

# VISION SOURCE WINTER SPRINGS

AT  
TUSKAWILLA RD.  
WINTER SPRINGS, FLORIDA

OWNER  
WINTER SPRINGS APARTMENTS LP  
880 GLENWOOD AVE SE, STE H  
ATLANTA, GA 30316-1825

DEVELOPER  
FISHER EYE PROPERTIES, LLC.  
690 LONG LAKE DRIVE  
OVIEDO, FL 32765  
DAVID FISHER  
(407) 462 - 3738

ENGINEER APPLICANT  
NV5, INC.  
6200 LEE VISTA BLVD.  
ORLANDO, FL 32822  
FRANKLIN A. PORTER, P.E.  
407-896-3317

**SITE UTILITY NOTES:**

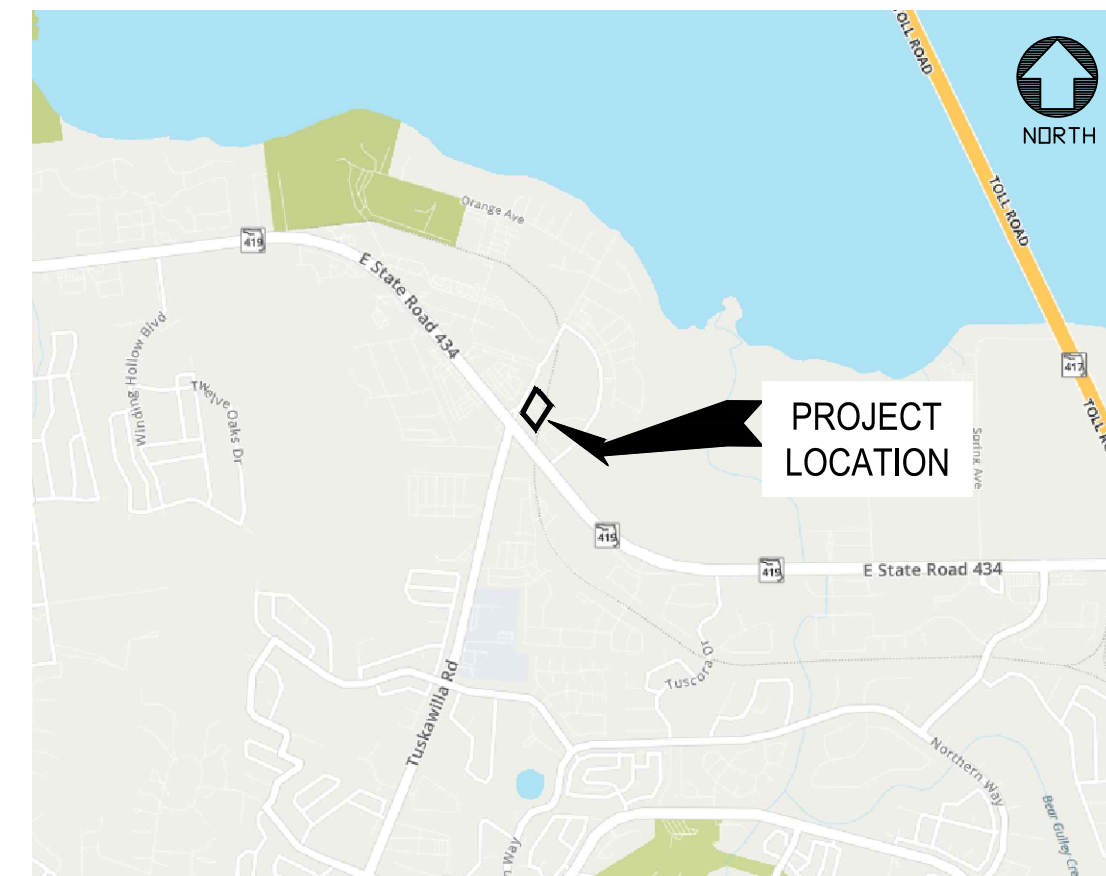
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE PROPER UTILITIES AUTHORITIES 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
6" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 10' DEEP  
8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 10' DEEP  
6" PVC SDR 35 PER ASTM D3034  
DUCTILE IRON PIPE PER AWWA C150
- WATER LINES SHALL BE AS FOLLOWS, UNLESS OTHERWISE DEPICTED ON PLANS:  
6" AND LARGER, PVC C-900 PER ASTM D 2241  
CLASS 200 UNDER PUBLIC ROADS, OTHERWISE CLASS 150  
6" AND LARGER DUCTILE IRON PIPE PER AWWA C150  
SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI B16.22  
OR PVC, 200 P.S.I., PER ASTM D1784 and D2241.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATER LINES AND SANITARY SEWER.
- INES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BY CITY OF WINTER SPRINGS PUBLIC WORKS BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE SIX INCHES ABOVE UNPAVED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- EXISTING UTILITIES HAVE BEEN FIELD VERIFIED, HOWEVER, EXISTING UTILITIES SHALL BE RE-VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES. THE EXISTING SANITARY SEWER SIZE, LOCATION, AND ELEVATION SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND DEPICTED ON THESE PLANS.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL WATER JOINTS ARE TO BE MECHANICAL RESTRAINED JOINTS.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL RESTRAINED JOINTS AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI Z1.11 (AWWA C-151) (CLASS 50).
- ALL SANITARY LATERALS (LESS THAN 6" DIAMETER) SHALL BE SLOPED AT A MINIMUM OF 1.00%.
- CONTRACTOR SHALL TURN OFF THE CORPORATION STOPS AT THE METERS FOR ALL WATER SERVICES THAT ARE TO BE REMOVED.
- WHEN ANY ROOTS OF EXISTING TREES ARE ENCOUNTERED DURING LAND CLEARING AND/OR GRADING OF THE SITE THE ROOTS MUST BE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. CONTRACTOR SHALL MINIMIZE DAMAGE TO TREE ROOT SYSTEM.
- A MINIMUM OF 5 FT SEPARATION SHALL BE PROVIDED BETWEEN THE UNDERGROUND UTILITIES AND ANY PROPOSED LARGE CANOPY TREES.
- PRIVATE DEDICATED UNDERGROUND FIRE MAINS AND FIRE HYDRANTS MUST BE INSTALLED BY A LICENSED FIRE CONTRACTOR CLASS I, II, III, IV. COMBINATION FIRE MAINS (SHARED DOMESTIC AND FIRE PROTECTION SERVICE) AND FIRE HYDRANTS UP TO THE DEDICATED FIRE PROTECTION SYSTEM "POINT OF SERVICE" CAN BE INSTALLED BY A LICENSED UNDERGROUND UTILITY/EXCAVATION CONTRACTOR, GENERAL CONTRACTOR, OR PLUMBING CONTRACTOR.
- UNDERGROUND FIRE MAINS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 24:2007 EDITION. STANDARDS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES.
- IN PAVED AREAS, ALL CLEANOUT COVERS SHALL BE TRAFFIC RATED.

