

# WEST MARKET LOT 10

## WEST MARKET LOT 10 14230 WEST COLONIAL DRIVE WINTER GARDEN, FLORIDA 34787

### CIVIL:

#### CONELLY & WICKER INC.

10060 SKINNER LAKE DR., SUITE 500  
JACKSONVILLE, FL 32246

PHONE: (407) 261-3100  
CONTACT: AUTUMN M. HUBSCH, PE

### ARCHITECTURE, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL:



#### C4 ARCHITECTURE, LLC

135 WEST CENTRAL BLVD. SUITE 400  
ORLANDO, FLORIDA 32801  
PHONE: (407) 363-6136

ARCHITECTURE CONTACT: RONNY ZAMBRANO  
EMAIL: RZAMBRANO@C4ARCHITECTURE.COM

STRUCTURAL CONTACT: JONATHAN D. COLLINS, PE, SI  
EMAIL: JCOLLINS@C4ARCHITECTURE.COM

MECHANICAL & PLUMBING CONTACT: JOSE ZAMOT, PE  
EMAIL: JZAMOT@C4ARCHITECTURE.COM

ELECTRICAL CONTACT: DREW LILES, PE  
EMAIL: DLILES@C4ARCHITECTURE.COM



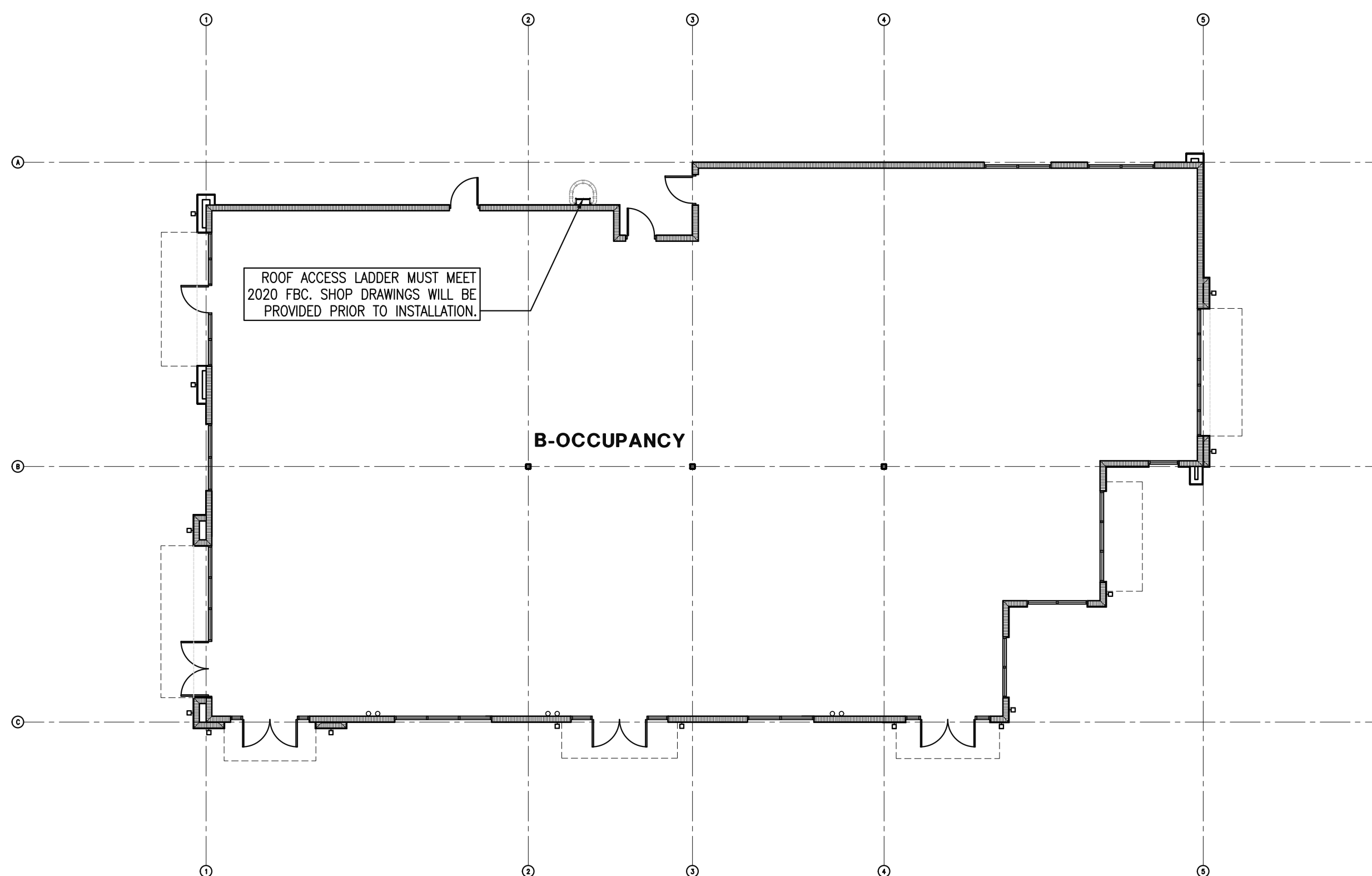
PROJECT  
LOCATION

VICINITY MAP

SCALE: N.T.S.

NOTE:  
"ANY AND ALL SIGNAGE DEPICTED WITHIN THESE DRAWINGS ARE SCHEMATIC IN NATURE. ANY APPROVAL RECEIVED FOR THIS BUILDING PERMIT DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY SIGN/SIGN STRUCTURE."

APPROVED SIGN PLAN. ALL PROPOSED SIGNAGE, INCLUDING SIGNAGE STRUCTURES, ARE REQUIRED TO SUBMIT A SEPARATE APPLICATION AND SHALL BE PROCESSED FOR REVIEW BY ZONING, BUILDING AND DEVELOPMENT ENGINEERING."



NOTE:  
FUTURE TENANT'S SPACES WILL BE CONSTRUCTED AT A LATER DATE UNDER SEPARATE PERMITS.

KEY PLAN

SCALE: N.T.S.

### CODE COMPLIANCE

#### BUILDING DATA:

NUMBER OF STORIES: ONE STORY  
MAXIMUM ALLOWABLE HEIGHT: 55'  
ACTUAL MAXIMUM HEIGHT: 23'-4.5"  
MAXIMUM ALLOWABLE BUILDING AREA:  
PER FBC-B TABLE 506.2 (B TYPE IIB) = 23,000 SQ.FT.  
ACTUAL BUILDING AREA: 5,996 SQ.FT.

### CODE INFORMATION

#### PROJECT SQUARE FOOTAGE:

BUSINESS (B) : 5,996 SQ.FT.  
TOTAL BUILDING SQ.FT. : 5,996 SQ.FT.

#### CONSTRUCTION TYPE:

TYPE II-B - UNPROTECTED, NON-SPRINKLERED (FBC)  
TYPE III(000) - UNPROTECTED, NON-SPRINKLERED (NFPA)

#### OCCUPANCY:

B - BUSINESS PER FLORIDA BUILDING CODE, SEVENTH EDITION (2020)

#### APPLICABLE BUILDING CODES:

- FLORIDA BUILDING CODE, SEVENTH EDITION (2020)
- FLORIDA ENERGY CODE, SEVENTH EDITION (2020) - 2016 ASHRAE 90.1
- FLORIDA MECHANICAL CODE, SEVENTH EDITION (2020)
- FLORIDA PLUMBING CODE, SEVENTH EDITION (2020)
- EXISTING BLDG. FLORIDA BUILDING CODE, SEVENTH EDITION (2020)
- FLORIDA ACCESSIBILITY CODE, SEVENTH EDITION (2020)
- FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION (2020)
- 2017 NATIONAL ELECTRIC CODE
- NFPA 101 LIFE SAFETY CODE, 2018 EDITION
- NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2018 EDITION

#### MUNICIPALITY:

WINTER GARDEN

#### PARCEL ID #:

27-22-27-9142-10-000

#### PROPERTY DESCRIPTION:

REFER TO CIVIL DWGS.

#### NOTES:

ROOF STRUCTURE IS NOT LIGHT GAUGE METAL FRAMING.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND INSTALL ALL NECESSARY COMPONENTS FOR THE PROPER OPERATION OF ALL SPECIFIED SYSTEMS, REGARDLESS OF WHETHER THOSE COMPONENTS ARE SHOWN ON THE DRAWINGS OR NOT. CONTRACTOR SHALL ALSO VERIFY THAT SPECIFIED COMPONENTS ARE COMPATIBLE WITH OTHERS WITHIN THE SAME SYSTEM AND WITH THE SYSTEM ITSELF.

"SEPARATE PERMITS REQUIRED FOR: DUMPSTER ENCLOSURE, SIGNS, SPRINKLERS, FIRE ALARM, AND BURGLAR ALARM."

"STRUCTURAL STEEL WORK SHALL BE INSPECTED AND CERTIFIED BY AN APPROVED 3RD PARTY PRIOR TO FRAMING INSPECTION."

STRUCTURAL STEEL WORK CERTIFICATION FROM 3RD PARTY INSPECTOR, DOCUMENTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO CD APPLICATION.

SUBMIT APPROVED SHOP DRAWINGS FOR ROOF JOISTS TO BUILDING DEPARTMENT PRIOR TO INSPECTION. (DETAILING FOR JOIST PLACEMENT AND SIZES ARE ON SUBMITTED PLANS)

#### NOTICE:

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

#### NOTES:

- USE FRT WOOD PRODUCTS FOR TYPE IIB CONSTRUCTION PER 2020 FBC 603.
- REFER TO SHEET A101 FOR OCCUPANCY CALCULATIONS

PROJECT NO.: 23432

DATE: 12/15/23

### SHEET INDEX

#### ARCHITECTURAL

12-15-23	COVER SHEET
12-15-23	A100 OVERALL ARCHITECTURAL SITE PLAN AND DUMPSTER DETAILS
12-15-23	A101 OVERALL LIFE SAFETY PLAN
12-15-23	A102 OVERALL ROOF PLAN
12-15-23	A201 OVERALL FLOOR PLAN
12-15-23	A202 DETAILS
12-15-23	A301 EXTERIOR ELEVATIONS
12-15-23	A302 EXTERIOR ELEVATIONS
12-15-23	A401 BUILDING WALL SECTIONS
12-15-23	A402 BUILDING WALL SECTIONS
12-15-23	A403 BUILDING WALL SECTIONS AND DETAILS
12-15-23	A501 DOOR SCHEDULE AND FRAME DETAILS

#### STRUCTURAL

12-15-23	S001 GENERAL NOTES
12-15-23	S002 DESIGN LOAD DATA
12-15-23	S101 FOUNDATION PLAN
12-15-23	S121 ROOF FRAMING PLAN
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12-15-23	S601 FOUNDATION SECTIONS AND DETAILS
12-15-23	S602 FOUNDATION SECTIONS AND DETAILS
12-15-23	S603 MANSORY SECTIONS AND DETAILS
12-15-23	S611 FRAMING SECTIONS AND DETAILS
12-15-23	S612 FRAMING SECTIONS AND DETAILS
12-15-23	S613 FRAMING SECTIONS AND DETAILS

#### MECHANICAL

12-15-23	M001 MECHANICAL GENERAL NOTES
12-15-23	M100 MECHANICAL FLOOR PLAN
12-15-23	M600 MECHANICAL DETAILS
12-15-23	M601 MECHANICAL DETAILS

#### PLUMBING

12-15-23	P001 PLUMBING GENERAL NOTES
12-15-23	P100 PLUMBING FLOOR PLAN
12-15-23	P600 PLUMBING DETAILS, SCHEDULES AND RISERS

#### ELECTRICAL

12-15-23	E100 ELECTRICAL NOTES, SPECS, SYMBOLS AND ABBREVIATIONS
12-15-23	E101 POWER RISER DIAGRAM, NOTES AND SPECIFICATIONS
12-15-23	E210 SITE POWER PLAN
12-15-23	E300 ELECTRICAL PLAN
12-15-23	E301 ELECTRICAL PLAN
12-15-23	E400 ELECTRICAL DETAILS
12-15-23	E401 UL DETAILS
12-15-23	E402 ELECTRICAL SCHEDULES

WEST MARKET LOT 10  
ISSUED FOR PERMIT  
23432

12-15-23





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Orlando, Florida 32801  
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A26001097  
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Revisions:	AS NOTED	Date:	12/15/23	Drawn By:	RZ	Checked By:	CRS
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**WEST MARKET LOT 10**  
WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

**OVERALL ARCHITECTURAL SITE PLAN AND DUMPSTER DETAILS**



Drawing Number:  
**A100**  
Of Sheets  
Issuance:  
A/E Job Number:  
**23432**

### GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS, WHERE MORE THAN ONE DOOR OCCURS IN A ROOM. "A" SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYP. BOARD).
- APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURING LIMIT HEIGHT L/120.
- ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE.
- FLOOR SHALL BE BROOM CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES.
- ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE PREMISES. THIS INCLUDES, BUT IS NOT LIMITED TO MOLD, ASBESTOS-CONTAINING MASTIC, TILE, PIPE, WRAP AND INSULATION.
- FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. CONTRACTOR TO COORDINATE NUMBER, TYPE AND LOCATION REQUIRED PER CODE AND CONFIRM WITH LOCAL FIRE MARSHAL.
- PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV AND TELEPHONE. COORDINATE WITH OWNER.
- PROVIDE CONDUIT WITH A PULL CORD CONNECTING TO THE MASTER POWER SERVICE. ALL PANEL METERS AND METER FEES SHALL BE FUTURE TENANT'S RESPONSIBILITY.
- PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
  - THRESHOLD SHALL BE 1/2" MAX.
  - DOORS FLOOR LEVEL CHANGE SHALL BE 1/2" MAX.
  - HARDWARE HEIGHT SHALL BE MIN. 36", MAX. 48" A.F.F.
  - DOOR LANDING SHALL BE 44" IN TRAVEL DIRECTION.
- ROOF ACCESS LADDER MUST MEET 2020 FBC. SHOP DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.
  - PROVIDE (1) COAT OF ASHFORD FORMULA CONCRETE SEALER ON ALL FLOORING.

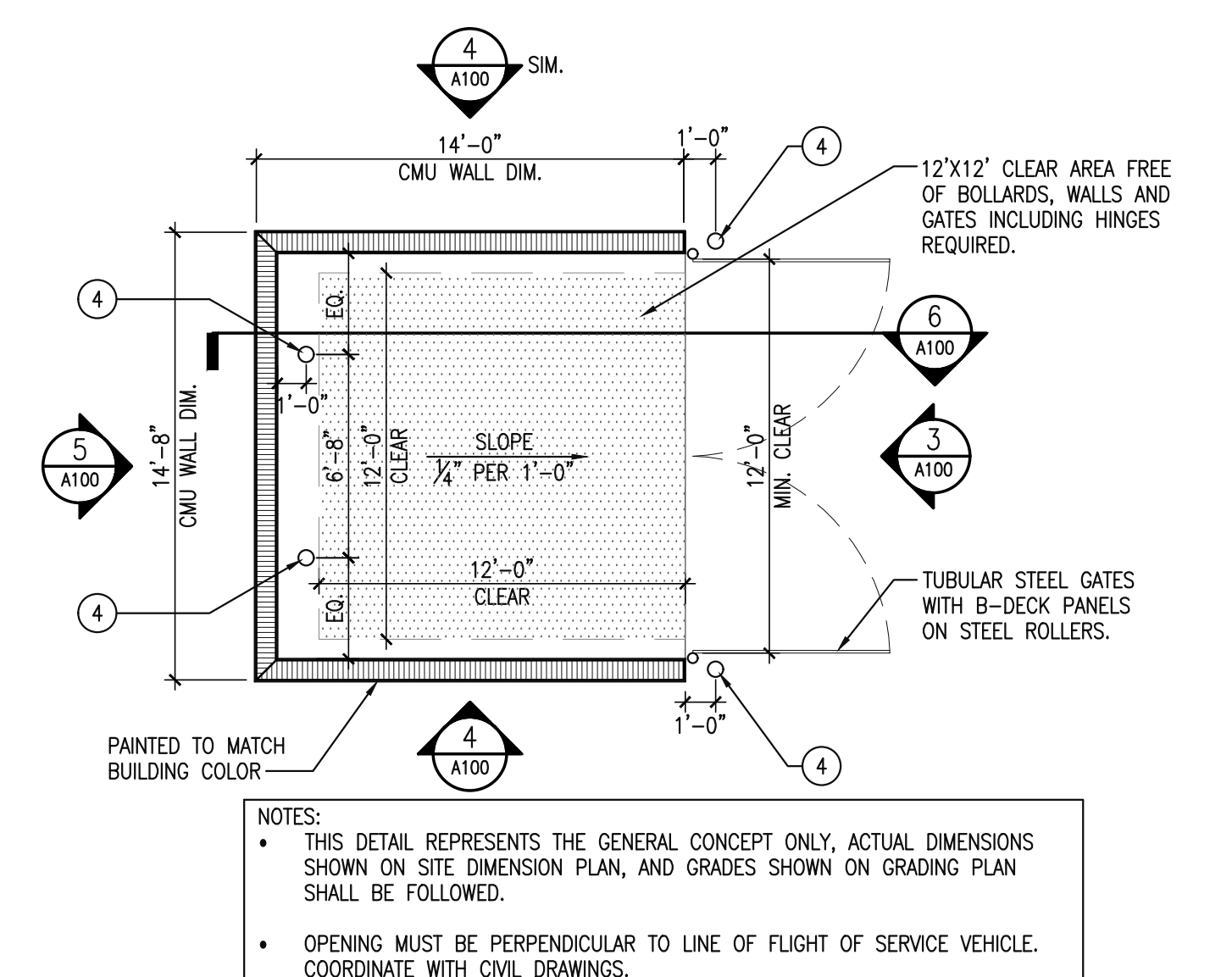
### PLAN NOTES:

- ROOF ACCESS LADDER - GALVANIZED (UNPAINTED). SEE STRUCTURAL DRAWINGS. VERTICAL LADDER W/ 1/2"x2 1/2" FLAT BAR RAILS 20" APART W/ 3/4" NON-SLIP RUNGS AT 12" O.C. AT LEAST 7" CLEAR FROM THE WALL. ANCHOR WITH 1/2"x2 1/2" L-SHAPED FLAT BAR AT 4'-0" O.C. MAXIMUM. (GALVANIZED). PROVIDE LOCKABLE, HINGED, VERTICAL ACCESS PROTECTION.
- NEW COLUMN MOUNTED OR WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT +48" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF #400BC FOR EVERY 3000SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
- FIRE DEPARTMENT ACCESS KEY LOCK BOX LOCATION RECESS IN TILT AT 6'-0" A.F.F.
- 6" DIA. CONCRETE FILLED PIPE BOLLARD 4'-0" TALL W/ ROUNDED CAP. ALSO LOCATE @ ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS. SEE 9/A100.
- TAPERED INSULATION TO ACHIEVE POSITIVE DRAINAGE.
- STEEL DOOR & FRAME.
- 2'-0" x 2'-0" OR ROLLED WALKPAD PROTECTION. VERIFY DISTANCE W/ OWNER. SEE DETAIL 4/A403.
- PRIMARY 4" ROOF DRAIN. SEE 1/A403 AND PLUMBING DWGS.
- OVERFLOW 4" ROOF DRAIN. DRAIN TO BE 2" HIGHER THAN PRIMARY DRAIN. SEE 1/A403 AND PLUMBING DWGS.
- ELECTRICAL PANEL LOCATION. SEE ELECTRICAL DRAWINGS.
- ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
- STONE VENEER. SEE PAINT/FINISH SCHEDULE.
- PRE-ENGINEERED PREFINISHED METAL AWNING. G.C. TO PROVIDE APPROVED SIGNED/SEALED SHOP DRAWINGS BY REGISTERED FL ENGINEER PRIOR TO INSTALLATION.
- PRE-ENGINEERED METAL DOCK CANOPY, DESIGNED AND PERMITTED BY OTHERS.
- HARDIE, FINE SANDED-GROOVED FINISH PANEL. SEE PAINT/FINISH SCHEDULE.
- STUCCO CONTROL JOINT, EQUALLY SPACED.
- ROOF DRAIN LEADER. SEE PLUMBING DRAWINGS.
- EXTERIOR WALL MOUNTED LIGHT FIXTURE, HINKLEY ROOK 20" HIGH SATIN BLACK LED WALL LIGHT, OR APPROVED EQUAL. COORDINATE LOCATIONS AND HEIGHT WITH ELECTRICAL FLOOR PLAN.
- ROOF CURBS, REFER MECHANICAL DRAWINGS.

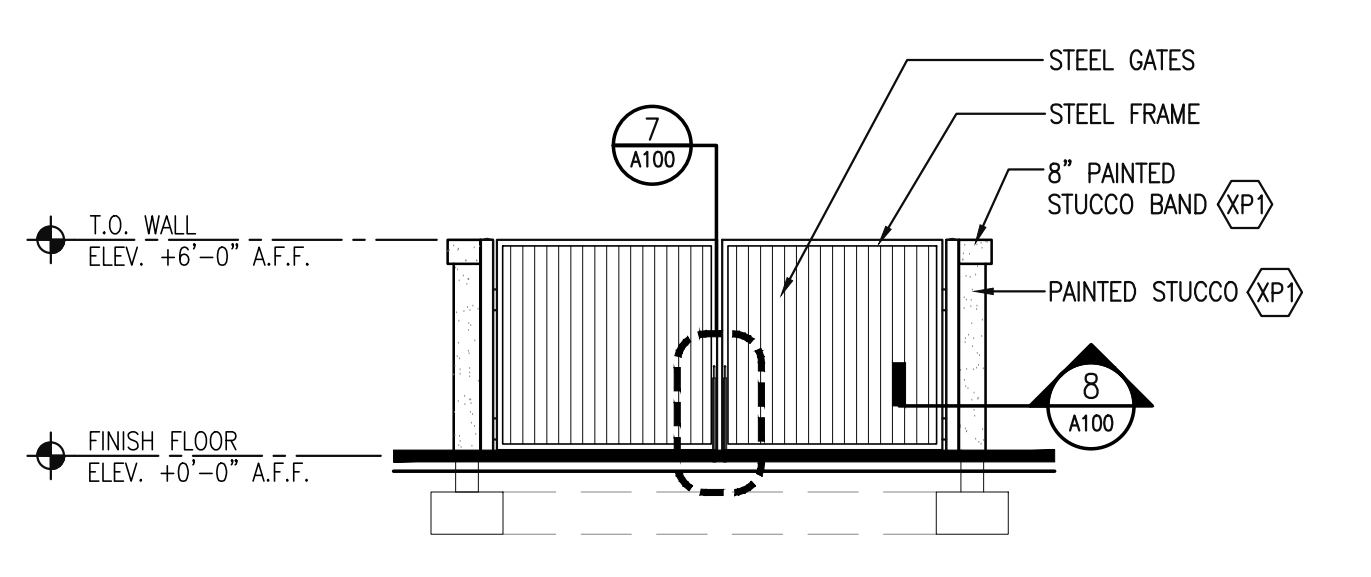
### PAINT/FINISH SCHEDULE:

- ALL PAINT TO BE SHERWIN WILLIAMS OR APPROVED EQUAL.
- PAINT ALL STUCCO WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR TILT WALLS TO BE PAINTED WHITE (NON-TEXTURE).
- PAINT ALL BOLLARDS AND GUARDS SAFETY YELLOW.
- PAINT ALL EXPOSED METAL SURFACES (IE. GRILLES, HEATERS, AND FIRE EXTINGUISHER CABINETS) TO MATCH ADJACENT SURFACE.
- DIRECT METAL PRIMER TO BE USED ON ALL GALVANIZED METAL.
- PROVIDE TINTED PRIMER FOR ALL TEXTURED COATING APPLICATIONS.
- PAINT FIRE RISERS RED.

