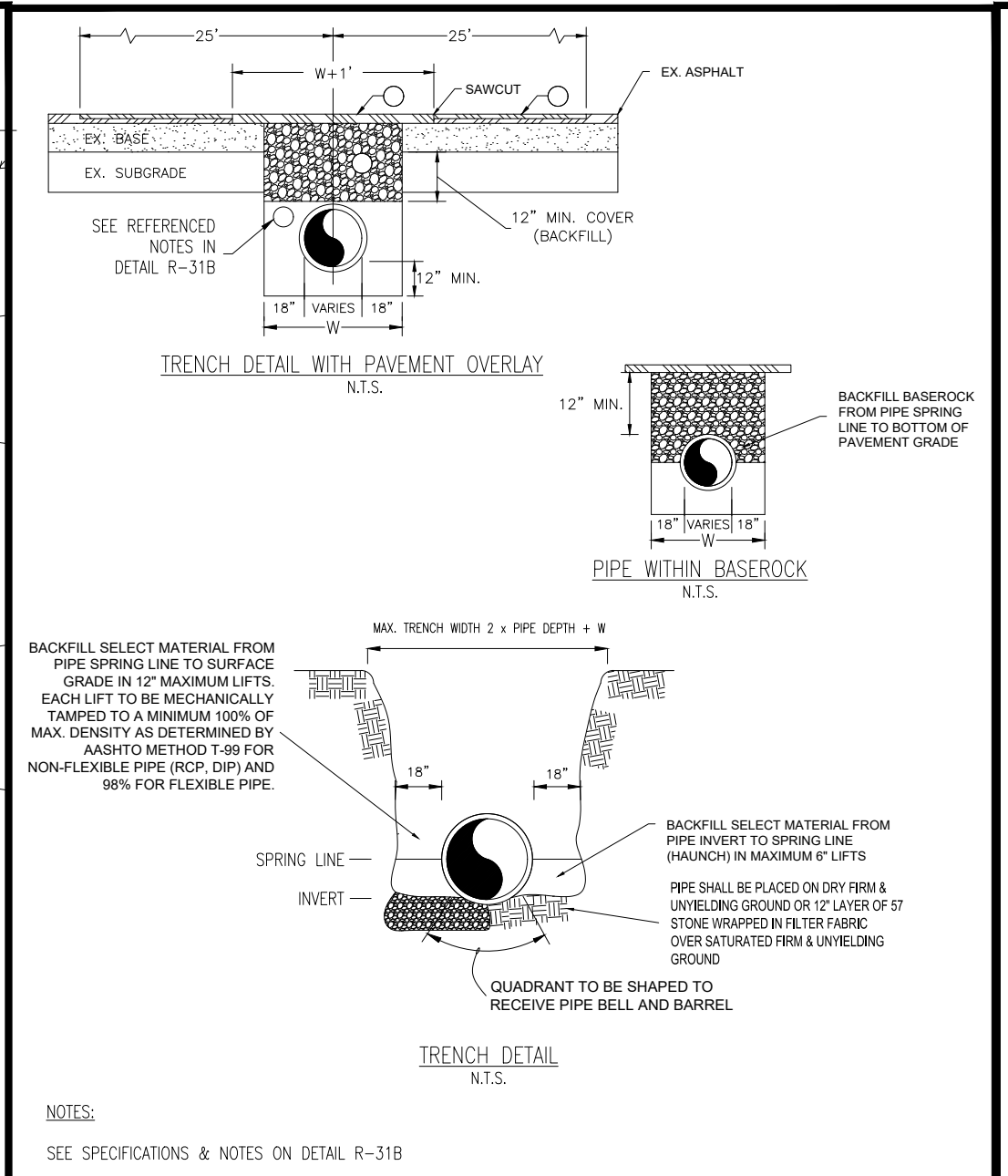
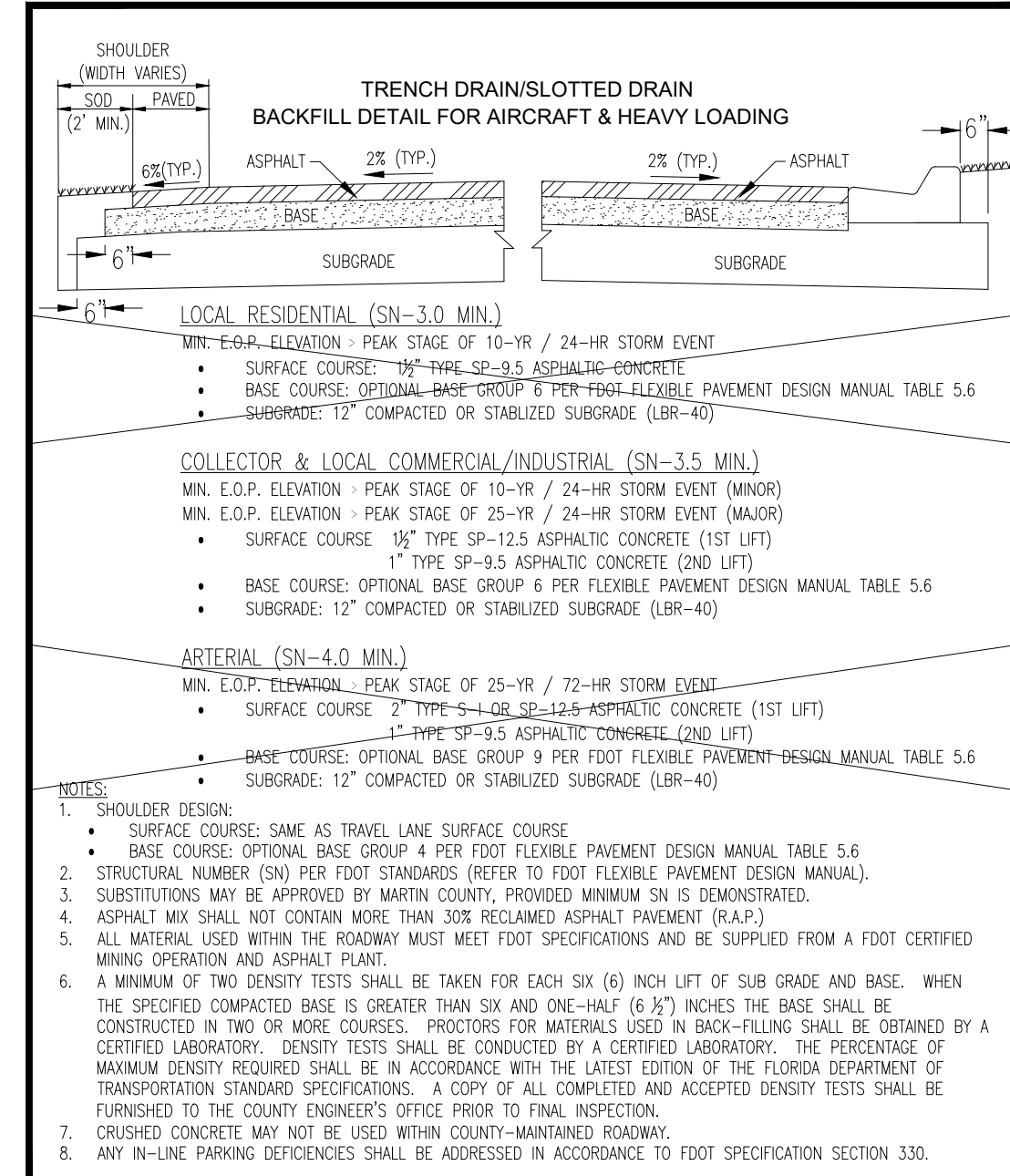


N.T.S.



Know what's **below**.
811 before you dig.

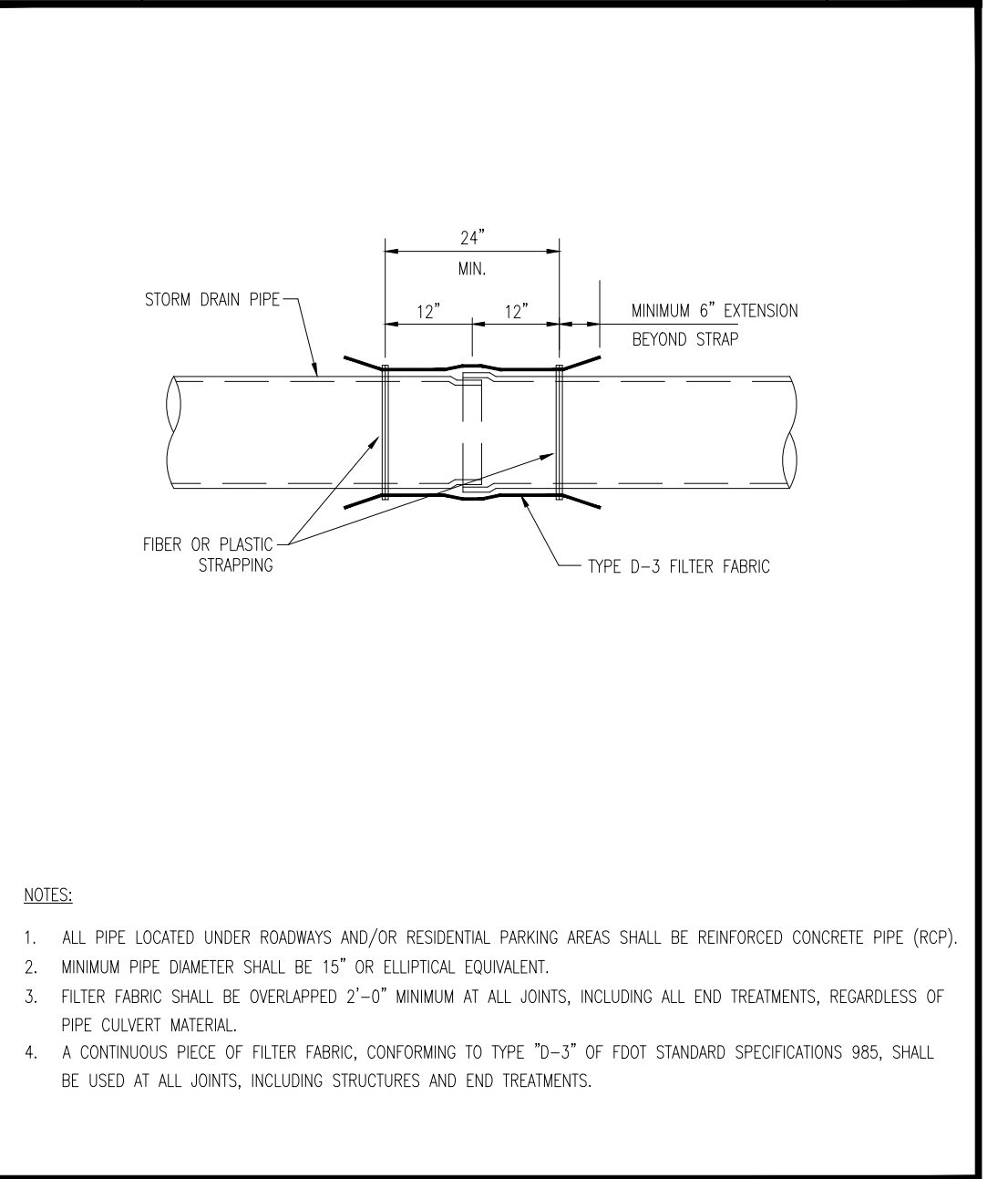
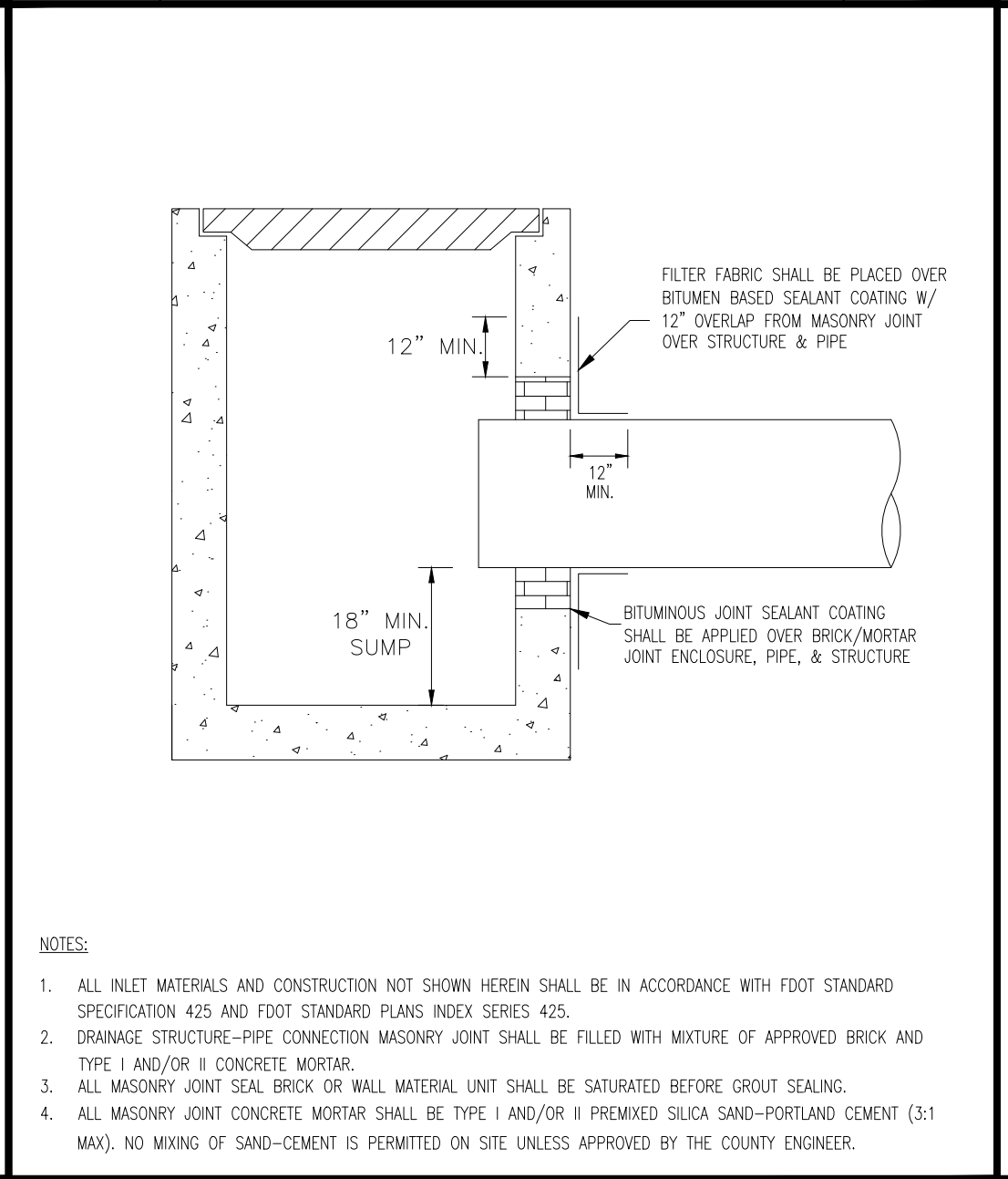
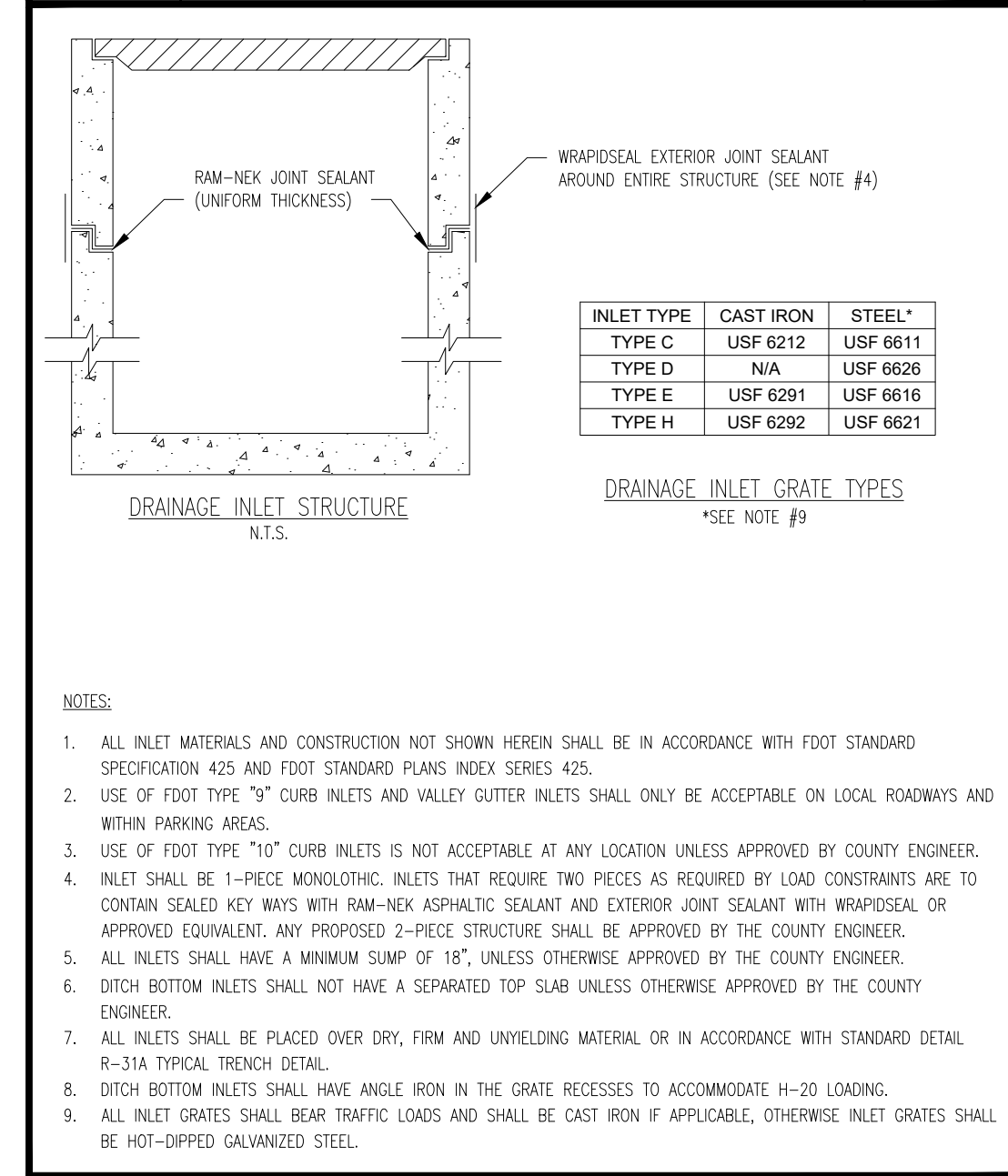
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DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				
		HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING		
WWW.HALEYWARD.COM		13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331		
PROJECT				
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA				
TITLE				
DETAILS				
		DATE 2024.06.28	SCALE AS NOTED	
DRAWN BY AT/BQ	DESIGNED BY DS/AV/BQ	CHECKED BY RB		
PROJECT No. 20111761		ENGINEERING BUSINESS REGISTRY: 32664		
DRAWING No.			REV.	
C-501				