**SITE PLAN NOTES:**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF WINTER SPRINGS REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PONCHES, ETC., PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, SEE 0200 SPECIFICATION.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED, UNLESS OTHERWISE NOTED, THOSE ISLANDS ARE TO HAVE CONC. CURBS.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE MODIFIED AS NECESSARY, ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SITE WORK FOR THE PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS".
- LIGHTING ELECTRICAL PLANS TO BE PROVIDED BY DUKE ENERGY.
- ALL SIGNAGE AND STRIPING TO BE INSTALLED IN ACCORDANCE WITH MUTCD (LATEST EDITION) STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION DUMPSTERS TO BE WASTE PRO, NO EXCEPTIONS.
- NO ONSITE BURNING IS ALLOWED AT ANY TIME.
- ALL ORGANIC OR OTHER UNSUITABLE MATERIALS MUST BE HAILED OFF THE SITE AND PROPERLY DISPOSED.
- PAYMENT OF THE 1% SITE INSPECTION FEE IS DUE PRIOR TO BREAKING GROUND. FEE IS 1% OF THE TOTAL SITEWORK CONSTRUCTION COST, NOT INCLUDING ITEMS COVERED BY A BUILDING PERMIT.
- PROVIDE A VIDEO INSPECTION OF ALL SANITARY SEWER MAINS, SANITARY SEWER LATERALS, AND ALL STORMWATER PIPES. PROVIDE THE CITY WITH A DVD COPY OF ALL VIDEO INSPECTIONS.
- ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH 2017 DESIGN STANDARDS, 2017 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND 2010 UTILITY ACCOMMODATION MANUAL.