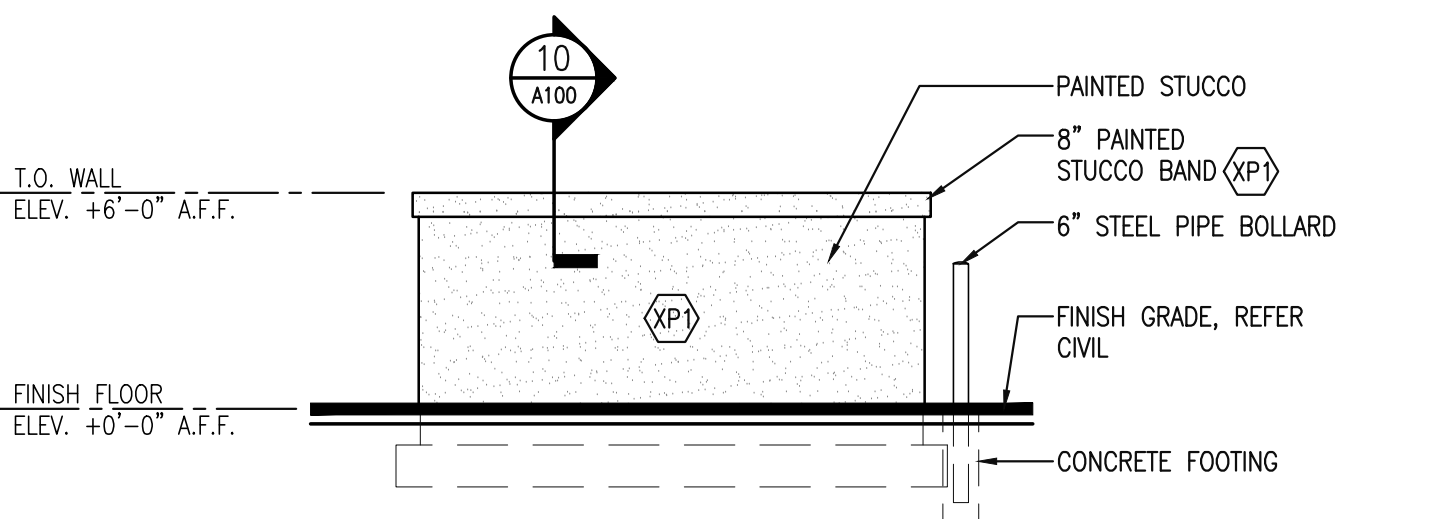
(XP1)	FIELD COLOR - COARSE TEXTURED SHERWIN WILLIAMS - 7006 EXTRA WHITE
(XP2)	ACCENT COLOR - COARSE TEXTURED SHERWIN WILLIAMS - 7064 PASSIVE
(XP3)	PREFABRICATED AND PREFINISHED ALUMINUM CANOPY. COLOR - TO BE DETERMINED BY OWNER
	STONE VENEER NATURAL LEDGESTONE GALAXY OR APPROVED EQUAL MFG: BRICK AMERICA COLOR: DARK GRAY
	HARDIE ARCHITECTURAL COLLECTION FINE SANDED-GROOVED FINISH PANEL OR APPROVED EQUAL MFG: JAMES HARDIE COLOR: GRAY SLATE NOTE: PROVIDE HARDIE TRIM BOARDS WHERE INDICATED COLOR WHITE/TO MATCH XP1



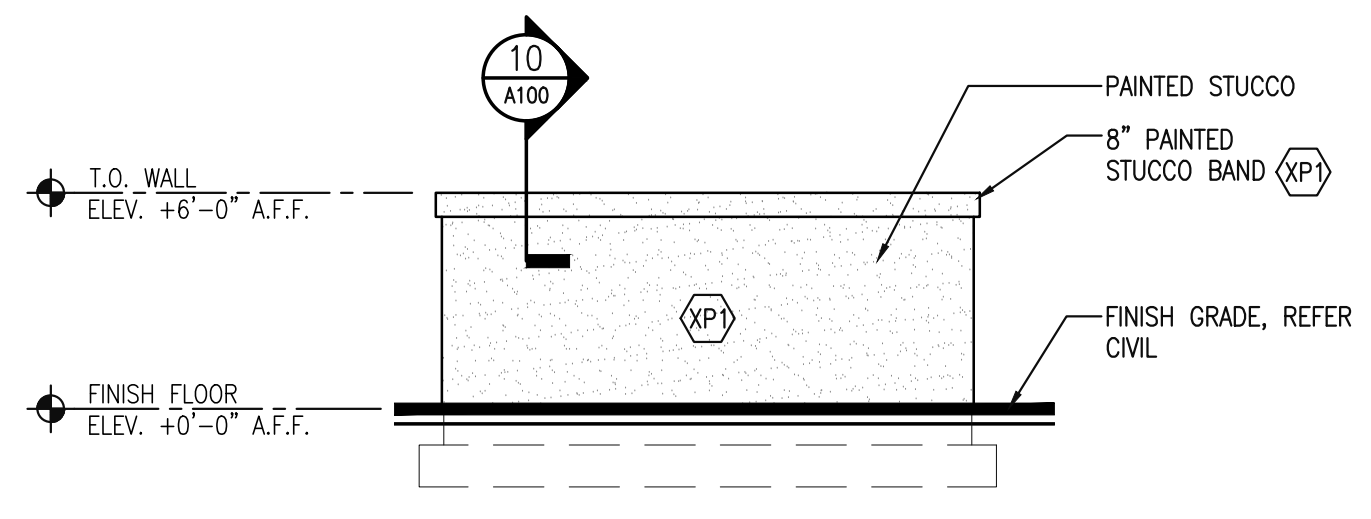
**2 DUMPSTER ENCLOSURE PLAN**  
SCALE: 3/16"=1'-0"



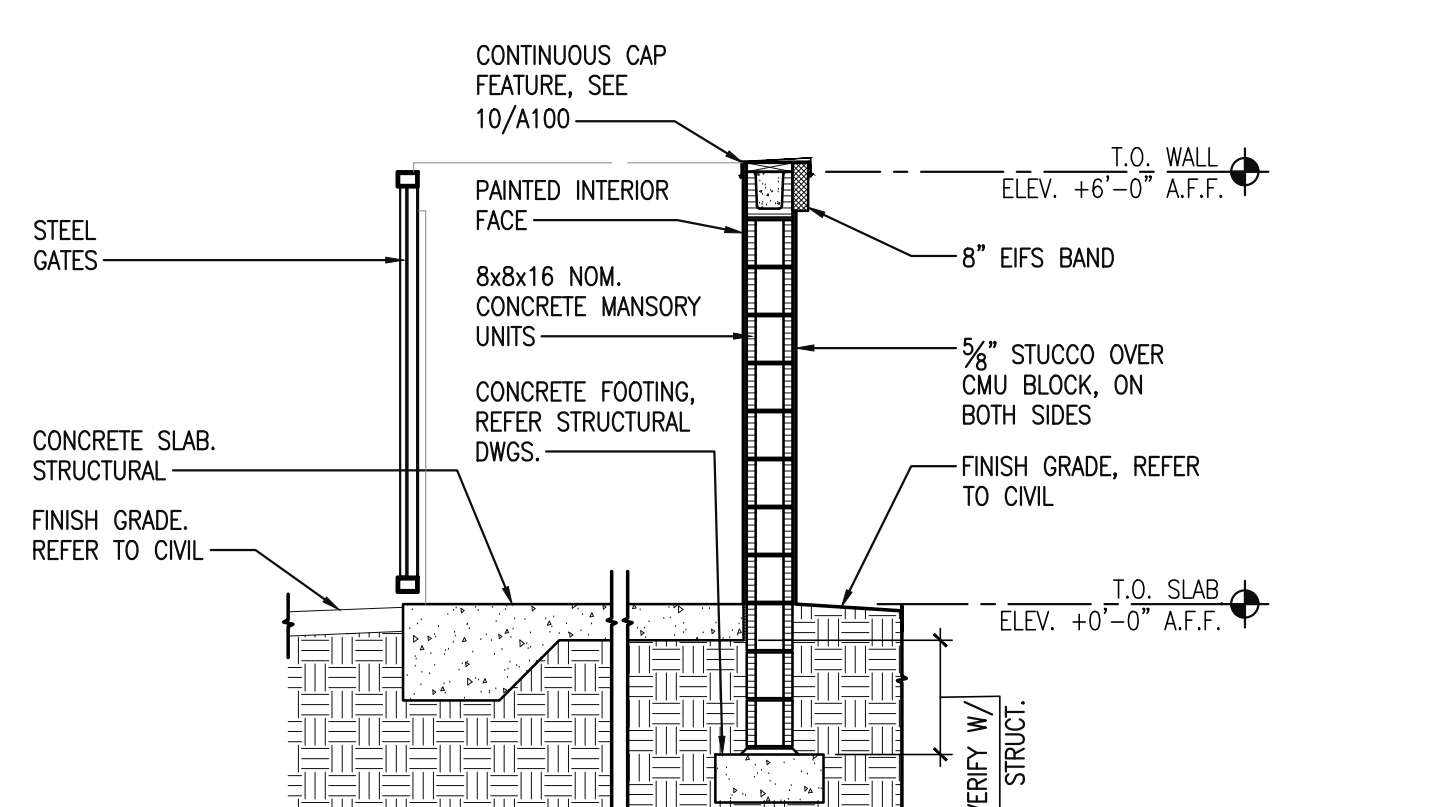
**3 ENCLOSURE ELEVATION**  
SCALE: 3/16"=1'-0"



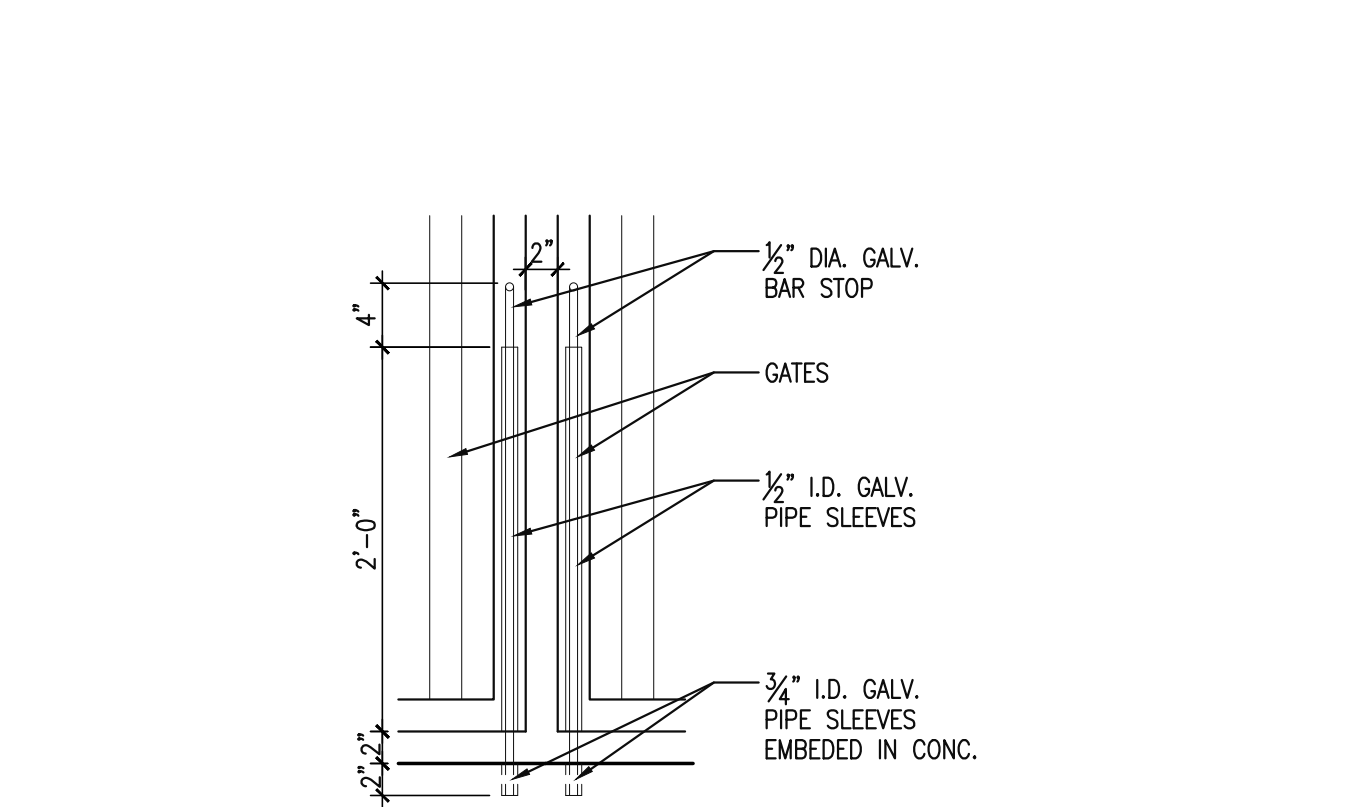
**4 ENCLOSURE ELEVATION**  
SCALE: 3/16"=1'-0"



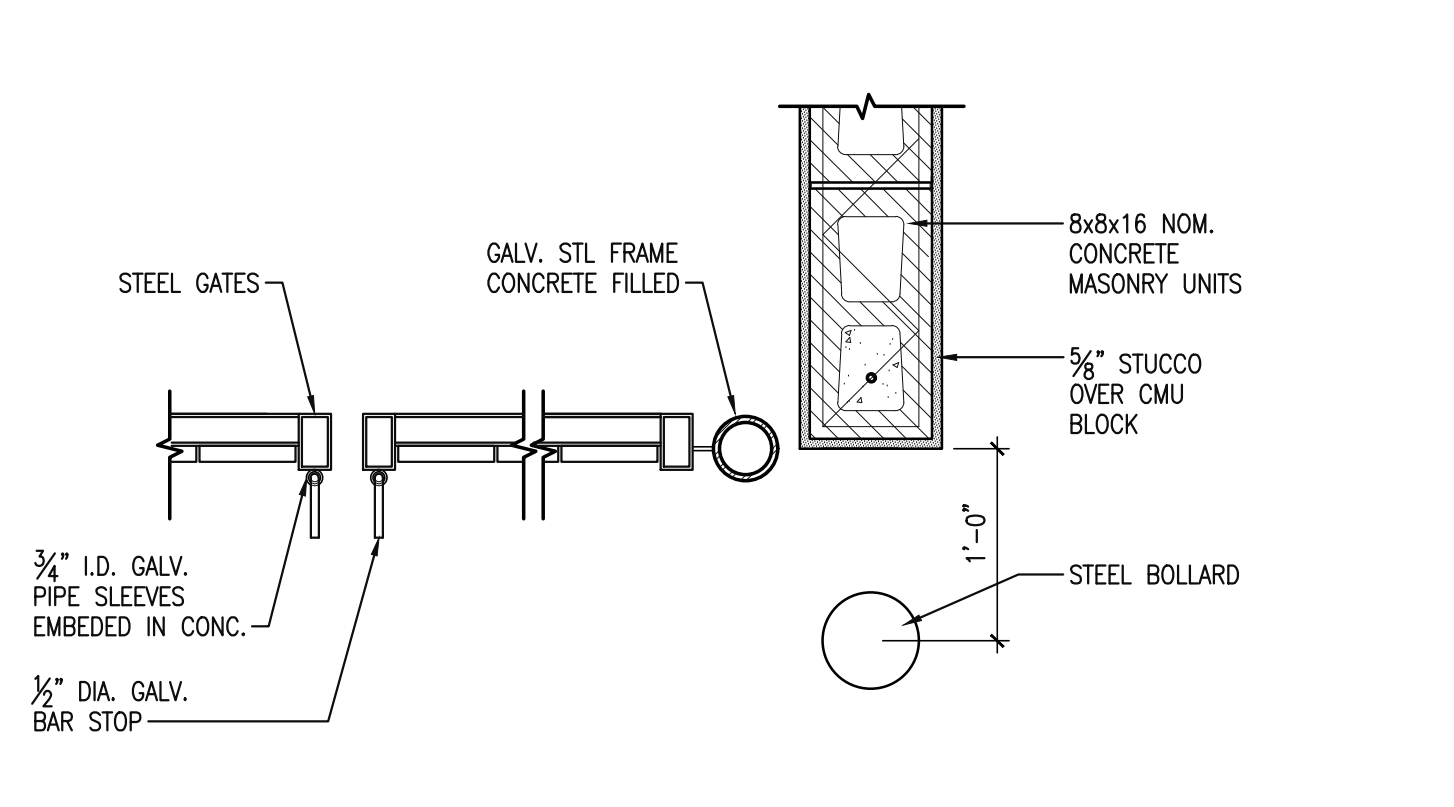
**5 ENCLOSURE ELEVATION**  
SCALE: 3/16"=1'-0"



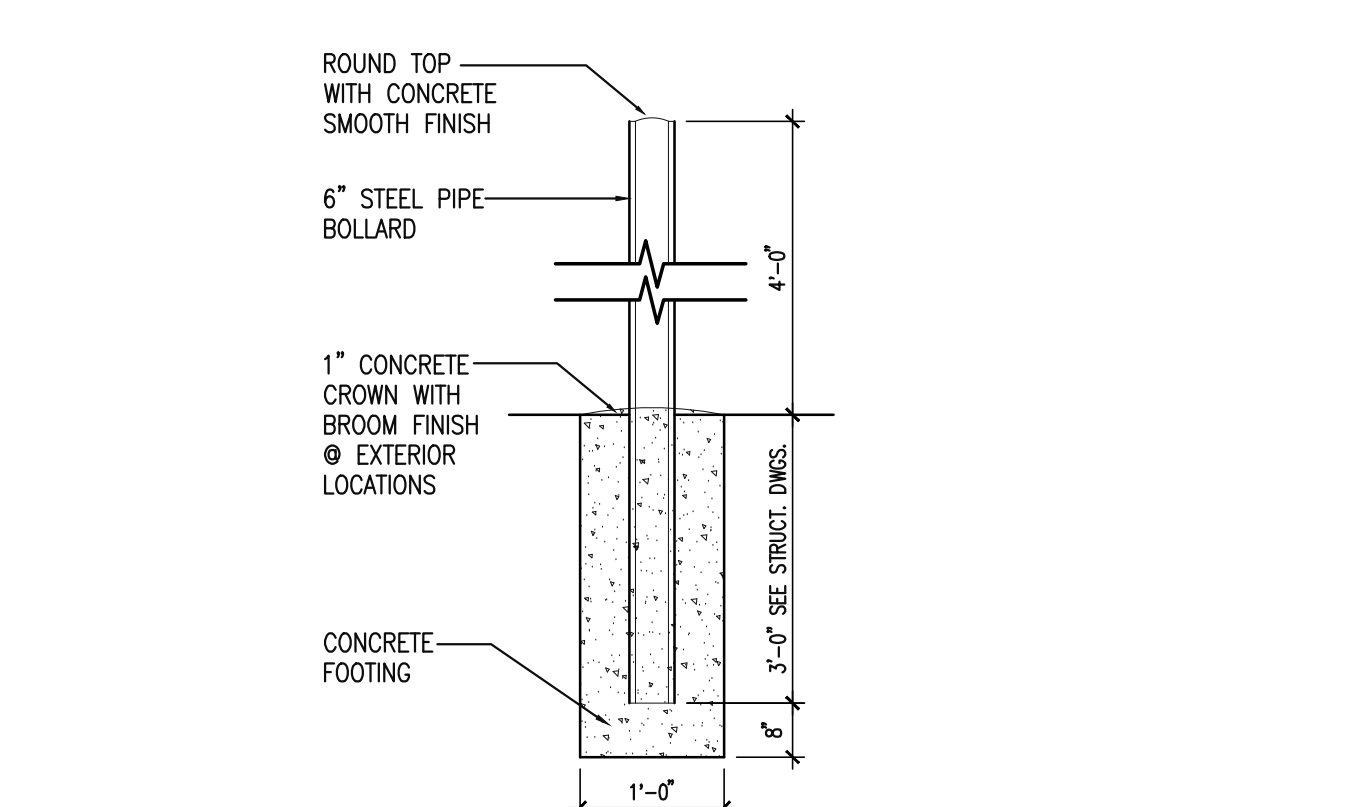
**6 WALL SECTION**  
SCALE: 3/8"=1'-0"



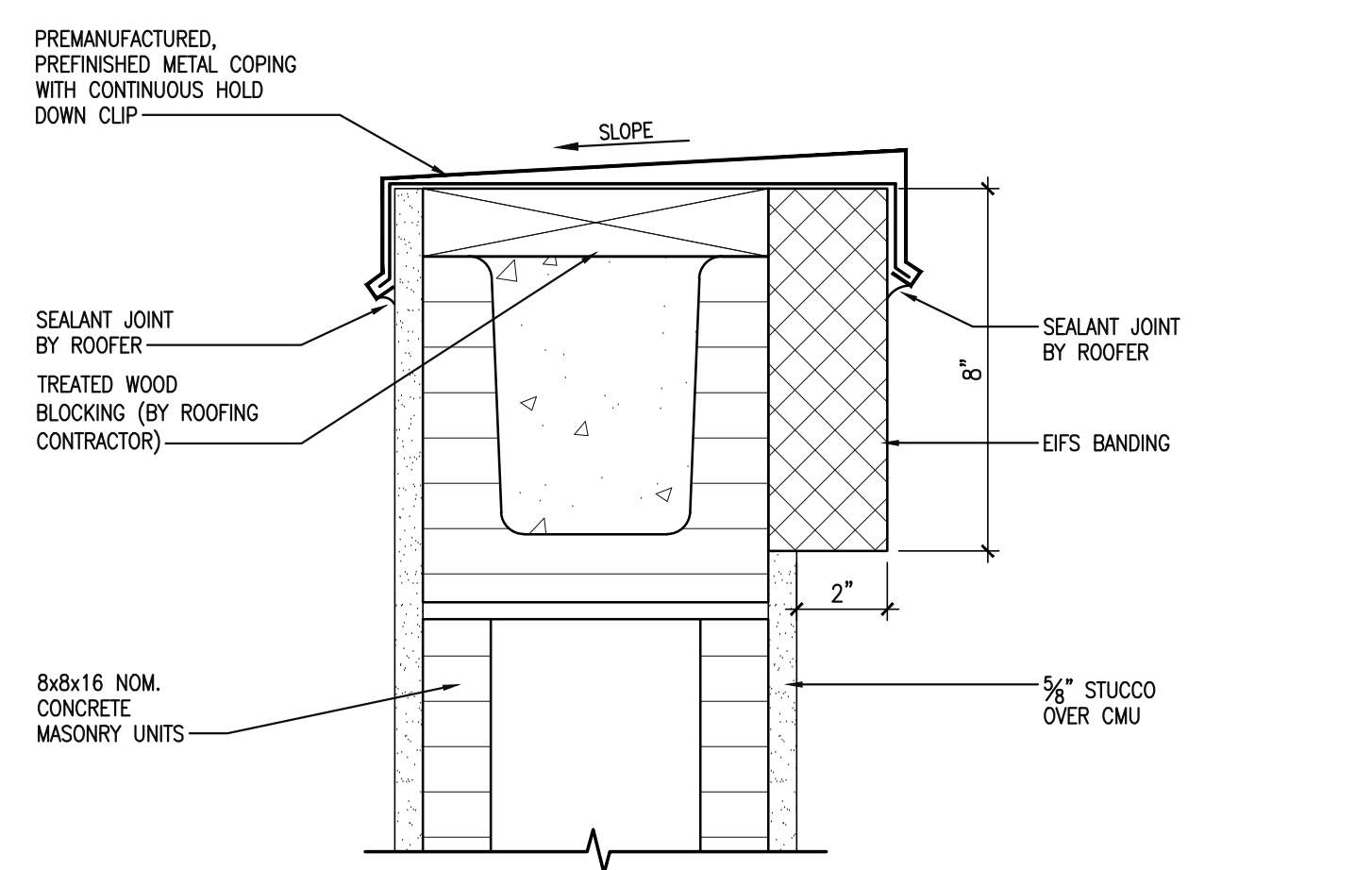
**7 LATCH DETAIL**  
SCALE: 1"=1'-0"



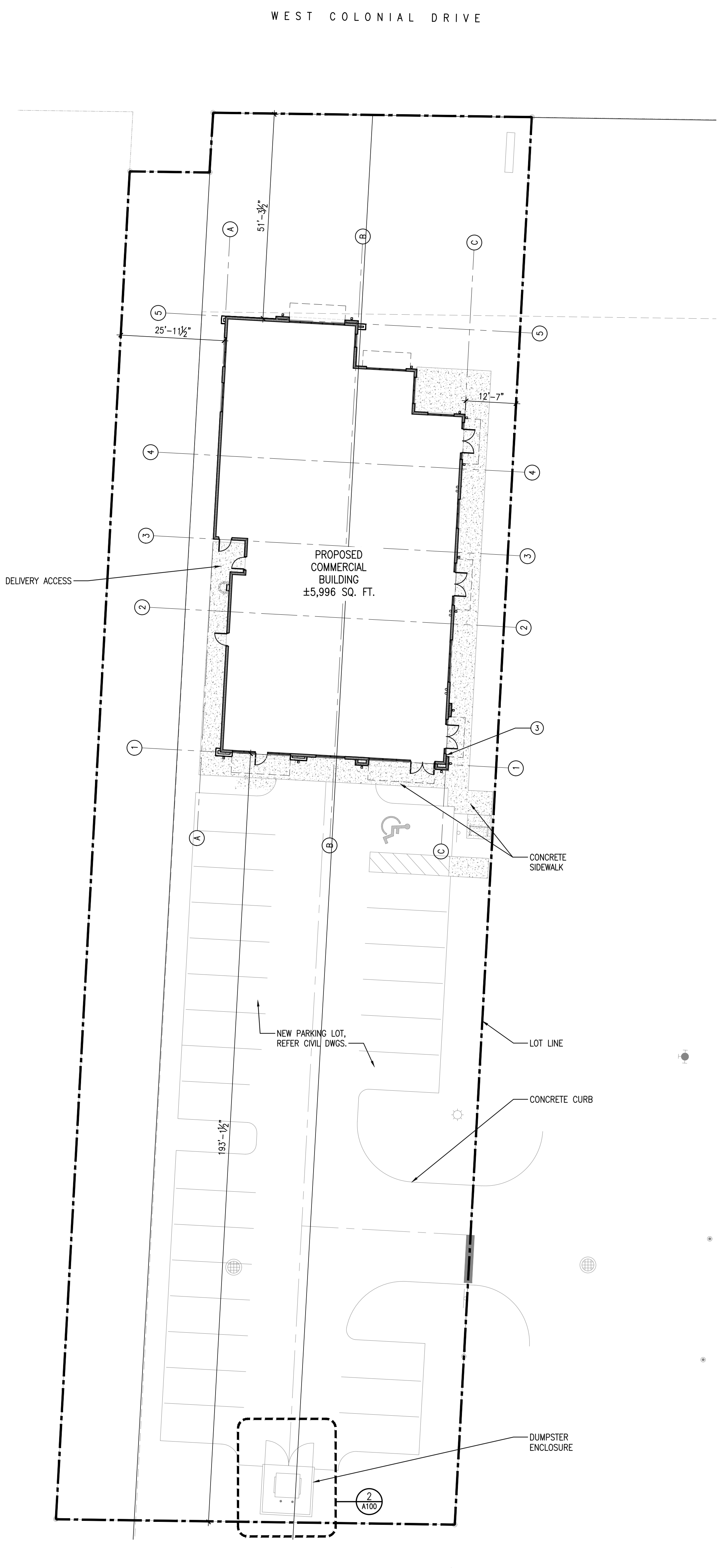
**8 HINGE DETAIL**  
SCALE: 1"=1'-0"



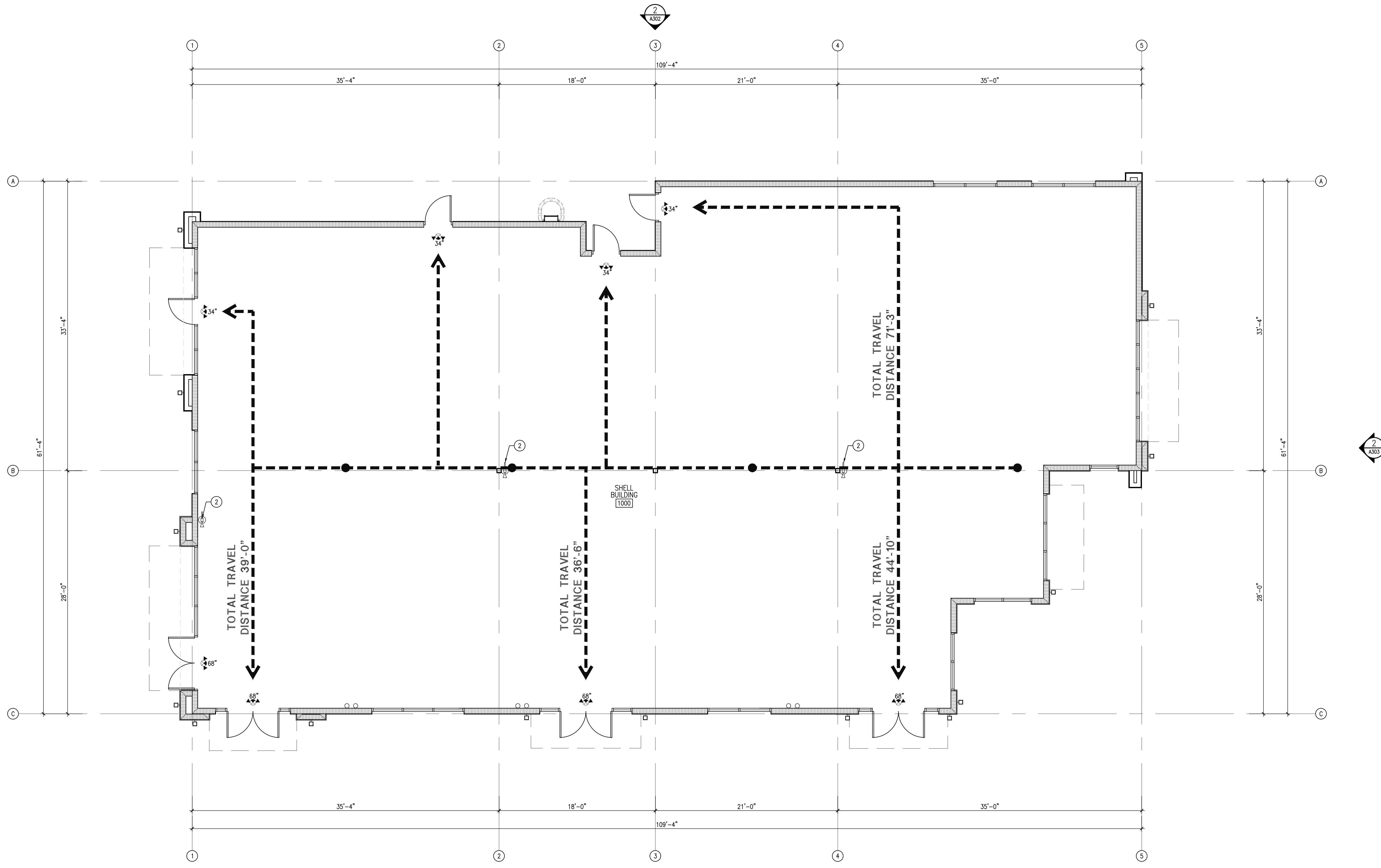
**9 BOLLARD DETAIL**  
SCALE: 3/4"=1'-0"



**10 COPING DETAIL @ DUMPSTER ENCLOSURE**  
SCALE: 3"=1'-0"



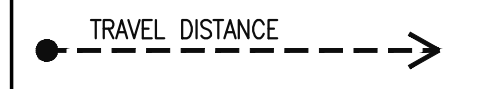
**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1/16"=1'-0"



**1**  
A101  
SCALE: 3/16"=1'-0"  
**OVERALL LIFE SAFETY FLOOR PLAN**

**LIFE SAFETY SUMMARY**

OCCUPANT LOAD	
(PER FLORIDA BUILDING CODE - 7TH EDITION)	
SHELL BUILDING - BUSINESS (B-1 OCCUPANCY):	
5,999 SQ.FT. (BUSINESS USE)	= 39.9 OCCUPANTS (1 PER 150 S.F.)
TOTAL OCCUPANTS	= 40 OCCUPANTS
MEANS OF EGRESS	
SHELL BUILDING - BUSINESS (B-1 USE):	
MAXIMUM ALLOWABLE TRAVEL DISTANCE	= 200' FT. (WITHOUT SPRINKLER SYS.)
	= 300' FT. (FULLY SPRINKLED)
MAXIMUM PROVIDED TRAVEL DISTANCE	= 71'-3" FT.
MAXIMUM ALLOWABLE DEAD END CORRIDOR LENGTH	= 50' FT.
MINIMUM ALLOWABLE AISLE WIDTH	= 44 IN.
EGRESS WIDTH PER PERSON SERVED	= 2 IN.
	= .2 INCHES x 40 OCCUPANTS = 8 IN. REQUIRED (408 IN. PROVIDED)



**GENERAL NOTES:**

- A. ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, 'A' SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYP. BOARD).
- G. APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- H. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURING LIMIT HEIGHT L/120.
- I. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- J. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE.
- K. FLOOR SHALL BE BROOM CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES.
- L. ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE PREMISES. THIS INCLUDES, BUT IS NOT LIMITED TO MOLD, ASBESTOS-CONTAINING MASTIC, TILE, PIPE, WRAP AND INSULATION.
- M. FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. CONTRACTOR TO COORDINATE NUMBER, TYPE AND LOCATION REQUIRED PER CODE AND CONFIRM WITH LOCAL FIRE MARSHAL.
- N. PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV AND TELEPHONE. COORDINATE WITH OWNER.
- O. PROVIDE CONDUIT WITH A PULL CORD CONNECTING TO THE MASTER POWER SERVICE. ALL PANEL METERS AND METER FEES SHALL BE FUTURE TENANT'S RESPONSIBILITY.
- P. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- Q. FOR ALL FRONT AND REAR DOOR, INDICATED WITH EXIT SIGNS:
  - Q.1. THRESHOLD SHALL BE 1/2" MAX.
  - Q.2. DOORS FLOOR LEVEL CHANGE SHALL BE 3/4" MAX.
  - Q.3. HARDWARE HEIGHT SHALL BE MIN. 36", MAX. 48" A.F.F.
  - Q.4. DOOR LANDING SHALL BE 44" IN TRAVEL DIRECTION.
- R. ROOF ACCESS LADDER MUST MEET 2020 IFBC SHOP DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.
- S. ALTERNATES:
  - S.1. PROVIDE (1) COAT OF ASHFORD FORMULA CONCRETE SEALER ON ALL FLOORING.