MARTIN COUNTY ENGINEERING - STANDARD DETAILS	DETAIL R-10
FLEXIBLE PAVEMENT	DATE: 12/03/19

MARTIN COUNTY ENGINEERING - STANDARD DETAILS	DETAIL R-31A
TYPICAL OPEN CUT TRENCH	DATE: 12/03/19

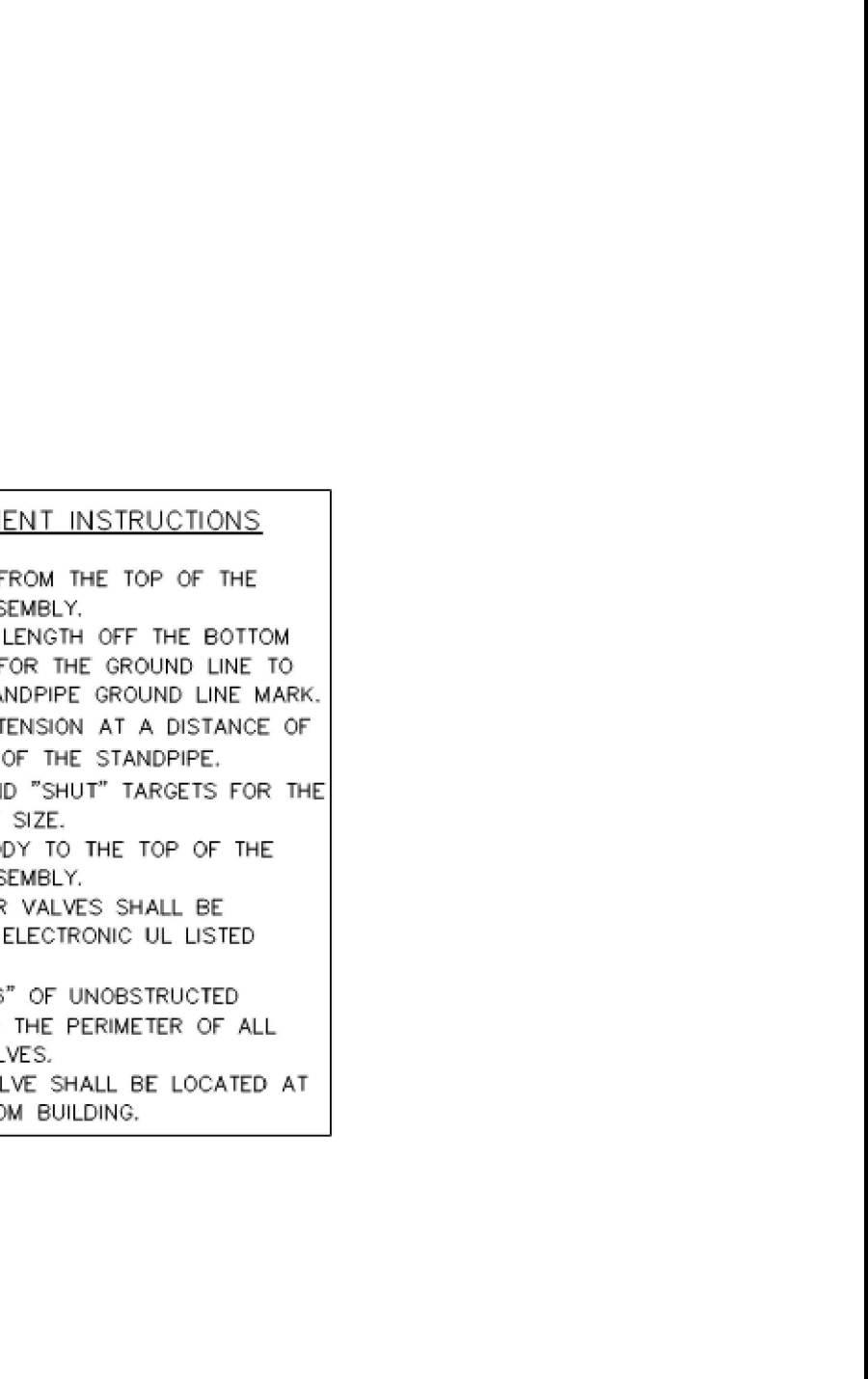
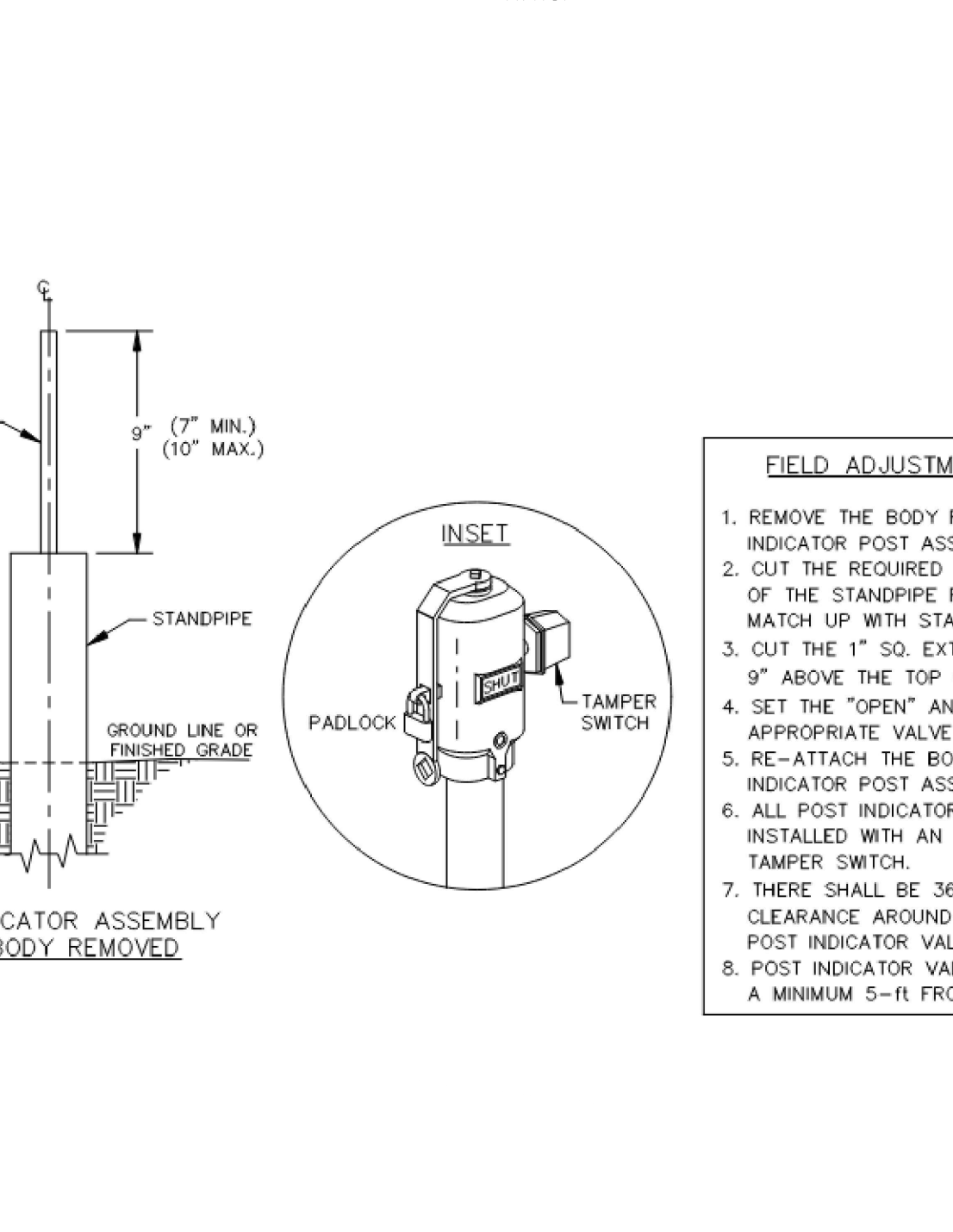
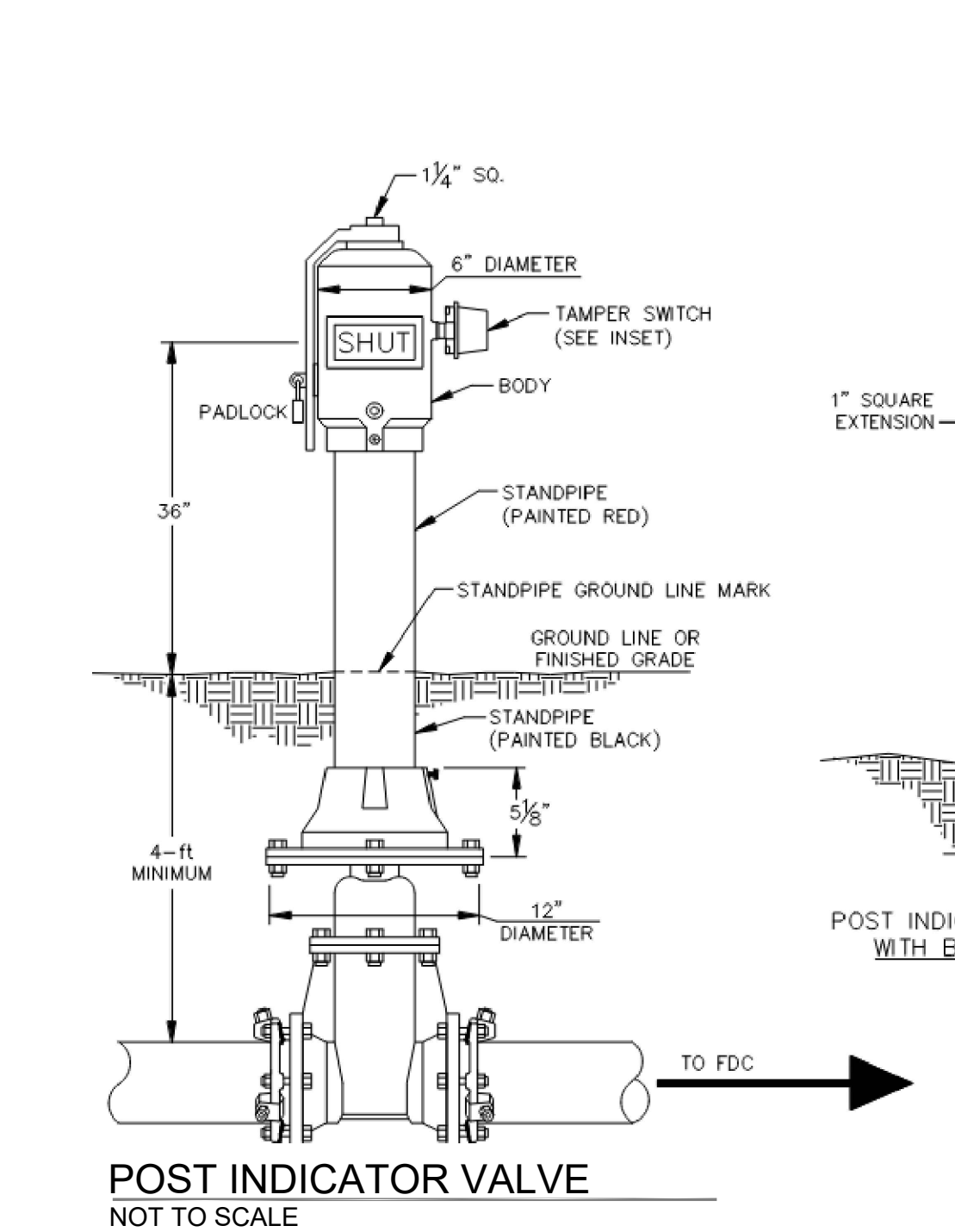
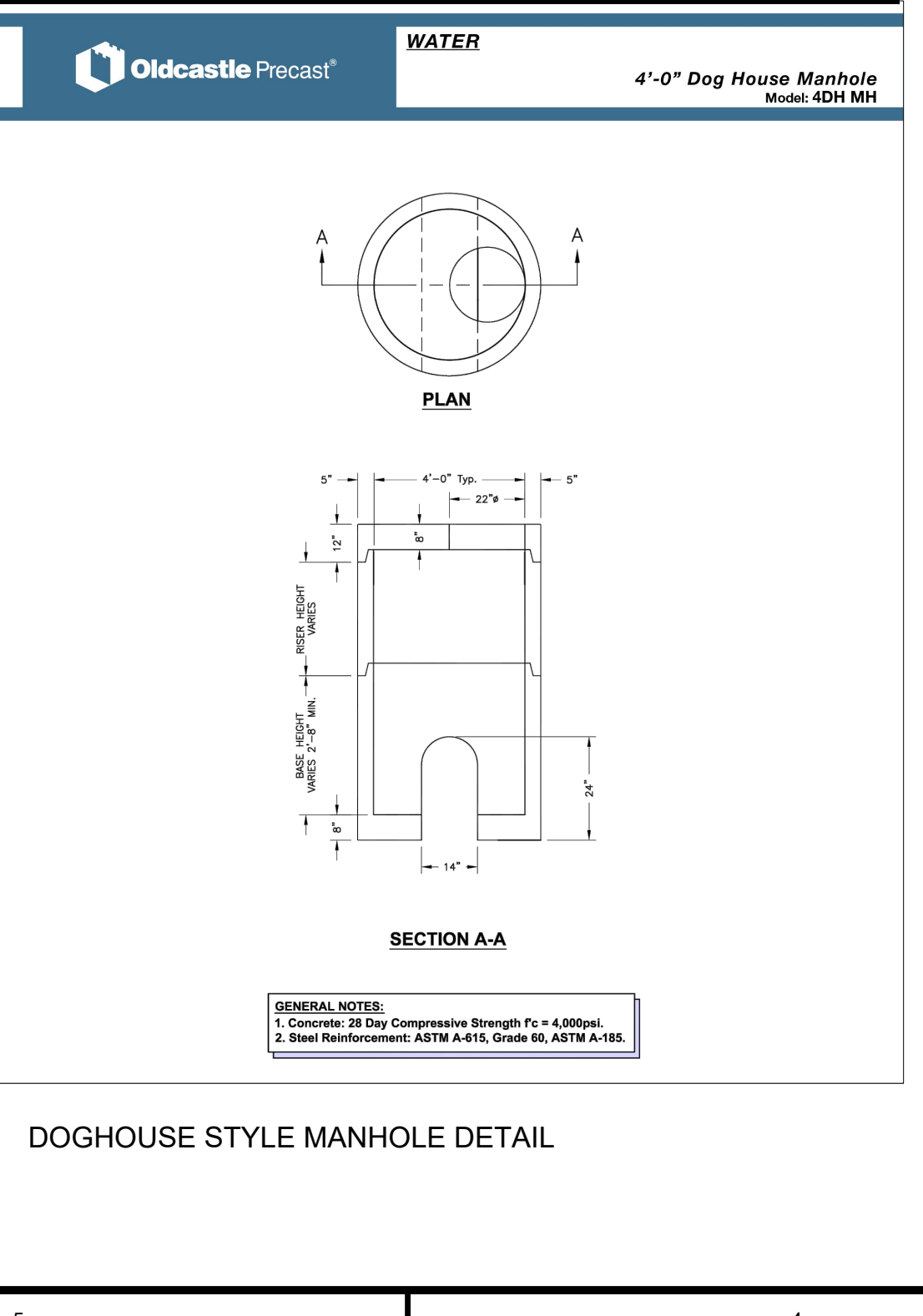
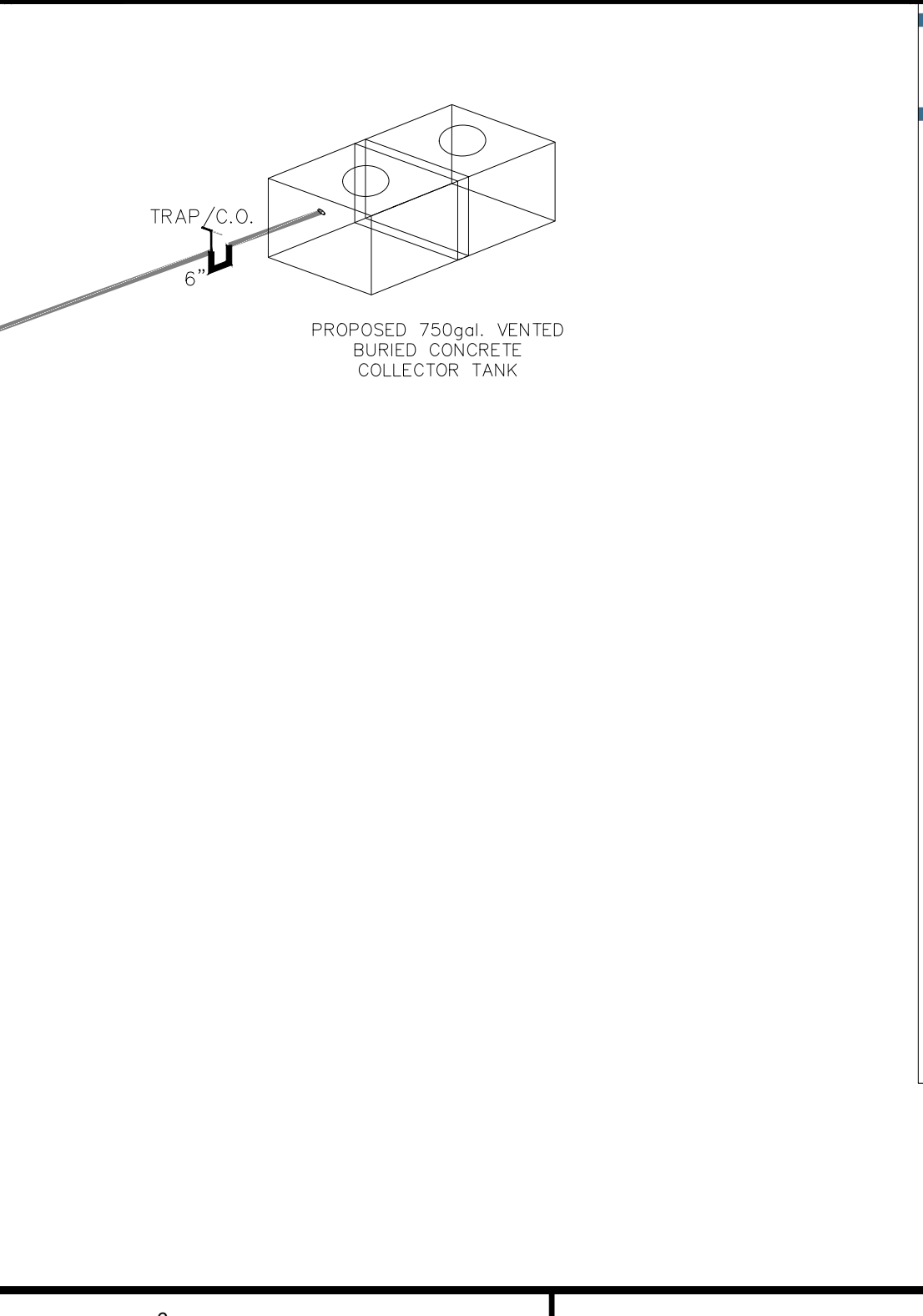
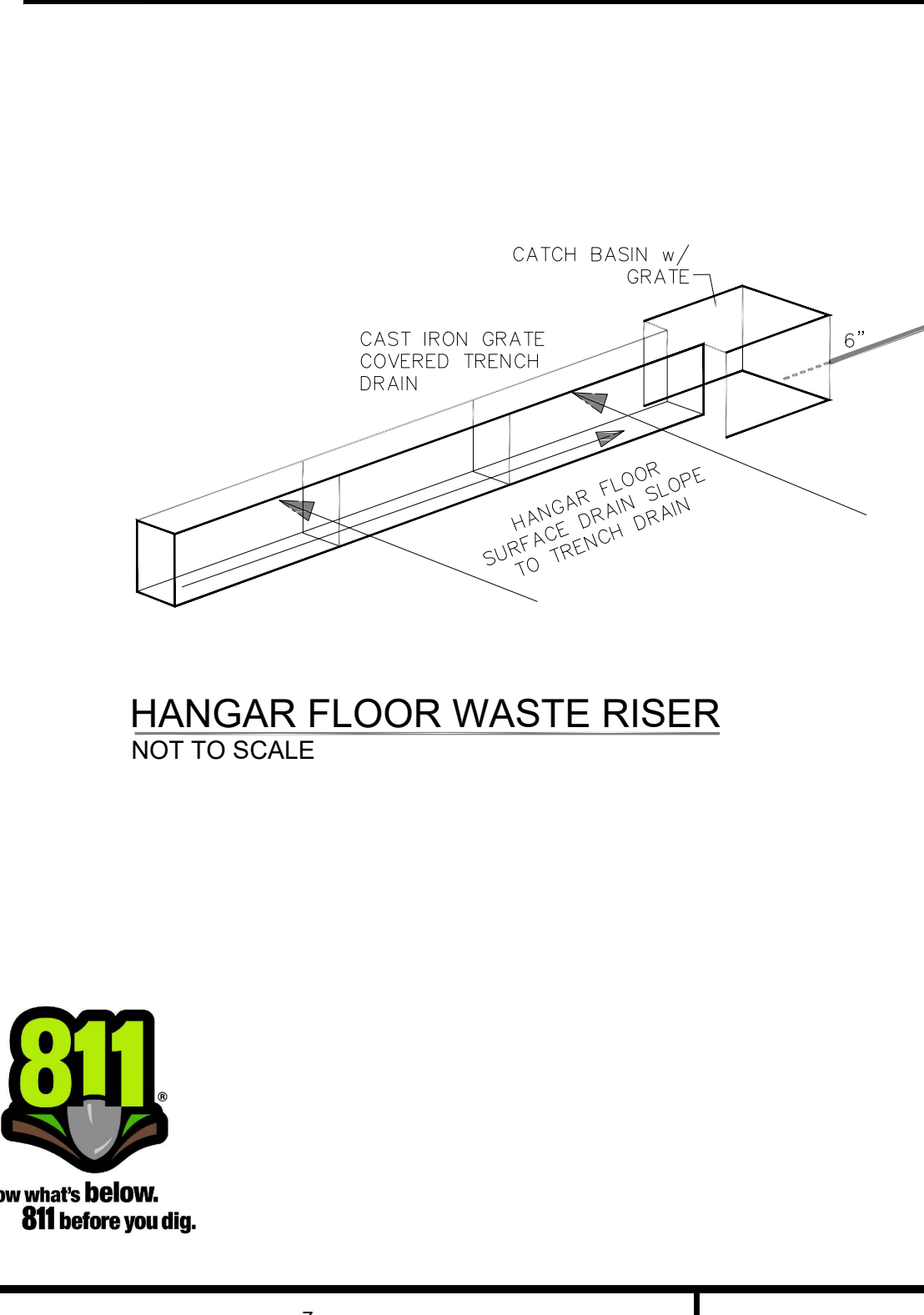
MARTIN COUNTY ENGINEERING - STANDARD DETAILS	DETAIL R-35
MITERED END SECTION	DATE: 12/03/19