**GEOTECHNICAL DATA:**

EARTHWORK RELATED TO THE BUILDING FLOOR SLAB SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT BY ECS FLORIDA, LLC, REPORT JOB NO. 24-6014, SIGNED BY ARAVIND RANGASWAMY, PE ON MARCH 8, 2017.  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THIS REPORT.



VICINITY MAP  
N75



AERIAL PHOTO

**LEGAL DESCRIPTION**

LOT 6, WINTER SPRINGS APARTMENTS - A REPLAT, RECORDED IN PLAT BOOK 82, PAGE 63 THROUGH 66, INCLUSIVE, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

**SITE GRADING NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- STORM PIPE SHALL BE PER MASTER SITE SPECIFICATIONS SECTION 02630.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYOR CONSULTANT. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL EXISTING MANHOLE RIMS TO BE FLUSH WITH FINISHED GRADE. CONTRACTOR TO INSTALL MANHOLE RISERS OR ADJUST EXISTING FRAMES AS NECESSARY.
- EXISTING GRATE ELEVATIONS TO REMAIN. WHERE PAVEMENT OVERLAY IS TO BE PLACED, FEATHER OVERLAY TO MATCH EXISTING GRATE ELEVATION TO FORM A SMOOTH TRANSITION.
- SPOT ELEVATIONS ADJACENT TO CURBS REPRESENT EDGE OF PAVEMENT ELEVATIONS, TOP OF CURB SHOULD BE CONSIDERED 6" HIGHER.
- CONTRACTOR TO MATCH EXISTING GRADE AT LIMITS OF DISTURBANCE, AS DEPICTED ON SWPPP SITE MAPS.
- STRIP THE SURFICIAL ORGANIC SANDS AND IMPORT A MINIMUM OF 2 FEET OF PRE-APPROVED ENGINEERED FILL WITHIN THE LIMITS OF PROPOSED BUILDING FOUNDATIONS AND PAVEMENT.
- AFTER STRIPPING IS COMPLETE, THE EXPOSED SUBGRADE SHALL BE OBSERVED, TESTED AND PROOF-ROLLED WITH A MINIMUM OF 10 PASSES WITH A HEAVY VIBRATORY ROLLER IN PERPENDICULAR DIRECTIONS.
- FILL SHALL BE COMPACTED IN LIFTS NO THICKER THAN 9 TO 12 INCHES IN LOOSE THICKNESS, WITH EACH LIFT COMPACTED TO AT LEAST 95 PERCENT OF THE SOILS MODIFIED PROCTOR DRY DENSITY, (ASTM D-1557), AT A DEPTH OF 1 FOOT BELOW THE COMPACTED SURFACE, AS DETERMINED BY IN-PLACE DENSITY TESTS.
- FILL SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIAL'S MAXIMUM MODIFIED PROCTOR DRY DENSITY
- IMPORTED FILL OR BACKFILL SHOULD CONSIST OF FINE SAND WITH LESS THAN 15 PERCENT PASSING THE NO. 200 SIEVE, FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.
- MOISTURE CONTENT OF THE FILL SHALL BE WITH IN +/-2 PERCENT OF OPTIMUM MOISTURE CONTENT AS ESTABLISHED IN ASTM D-1557.
- ONE FIELD DENSITY TEST SHALL BE CONDUCTED PER 2,500 SQUARE FEET (OR FRACTION THEREOF) PER LIFT, IN THE BUILDING AREA. 1 TEST PER 5,000 SQUARE FEET IN PAVEMENT AREAS.
- ALTHOUGH THE EXPOSED SUBGRADE IS ANTICIPATED TO BE RELATIVELY STABLE UPON INITIAL EXPOSURE, UNSTABLE SUBGRADE CONDITIONS COULD DEVELOP DURING GENERAL CONSTRUCTION OPERATIONS IF THE SOILS ARE WETTED AND/OR SUBJECTED TO REPETITIVE CONSTRUCTION TRAFFIC.
- LANDSCAPED AREAS BETWEEN RESIDENTIAL BUILDINGS AND SIDEWALKS ALONG PUBLIC ROADS SHALL BE SLOPED SUCH THAT THE EXPOSED FOOTER OF THE BUILDING IS A MINIMUM OF 1 FOOT AND MAXIMUM OF 2.5 FEET.