**PLAN NOTES:**

- 1 ROOF ACCESS LADDER - GALVANIZED (UNPAINTED). SEE STRUCTURAL DRAWINGS. VERTICAL LADDER W/ 1/2"x26" FLAT BAR RAILS 20" APART W/ 3/4" NON-SLIP RUNGS AT 12" O.C. AT LEAST 7" CLEAR FROM THE WALL. ANCHOR WITH 1/2"x26" L-SHAPED FLAT BAR AT 4'-0" O.C. MAXIMUM. (GALVANIZED). PROVIDE LOCKABLE, HINGED, VERTICAL ACCESS PROTECTION.
- 2 NEW COLUMN MOUNTED OR WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT 448" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 4A20BC FOR EVERY 3000SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
- 3 FIRE DEPARTMENT ACCESS KEY LOCK BOX LOCATION RECESS IN TILT AT 6'-0" A.F.F.
- 4 6" DIA. CONCRETE FILLED PIPE BOLLARD 4'-0" TALL W/ ROUNDED CAP. ALSO LOCATE @ ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS. SEE 9/A100.
- 5 TAPERED INSULATION TO ACHIEVE POSITIVE DRAINAGE.
- 6 STEEL DOOR & FRAME.
- 7 2'-0" x 2'-0" OR ROLLED WALKPAD PROTECTION. VERIFY DISTANCE W/ OWNER. SEE DETAIL 4/A403.
- 8 PRIMARY 4" ROOF DRAIN, SEE 1/A403 AND PLUMBING DWGS.
- 9 OVERFLOW 4" ROOF DRAIN. DRAIN TO BE 2" HIGHER THAN PRIMARY DRAIN, SEE 1/A403 AND PLUMBING DWGS.
- 10 ELECTRICAL PANEL LOCATION. SEE ELECTRICAL DRAWINGS.
- 11 ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
- 12 STONE VENEER, SEE PAINT/FINISH SCHEDULE.
- 13 PRE-ENGINEERED PREFINISHED METAL AWNING. G.C. TO PROVIDE APPROVED SIGNED/SEALED SHOP DRAWINGS BY REGISTERED FL ENGINEER PRIOR TO INSTALLATION.
- 14 PRE-ENGINEERED METAL DOCK CANOPY, DESIGNED AND PERMITTED BY OTHERS.
- 15 HARDE, FINE SANDED-GROOVED FINISH PANEL, SEE PAINT/FINISH SCHEDULE.
- 16 STUCCO CONTROL JOINT, EQUALLY SPACED.
- 17 ROOF DRAIN LEADER, SEE PLUMBING DRAWINGS.
- 18 EXTERIOR WALL MOUNTED LIGHT FIXTURE, HINKLEY ROOK 20" HIGH SATIN BLACK LED WALL LIGHT, OR APPROVED EQUAL. COORDINATE LOCATIONS AND HEIGHT WITH ELECTRICAL FLOOR PLAN.
- 19 ROOF CURBS, REFER MECHANICAL DRAWINGS.

CLIENT/DEVELOPER:



Scale:	AS NOTED
Date:	12/15/23
Drawn By:	BZ
Checked By:	CRS

WEST MARKET LOT 10

WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

OVERALL LIFE SAFETY PLAN



Drawing Number:  
**A101**  
Of Sheets  
Issuance:  
A/E Job Number:  
**23432**



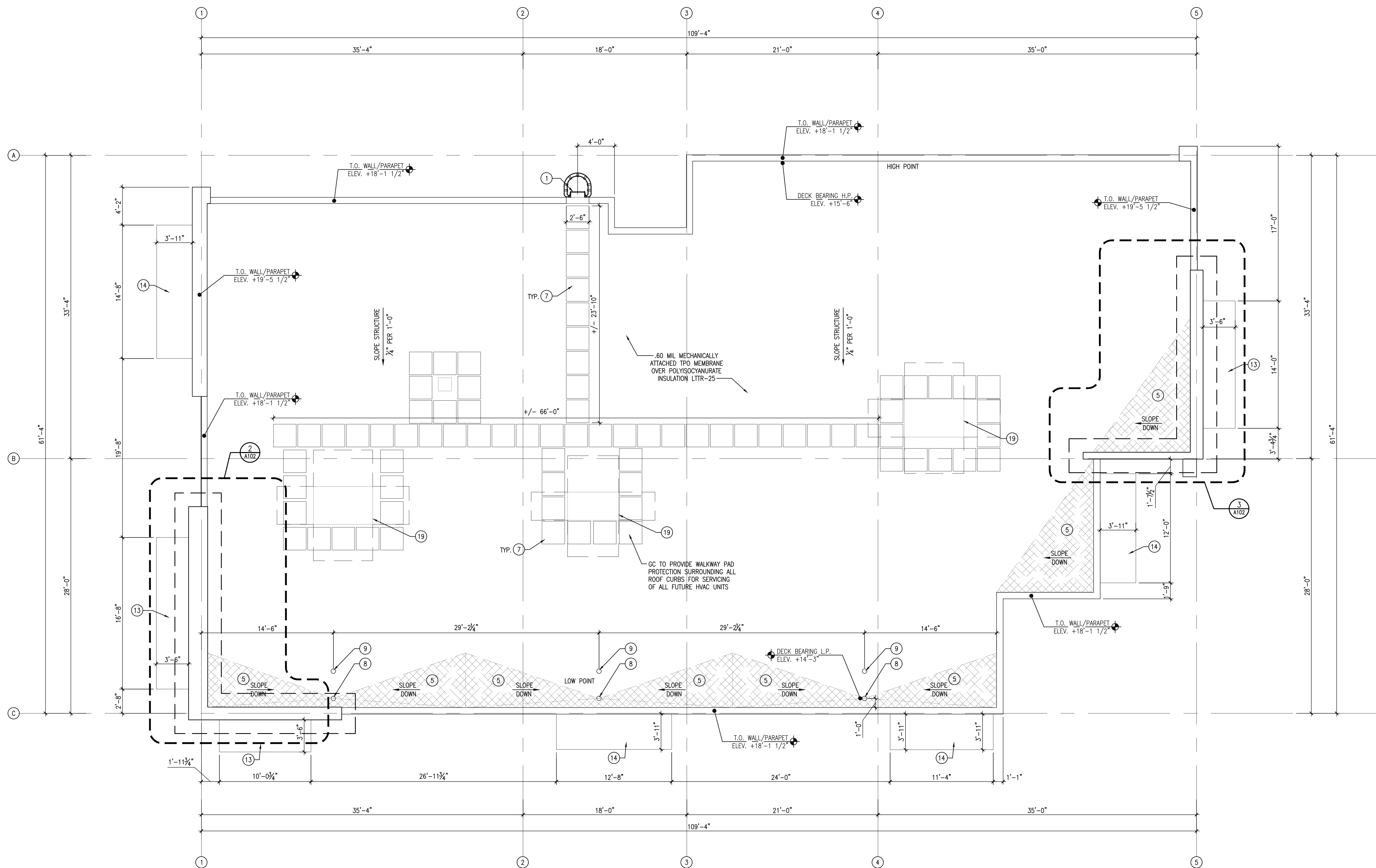
Revisions:

Scale:	AS NOTED
Date:	12/15/23
Drawn By:	RZ
Checked By:	CRS

WEST MARKET LOT 10

WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

OVERALL ROOF PLAN



**1 OVERALL ROOF PLAN**  
A102  
SCALE: 3/16"=1'-0" 12

**GENERAL NOTES:**

- A. ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, "A" SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYP. BOARD).
- G. APPLY SEALANT AT ALL PLUMBING FIXTURES WITH WALL.
- H. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURING LIMIT HEIGHT L/120.
- I. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- J. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE.
- K. FLOOR SHALL BE BROOM CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES.
- L. ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE PREMISES. THIS INCLUDES, BUT IS NOT LIMITED TO MOLD, ASBESTOS-CONTAINING MASTIC, TILE, PIPE, WRAP AND INSULATION.
- M. FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. CONTRACTOR TO COORDINATE NUMBER, TYPE AND LOCATION REQUIRED PER CODE AND CONFIRM WITH LOCAL FIRE MARSHAL.
- N. PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV AND TELEPHONE. COORDINATE WITH OWNER.
- O. PROVIDE CONDUIT WITH A PULL CORD CONNECTING TO THE MASTER POWER SERVICE. ALL PANEL METERS AND METER FEES SHALL BE FUTURE TENANT'S RESPONSIBILITY.
- P. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- Q. FOR ALL FRONT AND REAR DOOR INDICATED WITH EXIT SIGNS:
  - Q.1. THRESHOLD SHALL BE 1/2" MAX.
  - Q.2. DOORS FLOOR LEVEL CHANGE SHALL BE 1/2" MAX.
  - Q.3. HARDWARE HEIGHT SHALL BE MIN. 36", MAX. 48" A.F.F.
  - Q.4. DOOR LANDING SHALL BE 44" IN TRAVEL DIRECTION.
- R. ROOF ACCESS LADDER MUST MEET 2020 FBC. SHOP DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.
- S. ALTERNATES:
  - S.1. PROVIDE (1) COAT OF ASHFORD FORMULA CONCRETE SEALER ON ALL FLOORING.

**PLAN NOTES:**

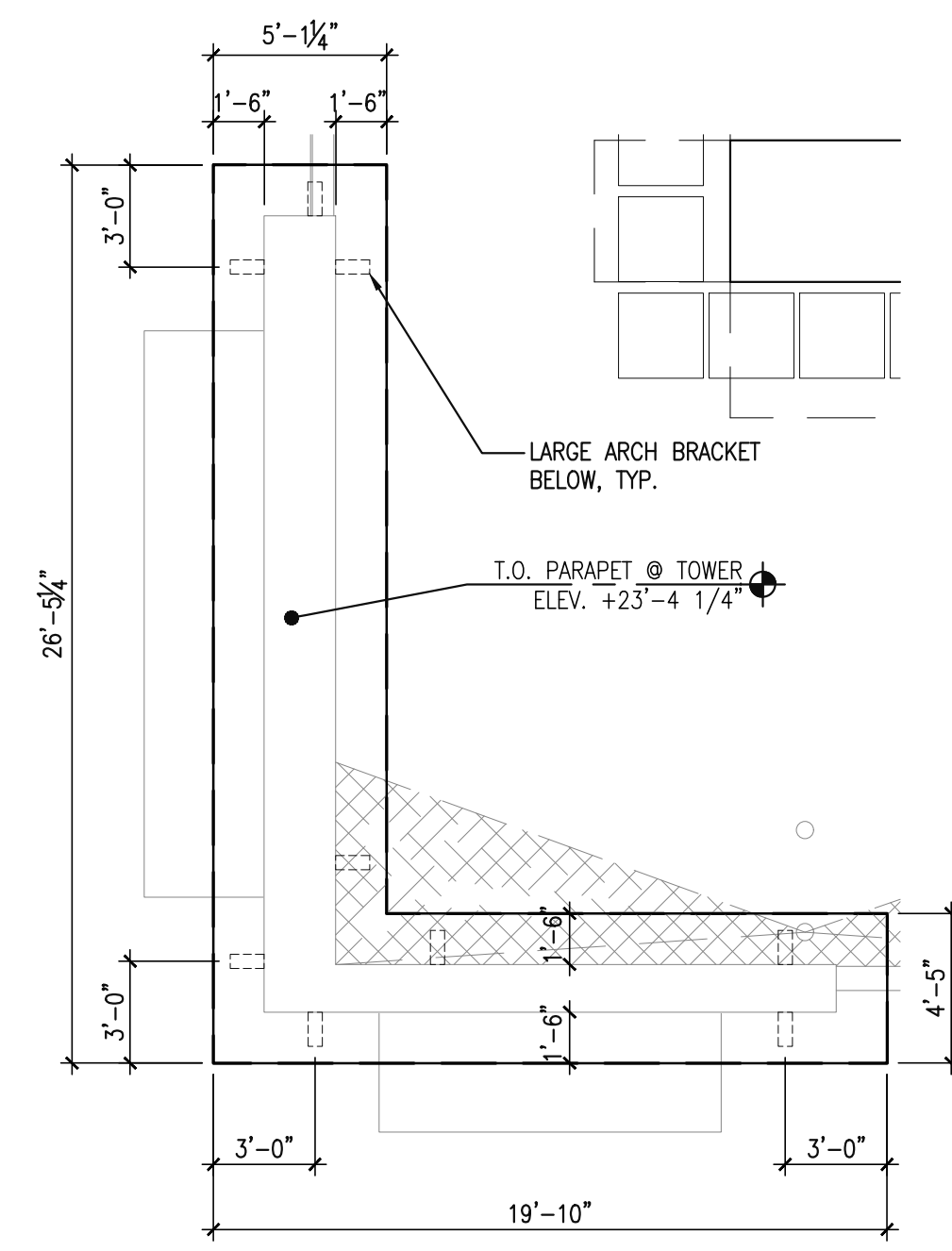
- 1. ROOF ACCESS LADDER - GALVANIZED (UNPAINTED). SEE STRUCTURAL DRAWINGS. VERTICAL LADDER W/ 1/2"x2 1/2" FLAT BAR RAILS 20" APART W/ 3/4" NON-SLIP RUNGS AT 12" O.C. AT LEAST 7" CLEAR FROM THE WALL. ANCHOR WITH 1/2"x2 1/2" L-SHAPED FLAT BAR AT 4'-0" O.C. MAXIMUM. (GALVANIZED). PROVIDE LOCKABLE, HINGED, VERTICAL ACCESS PROTECTION.
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- 3. FIRE DEPARTMENT ACCESS KEY LOCK BOX LOCATION RECESS IN TILT AT 6'-0" A.F.F.
- 4. 6" DIA. CONCRETE FILLED PIPE BOLLARD 4'-0" TALL W/ ROUNDED CAP. ALSO LOCATE @ ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS. SEE 9/A100.
- 5. TAPERED INSULATION TO ACHIEVE POSITIVE DRAINAGE.
- 6. STEEL DOOR & FRAME.
- 7. 2'-0" x 2'-0" OR ROLLED WALKPAD PROTECTION. VERIFY DISTANCE W/ OWNER. SEE DETAIL 4/A403.
- 8. PRIMARY 4" ROOF DRAIN, SEE 1/A403 AND PLUMBING DWGS.
- 9. OVERFLOW 4" ROOF DRAIN. DRAIN TO BE 2" HIGHER THAN PRIMARY DRAIN, SEE 1/A403 AND PLUMBING DWGS.
- 10. ELECTRICAL PANEL LOCATION. SEE ELECTRICAL DRAWINGS.
- 11. ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
- 12. STONE VENEER, SEE PAINT/FINISH SCHEDULE.
- 13. PRE-ENGINEERED PREFINISHED METAL AWNING. G.C. TO PROVIDE APPROVED SIGNED/SEALED SHOP DRAWINGS BY REGISTERED FL ENGINEER PRIOR TO INSTALLATION.
- 14. PRE-ENGINEERED METAL DOCK CANOPY, DESIGNED AND PERMITTED BY OTHERS.
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- 19. ROOF CURBS, REFER MECHANICAL DRAWINGS.

**ROOF NOTES:**

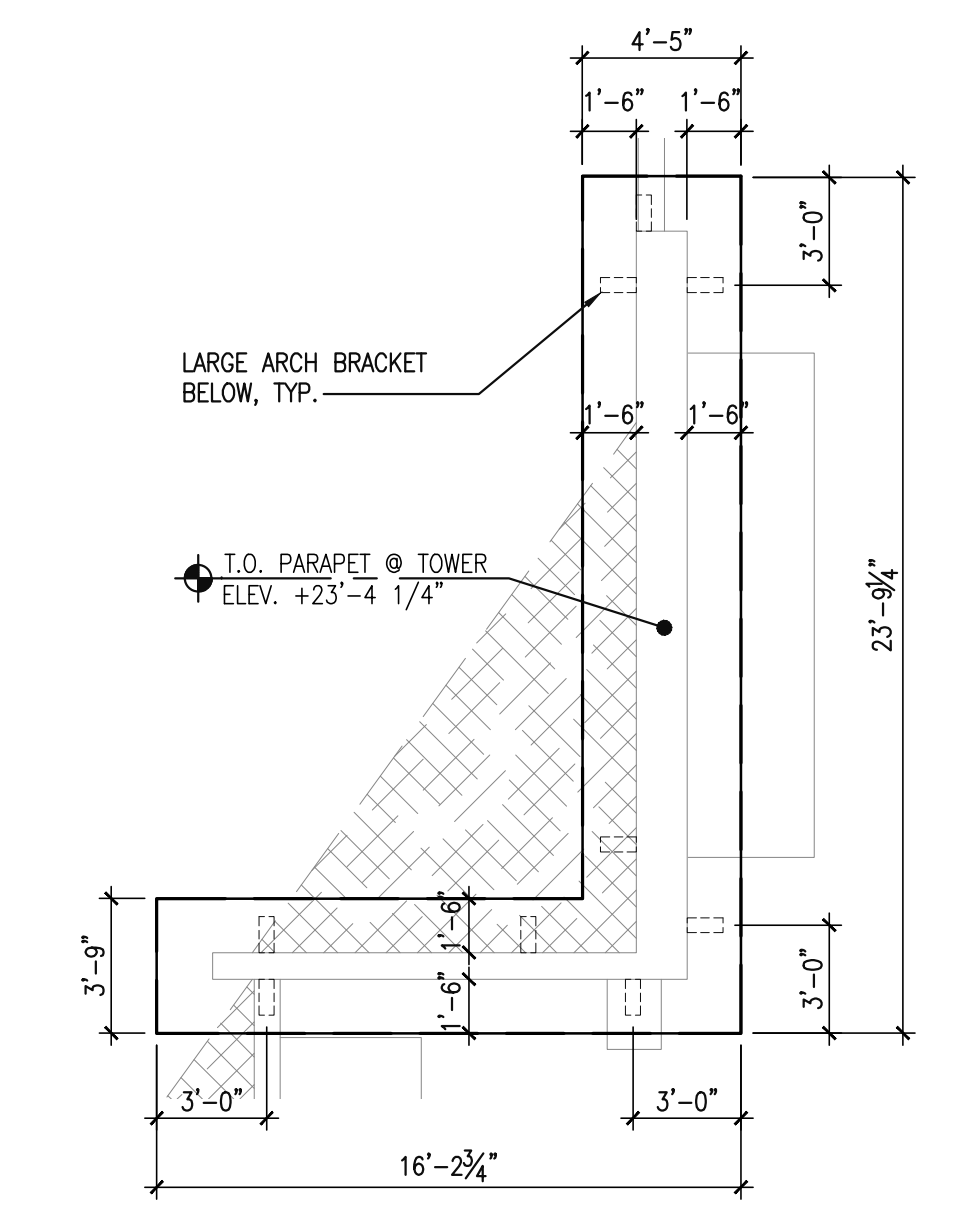
- TAPERED ROOF INSULATION
- MECHANICALLY ATTACHED .60 MIL TPO FLEXIBLE SHEET ROOFING SYSTEM.

**ROOF DRAINAGE NOTES:**

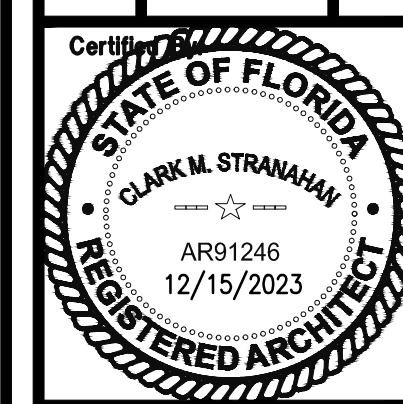
TOTAL BUILDING ROOF SQUARE FOOTAGE ..... 5,281 S.F.  
100 YEAR RAINFALL FOR THIS PROJECT AREA IS ..... 4.5" (WINTER GARDEN, FL)



**2 ENLARGED ROOF PLAN TOWER CAP #1**  
A102  
SCALE: 3/16"=1'-0" 12



**3 ENLARGED ROOF PLAN TOWER CAP #2**  
A102  
SCALE: 3/16"=1'-0" 12



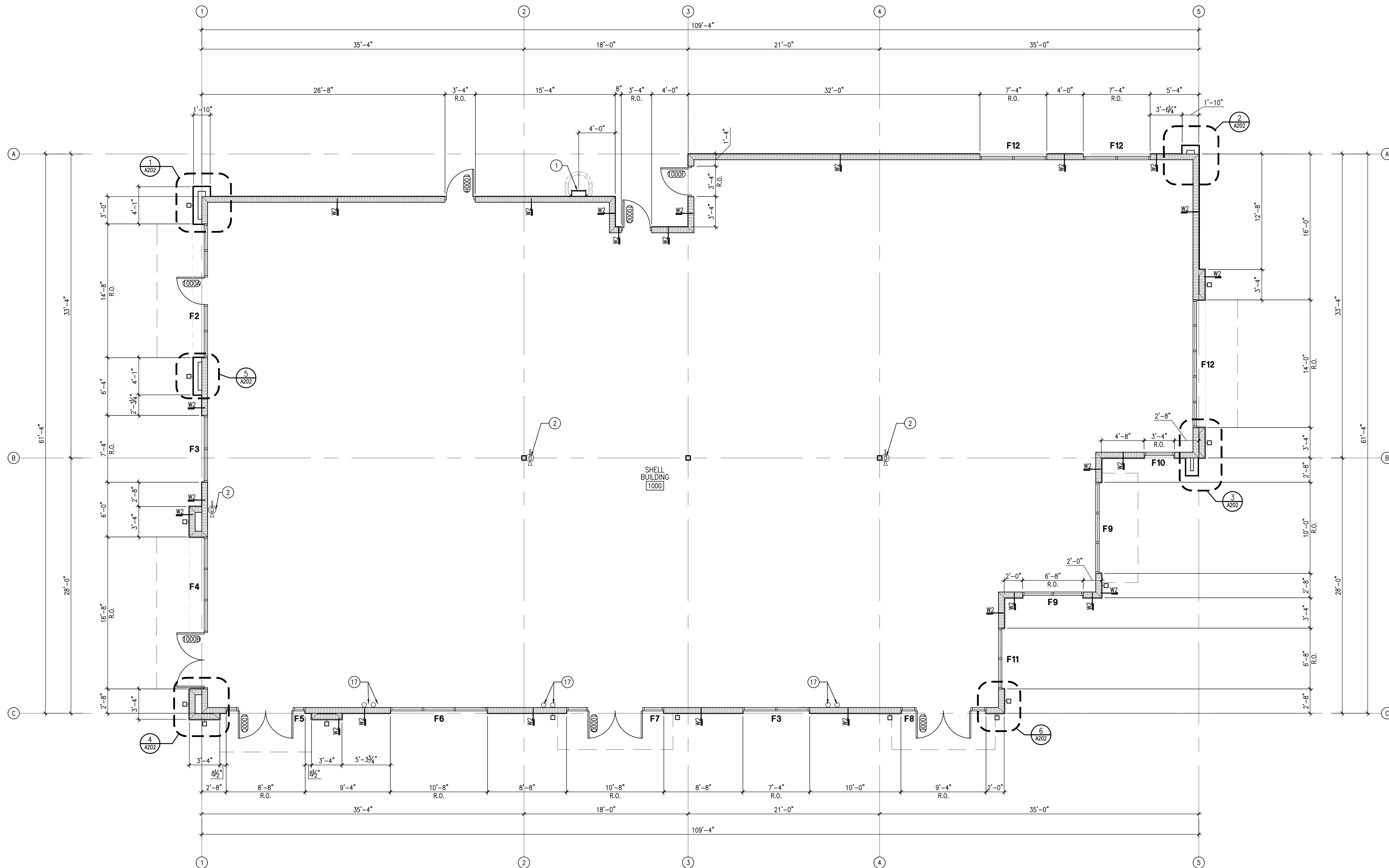
Drawing Number:

**A102**  
Of Sheets

Issuance:

A/E Job Number:

**23432**



**1 OVERALL FLOOR PLAN**  
 SCALE: 3/16"=1'-0"  
 NORTH

**GENERAL NOTES:**

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- 6 STEEL DOOR & FRAME.
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- 19 ROOF CURBS. REFER MECHANICAL DRAWINGS.