MARTIN COUNTY ENGINEERING - STANDARD DETAILS	DETAIL R-50
LOCAL ROAD INLET	DATE: 12/03/19

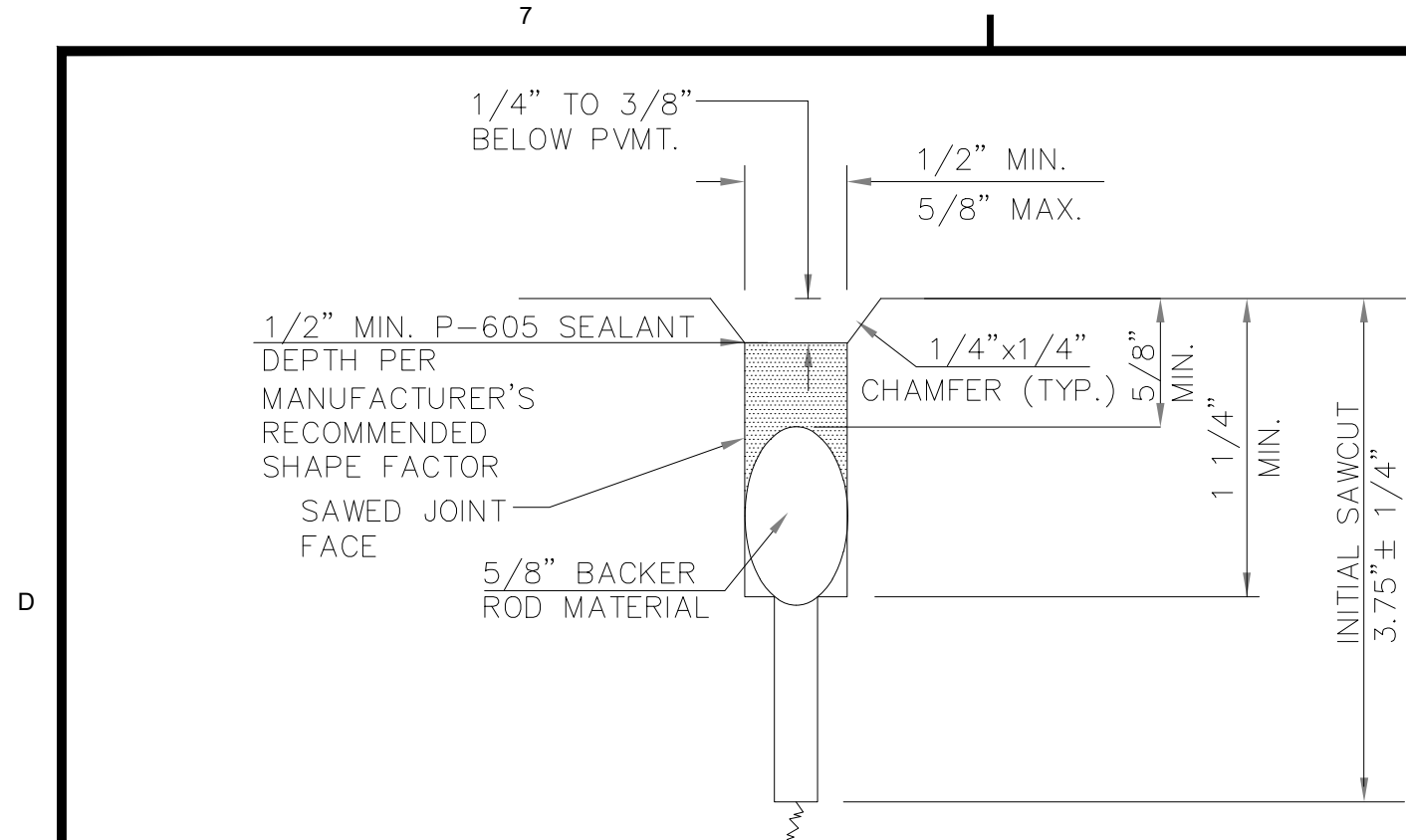
MARTIN COUNTY ENGINEERING - STANDARD DETAILS	DETAIL R-60
PIPE - STRUCTURE CONNECTION	DATE: 12/03/19

MARTIN COUNTY ENGINEERING - STANDARD DETAILS	DETAIL R-70
STORM DRAIN PIPE AND PIPE JOINT	DATE: 12/03/19



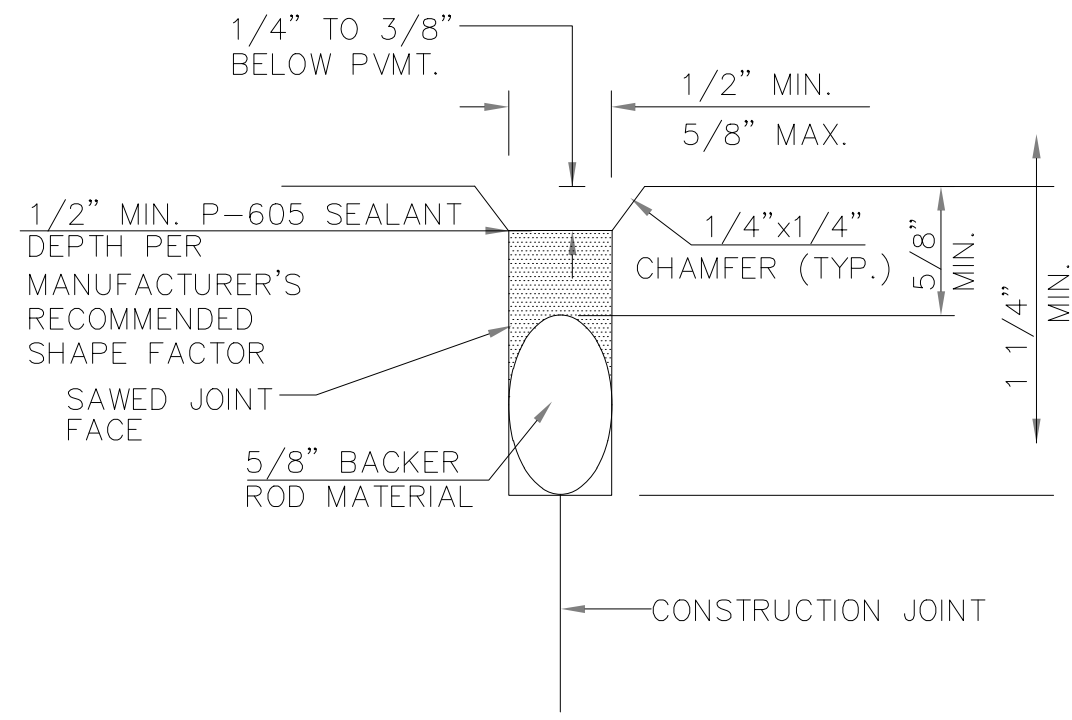
DOGHOUSE STYLE MANHOLE DETAIL

REV	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				
 ENGINEERING ENVIRONMENTAL SURVEYING 13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331				
PROJECT				
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA				
TITLE				
DETAILS				
DATE: 2024.06.28 SCALE: AS NOTED				
DRAWN BY: AT/BQ		DESIGNED BY: DG/AV/BQ		CHECKED BY: RB
PROJECT No: 2011761		ENGINEERING BUSINESS REGISTRY: 32664		REV:
DRAWING No: C-502				



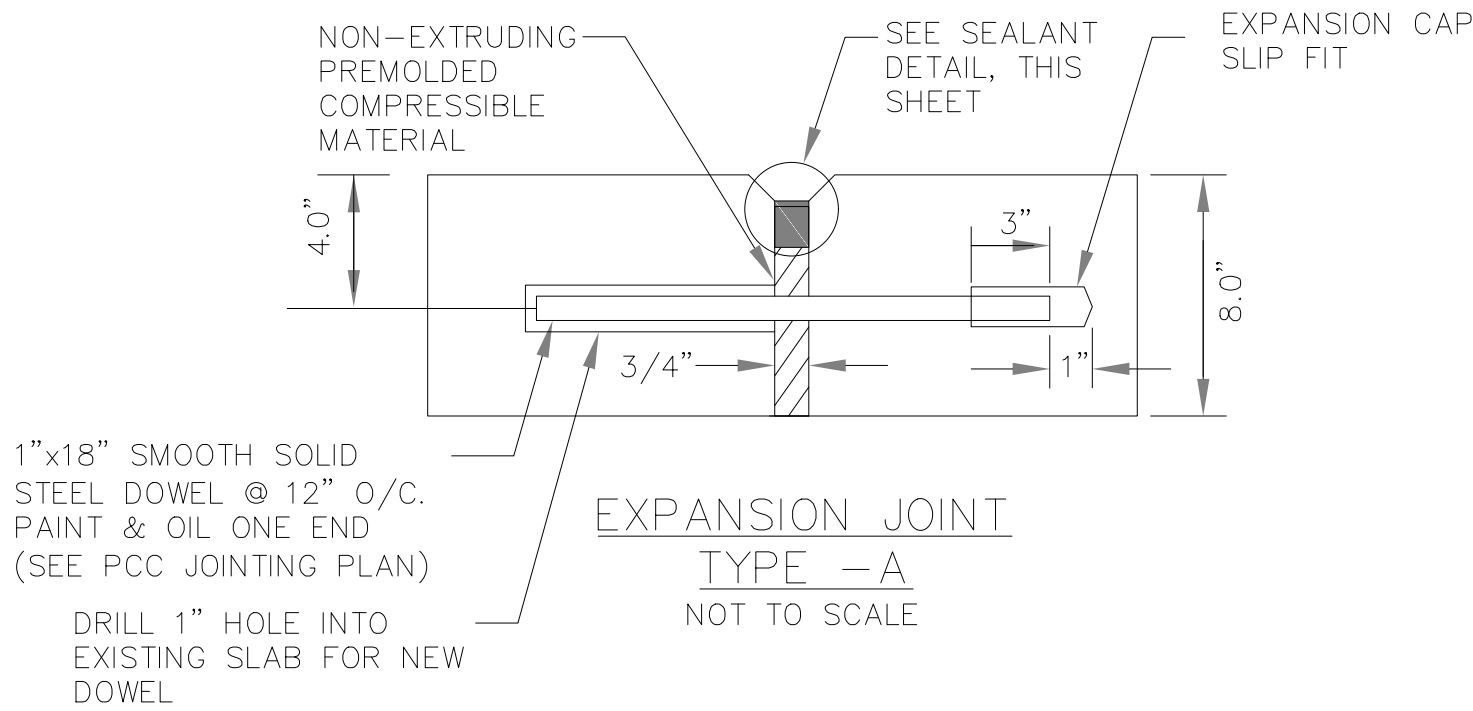
SAWCUT PCC CONTRACTION
JOINT SEALANT DETAIL
NOT TO SCALE

NOTE: SEALANT COSTS SHALL BE INCIDENTAL TO
STRUCTURAL PCC COSTS.

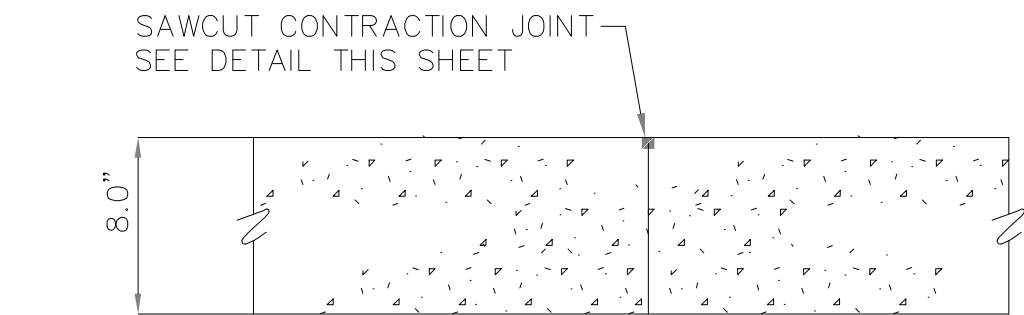


SAWCUT PCC CONSTRUCTION JOINT
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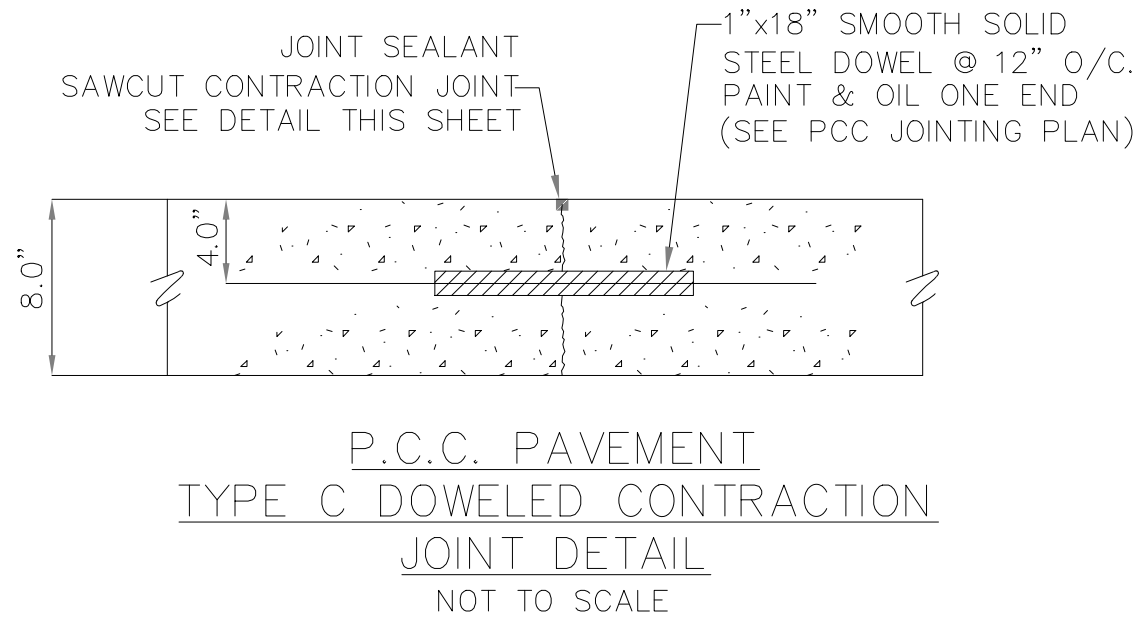
NOTE: SEALANT COSTS SHALL BE INCIDENTAL TO
STRUCTURAL PCC COSTS.