Sheet List Table		
Sheet Number	Sheet Title	Revision 1 12/04/23
C01.0	COVER SHEET	●
C02.0	SWPPP PHASE 1 PLAN	
C03.0	SWPPP PHASE 2 PLAN	
C04.0	SITE PLAN	●
C05.0	GRADING PLAN	●
C06.0	UTILITY PLAN	●
C07.0	WATER DETAILS	
C08.0	SANITARY SEWER DETAILS	
C09.0	GENERAL DETAIL SHEET 1	
C10.0	GENERAL DETAIL SHEET 2	
C11.0	TREE REMOVAL PLAN	
C12.0	FIRE TRUCK ACCESS PLAN	
S1.0	BOUNDARY AND TOPO. SURVEY	
L-1	LANDSCAPE PLAN	
E0-2	PHOTOMETRIC SITE PLAN	

MASTER SPECIFICATIONS UNDER SEPERATE COVER AVAILABLE UPON REQUEST

**JURISDICTION / UTILITIES**

**SITWORK CONSTRUCTION**  
CITY OF WINTER SPRINGS, FLORIDA  
1126 EAST STATE ROAD 434  
WINTER SPRINGS, FLORIDA 32708  
BRYANT SMITH, P.E.  
407-327-8979  
**WATER MANAGEMENT:**  
ST. JOHNS RIVER WATER MAN. DISTRICT  
801 S. LAKE DESTINY RD, SUITE 200  
MAITLAND, FLORIDA 32751  
407-695-4800  
**WATER**  
CITY OF WINTER SPRINGS, FLORIDA  
1126 EAST STATE ROAD 434  
WINTER SPRINGS, FLORIDA 32708  
BRYANT SMITH, P.E.  
407-327-8979  
**WASTEWATER**  
CITY OF WINTER SPRINGS, FLORIDA  
1126 EAST STATE ROAD 434  
WINTER SPRINGS, FLORIDA 32708  
BRYANT SMITH, P.E.  
407-327-8979  
**ELECTRIC:**  
DUKE ENERGY  
2801 WEST STATE ROAD 426  
OVIEDO, FLORIDA 32765  
800-700-8744  
800-700-8744  
**TELEPHONE:**  
AT&T  
ORLANDO, FLORIDA 32801  
407-351-8190  
**CABLE:**  
SPECTRUM CABLE  
3767 ALL AMERICAN BLVD.  
ORLANDO, FLORIDA 32810  
1-800-222-0102

**CONSULTANTS**

**CIVIL ENGINEER:**  
NV5, INC.  
6200 LEE VISTA BLVD.  
ORLANDO, FLORIDA 32822  
FRANK A. PORTER, P.E.  
407-896-3317  
**SURVEYOR:**  
REPUBLIC NATIONAL, INC.  
480 NEEDLES TRAIL  
LONGWOOD, FLORIDA 32779  
MICHAEL SOLITRO, LS  
407-862-4200  
**ARCHITECT:**  
ELEVEN18, INC.  
1011 E. COLONIAL #307  
ORLANDO, FL 32803  
MARK SELLERS, M. ARCH.  
407-745-5300  
**LANDSCAPE:**  
LANDSCAPE ARCHITECT, LLC  
5621 REVELWOOD LOOP  
WINTER PARK, FLORIDA 32792  
J. SCOTT LIBERTY  
407-719-2124  
**GEOTECH:**  
NV5, INC  
6200 LEE VISTA BLVD.  
ORLANDO, FLORIDA 32822  
AMR SALLAM, P.E.  
407-896-1373

RECORD DRAWING  
THIS RECORD DRAWING IS BASED ON THE RESULTS OF FIELD VERIFICATION OF CONTRACTOR PROVIDED RECORD PLANS AND UNVERIFIED UTILITY FIELDING OF EXISTING WATER AND SANITARY LINES. THE ENGINEER HAS REVIEWED THIS RECORD AND HAS GUARANTEED THE ENGINEER'S REVIEW OF THE RECORD. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE RECORD. ENGINEER: FLIC. #

VISION SOURCE WINTER SPRINGS  
AT  
TUSKAWILLA RD.  
WINTER SPRINGS, FL  
FOR  
FISHER EYE PROPERTIES, LLC.