**WALL TYPES:**

- NOTES: \_\_\_\_\_ NEW WALL PARTITION
- 1. ALL WALLS TO EXTEND 6" ABOVE CEILING, UNLESS OTHERWISE NOTED.
  - 2. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL WET AREAS.
  - 3. CONSTRUCT ALL STUD WALL FRAMING TO MEET MANUFACTURER'S MINIMUM REQUIREMENTS FOR FLOOR AND CEILING ATTACHMENT BASED ON 5 PSF LATERAL LOADING AND L/120 DEFLECTION, UNLESS OTHERWISE APPROVED, IN NO CASE SHALL THE ATTACHMENT BE LESS THAN THE FOLLOWING:
    - A. ALL STEEL STUD RUNNER CHANNELS ATTACHED TO CONCRETE FLOOR SHALL BE FASTENED WITH CONCRETE STUD NAILS, EXPANSION ANCHORS, SHIELDED SCREWS, OR POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. AND NO MORE THAN 2" FROM EACH END.
    - B. FASTEN STUD FLANGE TO RUNNER TRACK WITH ONE 3/8" TYPE S PAN HEAD SCREWS ON BOTH SIDES OF STUD FLANGE.
    - C. ALL STEEL STUD RUNNER CHANNELS ATTACHED TO SUSPENDED CEILINGS SHALL BE FASTENED WITH "MOLLY"-TYPE EXPANDABLE FASTENERS, TOGGLE BOLTS, CLAMPS, OR SCREWS INTO CHANNELS, SPLINES, "T" RUNNERS, OR OTHER MEMBERS AT A MAXIMUM SPACING OF 48" OR LESS TO MATCH CEILING GRID.
    - D. ALL GYPSUM BOARD AND ACCESSORIES SHALL BE U.S. GYPSUM BRAND ONLY.
    - E. PROVIDE LEVEL 4 FINISH PER ASTM C840 IN OFFICE.
- W1 7/8" CMU WALL
- W2 7/8" CMU WALL W/ 3/4" STUCCO EXTERIOR FINISH SYSTEM. SEE 1/A401 SIM.
- NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE.  
 F(X) = FRAME TYPE. SEE SHEET A501 FOR FRAME ELEVATIONS.

CLIENT/DEVELOPER:

**4** ARCHITECTURE  
 135 West Central Blvd., Suite 400  
 Orlando, Florida 32801  
 TEL: 407.363.6136  
 FAX: 407.363.6136  
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Scale: AS NOTED  
 Date: 12/15/23  
 Drawn By: BZ  
 Checked By: CMS

WEST MARKET LOT 10  
 WEST MARKET LOT 10  
 1142.30 WEST COLONIAL DRIVE  
 WINTER GARDEN, FL

**OVERALL FLOOR PLAN**

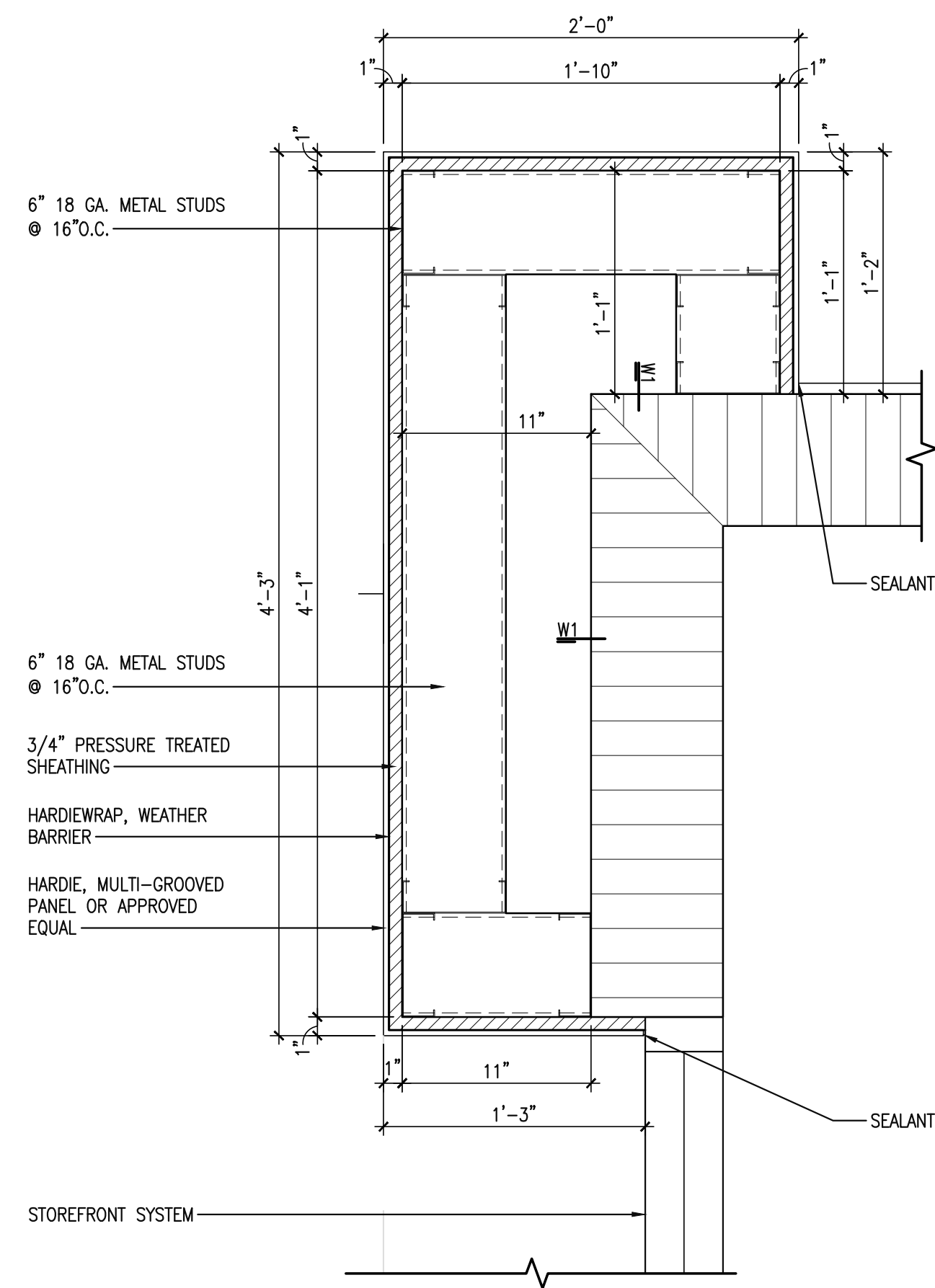
1 OVERALL FLOOR PLAN  
 SCALE: 3/16"=1'-0"  
 NORTH

CERTIFICATE OF QUALITY  
 STATE OF FLORIDA  
 CAROL M. STRAWMAN  
 REGISTERED ARCHITECT  
 AR01246  
 12/15/2023

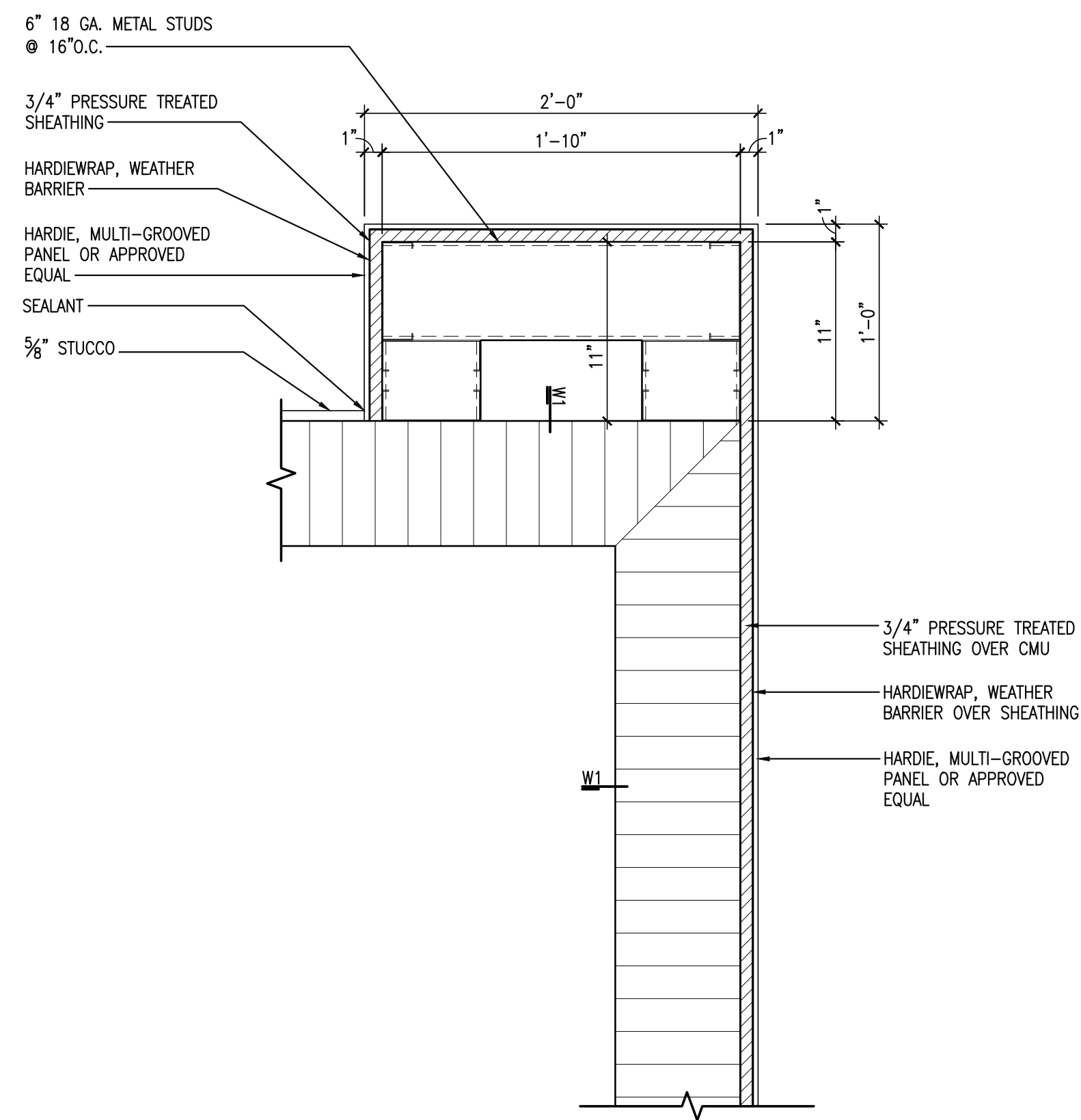
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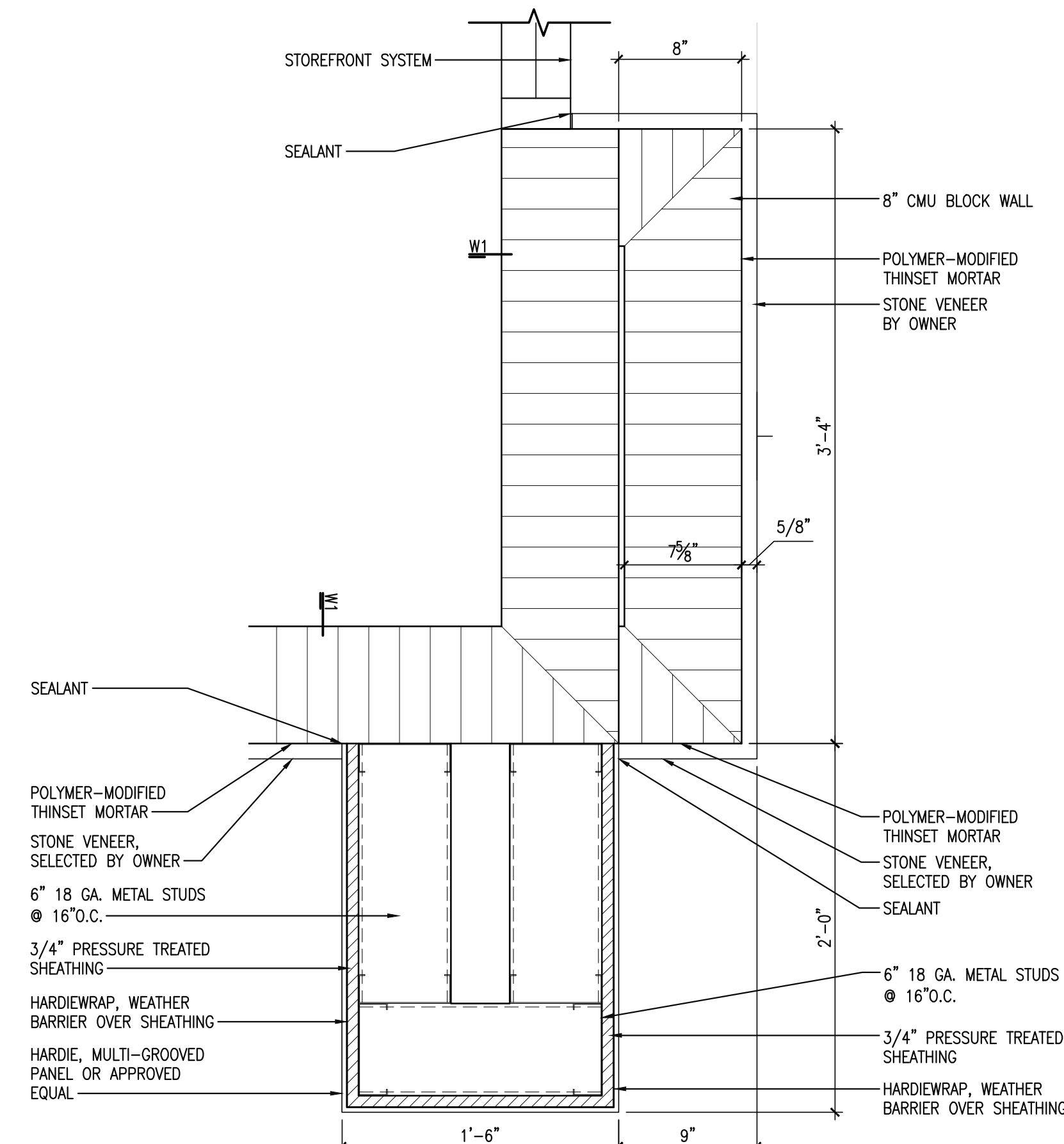
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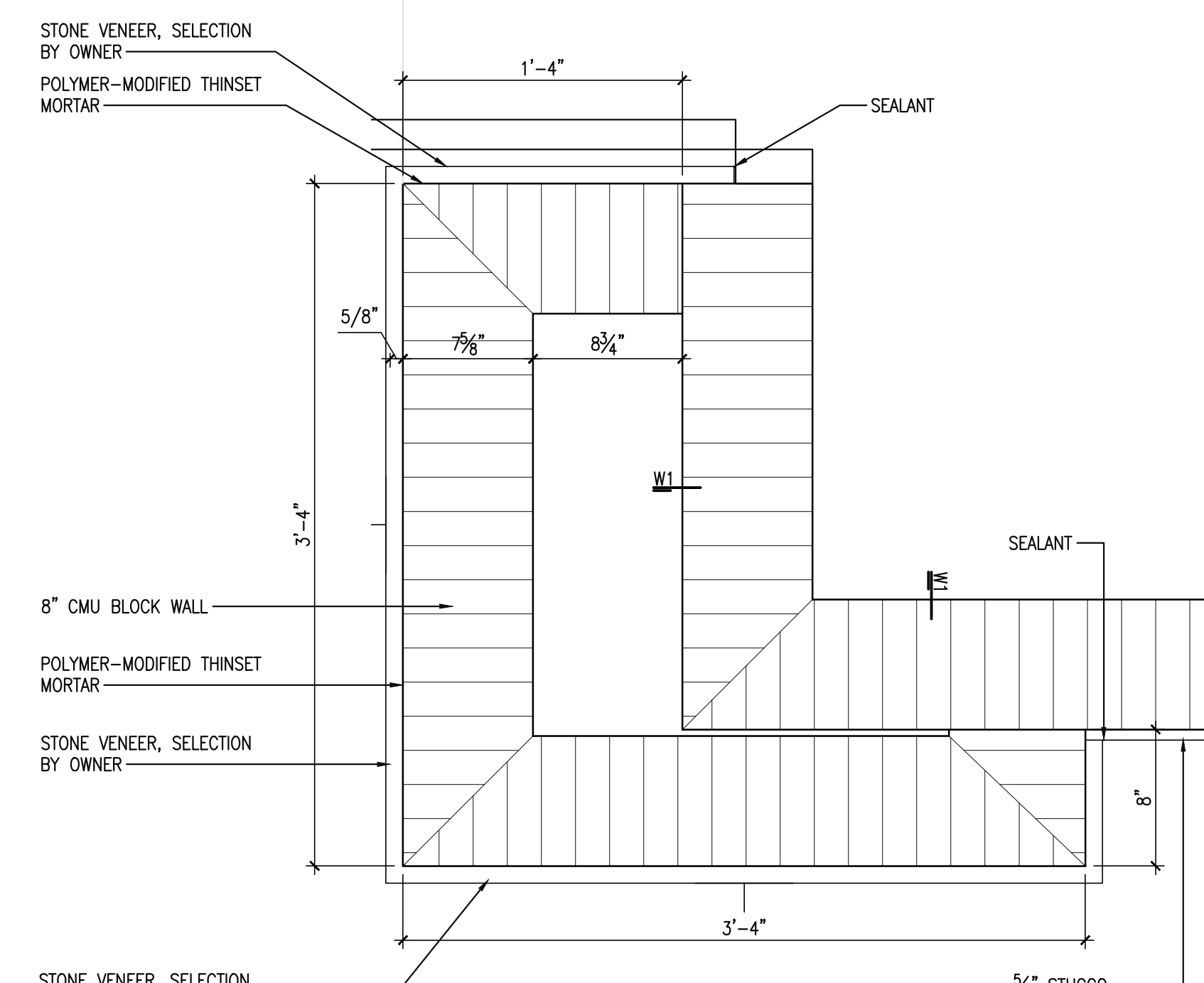
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A202 SCALE: 1/2"=1'



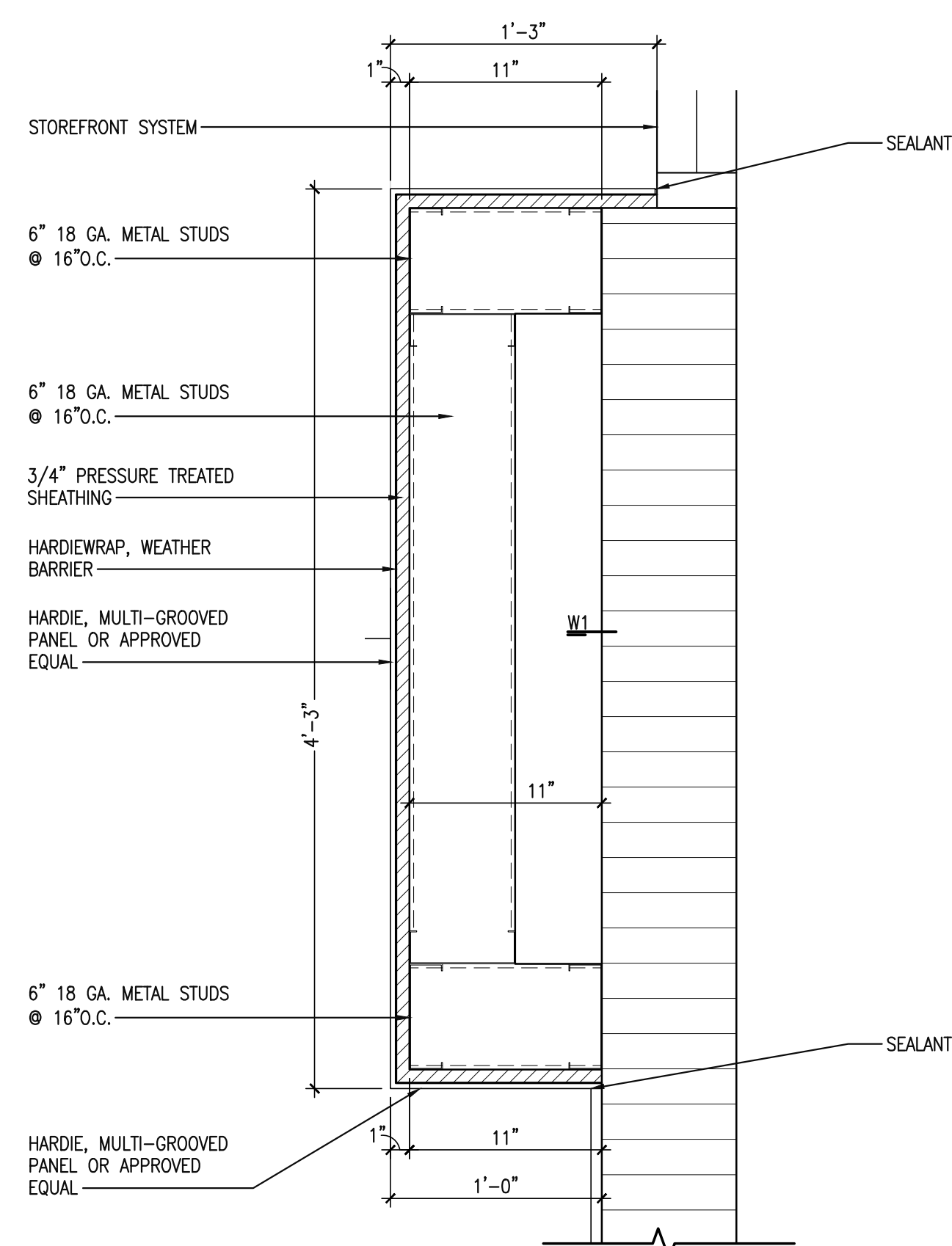
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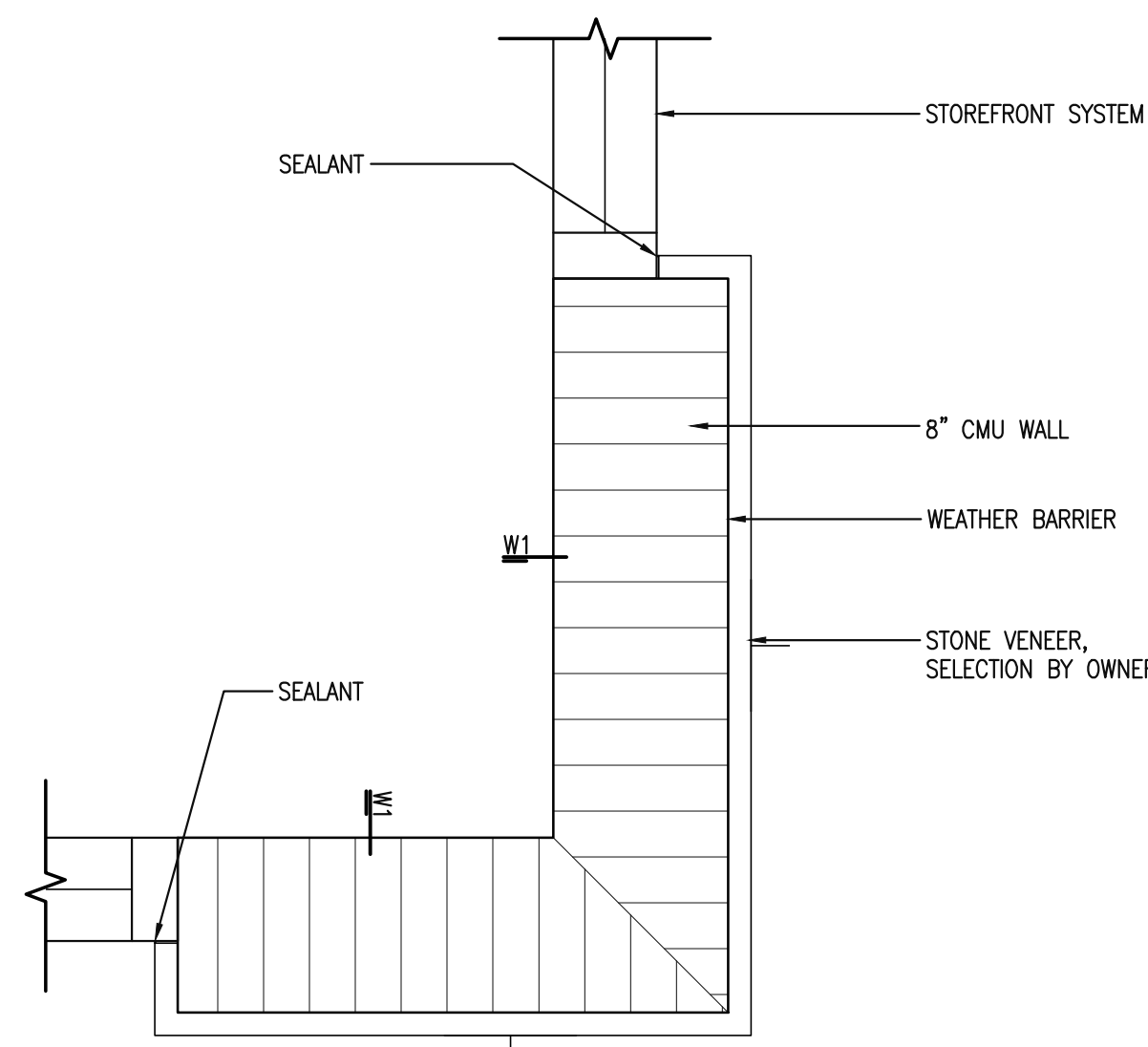
**3 DETAIL**  
A202 SCALE: 1/2"=1'



**4 DETAIL**  
A202 SCALE: 1/2"=1'



**5 DETAIL**  
A202 SCALE: 1/2"=1'



**6 DETAIL**  
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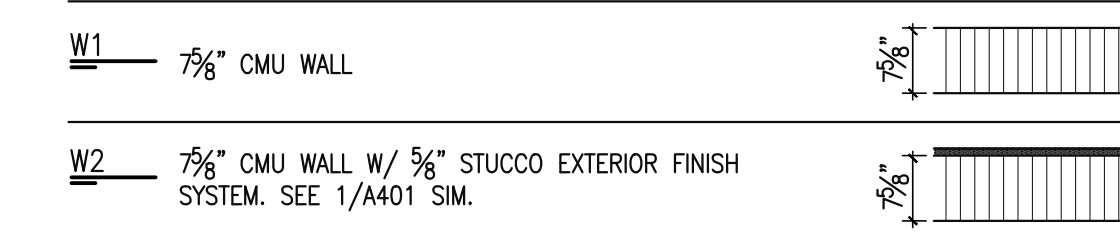
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**WALL TYPES:**

NOTES: NEW WALL PARTITION

1. ALL WALLS TO EXTEND 6" ABOVE CEILING, UNLESS OTHERWISE NOTED.
2. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL WET AREAS.
3. CONSTRUCT ALL STUD WALL FRAMING TO MEET MANUFACTURER'S MINIMUM REQUIREMENTS FOR FLOOR AND CEILING ATTACHMENT BASED ON 5 PSF LATERAL LOADING AND L/120 DEFLECTION, UNLESS OTHERWISE APPROVED, IN NO CASE SHALL THE ATTACHMENT BE LESS THAN THE FOLLOWING:
  - A. ALL STEEL STUD RUNNER CHANNELS ATTACHED TO CONCRETE FLOOR SHALL BE FASTENED WITH CONCRETE STUD WALLS, EXPANSION ANCHORS, SHIELDED SCREWS, OR POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. AND NO MORE THAN 2" FROM EACH END.
  - B. FASTEN STUD FLANGE TO RUNNER TRACK WITH ONE 3/8" TYPE S PAN HEAD SCREWS ON BOTH SIDES OF STUD FLANGE.
  - C. ALL STEEL STUD RUNNER CHANNELS ATTACHED TO SUSPENDED CEILING SHALL BE FASTENED WITH "MOLLY"-TYPE EXPANDABLE FASTENERS, TOGGLE BOLTS, CLAMPS, OR SCREWS INTO CHANNELS, SPLINES, "T" RUNNERS, OR OTHER MEMBERS AT A MAXIMUM SPACING OF 48" OR LESS TO MATCH CEILING GRID.
  - D. ALL GYPSUM BOARD AND ACCESSORIES SHALL BE U.S. GYPSUM BRAND ONLY.
  - E. PROVIDE LEVEL 4 FINISH PER ASTM C840 IN OFFICE.



NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE.  
F(X) = FRAME TYPE. SEE SHEET 1A501 FOR FRAME ELEVATIONS.

CLIENT/DEVELOPER:



Revisions:  
Scale: AS NOTED  
Date: 12/15/23  
Drawn By: BZ  
Checked By: CMS

WEST MARKET LOT 10  
WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

**DETAILS**



Drawing Number:

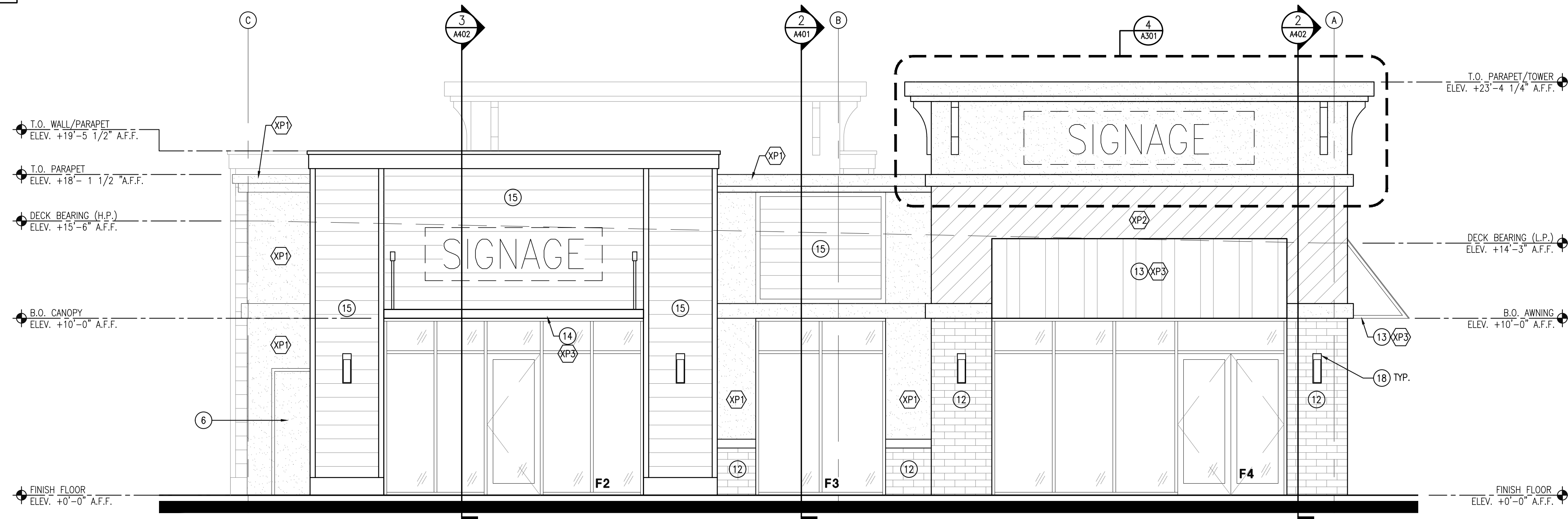
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Of Sheets

Issuance:

A/E Job Number:

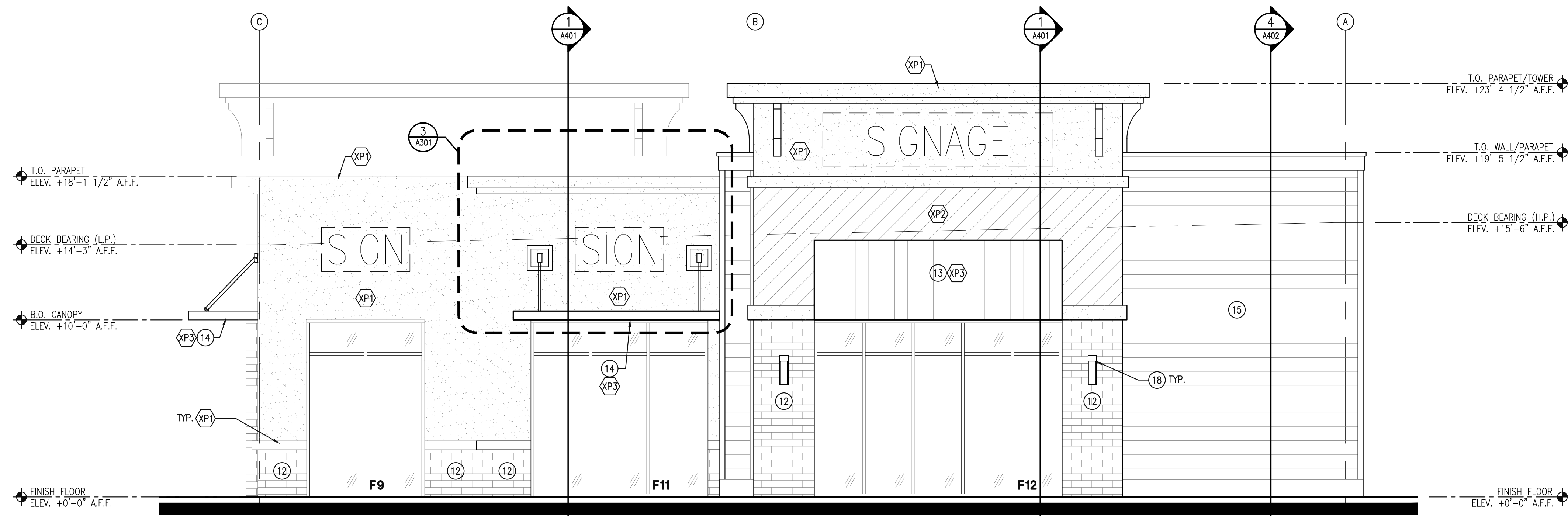
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NOTE:  
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REPRESENTATION PURPOSES ONLY.  
ALL SIGNAGE IS TO BE PERMITTED SEPARATELY.



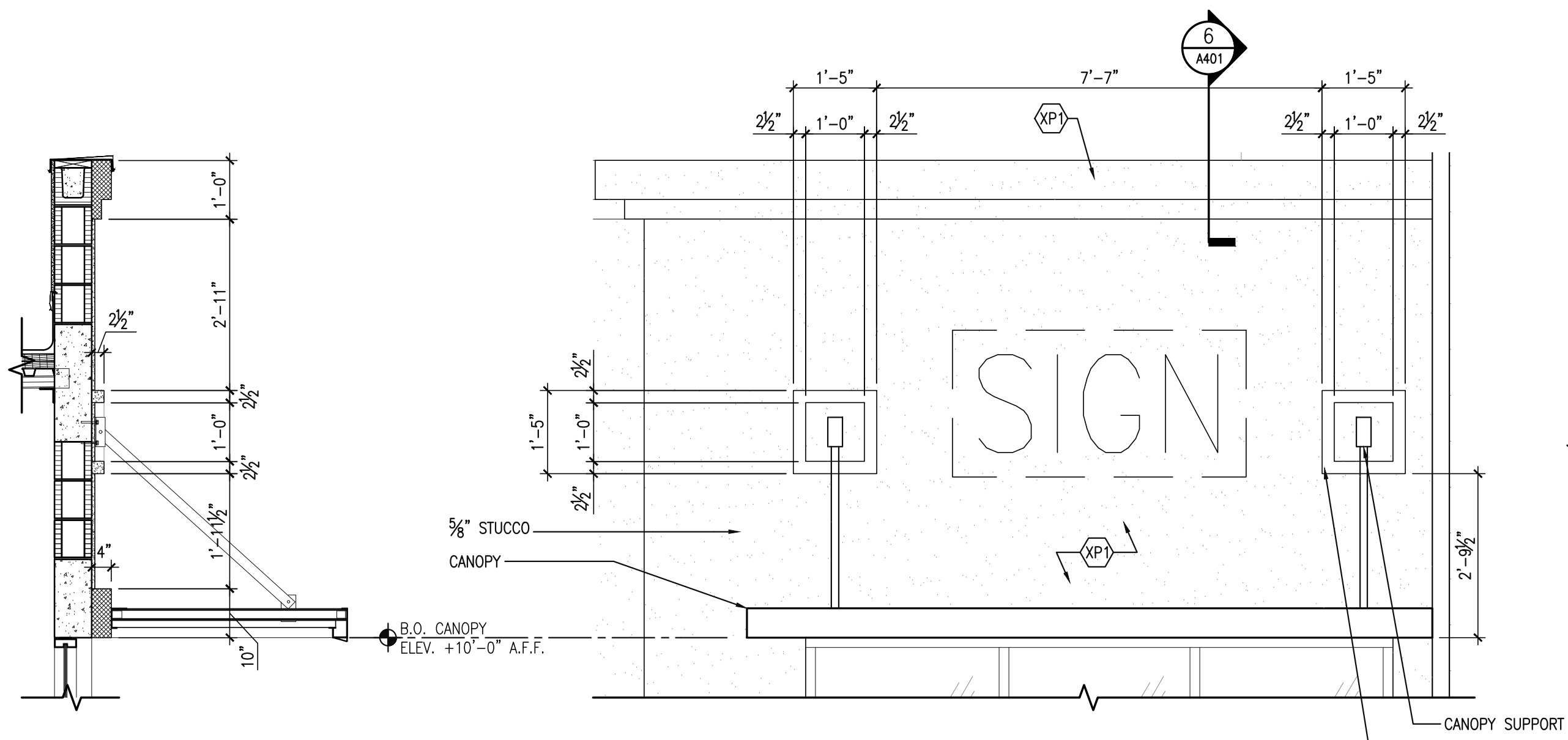
1 OVERALL FRONT (SOUTH) ELEVATION

SCALE: 1/4"=1'-0"



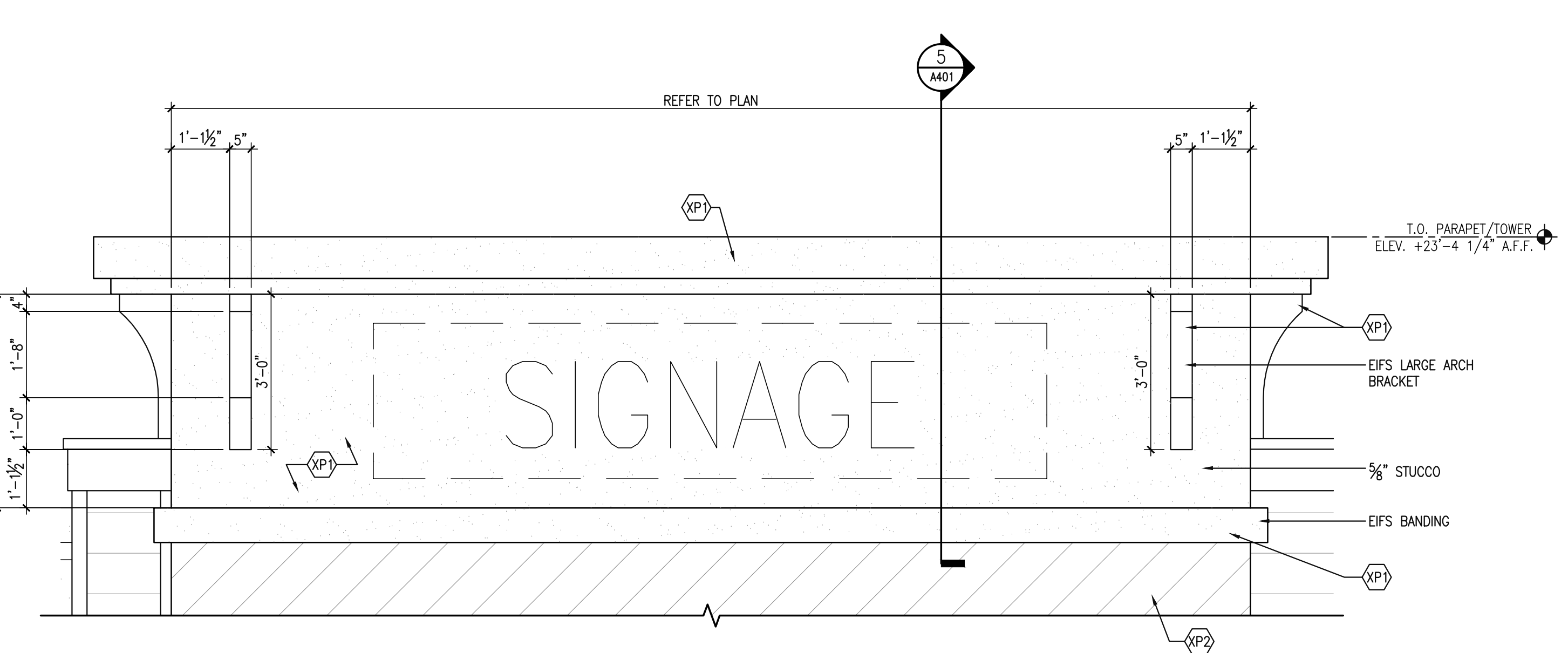
2 OVERALL REAR (NORTH) ELEVATION

SCALE: 1/4"=1'-0"



3 ENLARGED ELEVATION AND SECTION ABOVE METAL DOCK CANOPY

SCALE: 1/2"=1'-0"



4 ENLARGED ELEVATION @ TOWER

SCALE: 1/2"=1'-0"

GENERAL NOTES:

- A. ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS, WHERE MORE THAN ONE DOOR OCCURS IN A ROOM. A SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYP. BOARD).
- G. APPLY SEALANT AT ALL PLUMBING FIXTURES WITH WALL.
- H. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURING LIMIT HEIGHT 1/120.
- I. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- J. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE.
- K. FLOOR SHALL BE BROOM CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES.
- L. ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE PREMISES. THIS INCLUDES, BUT IS NOT LIMITED TO MOLD, ASBESTOS-CONTAINING MASTIC, TILE, PIPE, WRAP AND INSULATION.
- M. FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. CONTRACTOR TO COORDINATE NUMBER, TYPE AND LOCATION REQUIRED PER CODE AND CONFIRM WITH LOCAL FIRE MARSHALL.
- N. PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV AND TELEPHONE. COORDINATE WITH OWNER.
- O. PROVIDE CONDUIT WITH A PULL CORD CONNECTING TO THE MASTER POWER SERVICE. ALL PANEL METERS AND METER FEES SHALL BE FUTURE TENANT'S RESPONSIBILITY.
- P. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- Q. FOR ALL FRONT AND REAR DOOR INDICATED WITH EXIT SIGNS:
  - Q.1. THRESHOLD SHALL BE 3/4" MAX.
  - Q.2. DOORS FLOOR LEVEL CHANGE SHALL BE 3/8" MAX.
  - Q.3. HARDWARE HEIGHT SHALL BE MIN. 36", MAX. 48" A.F.F.
  - Q.4. DOOR LANDING SHALL BE 44" IN TRAVEL DIRECTION.
- R. ROOF ACCESS LADDER MUST MEET 2020 FBC. SHOP DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.
- S. ALTERNATIVES:
  - S.1. PROVIDE (1) COAT OF ASHFORD FORMULA CONCRETE SEALER ON ALL FLOORING.

PLAN NOTES:

1. ROOF ACCESS LADDER - GALVANIZED (UNPAINTED). SEE STRUCTURAL DRAWINGS. VERTICAL LADDER W/ 3/4"x2x2" FLAT BAR RAILS 20" APART W/ 3/4"x6" NON-SLIP RUNGS AT 12" O.C. AT LEAST 7" CLEAR FROM THE WALL. ANCHOR WITH 3/4"x2x2" L-SHAPED FLAT BAR AT 4'-0" O.C. MAXIMUM. (GALVANIZED). PROVIDE LOCKABLE, HINGED, VERTICAL ACCESS PROTECTION.
2. NEW COLUMN MOUNTED OR WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT +48" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 420BC FOR EVERY 3000SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
3. FIRE DEPARTMENT ACCESS KEY LOCK BOX LOCATION RECESS IN TILT AT 6'-0" A.F.F.
4. 6" DIA. CONCRETE FILLED PIPE BOLLARD 4'-0" TALL W/ ROUNDED CAP. ALSO LOCATE ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS. SEE 9/A100.
5. TAPERED INSULATION TO ACHIEVE POSITIVE DRAINAGE.
6. STEEL DOOR & FRAME.
7. 2'-0" x 2'-0" OR ROLLED WALKPAD PROTECTION. VERIFY DISTANCE W/ OWNER. SEE DETAIL 4/A403.
8. PRIMARY 4" ROOF DRAIN, SEE 1/A403 AND PLUMBING DWGS.
9. OVERFLOW 4" ROOF DRAIN. DRAIN TO BE 2" HIGHER THAN PRIMARY DRAIN, SEE 1/A403 AND PLUMBING DWGS.
10. ELECTRICAL PANEL LOCATION. SEE ELECTRICAL DRAWINGS.
11. ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
12. STONE VENEER, SEE PAINT/FINISH SCHEDULE.
13. PRE-ENGINEERED PREFINISHED METAL AWNING. G.C. TO PROVIDE APPROVED SIGNED/SEALED SHOP DRAWINGS BY REGISTERED FL ENGINEER PRIOR TO INSTALLATION.
14. PRE-ENGINEERED METAL DOCK CANOPY, DESIGNED AND PERMITTED BY OTHERS.
15. HARDIE, FINE SANDED-GROOVED FINISH PANEL, SEE PAINT/FINISH SCHEDULE.
16. STUCCO CONTROL JOINT, EQUALLY SPACED.
17. ROOF DRAIN LEADER, SEE PLUMBING DRAWINGS.
18. EXTERIOR WALL MOUNTED LIGHT FIXTURE. HINKLEY ROOK 20" HIGH SATIN BLACK LED WALL LIGHT, OR APPROVED EQUAL. COORDINATE LOCATIONS AND HEIGHT WITH ELECTRICAL FLOOR PLAN.
19. ROOF CURBS, REFER MECHANICAL DRAWINGS.

PAINT/FINISH SCHEDULE:

1. ALL PAINT TO BE SHERWIN WILLIAMS OR APPROVED EQUAL.
2. PAINT ALL STUCCO WALLS UNLESS OTHERWISE NOTED.
3. ALL INTERIOR TILT WALLS TO BE PAINTED WHITE (NON-TEXTURE).
4. PAINT ALL BOLLARDS AND GUARDS SAFETY YELLOW.
5. PAINT ALL EXPOSED METAL SURFACES (E. GRILLES, HEATERS, AND FIRE EXTINGUISHER CABINETS) TO MATCH ADJACENT SURFACE.
6. DIRECT METAL PRIMER TO BE USED ON ALL GALVANIZED METAL.
7. PROVIDE TINTED PRIMER FOR ALL TEXTURED COATING APPLICATIONS.
8. PAINT FIRE RISERS RED.

XP1	FIELD COLOR - COARSE TEXTURED SHERWIN WILLIAMS - 7006 EXTRA WHITE
XP2	ACCENT COLOR - COARSE TEXTURED SHERWIN WILLIAMS - 7064 PASSIVE
XP3	PREFABRICATED AND PREFINISHED ALUMINUM CANOPY. COLOR - TO BE DETERMINED BY OWNER
	STONE VENEER NATURAL LEDGESTONE GALAXY OR APPROVED EQUAL MFG: BRICK AMERICA COLOR: DARK GRAY
	HARDIE ARCHITECTURAL COLLECTION FINE SANDED-GROOVED FINISH PANEL OR APPROVED EQUAL MFG: JAMES HARDIE COLOR: GRAY SLATE NOTE: PROVIDE HARDIE TRIM BOARDS WHERE INDICATED COLOR WHITE/TO MATCH XP1

GLASS SCHEDULE

EXTERIOR STOREFRONT:  
ALUMINUM SYSTEM: KAWNEER BRAND, TRIFAB 451/451T FRAMING SYSTEM OR APPROVED EQUAL.  
ALUMINUM FINISH: BLACK ANODIZED  
FRAMING SIZE: 2" x 4 1/2" PROFILE

GLAZING SCHEDULE:  
ALL GLASS TO BE TYPE "A" UNLESS NOTED OTHERWISE  
1" THICK INSULATED CLEAR LOW E GLASS TEMPERED GLASS

CLIENT/DEVELOPER:



Revisions:	AS NOTED
Date:	12/15/23
Drawn By:	BR
Checked By:	CRS

WEST MARKET LOT 10  
WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

WEST MARKET LOT 10  
WEST MARKET LOT 10  
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WINTER GARDEN, FL

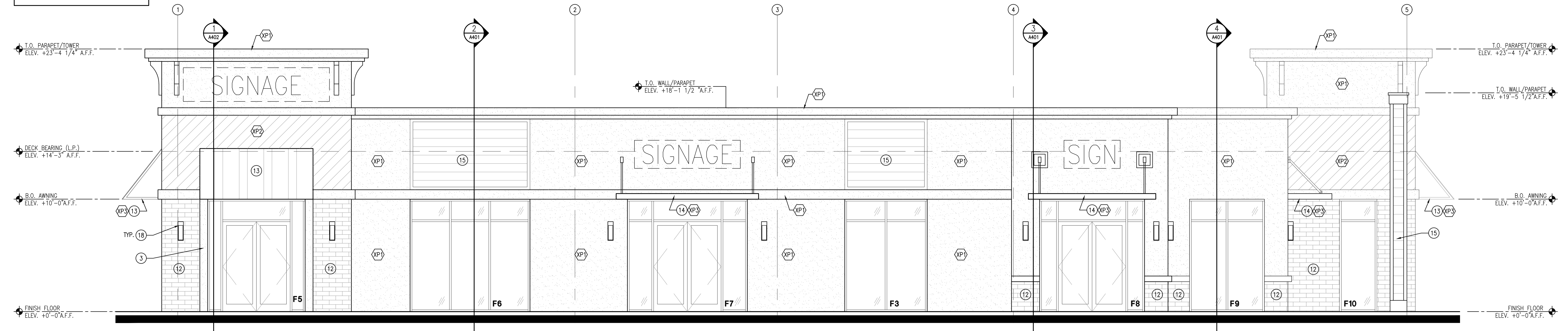
WEST MARKET LOT 10  
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14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL



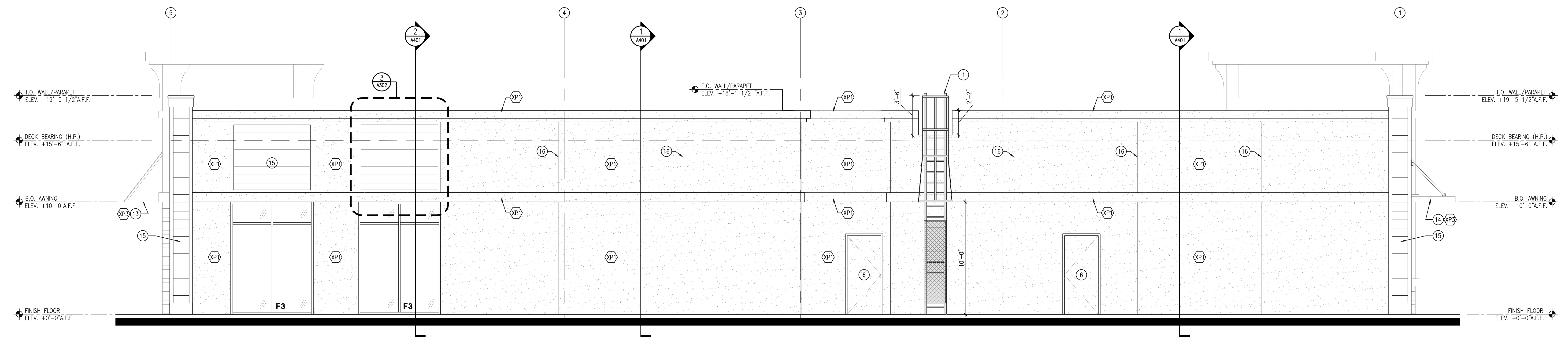
Drawing Number:  
**A301**  
Of Sheets

A/E Job Number:  
**23432**

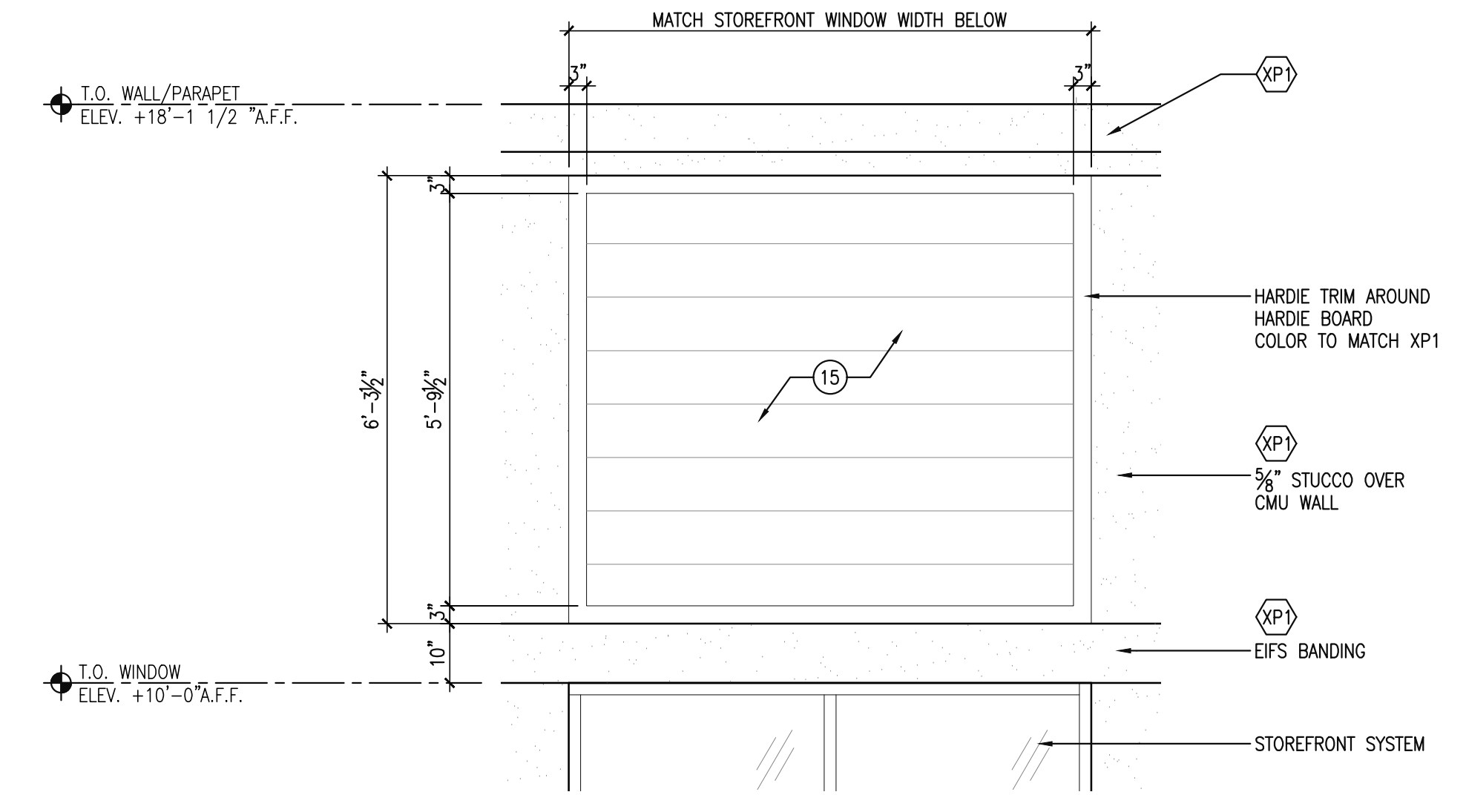
NOTE:  
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**1 OVERALL SIDE (EAST) ELEVATION**  
SCALE: 1/4\"/>



**2 OVERALL SIDE (WEST) ELEVATION**  
SCALE: 1/4\"/>



**3 ENLARGED ELEVATION**  
SCALE: 1/2\"/>

**GENERAL NOTES:**

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- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
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- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYP. BOARD).
- G. APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
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  - Q.2. DOORS FLOOR LEVEL CHANGE SHALL BE 3/8\"/>
  - Q.3. HARDWARE HEIGHT SHALL BE MIN. 36\"/>
  - Q.4. DOOR LANDING SHALL BE 44\"/>
- R. ROOF ACCESS LADDER MUST MEET 2020 FBC. SHOP DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.
- S. ALTERNATES:
  - S.1. PROVIDE (1) COAT OF ASHFORD FORMULA CONCRETE SEALER ON ALL FLOORING.