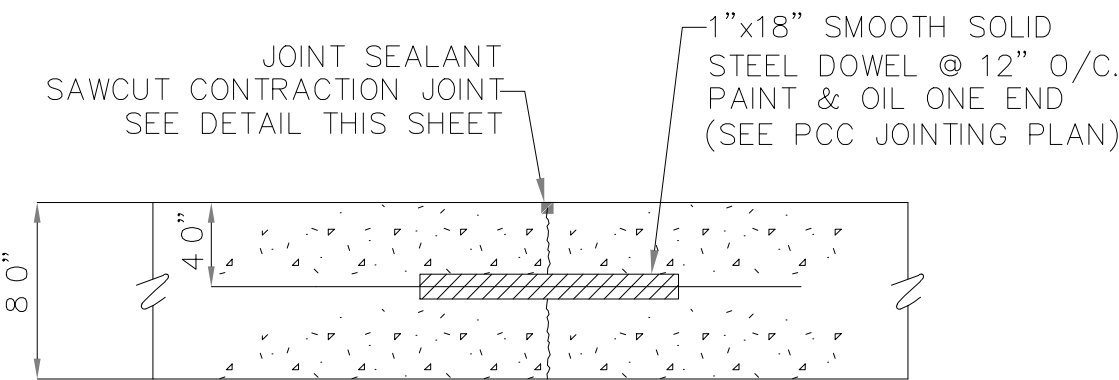
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TYPE A
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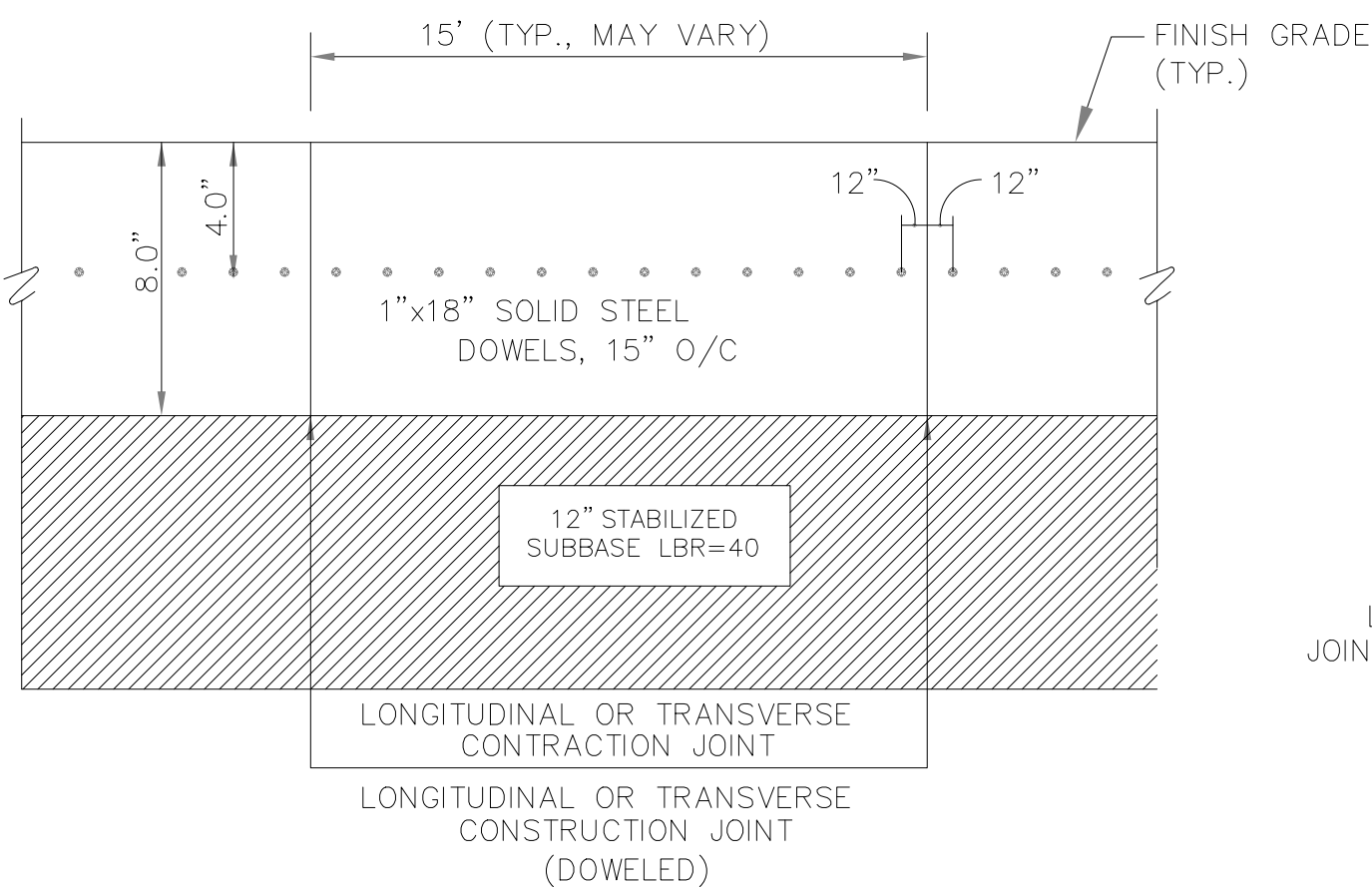
P.C.C. PAVEMENT TYPE D
DUMMY CONTRACTION JOINT DETAIL
NOT TO SCALE



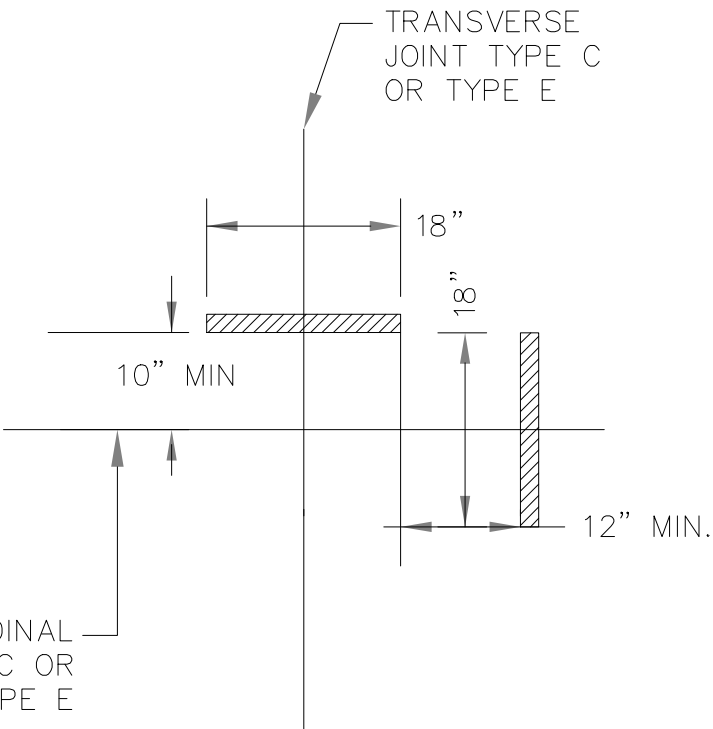
P.C.C. PAVEMENT
TYPE C DOWELED CONTRACTION
JOINT DETAIL
NOT TO SCALE



P.C.C. PAVEMENT TYPE E
DOWELED CONTRACTION JOINT DETAIL
NOT TO SCALE



SECTION VIEW

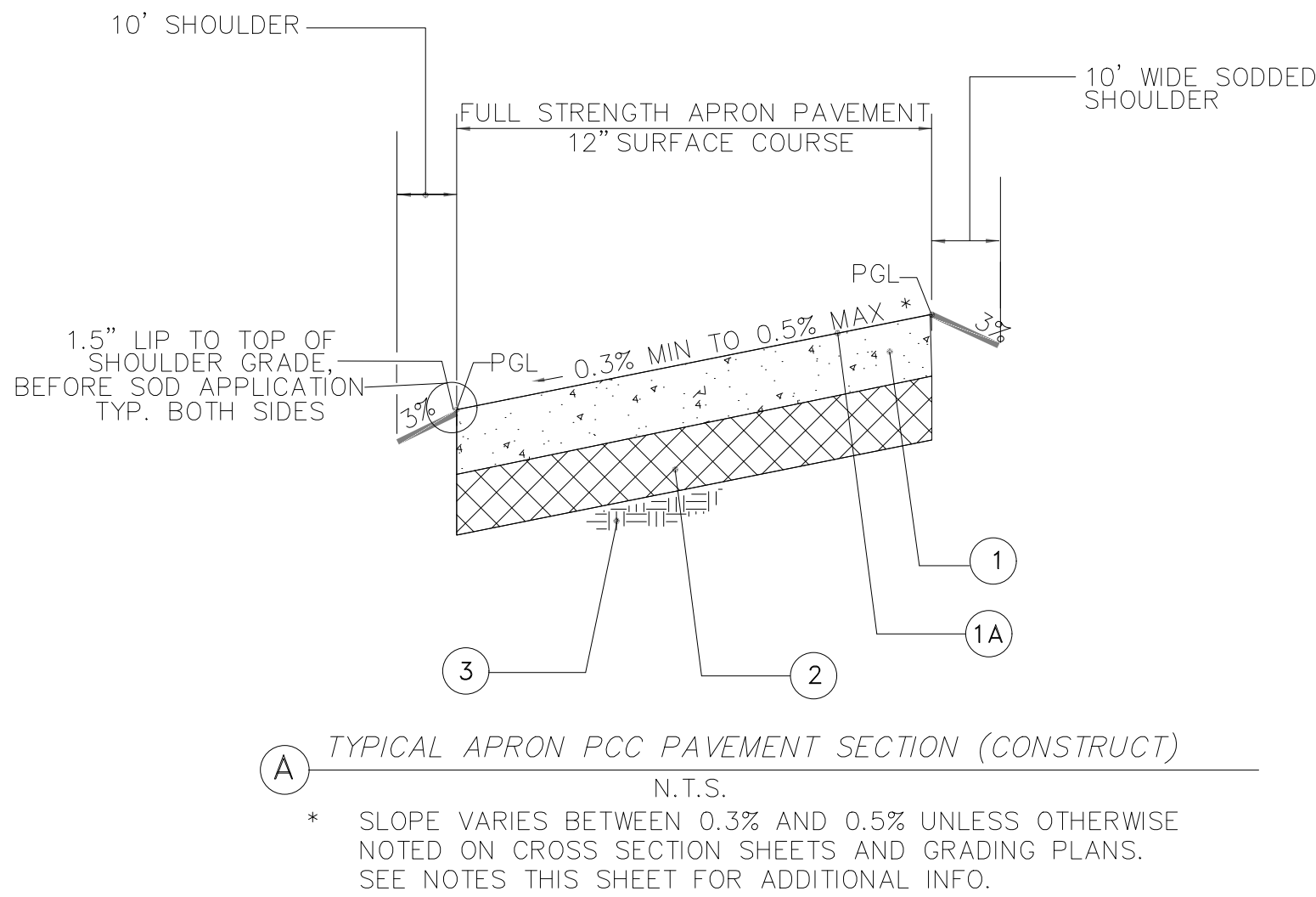


PLAN VIEW

LONGITUDINAL AND TRANSVERSE DOWELED
JOINT DETAIL IN PCC PAVEMENT
NOT TO SCALE

NOTES:

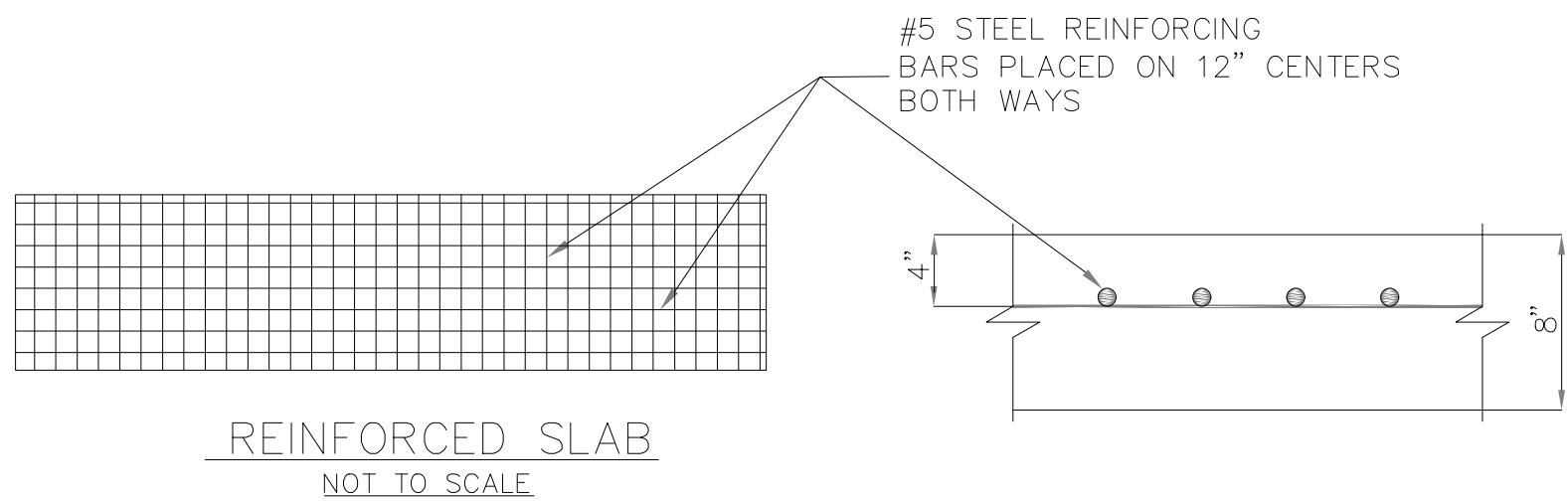
1. PREPARATION AND COMPACTION OF THE EXISTING SUBGRADE OR EMBANKMENT FILL SHALL BE IN ACCORDANCE WITH SPECIFICATION. PAYMENT SHALL BE MADE UNDER, UNCLASSIFIED EXCAVATION. CUT AND FILL LIMIT IS THE BOTTOM OF THE PROPOSED SUBBASE COURSE, IF SHOWN, ELSE BASE COURSE.
2. STRIP AND STOCKPILE THE FIRST 6" OF NATURAL GROUND IN AREAS TO RECEIVE PAVEMENT. PAYMENT SHALL BE MADE PER SQUARE YARD UNDER ITEM. OTHERWISE, DEMOLITION & REMOVAL OF EARTHWORKS & MISC. ITEMS SHALL BE PAID FOR UNDER, UNCLASSIFIED EXCAVATION.
3. ALL SOD INCLUDES TOPSOIL. STRIPPINGS ARE INTENDED FOR USE AS TOPSOIL. SOD SHALL NOT ENCR OACH UPON PAVEMENT EDGE. ROLLING OF SOD MAT WITH RUBBER TIRED EQUIPMENT EDGING OF SOD MAY BE REQUIRED PRIOR TO PROJECT COMPLETION, AS DEEMED NECESSARY BY THE ENGINEER.
4. REQUIRED STRUCTURE EMBANKMENT DUE TO ADDITIONAL OR UNSUITABLE EXCAVATION SHALL BE PLACED, AND PAID, UNCLASSIFIED EXCAVATION.
5. ALL AREAS DISTURBED BY CONTRACTOR OUTSIDE THE LIMITS SHOWN SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS AT NO ADDITIONAL COST TO THE AIRPORT OWNER, TO INCLUDE HYDROSEEDING. THE CONTRACTOR SHALL CONSIDER THIS WORK WITHIN HIS BID PROPOSAL. THE WORK WILL HAVE NO DIRECT PAYMENT.
6. STABILIZED SUBBASE SHALL BE COMPACTED TO 100% MAX DENSITY MODIFIED PROCTOR TEST AND SPECIFIED GRADATION. MINIMUM LBR = 40.
7. ALL AREAS FOR SOD MUST BE RAKED AND NO ROCKS IN THIS AREA PRIOR TO LAYING SOD.
STRIPPINGS ARE INTENDED TO BE USED AS TOPSOIL.
8. OVER EXCAVATION WILL BE REQUIRED IN SOME AREAS DUE TO THE NECESSITY OF MATCHING EXISTING PAVEMENTS/GRADES.
9. ALL JOINT SAW CUTTING AND JOINT SEALANT MATERIAL COSTS SHALL BE INCIDENTAL TO STRUCTURAL PORTLAND CEMENT CONCRETE COST. SAW CUTTING SHALL BE COMPLETED WITHIN 8 HOURS OF PLACEMENT.
10. ALL REINFORCEMENT MATERIAL AND CONSTRUCTION COSTS SHALL BE INCIDENTAL TO STRUCTURAL PORTLAND CEMENT CONCRETE COST.
11. ALL REINFORCEMENT STEEL SHALL BE 60 KSI STEEL.



A TYPICAL APRON PCC PAVEMENT SECTION (CONSTRUCT)
N.T.S.
* SLOPE VARIES BETWEEN 0.3% AND 0.5% UNLESS OTHERWISE
NOTED ON CROSS SECTION SHEETS AND GRADING PLANS.
SEE NOTES THIS SHEET FOR ADDITIONAL INFO.