COVER SHEET

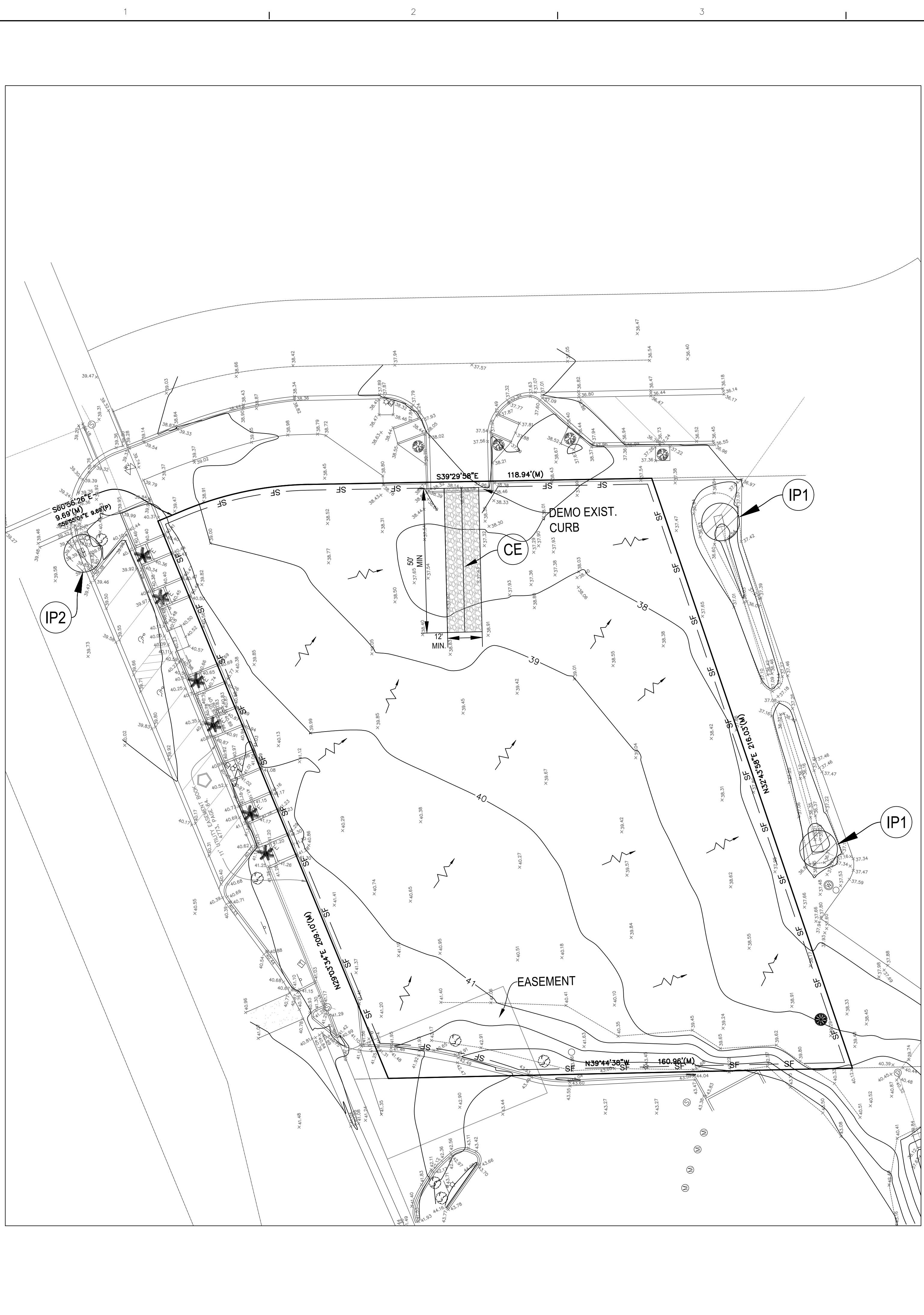
6200 Lee Vista Blvd., Suite 400  
Orlando, FL  
(407) 896-3317  
WWW.NV5.COM  
CERTIFICATE OF AUTHORIZATION # 26085