**PLAN NOTES:**

- 1. ROOF ACCESS LADDER - GALVANIZED (UNPAINTED). SEE STRUCTURAL DRAWINGS. VERTICAL LADDER W/ 3/4\"/>
- 2. NEW COLUMN MOUNTED OR WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT +48\"/>
- 3. FIRE DEPARTMENT ACCESS KEY LOCK BOX LOCATION RECESS IN TILT AT 6'-0\"/>
- 4. 6\"/>
- 5. TAPERED INSULATION TO ACHIEVE POSITIVE DRAINAGE.
- 6. STEEL DOOR & FRAME.
- 7. 2'-0\"/>
- 8. PRIMARY 4\"/>
- 9. OVERFLOW 4\"/>
- 10. ELECTRICAL PANEL LOCATION. SEE ELECTRICAL DRAWINGS.
- 11. ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
- 12. STONE VENEER. SEE PAINT/FINISH SCHEDULE.
- 13. PRE-ENGINEERED PREFINISHED METAL AWNING. G.C. TO PROVIDE APPROVED SIGNED/SEALED SHOP DRAWINGS BY REGISTERED FL ENGINEER PRIOR TO INSTALLATION.
- 14. PRE-ENGINEERED METAL DOCK CANOPY, DESIGNED AND PERMITTED BY OTHERS.
- 15. HARDIE, FINE SANDED-GROOVED FINISH PANEL. SEE PAINT/FINISH SCHEDULE.
- 16. STUCCO CONTROL JOINT, EQUALLY SPACED.
- 17. ROOF DRAIN LEADER, SEE PLUMBING DRAWINGS.
- 18. EXTERIOR WALL MOUNTED LIGHT FIXTURE, HINKLEY ROCK 20\"/>
- 19. ROOF CURBS, REFER MECHANICAL DRAWINGS.

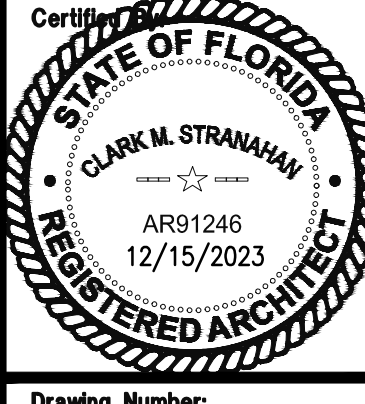
**PAINT/FINISH SCHEDULE:**

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  - 2. PAINT ALL STUCCO WALLS UNLESS OTHERWISE NOTED.
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  - 4. PAINT ALL BOLLARDS AND GUARDS SAFETY YELLOW.
  - 5. PAINT ALL EXPOSED METAL SURFACES (E. GRILLES, HEATERS, AND FIRE EXTINGUISHER CABINETS) TO MATCH ADJACENT SURFACE.
  - 6. DIRECT METAL PRIMER TO BE USED ON ALL GALVANIZED METAL.
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  - 8. PAINT FIRE RISERS RED.
- XP1 FIELD COLOR - COARSE TEXTURED SHERWIN WILLIAMS - 7006 EXTRA WHITE
- XP2 ACCENT COLOR - COARSE TEXTURED SHERWIN WILLIAMS - 7064 PASSIVE
- XP3 PREFABRICATED AND PREFINISHED ALUMINUM CANOPY. COLOR - TO BE DETERMINED BY OWNER
- STONE VENEER  
NATURAL LEDGESTONE GALAXY OR APPROVED EQUAL  
MFG: BRICK AMERICA  
COLOR: DARK GRAY
- HARDIE ARCHITECTURAL COLLECTION FINE SANDED-GROOVED FINISH PANEL OR APPROVED EQUAL  
MFG: JAMES HARDIE  
COLOR: GRAY SLATE  
NOTE: PROVIDE HARDIE TRIM BOARDS WHERE INDICATED COLOR WHITE/TO MATCH XP1

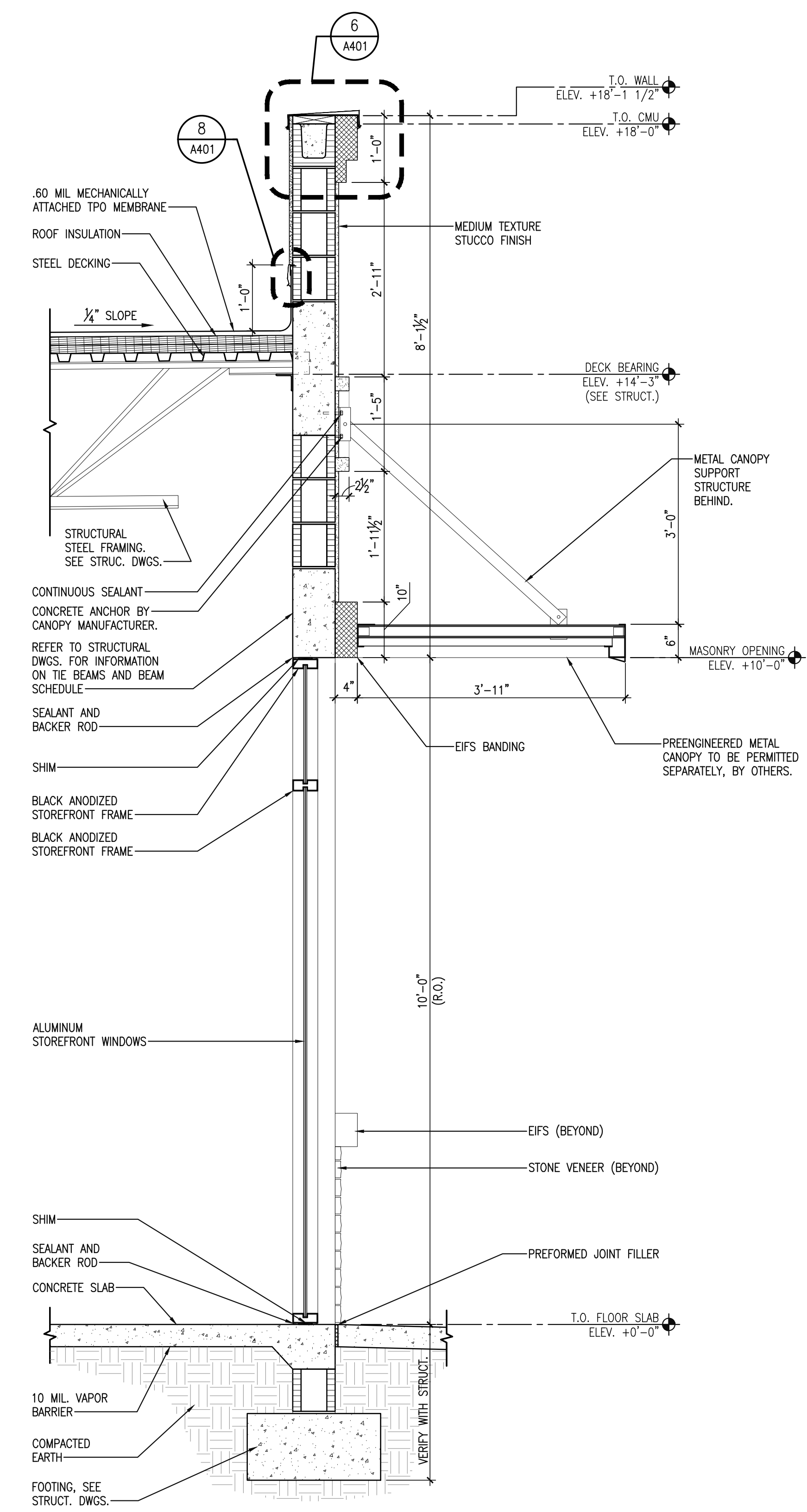
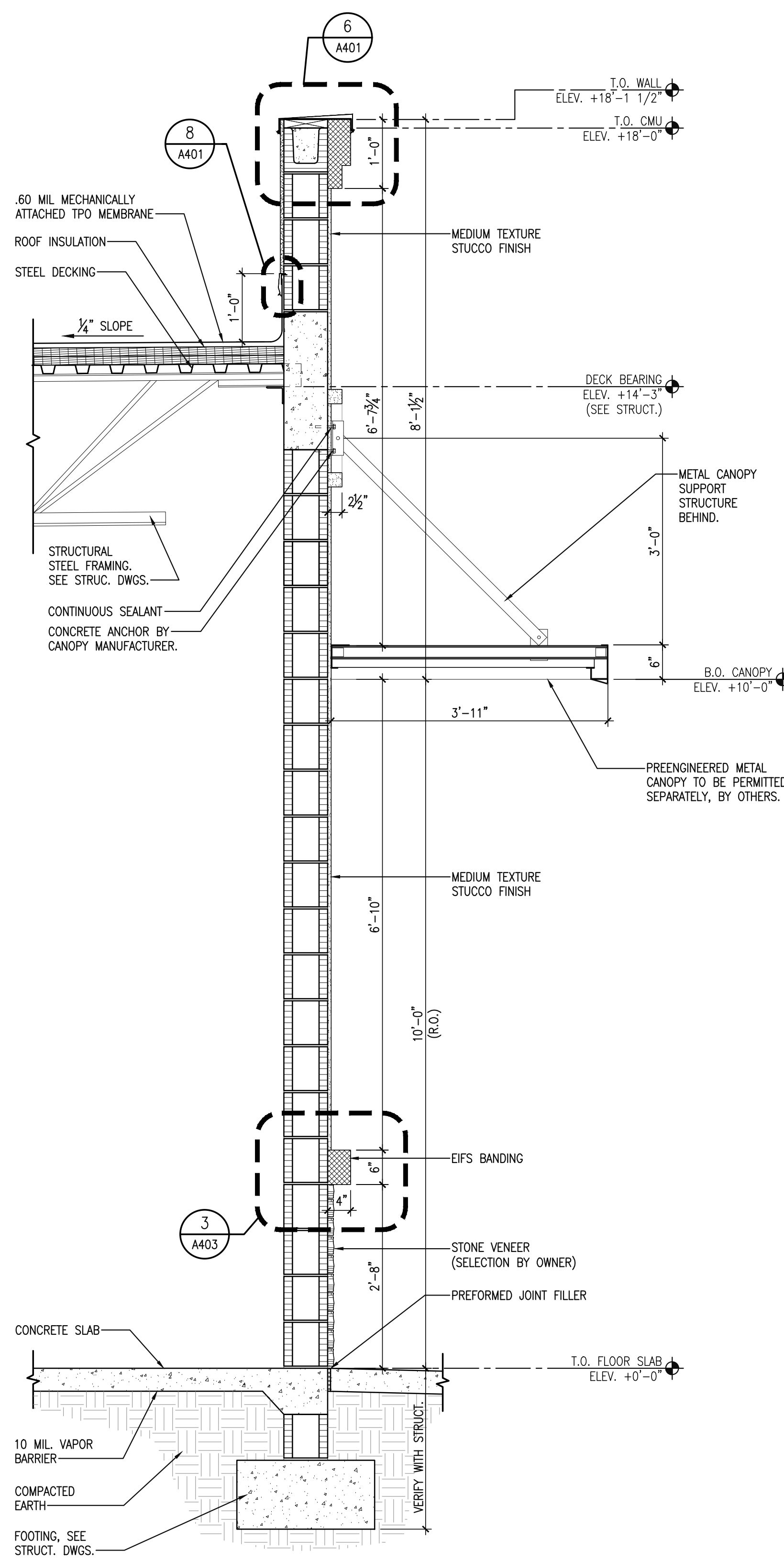
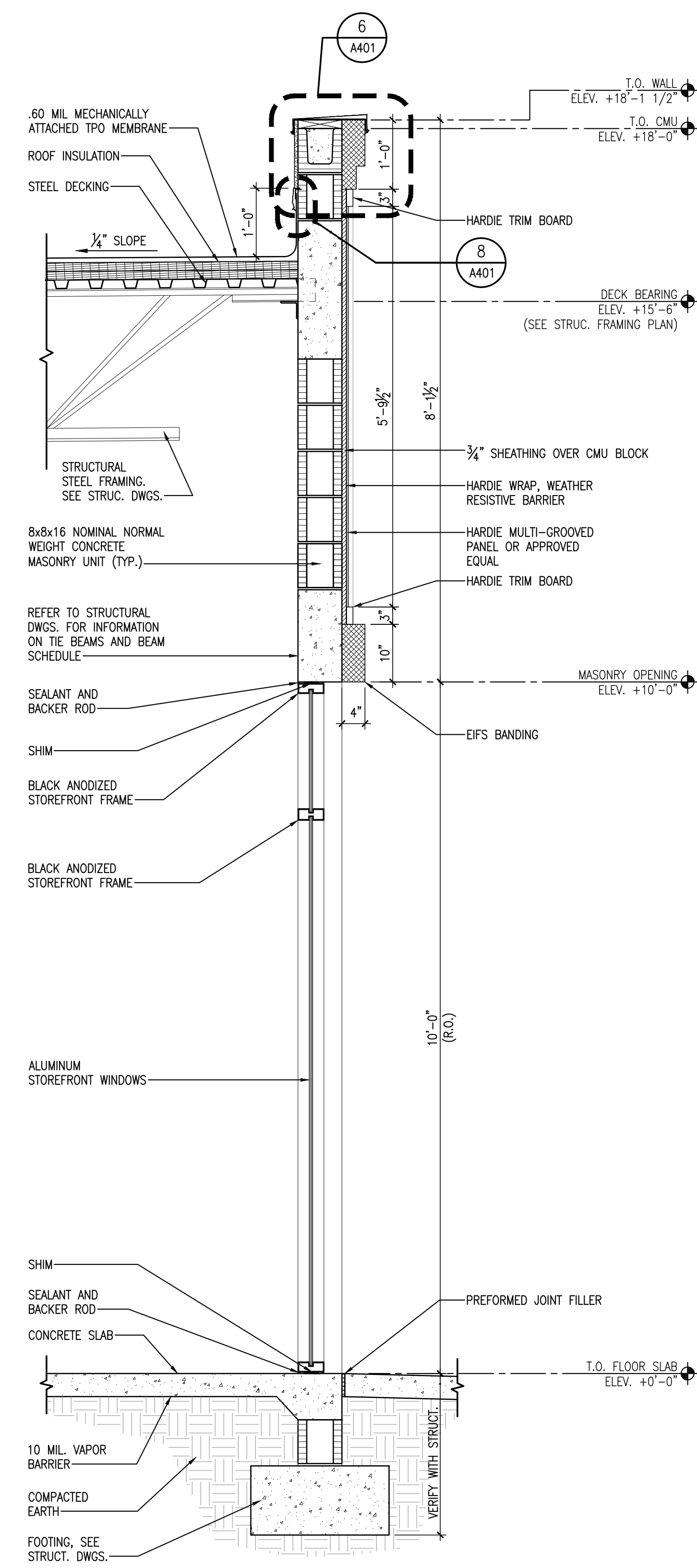
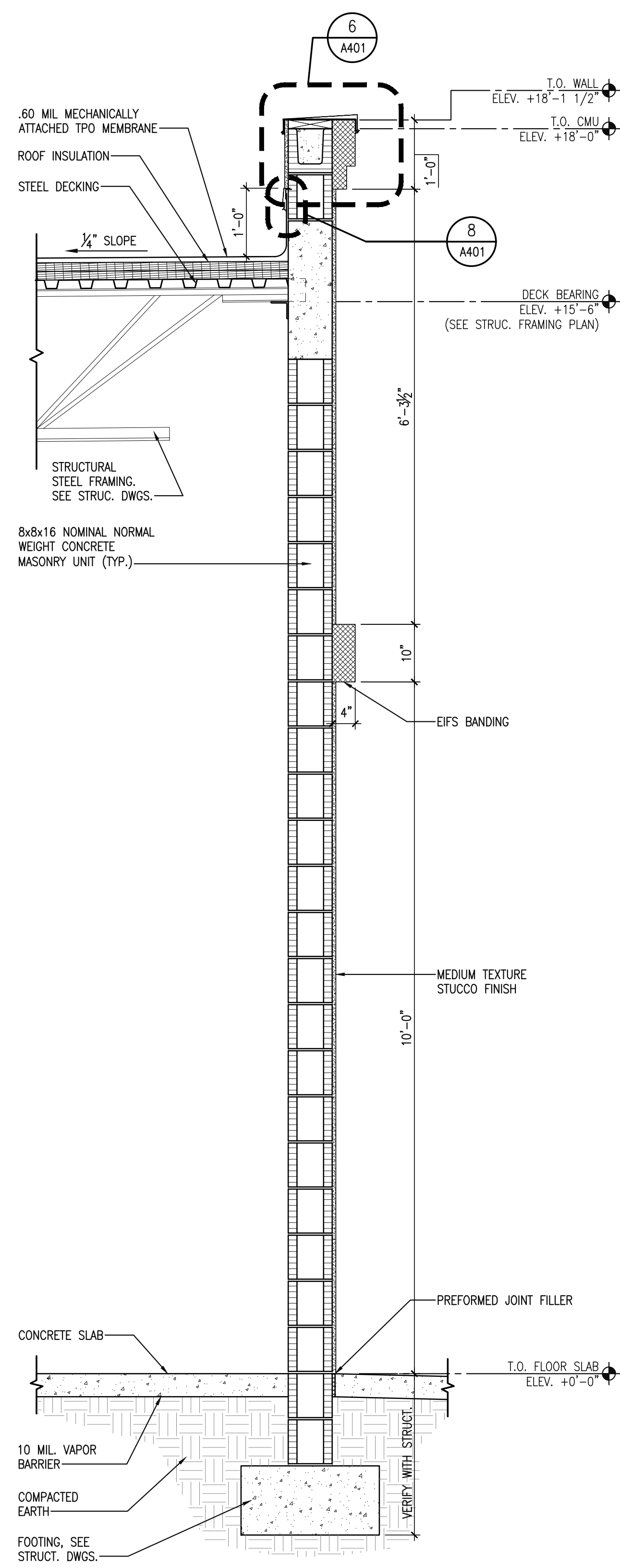
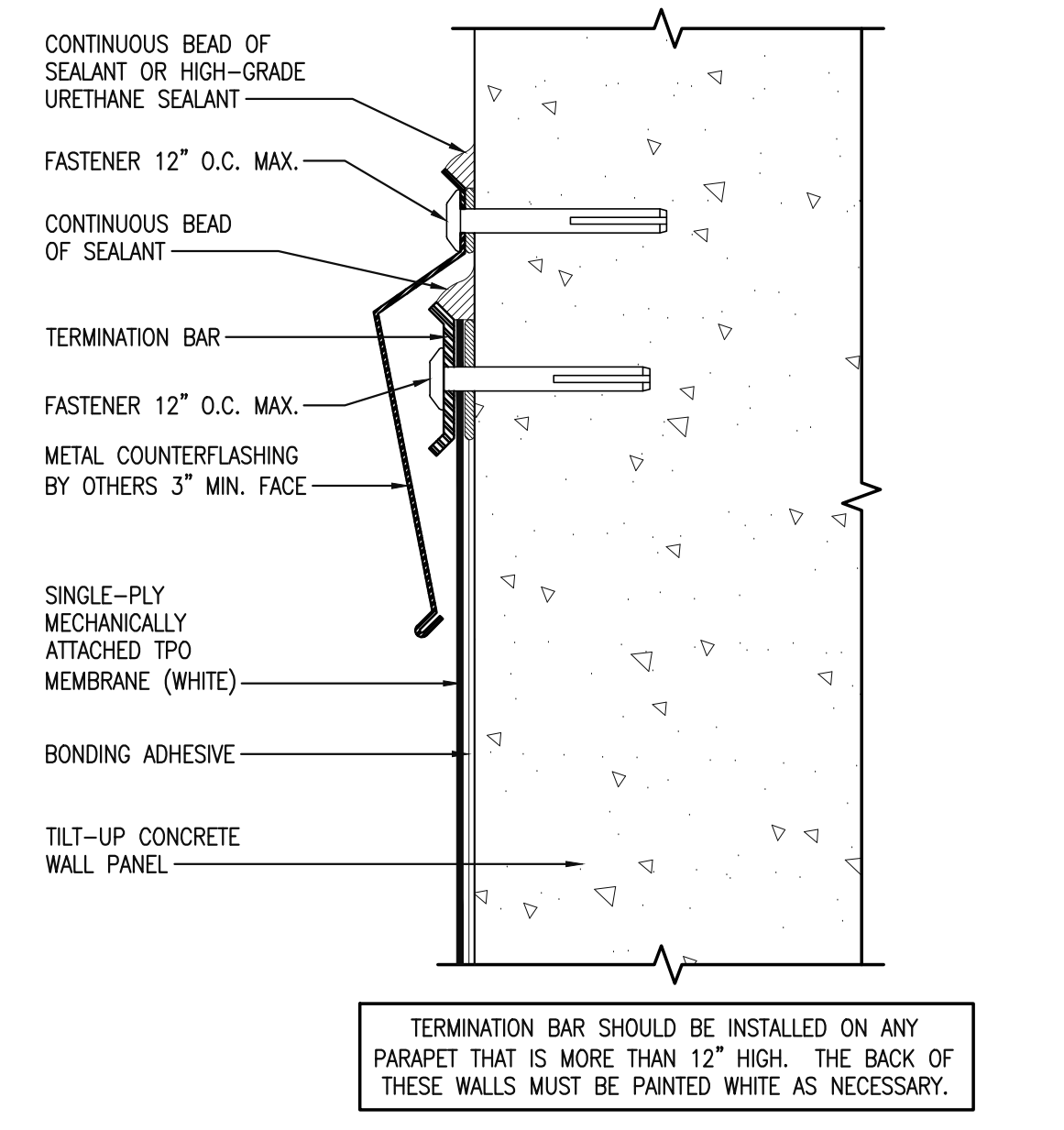
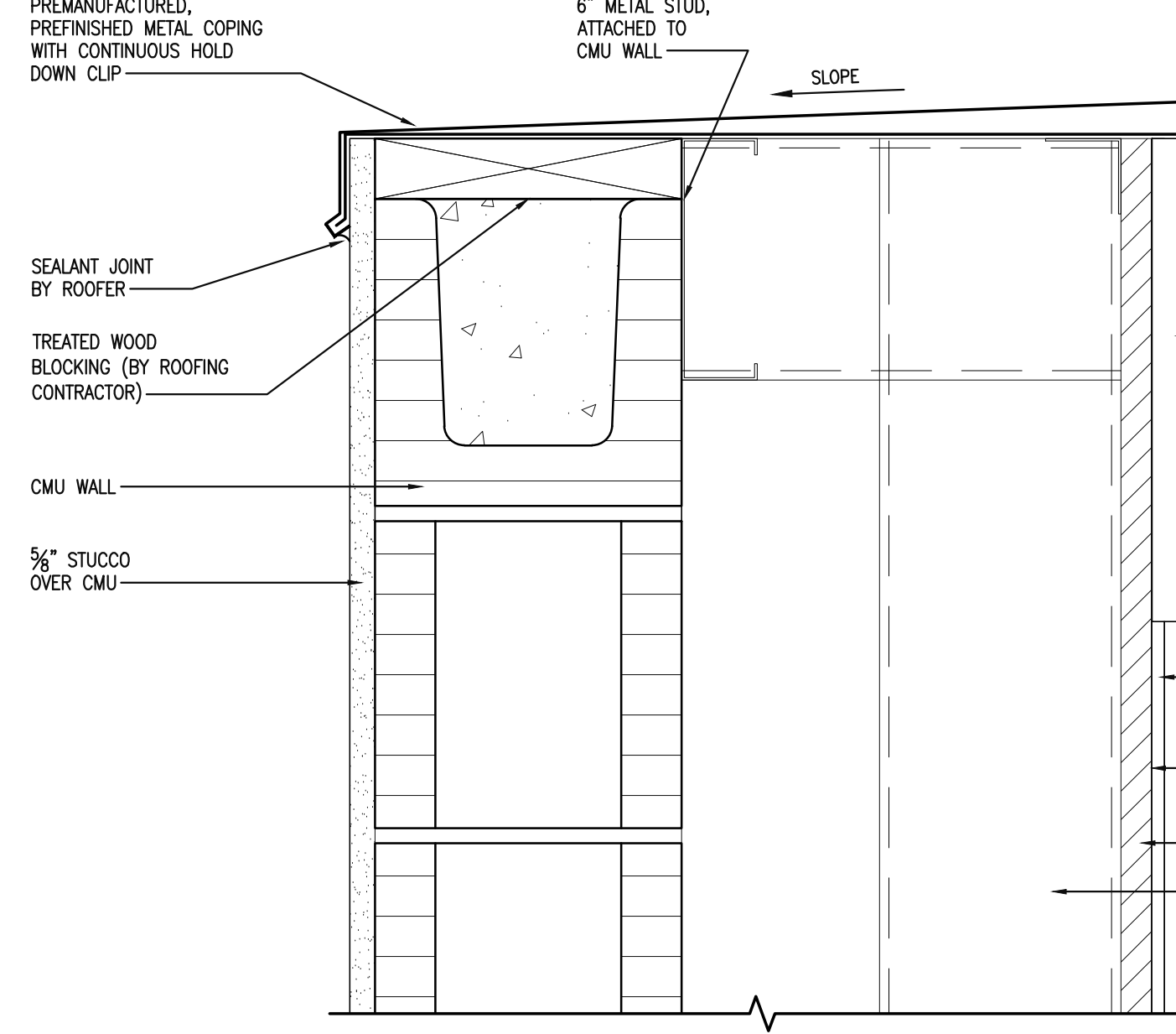
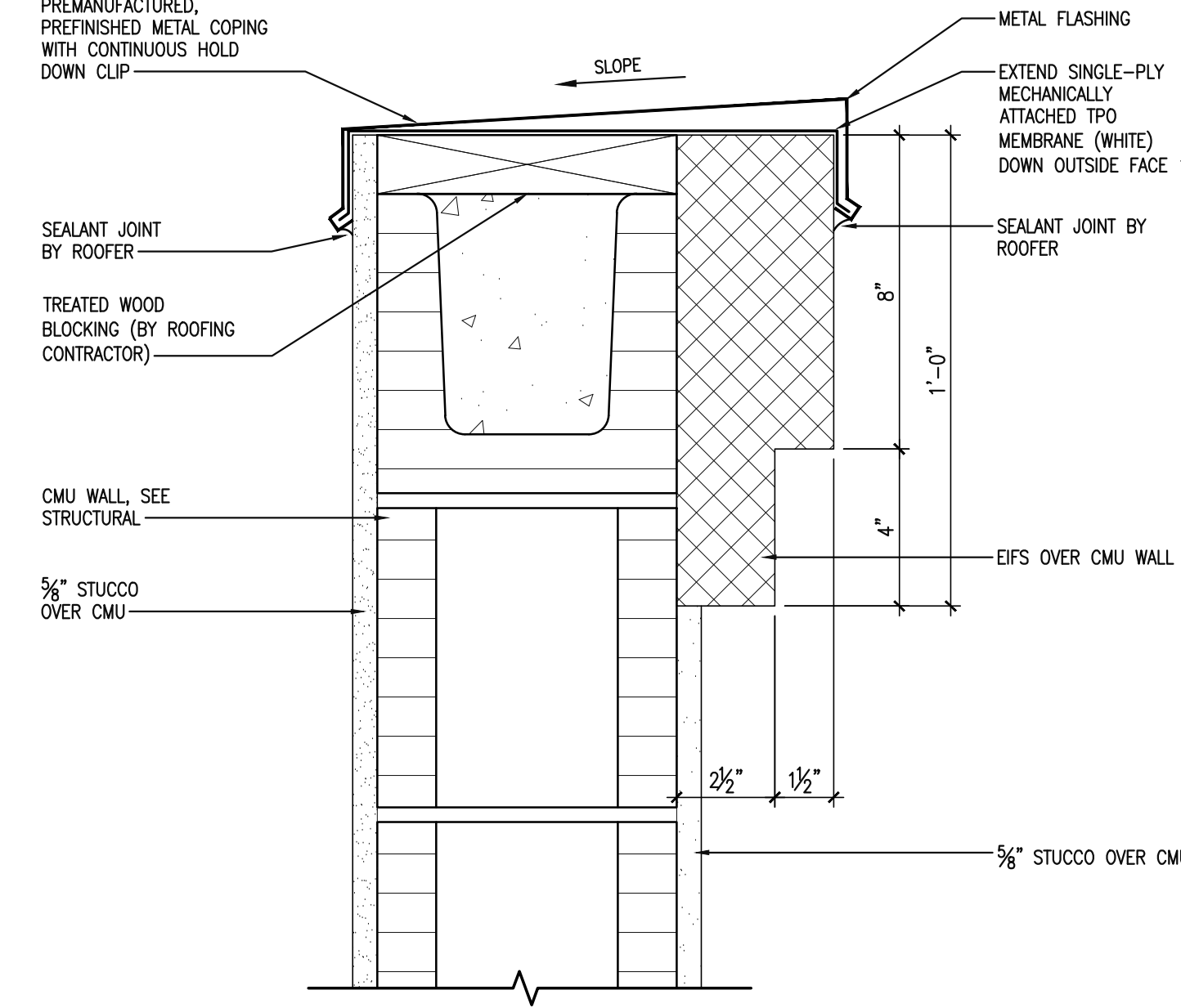
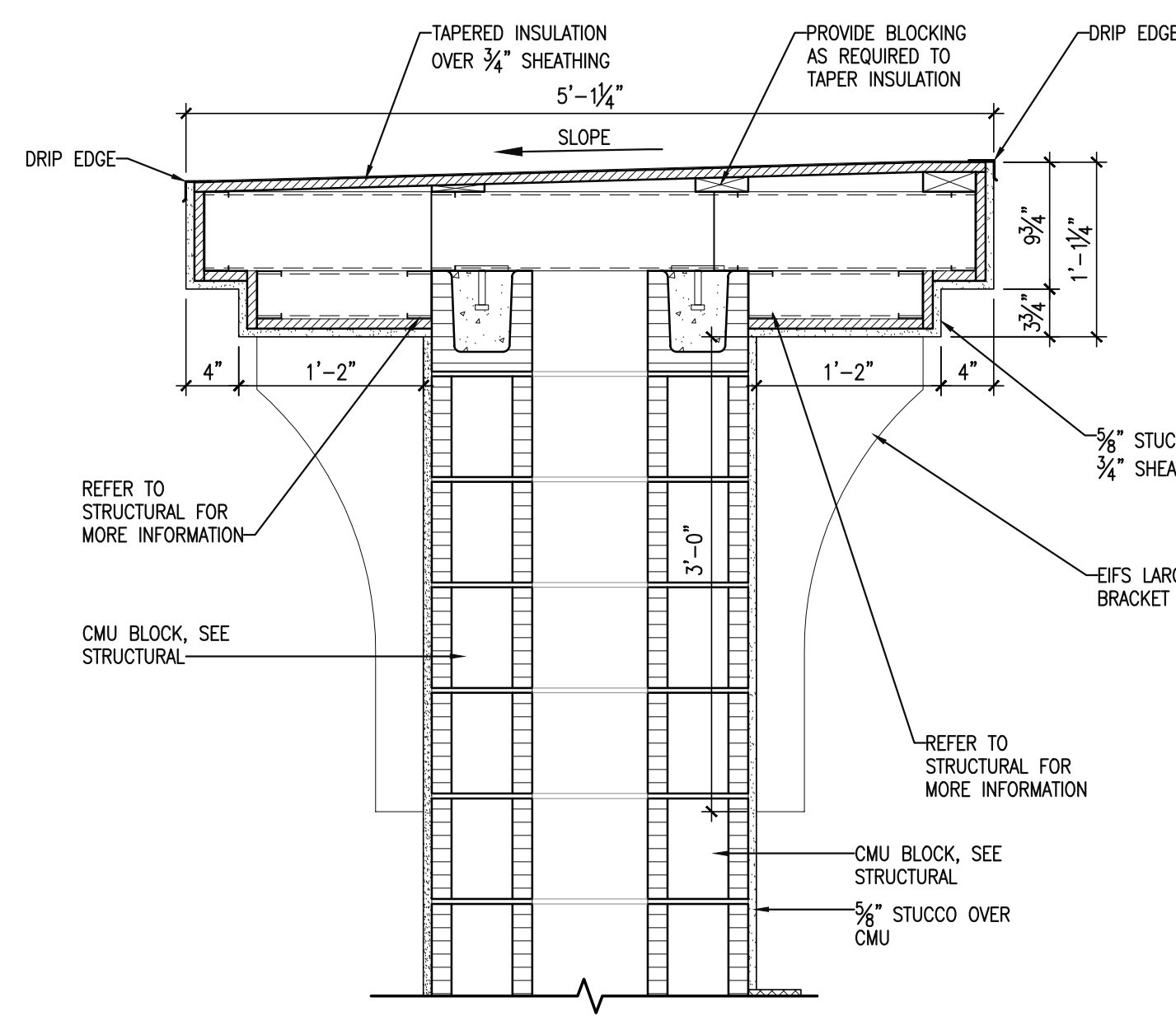
**GLASS SCHEDULE**