Concrete Pavement Design Legend

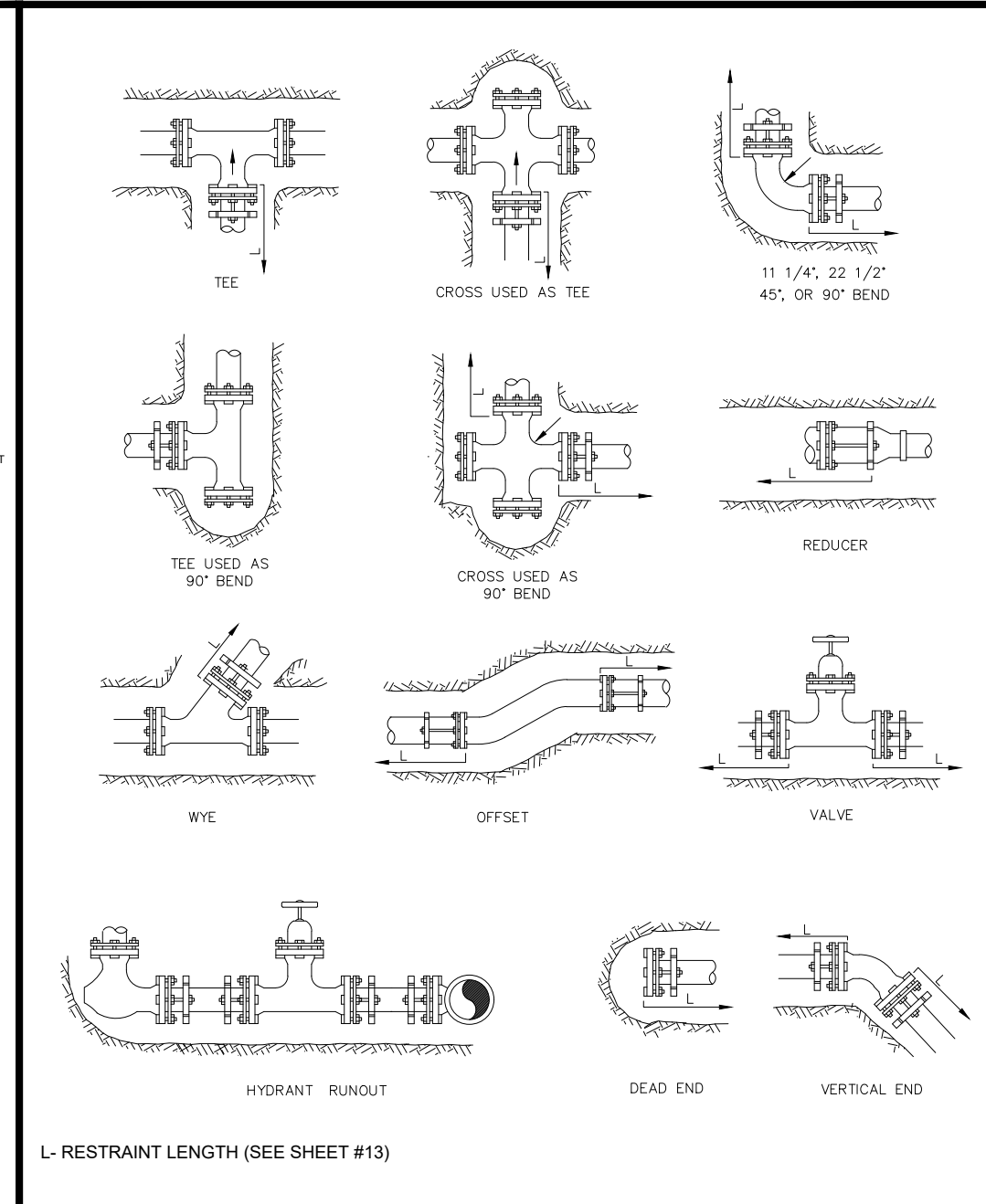
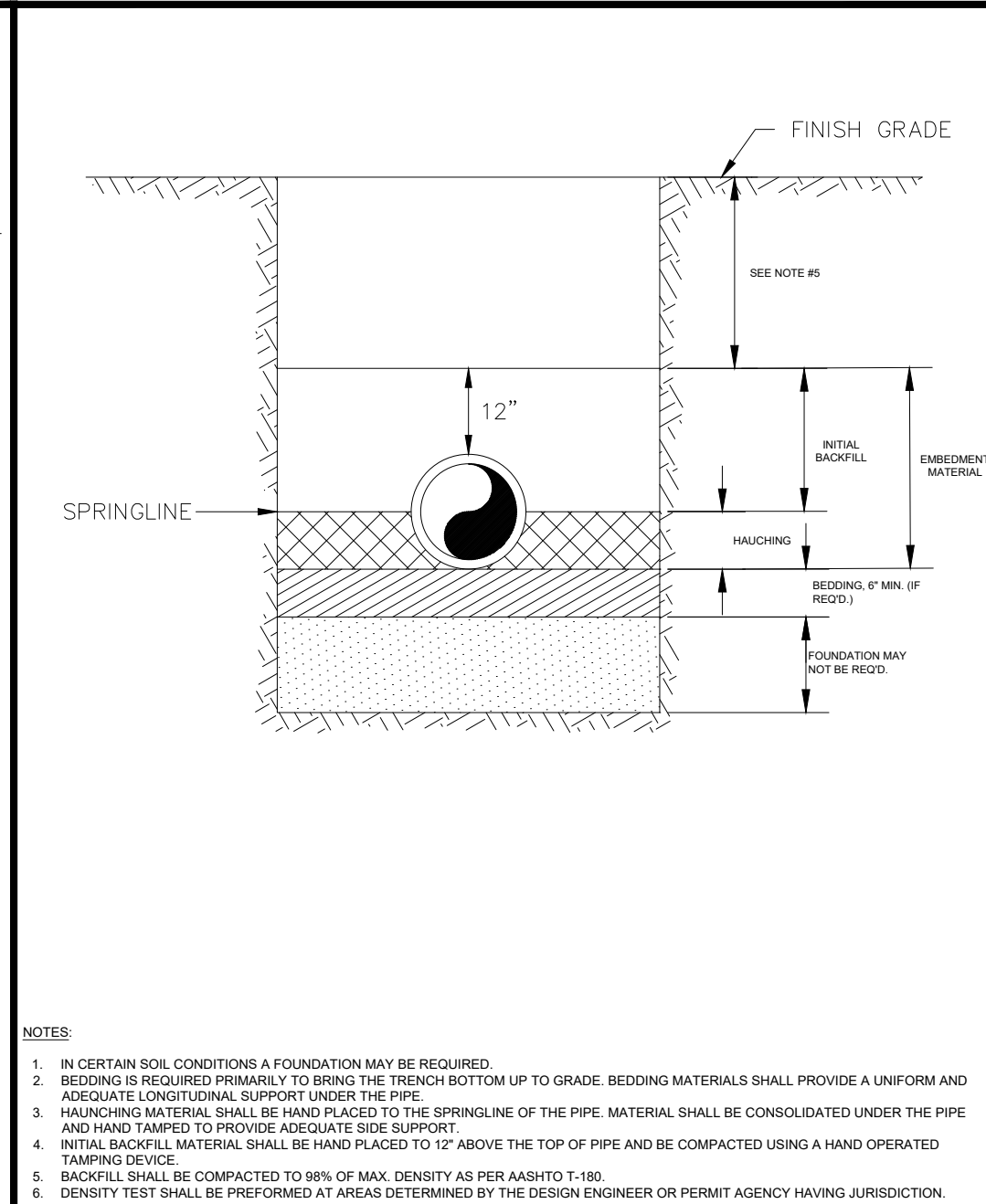
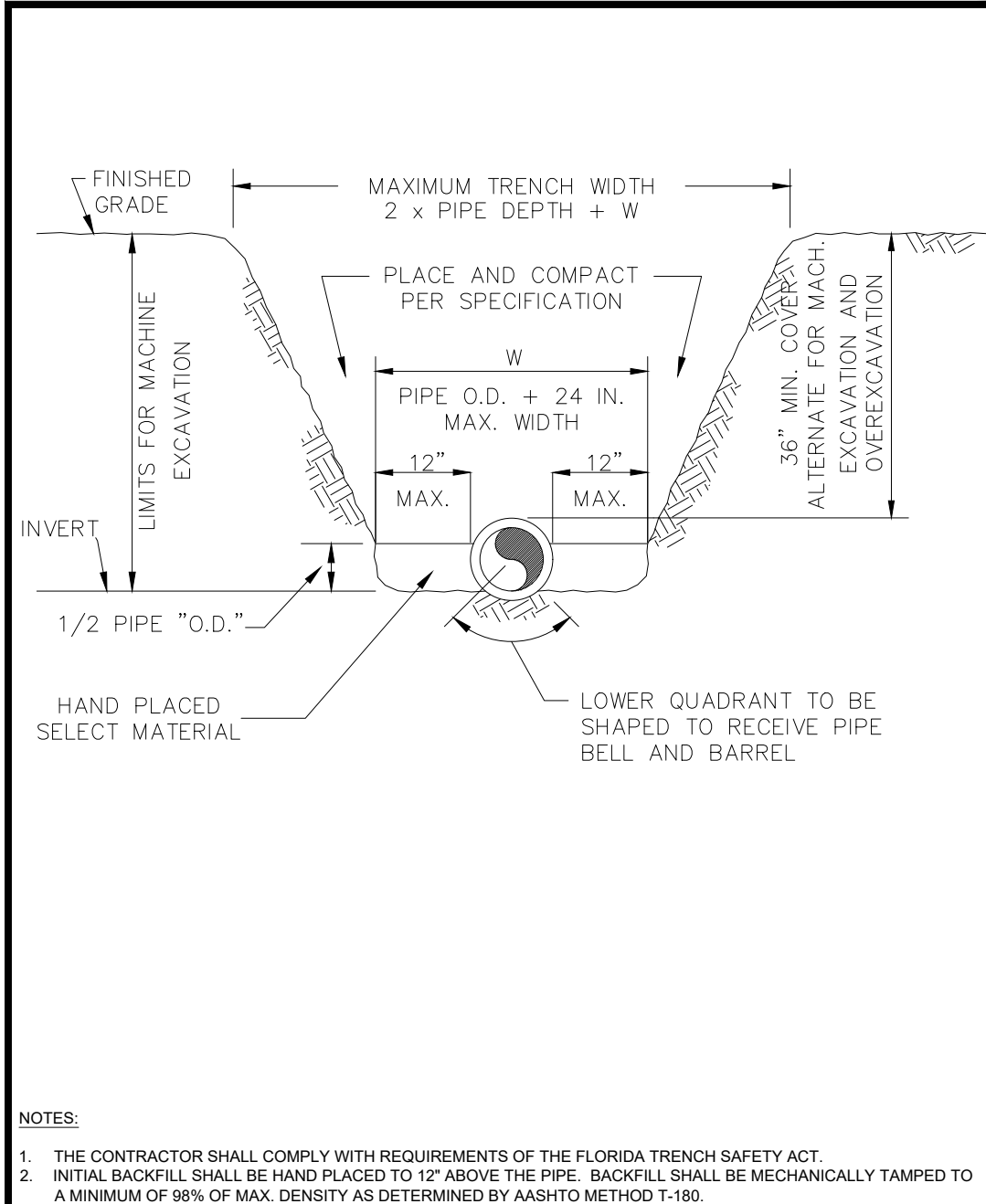
		A APRON RECONSTRUCTION/ CONSTRUCTION
1	CONSTRUCT PCC SURFACE COURSE (SY) 650 PSI FLEXURAL STRENGTH WITH CURING COMPOUND (INCIDENTAL TO CONCRETE)	8"
1A	APPLY CURING COMPOUND	
2	CONSTRUCT STABILIZED SUBBASE COURSE COMPACTED TO 100% MAX DENSITY BASED ON THE MODIFIED PROCTOR TEST AND SPECIFIED GRADATION, MINIMUM LBR=40 (SQUARE YARD).	12"
3	CONSTRUCT COMPACTED SUBGRADE/EMBANKMENT/SHOULDERS (CUBIC YARD). COMPACT TO 100% MAXIMUM DENSITY REQUIRED AT DEPTHS SPECIFIED HEREIN (CUBIC YARD).	12" 0"-12" (100%) 12"-28" (95%)



NOTE: STEEL REINFORCEMENT COSTS SHALL BE INCIDENTAL TO STRUCTURAL PCC COSTS.