ENGINEER APPLICANT: NV5, INC. DATE: Dec. 01, 2023  
JOB #: 22011  
PROJECT NO.: FAP  
DESIGNER: JWH  
CHECKED: JPM

NO.	DATE	REVISIONS
1	12/04/23	NEW BLDG. & DUMPSTER FOOTPRINT

SHEET  
C01.0

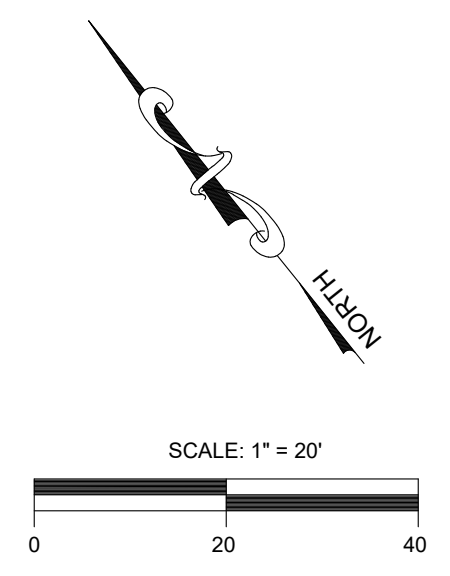
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**SITE LEGEND**

- SF — (SF) TEMPORARY SILT FENCE (SEE DETAIL 3, SHEET C10.0)
- (CE) TEMPORARY CONSTRUCTION ENTRANCE
- — — — — PROPERTY LINE (ALONG SILT FENCE)
- — — — — PROPOSED LIMITS OF DISTURBANCE
- ← — — — — FLOW ARROW
- (IP1) INLET PROTECTION (SEE DETAIL 4, SHEET C10.0)
- (IP2) INLET PROTECTION (SEE DETAIL 7, SHEET C10.0)

**MPGC - Bid Set**  
Rcvd. 12/04/2023



**BEST MANAGEMENT PRACTICES SEQUENCE**

**1. SITE DESCRIPTION**

- A. CONSTRUCTION OF COMMERCIAL RETAIL BUILDINGS, PUBLIC ROADS, AND SURFACE PARKING AREAS.**
- B. SEQUENCE OF SOIL DISTURBANCE:**
  - (1) INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS.
  - (2) PREPARE SITE.
  - (3) CLEAR AND GRUB PROPOSED AREA.
  - (4) INSTALL PROPOSED UNDERGROUND STORMWATER AND UTILITIES.
  - (5) INSTALL CONCRETE CURB, CONCRETE SIDEWALK, AND PAVEMENT
  - (6) STABILIZE SITE.
- C. TOTAL SITE AREA: 0.79± ACRES**  
**DISTURBED SITE AREA: 0.79± ACRES**
- D. SOILS: THE SOILS (PER NRCS) POMELLO, ST JOHN'S/EUGALLIE**
- E. DRAINAGE AREA FOR EXISTING DISCHARGE POINT: 0.79± ACRES**  
**DRAINAGE AREA FOR PROPOSED DISCHARGE POINT: 0.79± ACRES**
- F. LATITUDE AND LONGITUDE OF EXISTING DISCHARGE POINT:**  
DISCHARGE POINT LAT: 28° 41' 46.75" N  
DISCHARGE POINT LONG: 81° 15' 38.85" W  
**DISCHARGES TO EXISTING STORM WATER SYSTEM**  
**LATITUDE AND LONGITUDE OF PROPOSED DISCHARGE POINT:**  
DISCHARGE POINT LAT: 28° 41' 46.75" N  
DISCHARGE POINT LONG: 81° 15' 38.85" W  
**DISCHARGES TO EXISTING STORM WATER SYSTEM**