EXTERIOR STOREFRONT:  
ALUMINUM SYSTEM: KAWNEER BRAND, TRIFAB 451/451T FRAMING SYSTEM OR APPROVED EQUAL.  
ALUMINUM FINISH: BLACK ANODIZED  
FRAMING SIZE: 2\"/>

GLAZING SCHEDULE:  
ALL GLASS TO BE TYPE "A" UNLESS NOTED OTHERWISE  
1\"/>







CLIENT/DEVELOPER:



135 West Central Blvd., Suite 400  
Orlando, Florida 32801  
TEL: 407.363.6136  
A26001097  
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Scale:	AS NOTED
Date:	12/15/23
Drawn By:	BZ
Checked By:	CMS

WEST MARKET LOT 10  
WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

BUILDING WALL SECTIONS



Drawing Number:  
**A401**  
Of Sheets  
Issuance:  
A/E Job Number:  
**23432**



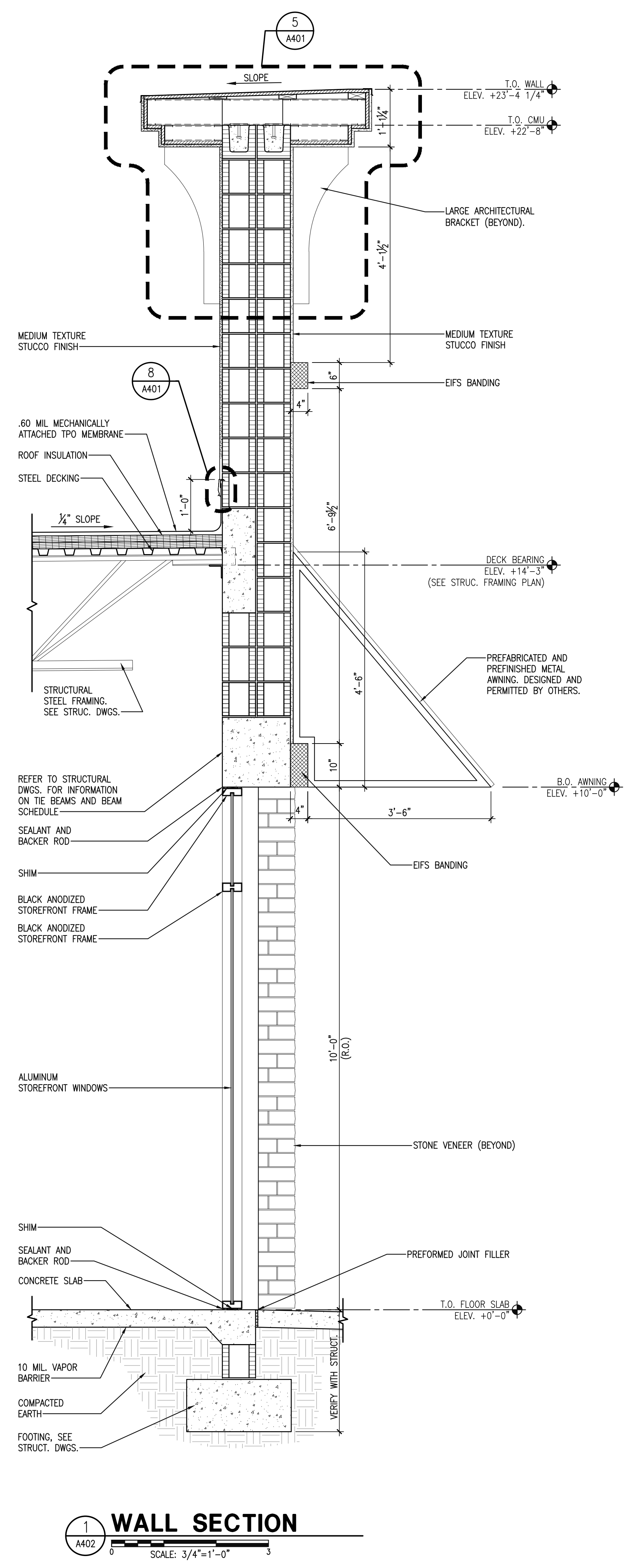
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Date:	12/15/23
Drawn By:	BZ
Checked By:	CRS

**WEST MARKET LOT 10**  
WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

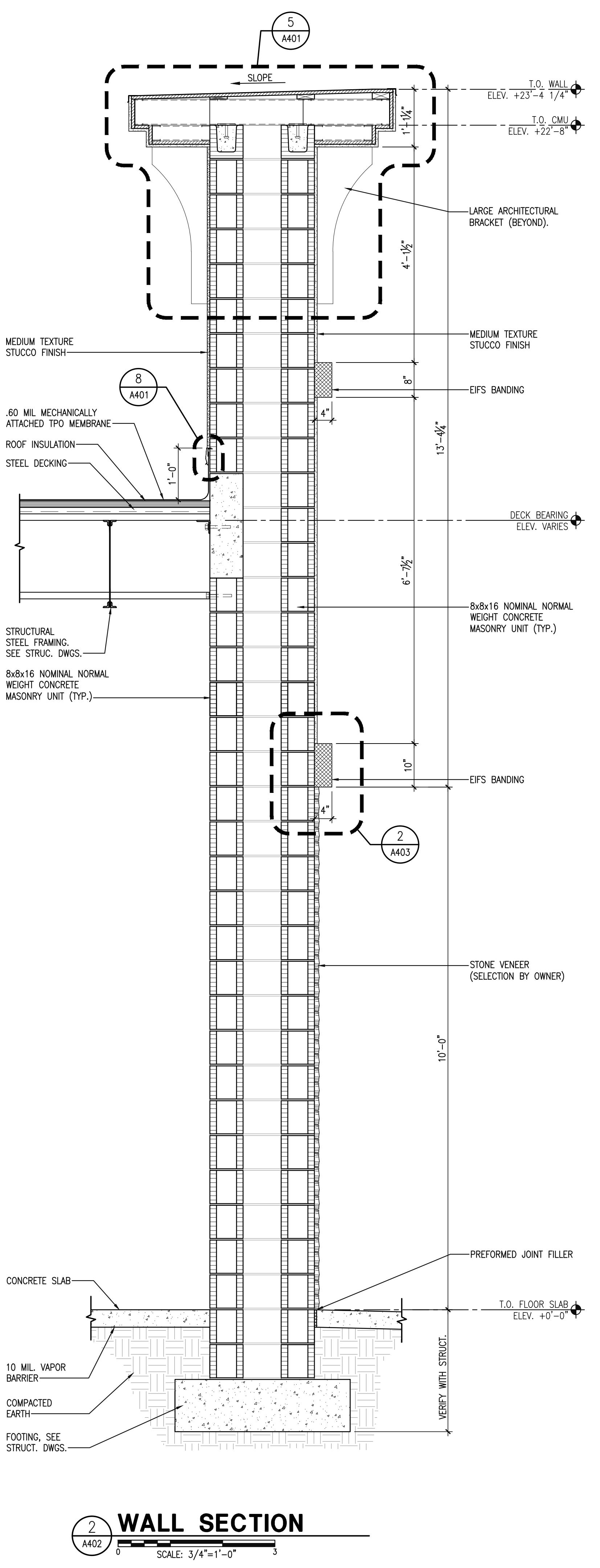
**BUILDING WALL SECTIONS**



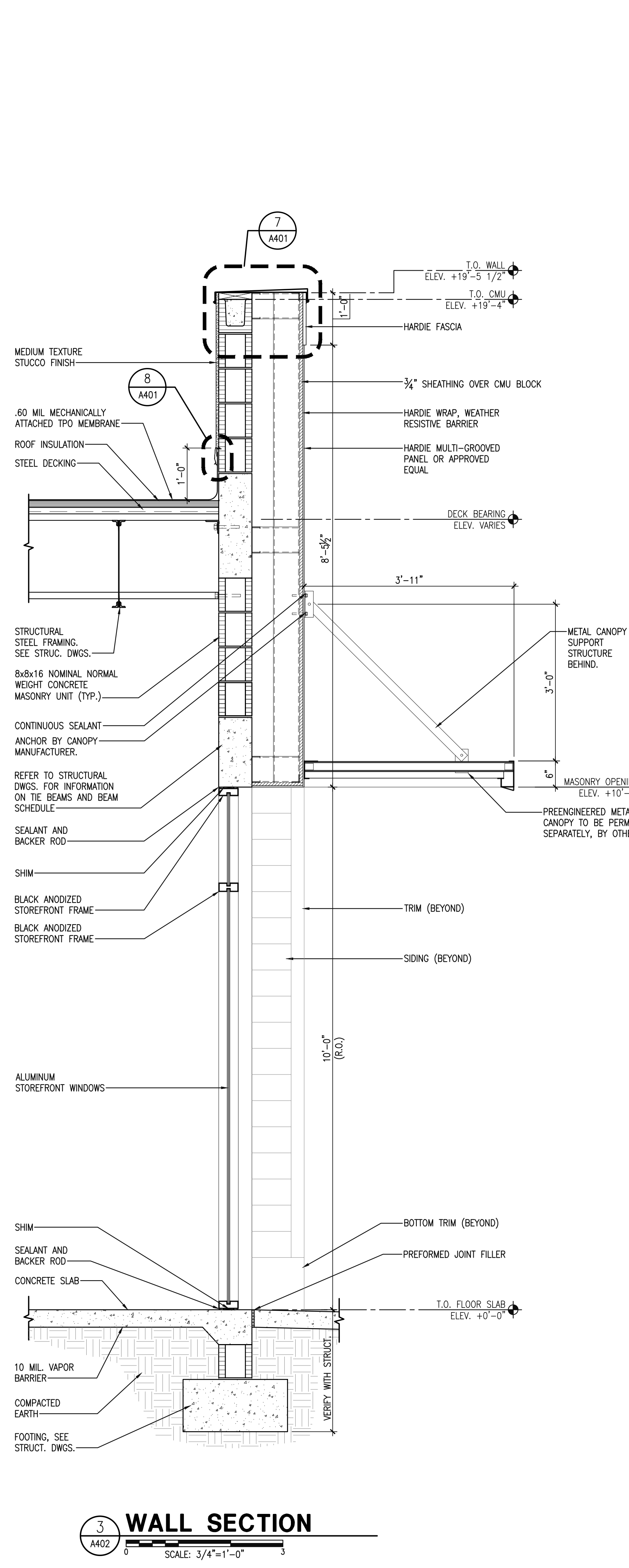
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Of Sheets  
Issuance:  
A/E Job Number:  
**23432**



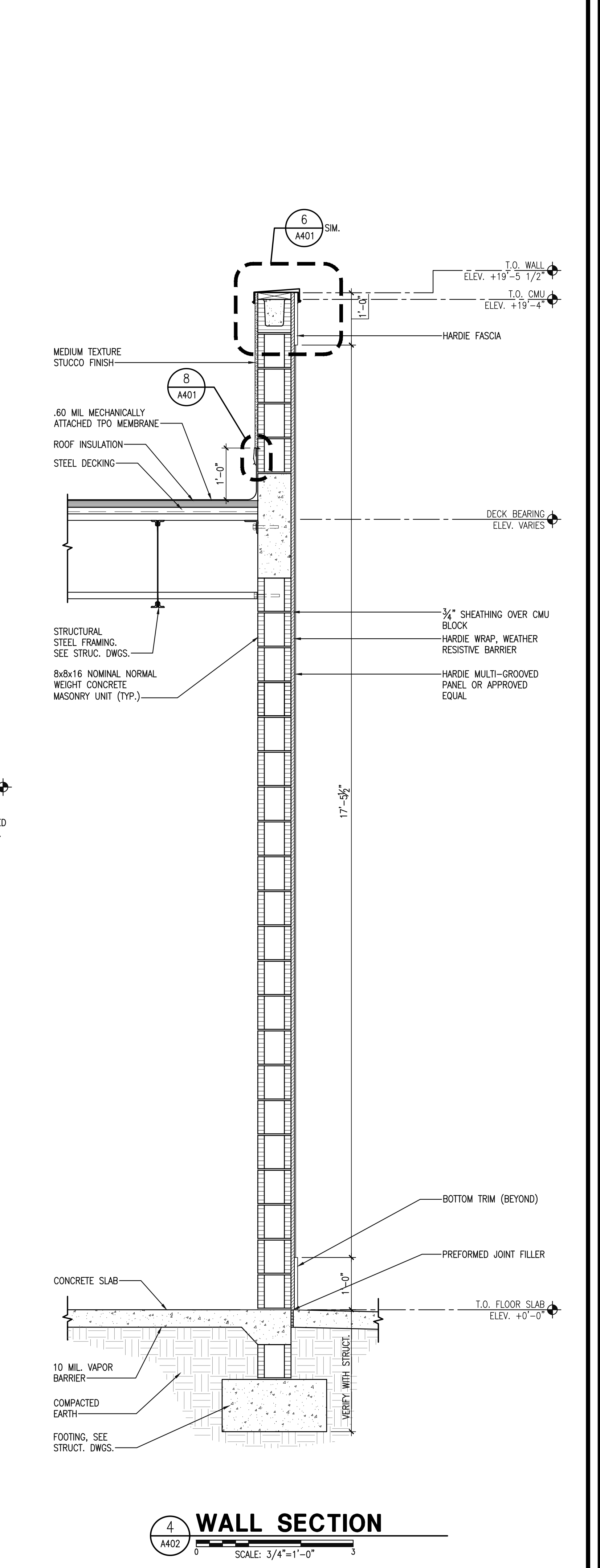
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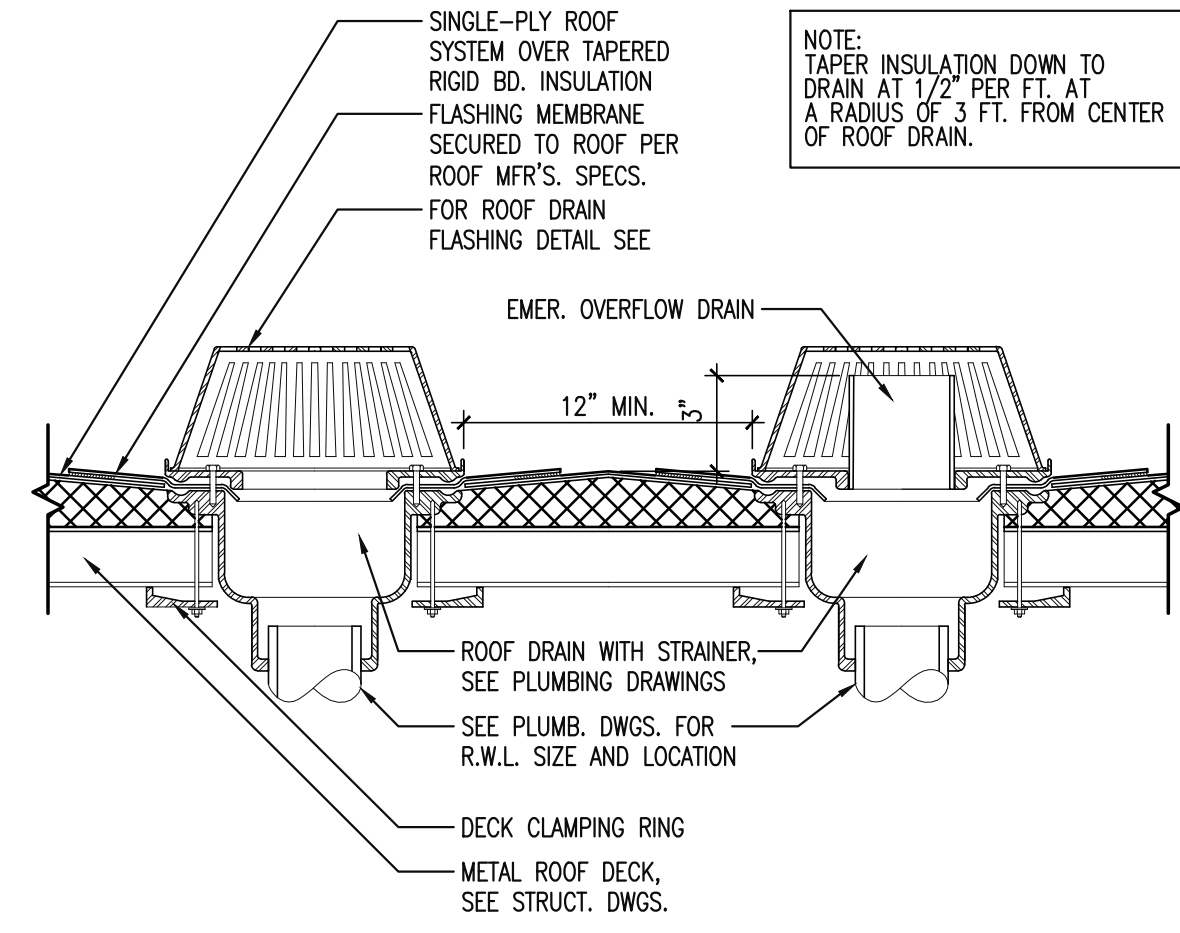
**2 WALL SECTION**  
SCALE: 3/4"=1'-0"