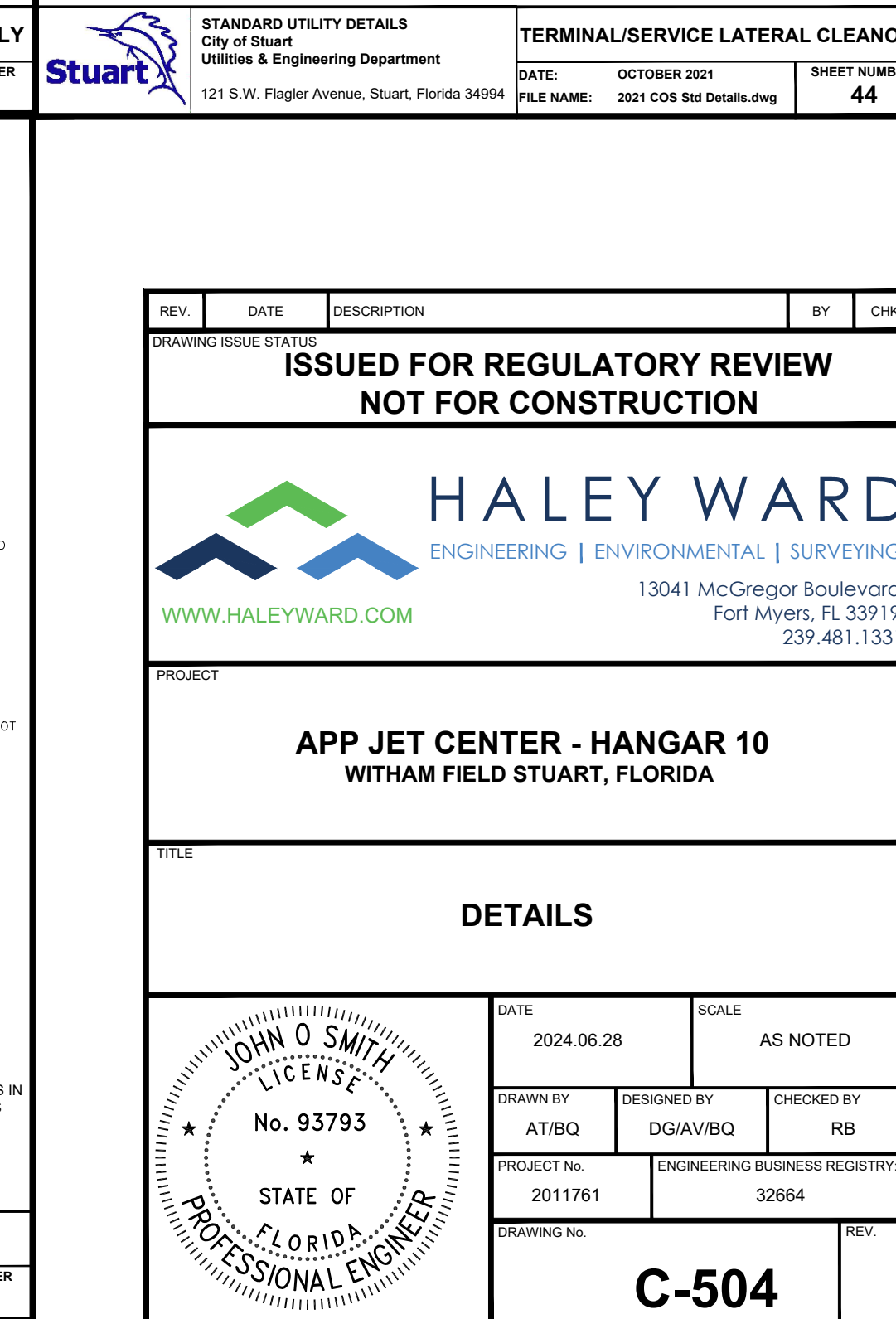
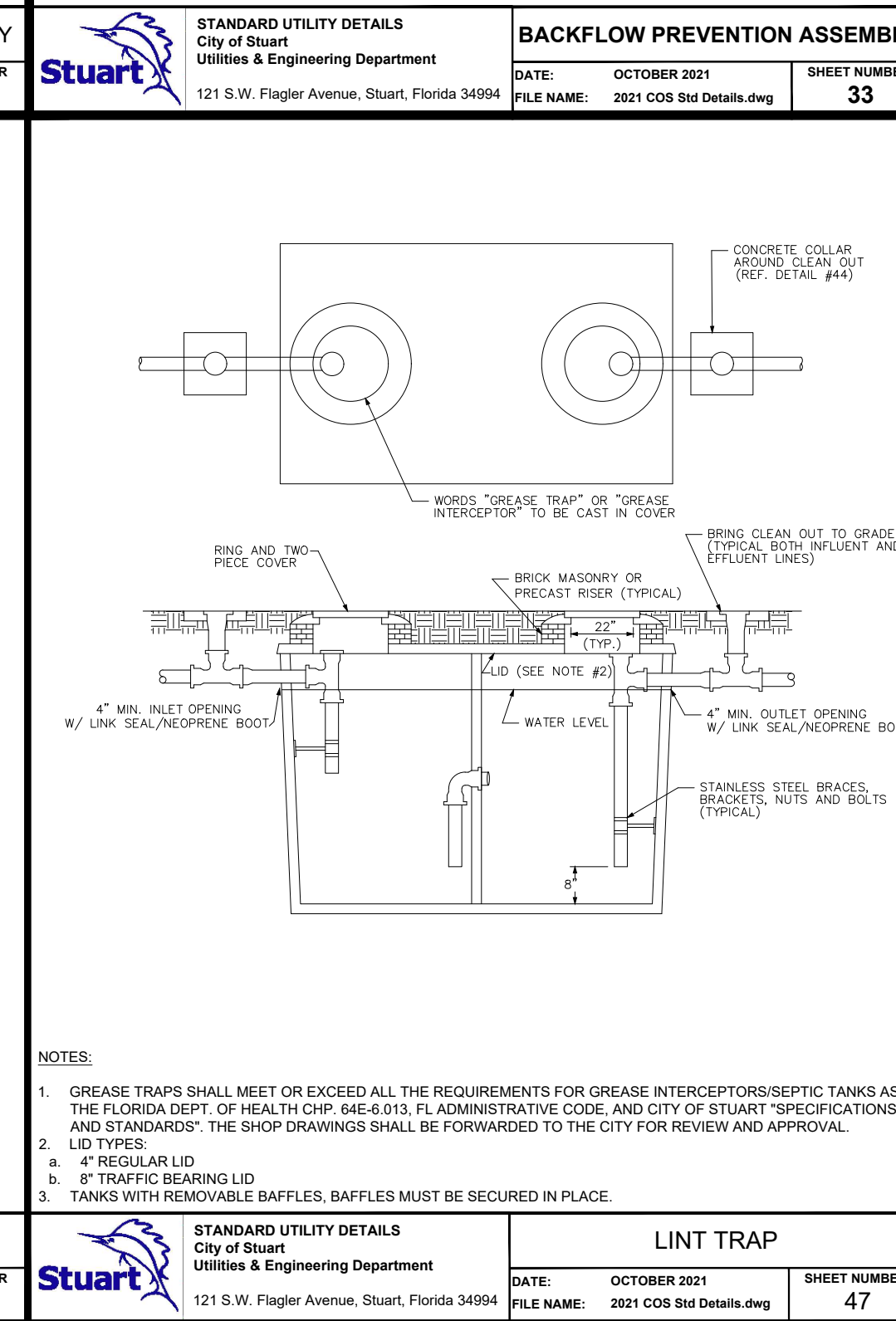
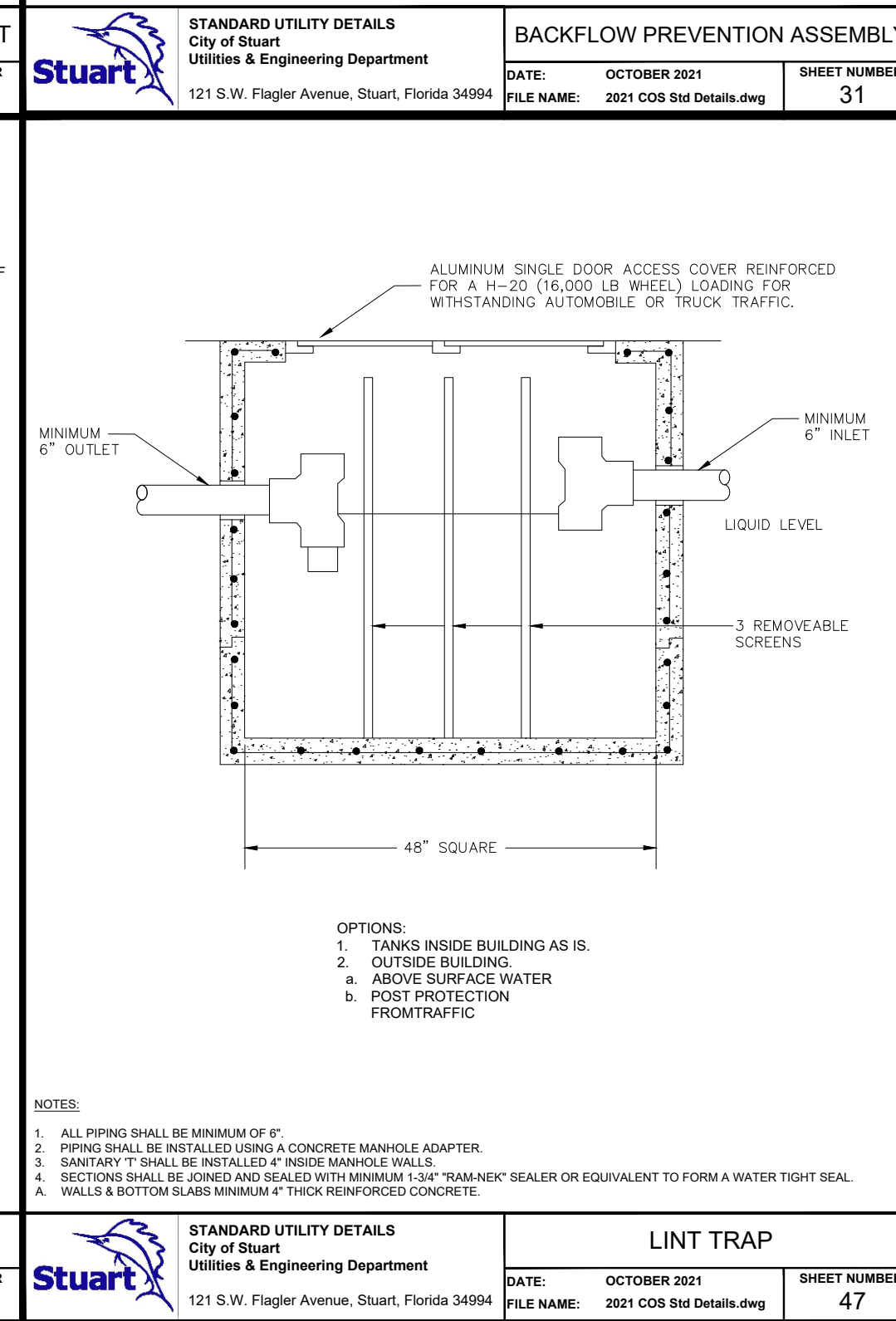
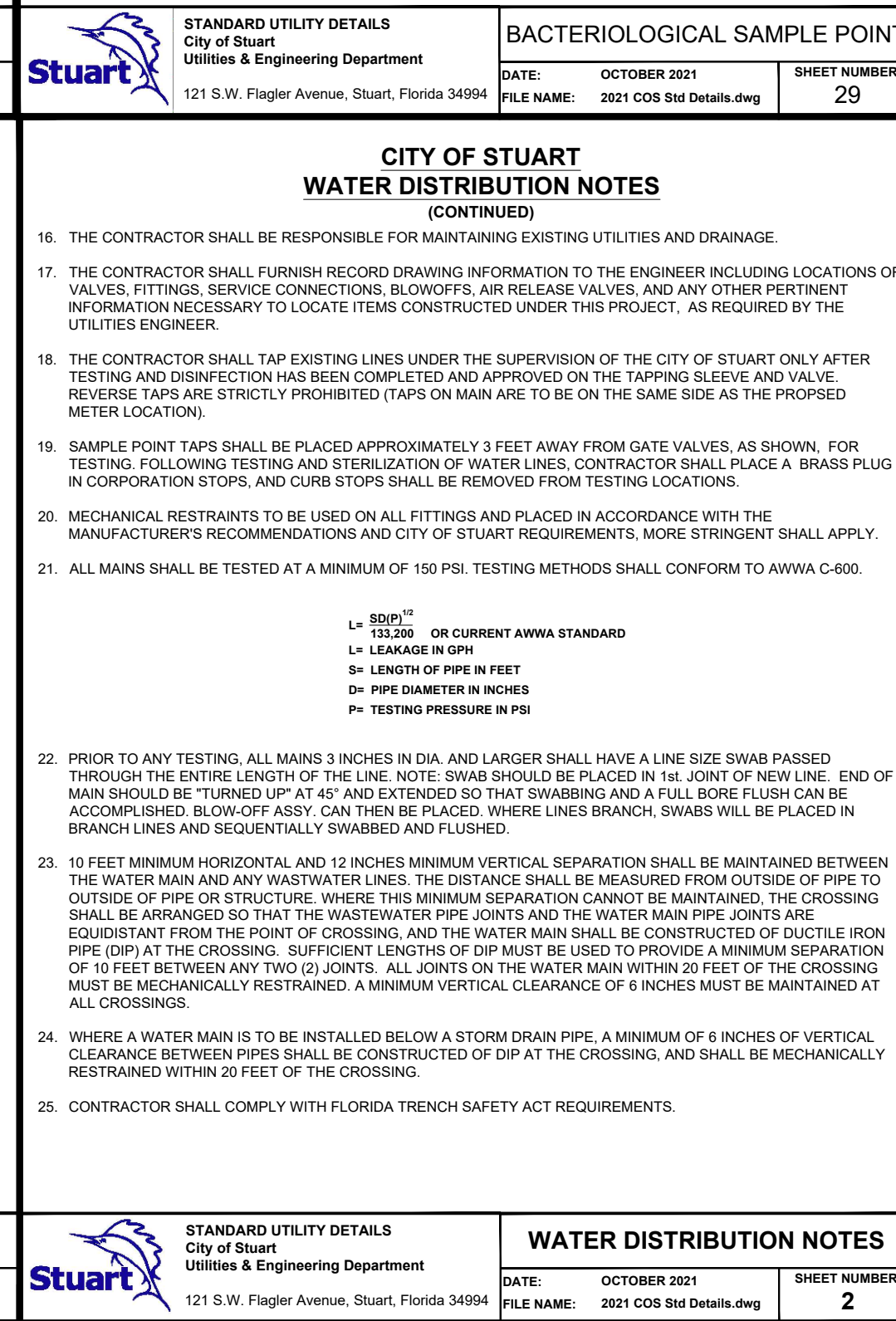
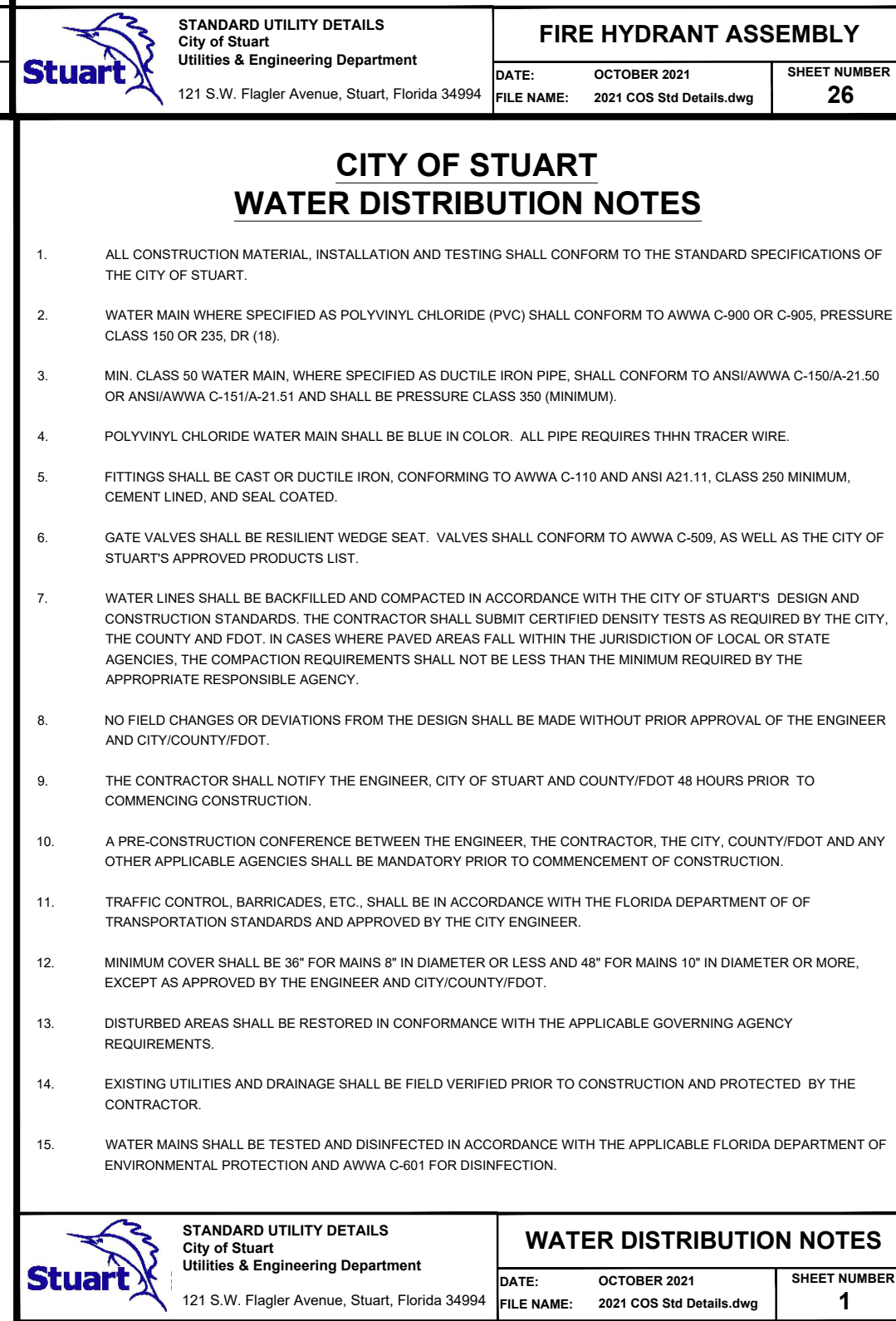
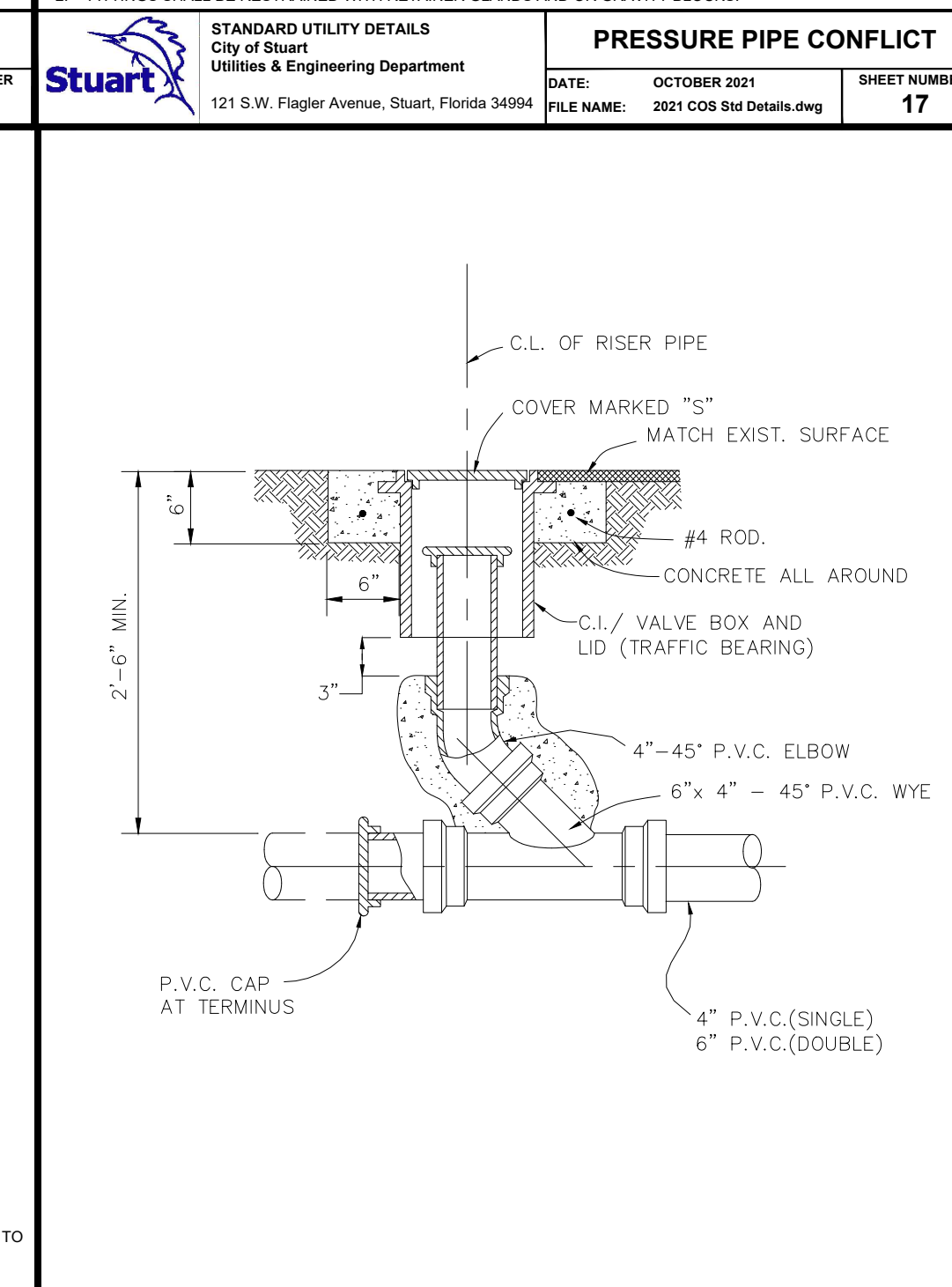
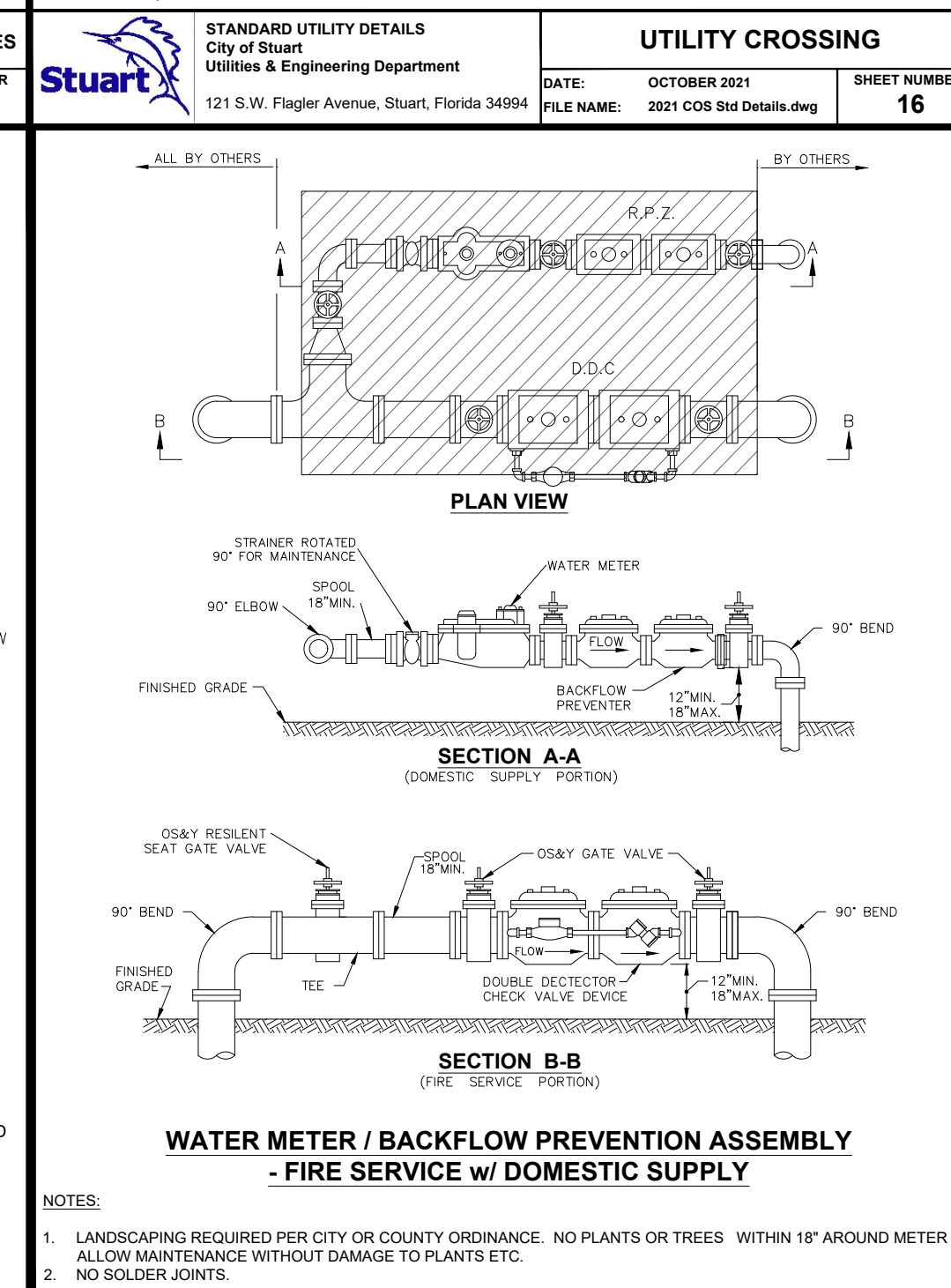