**2. CONTROLS**

- A. EROSION AND SEDIMENT CONTROLS:**
  - (1) **STABILIZATION PRACTICES:**
    - TEMPORARY SEEDING SHALL BE RYE GRASS APPLIED AT MANUFACTURER'S RECOMMENDATIONS TO ANY DISTURBED AREAS THAT ARE INACTIVE FOR SEVEN DAYS.
    - MULCHING PRACTICES AND SOD SHALL BE APPLIED TO PARKING LOT ISLANDS.
  - (2) **STRUCTURAL PRACTICES:**
    - PRIOR TO CLEARING, A SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE, AS SHOWN HEREIN.
    - DURING THE CLEARING, GRUBBING, AND SITE GRADING STAGES, AREAS TO BE LEFT DISTURBED MORE THAN 7 DAYS SHALL BE STABILIZED WITH RYE GRASS APPLIED PER THE MANUFACTURER'S SPECIFICATIONS. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 4,000 POUNDS OF STRAW PER ACRE.
    - AFTER ALL INITIAL SITE GRADING WORK, ALL PROPOSED INLETS/OUTFALLS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF BY THE USE OF THE INLET PROTECTION DESIGNATED ON THE SITE MAP. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE STABILIZED WITH SEED OR SOD AS INDICATED ON THE SITE MAP NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. SEEDING SHALL BE THE SAME AS IN TEMPORARY SEEDING.
    - ALL INSTALLATION SHALL BE COMMENCED AS DEPICTED ON THE SITE MAPS AND EROSION CONTROL DETAIL SHEET.
    - IF SEDIMENT AND EROSION CONTROL MEASURES DEVIATE FROM THE PLANS THE CITY OF WINTER SPRINGS SHALL BE NOTIFIED.

**B. PERMANENT STORMWATER MANAGEMENT CONTROLS:**

- 1. **CATCH BASINS AND STORM SEWER SYSTEM ON-SITE TO PROVIDE POSITIVE DRAINAGE OF THE ENTIRE SITE TO THE DISCHARGE POINT.**
- C. CONTROLS FOR OTHER POLLUTANTS:**
  - 1. **WASTE DISPOSAL: ALL WASTE WILL BE DISPOSED OF IN AN APPROPRIATE LEGAL MANOR, AND COMPLY WITH CITY OF WINTER SPRINGS ORDINANCES FOR WASTE DISPOSAL AND COMMERCIAL SITE DEVELOPMENT.**
  - 2. **VEHICLE TRACKING: OFF SITE VEHICLE TRACKING OF SEDIMENTS AND DUST GENERATION WILL BE MINIMIZED VIA BEST POSSIBLE PRACTICES. DAILY SWEEPING AND THE USE OF WATER TO KEEP DUST DOWN.**
  - 3. **FERTILIZERS, HERBICIDES, AND PESTICIDES: FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURERS' SUGGESTED APPLICATION APPLICATION RATES. THE FERTILIZERS AND PESTICIDES SHALL BE STORED IN A COVERED SHED.**
  - 4. **TOXIC SUBSTANCES: ALL PAINTS AND OTHER CHEMICALS WILL BE STORED IN A LOCKED COVERED SHED.**
  - 5. **OTHER: PORT-O-LETS WILL BE PLACED AWAY FROM THE STORM SEWER SYSTEMS AND STORM INLETS. NO VEHICLE MAINTENANCE SHALL BE CONDUCTED ON-SITE. A WASHDOWN AREA SHALL BE DESIGNATED AT ALL TIMES AND WILL NOT BE LOCATED IN ANY AREA THAT WILL ALLOW FOR THE DISCHARGE OF POLLUTED RUNOFF. A SMALL VEGETATED BERM SHALL BE PLACED AROUND THE WASHDOWN AREA.**

**3. MAINTENANCE:**

- 1. SILT FENCE SHALL BE INSPECTED AT LEAST WEEKLY. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 2. INLETS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REPAIRS SHALL BE PERFORMED IMMEDIATELY.
- 3. BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDED SHALL BE RE-SEEDED PER MANUFACTURERS' INSTRUCTIONS.
- 4. MULCH AND SOD THAT HAS BEEN WASHED OUT SHALL BE REPLACED IMMEDIATELY.

ALL MEASURES ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. CONTROLS ARE TO BE REPLACED OR REPAIRED IF IN A SUBSTANDARD CONDITION. ALL MAINTENANCE MODIFICATIONS ARE TO BE NOTED, ON PLANS, AS THEY OCCUR.