**3 WALL SECTION**  
SCALE: 3/4"=1'-0"

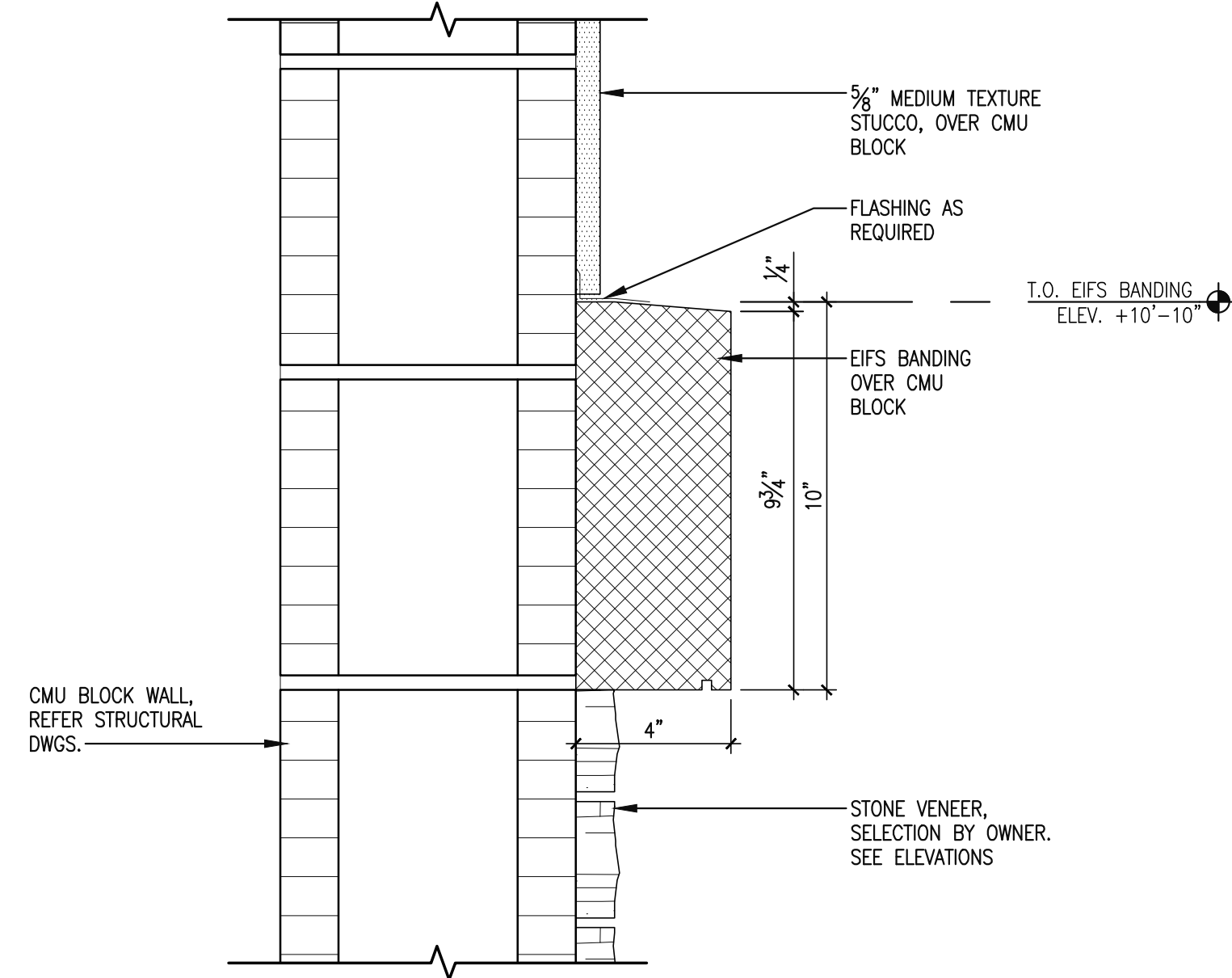


**4 WALL SECTION**  
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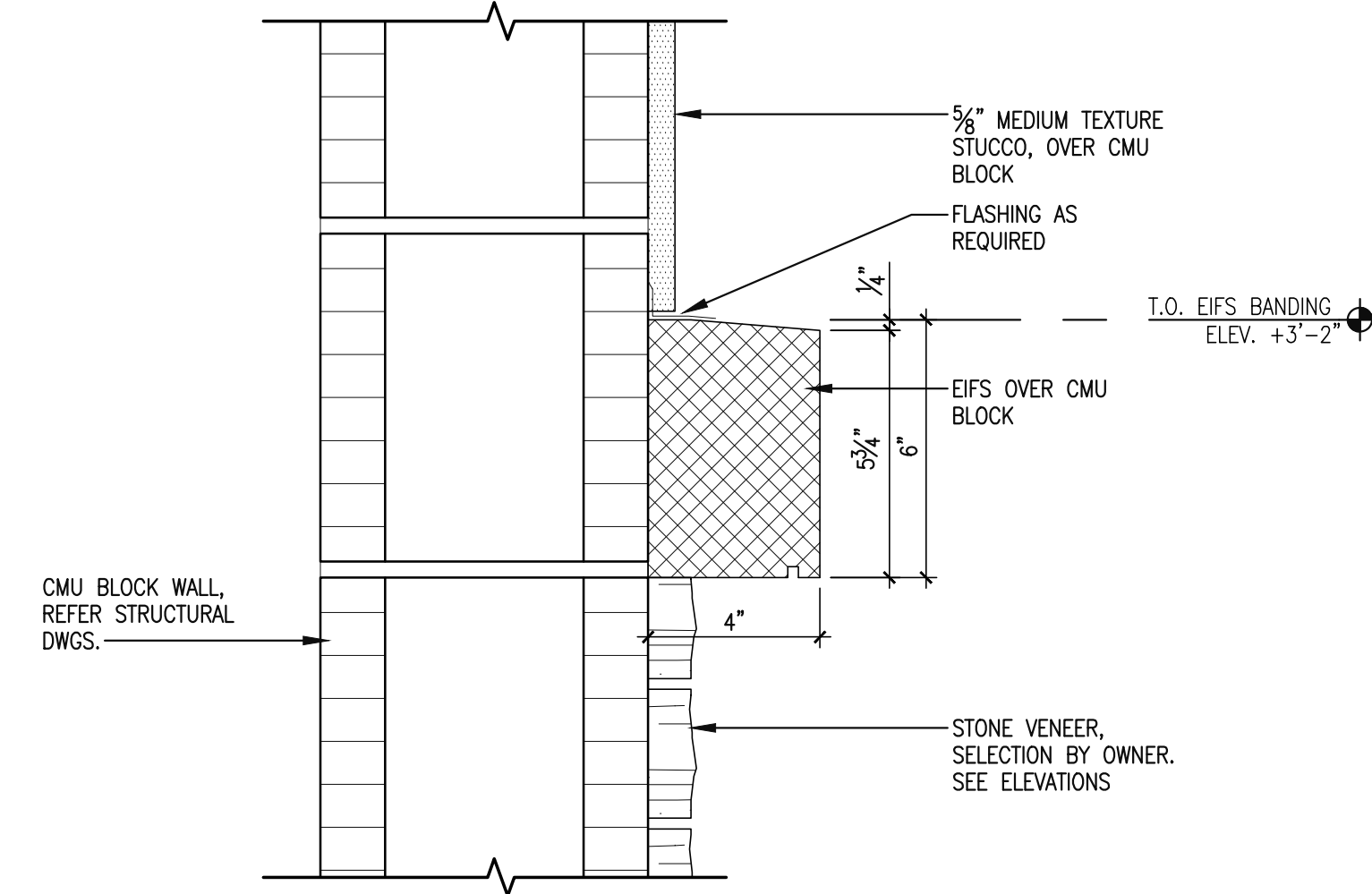


**1**  
A403  
**ROOF DRAIN WITH SECONDARY ROOF DRAIN**  
SCALE: 1/2"=1'

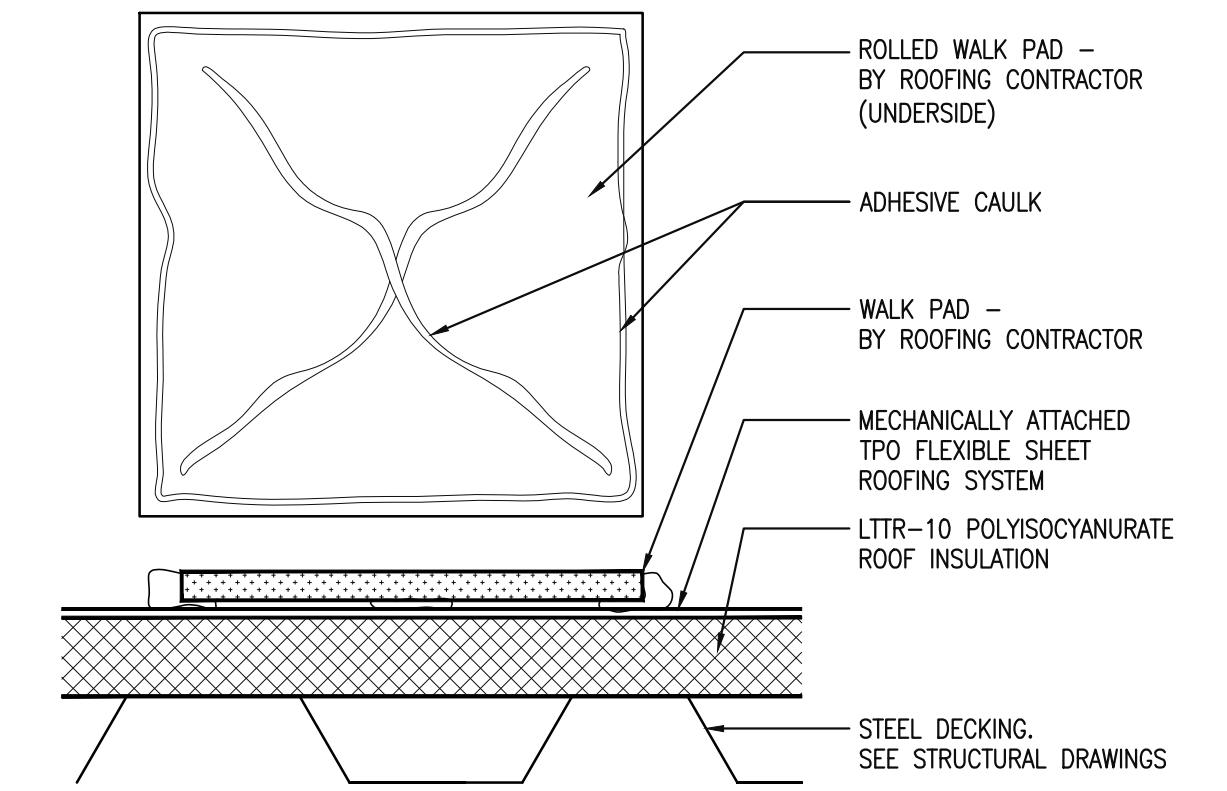
NOTE: TAPE INSULATION DOWN TO DRAIN AT 1/2" PER FT. AT A RADIUS OF 3 FT. FROM CENTER OF ROOF DRAIN.



**2**  
A403  
**DETAIL @ STONE VENEER**  
SCALE: 3/8"=1'-0"

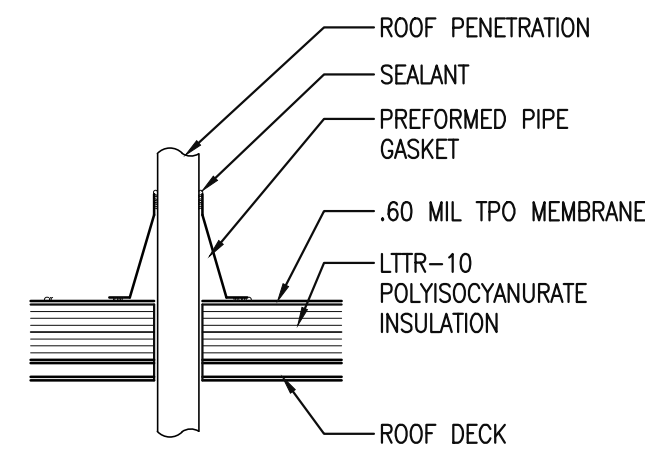


**3**  
A403  
**DETAIL @ STONE VENEER**  
SCALE: 3/8"=1'-0"



ROLLED PROTECTION PADS MAY BE SUBSTITUTED  
**4**  
A403  
**WALKWAY PAD DETAIL**  
SCALE: NOT TO SCALE

- NOTES:
1. PROVIDE CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS AND OTHER MISCELLANEOUS PENETRATIONS.
  2. COORDINATE DETAILS WITH MANUF. SPECIFICATIONS.



**5**  
A403  
**TYP. ROOF PENETRATION DETAIL**  
SCALE: NOT TO SCALE

CLIENT/DEVELOPER:



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Revisions:

Scale:	AS NOTED
Date:	12/15/23
Drawn By:	BZ
Checked By:	CRS

WEST MARKET LOT 10

WEST MARKET LOT 10  
14230 WEST COLONIAL DRIVE  
WINTER GARDEN, FL

BUILDING WALL SECTIONS AND DETAILS



Drawing Number:

**A403**  
Of Sheets

Issuance:

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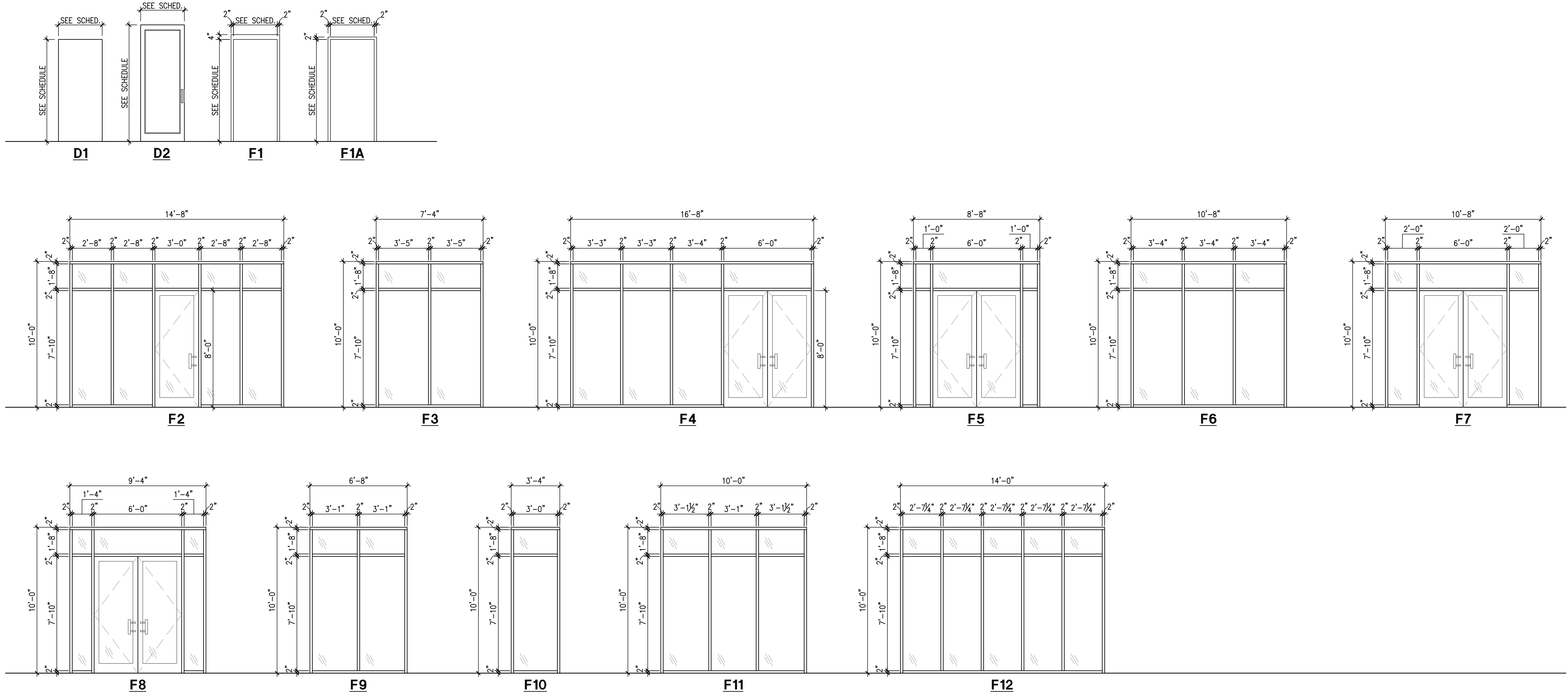


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Checked By:	CRS	

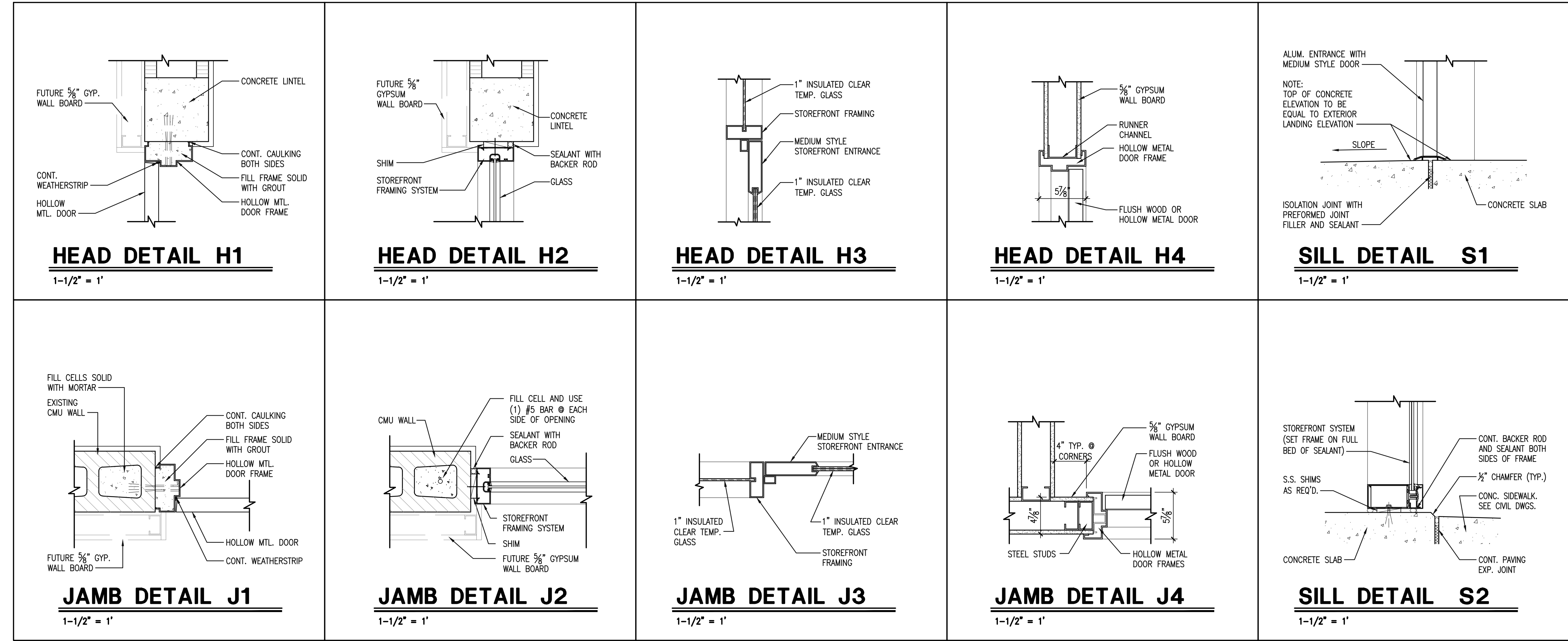


**DOOR AND FRAME SCHEDULE**

DOOR OPENING	ROOM NUMBER AND NAME	DOOR			FRAME			DETAILS			HARDWARE			SECURITY			REMARKS																
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	ELEVATION	MATERIAL	FINISH	ELEVATION	GLASS	HEAD	JAMB	SILL	HINGES/PIVOTS	PUSH/PULL		EXIT DEVICE	LATCH/SET	STOP	CLOSER	MISCELLANEOUS	WEATHER ST.	ELEC. STRIKE	MAG LOCK	CARD READER							
1000A	SHELL BUILDING	3'-0"	8'-0"	1-3/4"	AL	CLA	D2	T	AL	CLA	F2	-	H2H3	J2J3	S2	-	B-2	P-1	-	L-1	S-1	D-2	-	W-1	-	-	-	-	-	-	-	-	ST = STAINED HM = HOLLOW METAL WM = WOOD IMP = INSULATED METAL PANEL INS = INSULATED GLASS T = TEMPERED GLASS F = FIRE RATE TEMPERED GLASS
1000B	SHELL BUILDING	(2) 3'-0"	8'-0"	1-3/4"	AL	CLA	D2	T	AL	CLA	F4	-	H2H3	J2J3	S2	-	B-2	P-1	-	L-1	S-1	D-2	-	W-1	-	-	-	-	-	-	-	-	BA = BRONZE ANOZED CLA = CLEAR ANOZED PT = PAINT PF = PREFINISHED CC = CLEAR ANOZED PR = PAR * = MATCH EXISTING
1000C	SHELL BUILDING	(2) 3'-0"	8'-0"	1-3/4"	AL	CLA	D2	T	AL	CLA	F5	-	H2H3	J2J3	S2	-	B-2	P-1	-	L-1	S-1	D-2	-	W-1	-	-	-	-	-	-	-	-	-
1000D	SHELL BUILDING	(2) 3'-0"	8'-0"	1-3/4"	AL	CLA	D2	T	AL	CLA	F7	-	H2H3	J2J3	S2	-	B-2	P-1	-	L-1	S-1	D-2	-	W-1	-	-	-	-	-	-	-	-	-
1000E	SHELL BUILDING	(2) 3'-0"	8'-0"	1-3/4"	AL	CLA	D2	T	AL	CLA	F8	-	H2H3	J2J3	S2	-	B-2	P-1	-	L-1	S-1	D-2	-	W-1	-	-	-	-	-	-	-	-	-
1000F	SHELL BUILDING	3'-0"	7'-0"	1-3/4"	HM	PT	D1	-	HM	PT	F1	-	H1	J1	S1	-	B-1	-	-	L-2	S-1	D-1	-	W-2	-	-	-	-	-	-	-	-	-
1000G	SHELL BUILDING	3'-0"	7'-0"	1-3/4"	HM	PT	D1	-	HM	PT	F1	-	H1	J1	S1	-	B-1	-	-	L-2	S-1	D-1	-	W-2	-	-	-	-	-	-	-	-	-
1000H	SHELL BUILDING	3'-0"	7'-0"	1-3/4"	HM	PT	D1	-	HM	PT	F1	-	H1	J1	S1	-	B-1	-	-	L-2	S-1	D-1	-	W-2	-	-	-	-	-	-	-	-	-



**DOOR & FRAME ELEVATIONS**



**GENERAL NOTES:**

- ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT. DO NOT SCALE DRAWINGS.
- PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, A SUFFIX HAS BEEN ADDED (I.E. 100A). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYP. BOARD).
- APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURING LIMIT HEIGHT L/120.
- ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT TO REVIEW.
- ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANUFACTURING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE.
- FLOOR SHALL BE BROOM CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES.
- ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE PREMISES. THIS INCLUDES, BUT IS NOT LIMITED TO MOLD, ASBESTOS-CONTAINING MASTIC, TILE, PIPE, WRAP AND INSULATION.
- FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. CONTRACTOR TO COORDINATE NUMBER, TYPE AND LOCATION REQUIRED PER CODE AND CONFIRM WITH LOCAL FIRE MARSHAL.
- PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE, TV AND TELEPHONE. COORDINATE WITH OWNER.
- PROVIDE CONDUIT WITH A PULL CORD CONNECTING TO THE MASTER POWER SERVICE. ALL PANEL METERS AND METER FEES SHALL BE FUTURE TENANT'S RESPONSIBILITY.
- PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATIONS TO ACHIEVE POSITIVE DRAINAGE.
- FOR ALL FRONT AND REAR DOORS INDICATED WITH EXIT SIGNS:
  - THRESHOLD SHALL BE 1/2" MAX.
  - DOORS FLOOR LEVEL CHANGE SHALL BE 1/2" MAX.
  - HARDWARE HEIGHT SHALL BE MIN. 36", MAX. 48" A.F.F.
  - DOOR LANDING SHALL BE 44" IN TRAVEL DIRECTION.
- ROOF ACCESS LADDER MUST MEET 2020 FBC. SHOP DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.
- ALTERNATES:
  - PROVIDE (1) COAT OF ASHFORD FORMULA CONCRETE SEALER ON ALL FLOORING.

**HARDWARE SCHEDULE**

DES.	QTY.	TYPE	MODEL #	FINISH	BRAND
B-1	3/LEAF	HINGES	FBB179	#32D	STANLEY
B-2	2/LEAF	OFFSET PIVOTS	MFG. STD.	BLK	KAWNEER
<b>LATCH-FUNCTION</b>					
L-1	1	RM CYLINDER W/ THUMBTURN	ADA	BLK	ATH
L-2	1	CLASSROOM	ND SERIES	626	ATH
L-3	1	PRIVACY	ND SERIES	626	ATH
NOTE: ADD DOOR PRY GUARDS TO ALL EXTERIOR LOCKSETS ON HOLLOW METAL DOORS.					
<b>STOP</b>					
S-1	1/LEAF	FLOOR STOP	3310	US26D/BLK	DCI
<b>CLOSER</b>					
D-1	1/LEAF	SURFACE MTD. CLOSER	7500	626	NORTON
D-2	1/LEAF	SURFACE MTD. CLOSER	MFG. STD.	BLK	KAWNEER
<b>MISCELLANEOUS</b>					
M-1	1	DUSTPROOF STRIKE	MFG. STD.	MFG. STD.	MFG. STD.
M-2	1/LEAF	FLUSHBOLT	MFG. STD.	MFG. STD.	MFG. STD.
M-3	1/LEAF	KICK PLATE	8"X34"	US32D	HAWATHA
<b>PUSH/PULL</b>					
P-1	1/LEAF	PULL HANDLE	CS-9	BLK	KAWNEER
P-2	1/LEAF	PUSH PLATE	CP II	BLK	KAWNEER
<b>EXIT DEVICE</b>					
X-1	1	RM PANIC DEVICE	MFG. STD.	MFG. STD.	MFG. STD.
X-2	1	EXIT DEVICE	APEX 2000	US26D	PRECISION
<b>WEATHER STRIP</b>					
W-1	1	WEATHER STRIPPING AND THRESHOLD	MFG. STD.	MFG. STD.	MFG. STD.
W-2	1	THRESHOLD	171A-36"	AL	PEMCO
W-3	1	WEATHERSTRIP	SET 303-AV	AL	PEMCO
W-4	1	DROP CAP	346C-36"	AL	PEMCO
W-5	1	DOOR BOTTOM	216AV-36"	AL	PEMCO

**DOOR SCHEDULE NOTES:**

- PROVIDE NEW MEDIUM GRADE ADA LEVER HARDWARE TO MATCH SCHLAGE TRIM PROFILE RIO RHODES - SATIN CHROME FINISH.
- COORDINATE KEYING LOCK SETS WITH TENANT.
- ALL EXIT DOOR HARDWARE TO MEET THE REQUIREMENTS OF LIFE SAFETY CODE 101, SECTION 7.2.1.6.2.
- VERIFY SECURITY HARDWARE WITH TENANT.
- ALL HARDWARE MAY BE SUBSTITUTED FOR EQUAL WITH ARCHITECT'S APPROVAL.
- ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED WITH SEMI-GLOSS ENAMEL TO MATCH ADJACENT WALL COLOR.
- PROVIDE SILENCERS (3) PER SINGLE DOOR BY IVES AT ALL DOORS. MANUFACTURER MAY BE SUBSTITUTED AT OWNERS REQUEST.
- VERIFY WALL THICKNESS BEFORE ORDERING H.M. FRAMES.
- SECURITY HARDWARE VENDOR WHEN SELECTED SHALL COMPLY WITH NFPA 101 7.2.1.6.2 AND FLORIDA BUILDING CODE 1008.1.3.4 FOR ACCESS-CONTROLLED DOORS. IF REQUESTED, SECURITY VENDOR WILL SUBMIT DOCUMENTATION CONFIRMING THE FOLLOWING:

**GLASS SCHEDULE**

EXTERIOR STOREFRONT:  
ALUMINUM SYSTEM: KAWNEER BRAND, TRIFAB 451/451T FRAMING SYSTEM OR APPROVED EQUAL.  
ALUMINUM FINISH: BLACK ANOZED  
FRAMING SIZE: 2" x 45" PROFILE

GLAZING SCHEDULE:  
ALL GLASS TO BE TYPE "A" UNLESS NOTED OTHERWISE

1" THICK INSULATED CLEAR LOW E GLASS TEMPERED GLASS