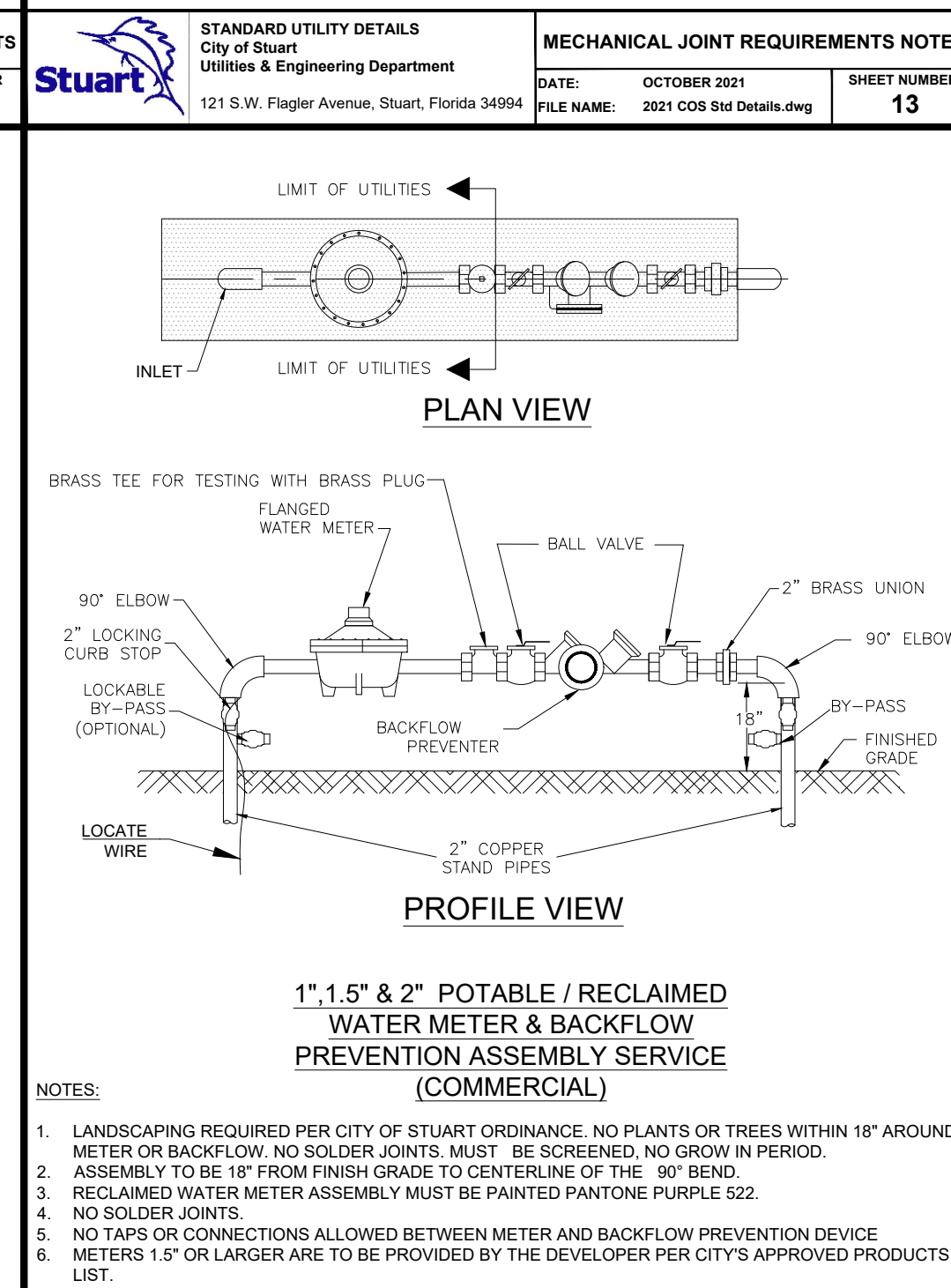
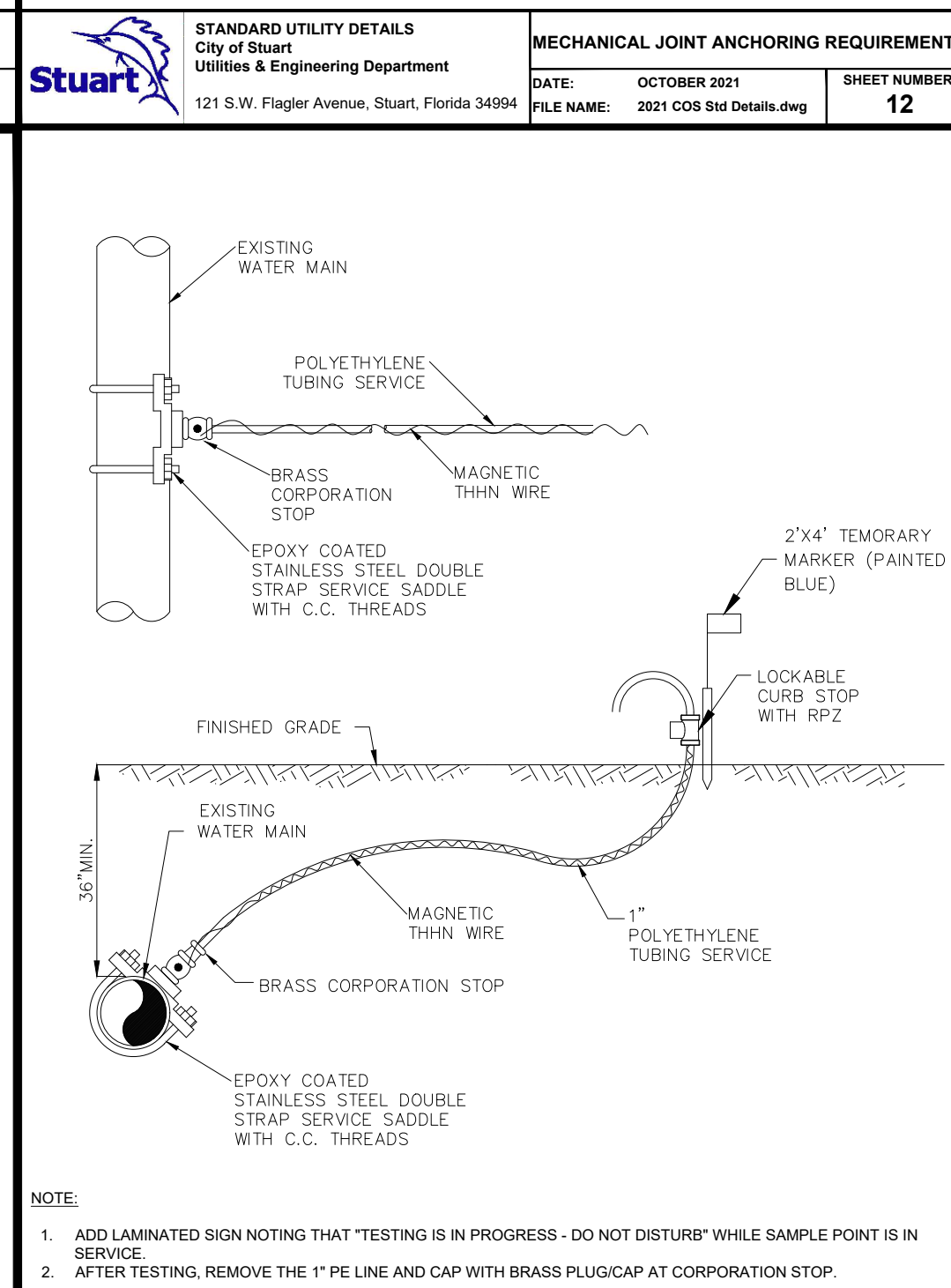
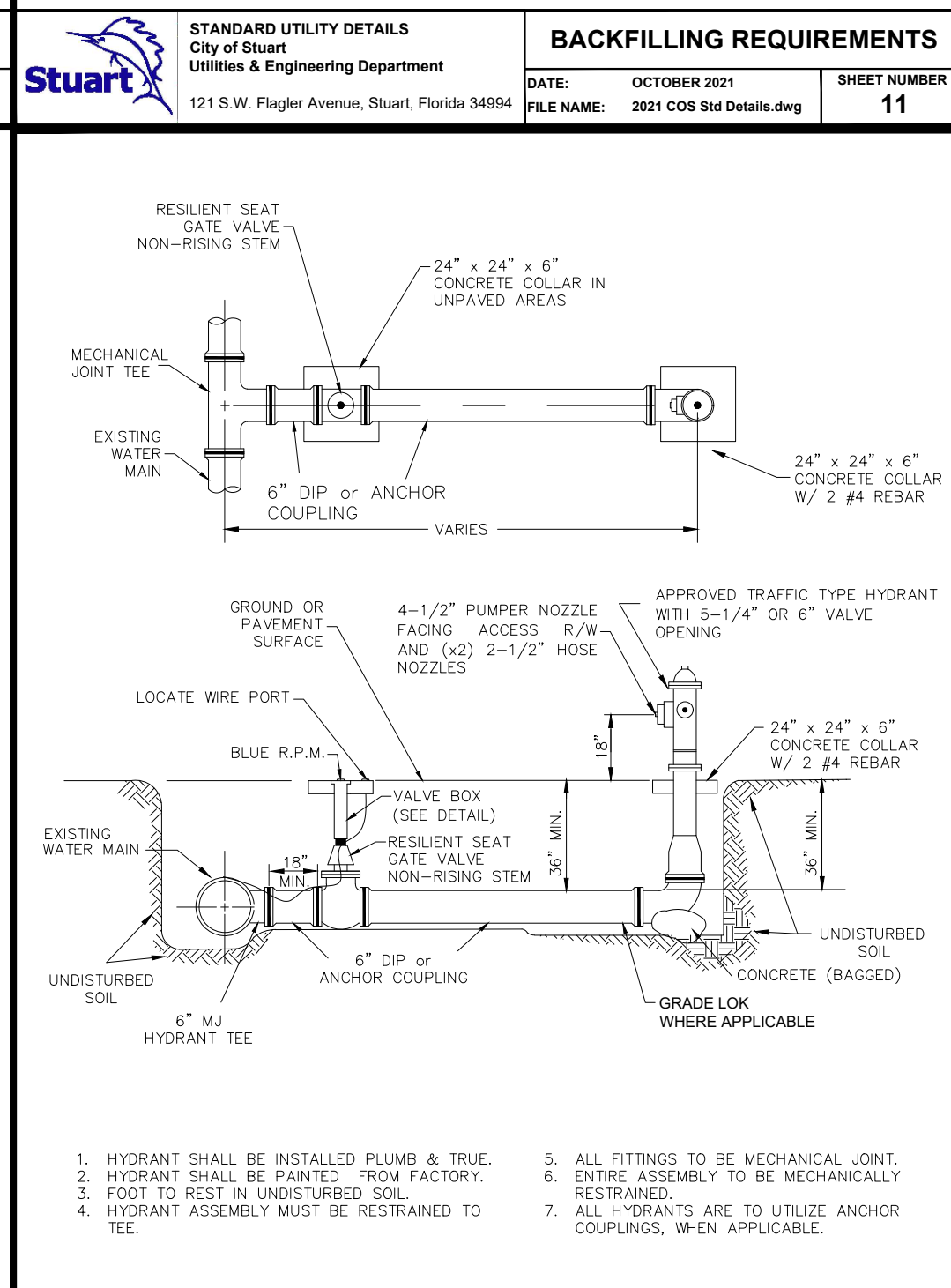
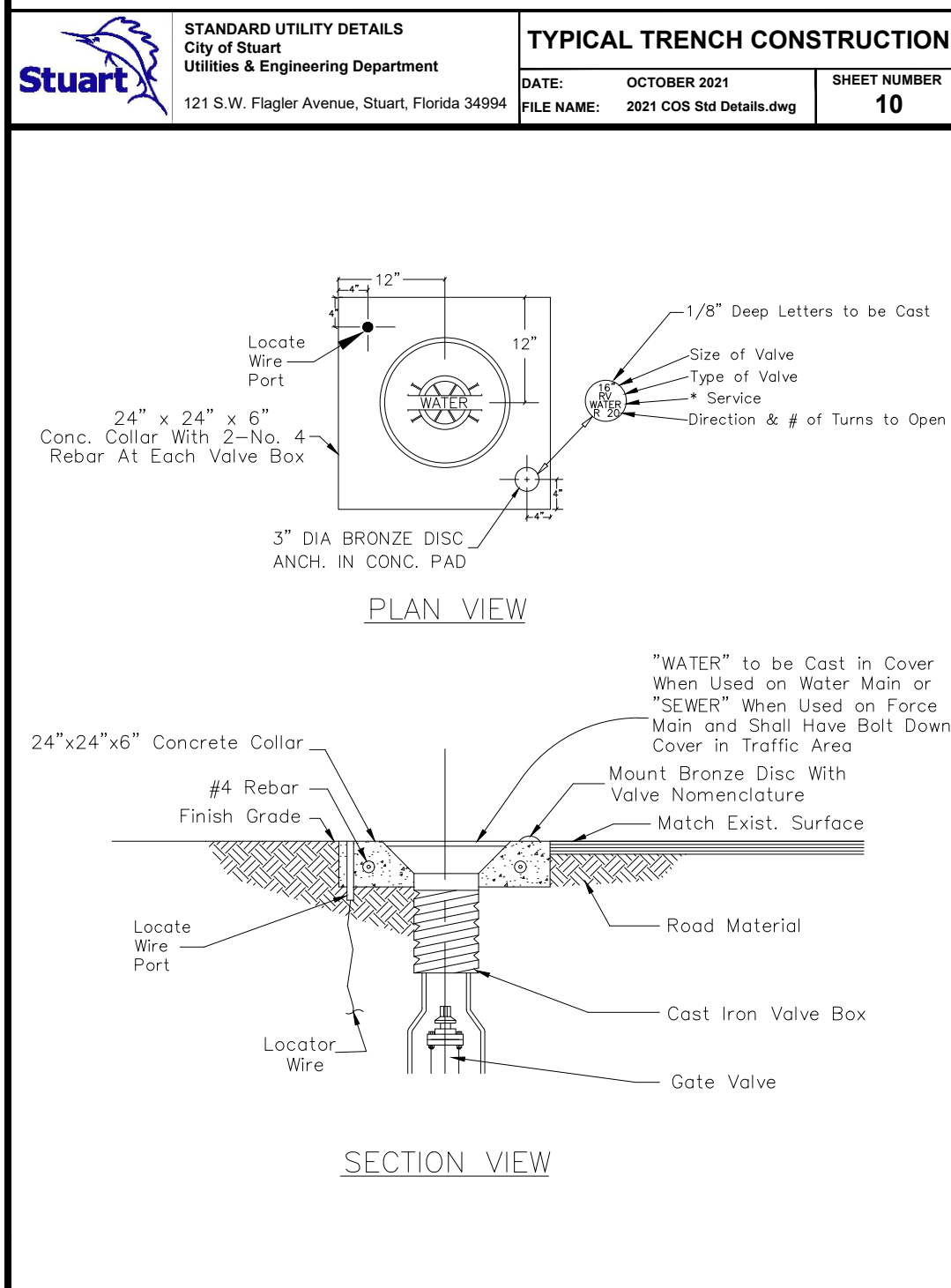
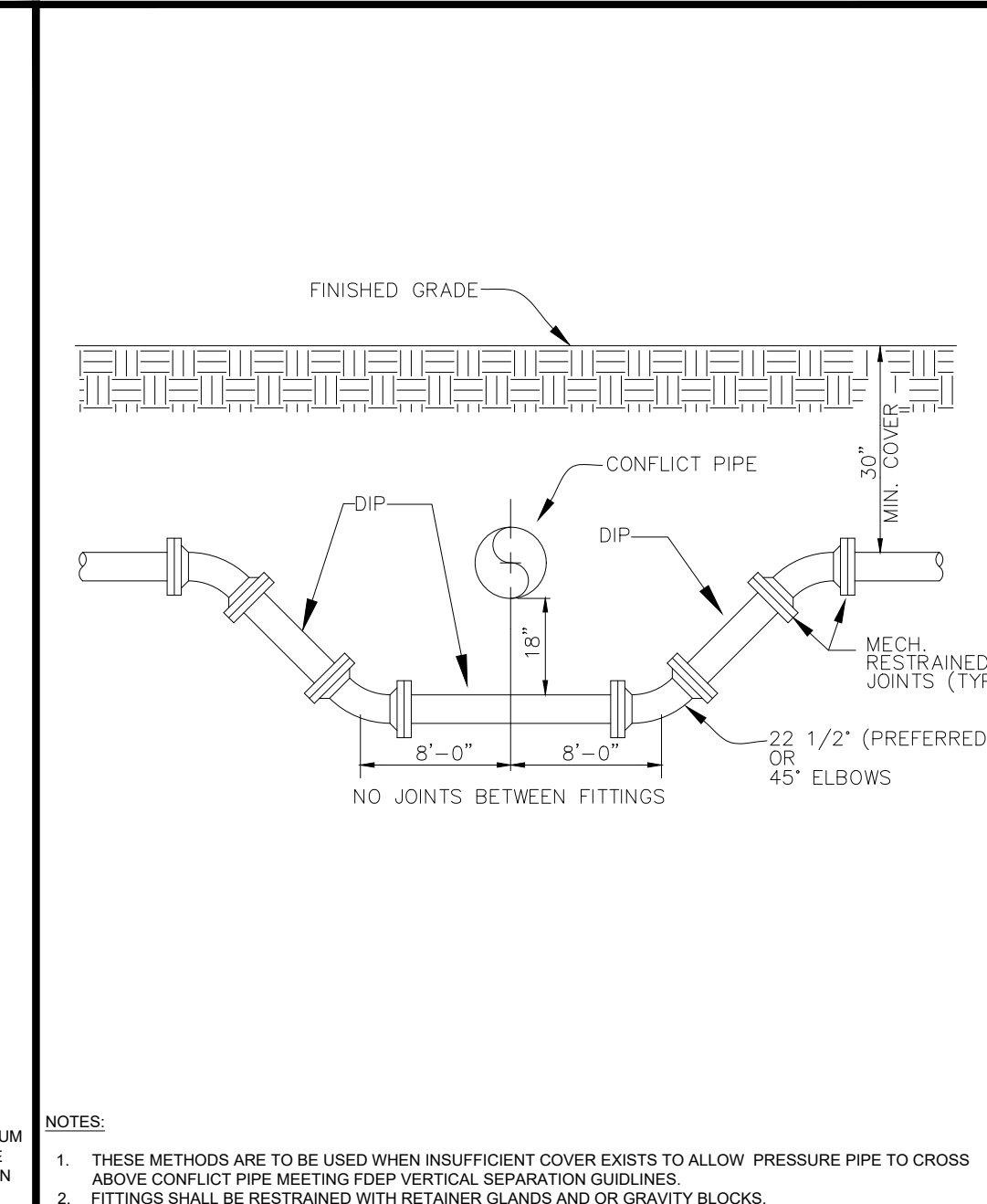
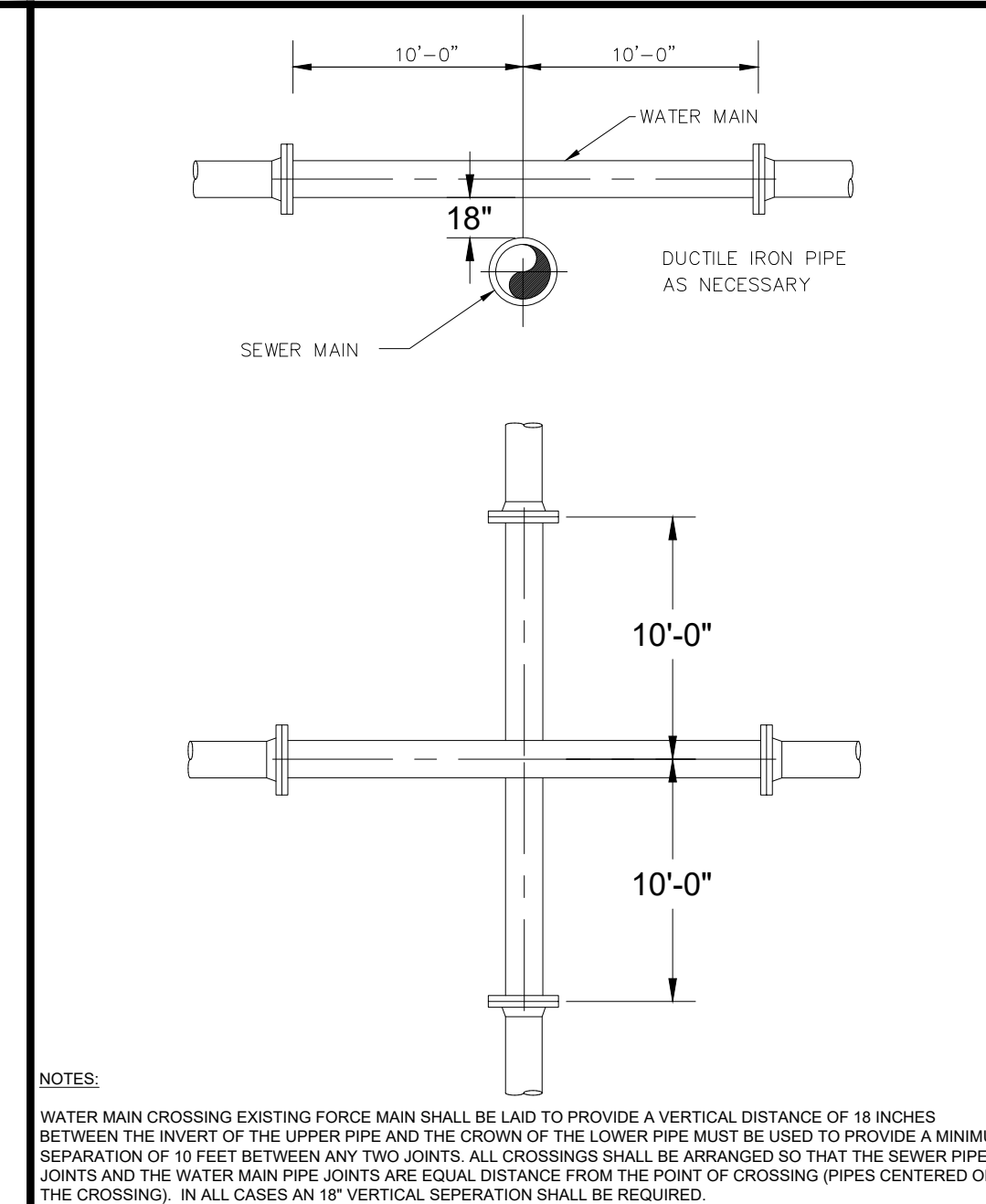


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MIN. LENGTH (IN FEET) OF PIPE TO BE RESTRAINED
(SOURCES: EBMA RION RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC PIPE, RELEASE 3.1, AND DIPA THUST RESTRAINT FOR DUCTILE IRON PIPE, RELEASE 3.2)

FITTING TYPE	PIPE SIZE									
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° HORIZ. BEND	14	20	28	30	35	45	54	62	72	81
45° HORIZ. BEND	6	8	11	13	15	19	22	26	30	34
22.5° HORIZ. BEND	3	4	5	6	7	9	11	12	14	16
11.25° HORIZ. BEND	1	2	3	3	4	5	6	7	8	9
90° VERT. OFFSET	29	41	53	64	74	95	115	134	153	172
45° VERT. OFFSET	7	10	13	16	19	25	30	35	41	47
22.5° VERT. OFFSET	3	4	6	7	8	10	12	15	17	20
11.25° VERT. OFFSET	1	2	4	4	4	5	6	7	8	9
PLUG (DEAD END)	32	45	59	70	83	107	129	151	173	195
IN-LINE VALVE	32	45	59	70	83	107	129	151	173	195
8"X 6"	23	—	—	—	—	—	—	—	—	—
6"X 8"	21	35	—	—	—	—	—	—	—	—
8"X 8"	18	34	47	—	—	—	—	—	—	—
10"X 8"	16	32	46	58	—	—	—	—	—	—
12"X 8"	13	30	44	57	69	—	—	—	—	—
16"X 8"	7	26	41	55	67	90	—	—	—	—
20"X 8"	1	21	38	52	65	88	109	—	—	—
24"X 8"	1	16	28	40	52	68	108	129	—	—
30"X 8"	1	8	20	44	58	83	106	127	—	—
36"X 8"	1	1	22	39	54	80	103	124	—	—
42"X 8"	1	1	15	33	49	77	100	122	—	—
48"X 8"	1	1	7	27	44	73	97	120	—	—
6"X 8"	23	—	—	—	—	—	—	—	—	—
8"X 8"	38	25	—	—	—	—	—	—	—	—
10"X 8"	57	45	24	—	—	—	—	—	—	—
12"X 8"	72	60	44	41	—	—	—	—	—	—
16"X 8"	99	80	78	75	45	—	—	—	—	—
20"X 8"	123	116	107	105	81	45	—	—	—	—
24"X 8"	146	140	132	131	111	82	45	—	—	—



ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
13041 McGregor Boulevard
Fort Myers, FL 33919
239.481.1331

APP JET CENTER - HANGAR 10
WITHAM FIELD STUART, FLORIDA

DETAILS

DATE: 2024.06.28 SCALE: AS NOTED
DRAWN BY: AT/BQ DESIGNED BY: DG/AB/QV CHECKED BY: RB
PROJECT NO: 2011761 ENGINEERING BUSINESS REGISTRY: 32664
DRAWING NO: C-504

JOHN O. SMITH
LICENSE No. 93793
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Dwg 107
Revised: AUGUST 2016

Dwg 108
Revised: AUGUST 2016

Dwg 109
Revised: AUGUST 2016

Dwg 110
Revised: AUGUST 2016

Dwg 111
Revised: AUGUST 2016


Dwg 112
Revised: AUGUST 2016

LIFT STATION DETAIL

- ### GENERAL NOTES:
1. PUMPING UNITS SHALL BE LOCATED SO THAT SURFACE WATER RUN OFF SHALL NOT INTERFERE WITH ELECTRICAL COMPONENTS.
 2. MANUFACTURER SHALL SUPPLY AND ATTACH ELECTRICAL CONTROL PANEL SCHEMATIC TO INSURE FASE AND CONTROL PANEL DOOR.
 3. LIFT STATION AND CONTROL PANEL SHALL BE LOCATED SO THAT BOTH ARE ACCESSIBLE FOR MAINTENANCE.
 4. WATER HOSE BIB SHALL BE PROVIDED FOR MAINTENANCE OPERATIONS W/ BACKFLOW PREVENTER.
 5. AIR RELEASE VALVE AND/OR VACUUM RELIEF VALVES SHALL BE PROVIDED ON ALL LOW PRESSURE FORCE MAIN INSTALLATION IMMEDIATELY UPSTREAM OF DISCHARGE POINT TO REGIONAL GRAVITY OR FORCE MAIN SYSTEMS.
 6. FORCE MAIN MARKING TAPE OR MAGNETIC LOCATING DEVICES WILL BE INSTALLED ON FORCE MAIN, VALVE AND/OR MANHOLE OR MAX BURIED DEPTH.
 7. FORCE MAIN SHALL HAVE TRACER WIRE #10 AWG, SOLID COPPER TYPE THIN W/ GREEN INSULATION SECURED TO PIPE.


CITY OF STUART
WASTEWATER CONSTRUCTION NOTES

4. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF ST. LOUIS.
5. THE SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) SDR-26 GREEN IN COLOR.
6. THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY, THE CONTRACTOR SHALL UTILITY ROOF TO PROVIDE A FIRM AND SUFFICIENT MANHOLE FOUNDATION.
7. WATERLINE LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE CITY OF ST. LOUIS DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY THE CITY OF ST. LOUIS. THE CONTRACTOR SHALL SUBMIT A PROPOSED BACKFILLING AND COMPACTING REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
8. A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
9. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICE TIE WEED, DRAINAGE OF SERVICES, LOCATION OF ANY FITTINGS, FINAL AND INTERIM MANHOLE AND LATERAL, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE STRUCTURES CONSTRUCTED UNDER THIS PROJECT.
10. MAINTAIN 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
11. WATERFORCE FORCE MAINS, WATERFORCE COLLECTION LINES, AND STORM SEWER SHOULD CROSS UNDER ALL OTHER WATER MAINS. THE MINIMUM VERTICAL DISTANCE BETWEEN THE TOP OF THE WATER MAINS AND THE MINIMUM SEPARATION CANNOT BE MAINTAINED. THE CROSSING SHALL BE ARRANGED SO THAT THE WATERMAIN CROSSING SHALL BE UNDER THE FORCE MAIN. THE FORCE MAIN SHALL BE CONSTRUCTED OF 60" IP AT THE CROSSING. SUFFICIENT LENGTH OF DIP MUST BE USED TO MAINTAIN THE MINIMUM VERTICAL DISTANCE BETWEEN THE TOP OF THE WATER MAINS AND THE TOP WITHIN 2 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED A MINIMUM VERTICAL CLEARANCE OF 6 FEET.
12. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, CITY OF ST. LOUIS UTILITY & ENGINEERING DEPT., COUNTY/STAFF AND ANY OTHER NECESSARY AGENCY SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
13. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL FROM THE ENGINEER, CITY, OR COUNTY OFFICIALS.
14. TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) STANDARD SPECIFICATIONS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF ST. LOUIS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
16. WATERFORCE FORCE MAIN SHALL BE GREEN IN COLOR. WATERFORCE FORCE MAIN SHALL HAVE THIN WIRE, CLASS 150, DR 12 (12" AND SMALLER), OR DR 21, (24" AND 30" (14" AND LARGER)).
17. FITTINGS SHALL BE CAST OR DUCTILE IRON, CONFORMING TO AASHTO M 110 AND ANSI A21.1, CLASS 200 MINIMUM, CEMENT LINED, AND EPOXY COATED.
18. WATERFORCE FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS CROSS MARKS (GREEN IN COLOR) PERMANENTLY LOCATED AT THE CENTER OF THE FORCE MAIN.

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CITY OF STUART
WASTEWATER CONSTRUCTION NOTES

17. MINIMUM COVER SHALL BE 48 INCHES. PIPES WITHOUT COVER REQUIRE PRIOR APPROVAL OF THE ENGINEER AND CITY OF STUART AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
18. ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED.
19. THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.
20. PRIOR TO ANY TESTING, ALL MAINS 3 INCHES IN DIA. AND LARGER SHALL HAVE A LINE SIZE SWAB PASSED THROUGH THE ENTIRE LENGTH OF THE LINE. NOTE: SWAB SHOULD BE PLACED IN 15' JOINT OF NEW LINE. END OF MAIN SHOULD BE "TURNED UP" AT 45° AND EXTENDED SO THAT SWABBING AND A FULL BORE FLUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSY. CAN THERE BE PLACED WHERE LINES BRANCH. SWABS BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.

 STANDARD UTILITY DETAILS City of Stuart Utilities & Engineering Department 121 S.W. Flagler Avenue, Stuart, Florida 34904	WASTEWATER CONSTRUCTION NOTES	
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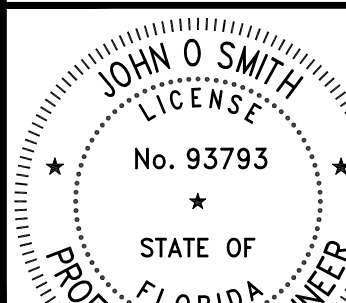
STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS

1. **SANITARY SEWER, FORCE MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE LOWER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.**
- WHERE SANITARY SEWER, FORCE MAINS, STORM SEWERS MUST CROSS A WATER MAIN LESS THAN 12 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DIP AT THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS; SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES EXTENDING FROM THE CROSSING).
- WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 12 INCHES VERTICAL CLEARANCE, THE NEW PIPES SHALL BE CONSTRUCTED OF DIP EXCEPT STORM SEWERS AND NEW PIPES SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
2. A MINIMUM 14'-00" HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAINS.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 14'-00" HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE CONSTRUCTED WITH A TRENCH ON A UNDISTURBED FATHOM SHEET LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP. THE WATER MAIN SHALL ALWAYS BE ABOVE THE SEWER JOINTS ON THE FORCE MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE SEWER JOINTS TO MINIMIZE CORROSION PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN ENGINEER.

 STANDARD UTILITY DETAILS City of Stuart Utilities & Engineering Department 121 S.W. Flagler Avenue, Stuart, Florida 34994	WATER & SEWER CONFLICT NOTE	
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- NOTES:
1. DIRECTIONAL DRILLS SHALL BE COMPLETED USING DRILL HOPE PIPE, IPS SIZE: FOR WATER AND SANITARY FORCE MAIN
 2. IPS SIZE: FOR VACUUM SEWER
 3. ALL DIRECTIONAL DRILLS SHALL BE AT A DEPTH OF 10X PIPE DIAMETER BELOW THE ROADWAY SURFACE OR 4' MINIMUM WHICHEVER IS GREATER.
 4. ALL HOLES MUST BE COLOR CODED (SAFETY BLUE=WATER, SAFETY GREEN FOR SEWER AND PANTONE PURPLE FOR RECLAIMED WATER); BUTT FUSION WELDED, AND CONNECTED WITH HOPE-NU ADAPTER.
 5. TO GUAGE SLOPE COPPER LOCATING WIRES SHALL BE TAPPED TO PIPE FROM VALVE TO VALVE AT A SPACING NO GREATER THAN 5 FEET AND PULLED WITH THE PIPE. SEE DET 17 FOR ADDITIONAL DETAILS
 6. GRAVITY SEWER BORES AS PREAPPROVED BY OWA.

DIRECTIONAL DRILLING DETAIL

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
ISSUED FOR REGULATORY REVIEW NOT FOR CONSTRUCTION				
		HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING		
WWW.HALEYWARD.COM		13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331		
PROJECT				
APP JET CENTER - HANGAR 10 WITHAM FIELD STUART, FLORIDA				
TITLE				
DETAILS				
	DATE		SCALE	AS NOTED
	2024.06.28			
	DRAWN BY	DESIGNED BY	CHECKED BY	
	AT/BQ	DG/AV/BQ	RB	
	PROJECT No.	ENGINEERING BUSINESS REGISTRY:		
	2011761	32664		
	DRAWING No.	REV.		

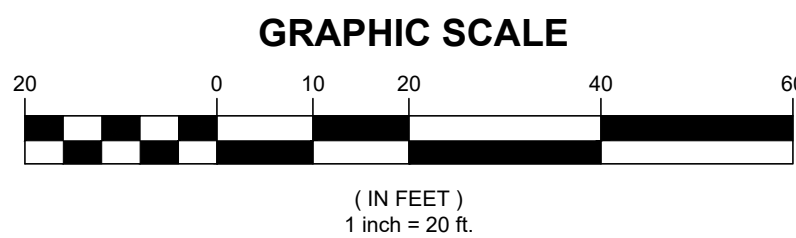
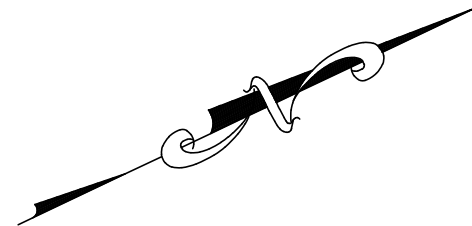
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NOTE:

- CONTRACTOR TO FIELD VERIFY LOCATION SIZE AND DEPTH OF ALL EXISTING UTILITY AND DRAINAGE INFRASTRUCTURE PRIOR TO BEGINNING CONSTRUCTION.
- ANY CHANGES TO THE FINISH FLOOR ELEVATIONS (FFE) MUST BE APPROVED BY THE ENGINEER BEFORE VERTICAL CONSTRUCTION BEGINS.
- THE FINISH FLOOR ELEVATIONS (FFE) IS THE LOWEST POINT OF THE STRUCTURE.
- CONTRACTOR TO NOTIFY ENGINEER/INSPECTOR 48 HOURS BEFORE ANY INSPECTION.
- ALL COMMUNICATIONS WITH ANY OF THE MUNICIPALITIES MUST GO THROUGH THE ENGINEER'S OFFICE.
- (PRIVATE) REFERS TO A FIRE LINE MAINTAINED BY ONSITE PERSONNEL FROM THE AIRPORT LEASE HOLDERS (PUBLIC) REFERS TO A WATERMAIN OWNED AND MAINTAINED BY THE CITY OF STUART UTILITIES DEPARTMENT.
- A 15' UTILITY EASEMENT IS REQUIRED OVER ALL CITY OF STUART (PUBLIC) OWNED INFRASTRUCTURE.
- ALL PROPOSED UTILITY INFRASTRUCTURE TO BE CONNECTED TO CITY OF STUART MUST BE INSPECTED PRIOR TO BACKFILL... ALL TO BE CONSTRUCTED PER CITY OF STUART SPECS.



REV	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
<div><div><div>HALEY WARD</div><div>ENGINEERING ENVIRONMENTAL SURVEYING</div><div>WWW.HALEYWARD.COM</div></div><div><div>13041 McGregor Boulevard Fort Myers, FL 33919 239.481.1331</div></div></div>				
PROJECT				
APP JET CENTER WITHAM FIELD STUART, FLORIDA				
TITLE				
UTILITY PLAN				
		DATE	SCALE	
		2024-3-13	AS NOTED	
		DRAWN BY	DESIGNED BY	CHECKED BY
		AT/BQ	DG/AV	RB
		PROJECT No.		ENGINEERING BUSINESS REGISTRY:
2011761		32664		
DRAWING No.			REV.	
C-106				