**4. INSPECTIONS:**

- A QUALIFIED INSPECTOR SHALL INSPECT ALL POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE AND MS4 (CITY OF WINTER SPRINGS & FDOT); DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED; AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; STRUCTURAL CONTROLS; AND, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION SHALL BE MADE AND RETAINED IN THE CONSTRUCTION TRAILER AS PART OF THE STORMWATER POLLUTION PREVENTION

**5. NON-STORMWATER DISCHARGES:**

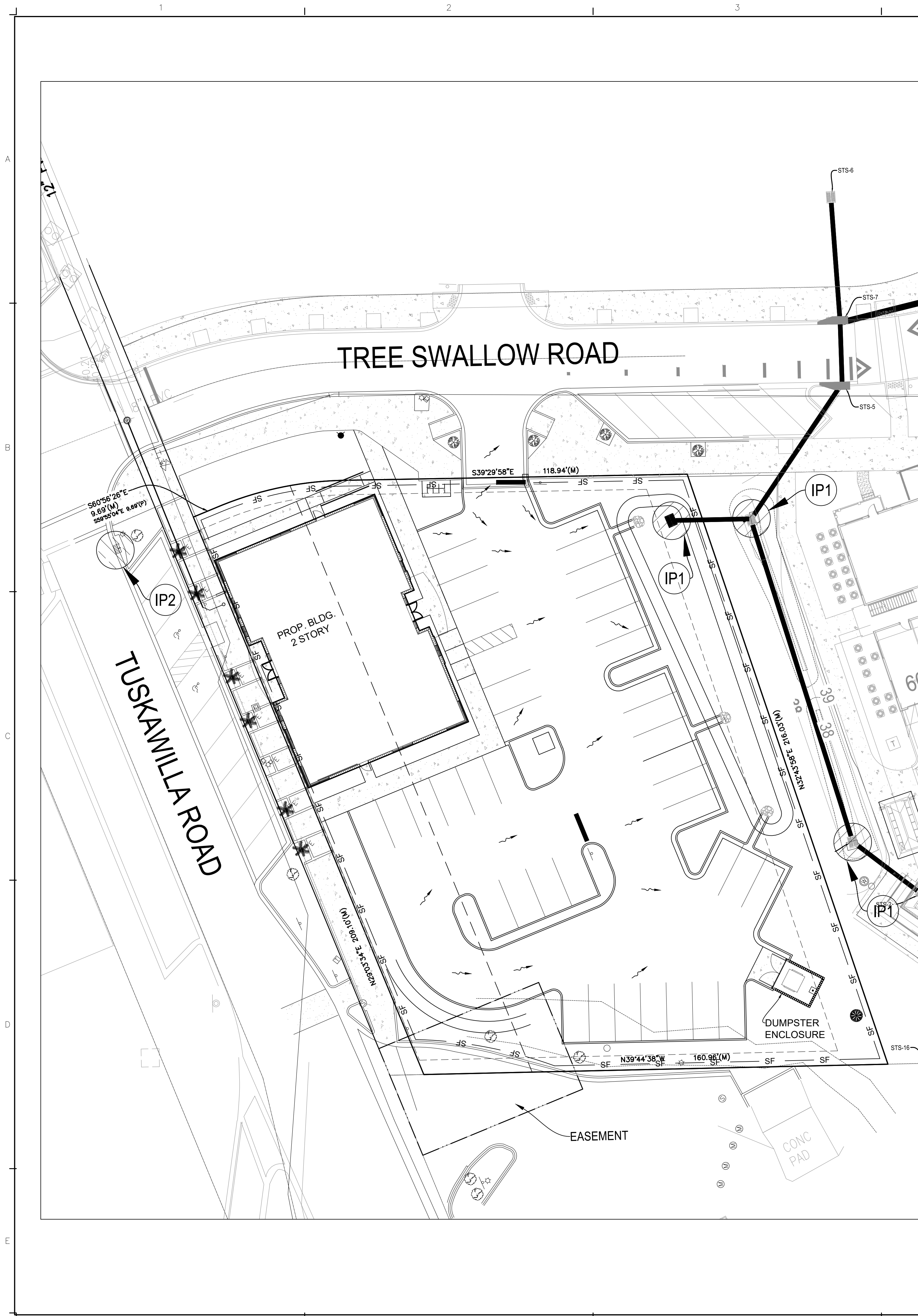
- IT IS ANTICIPATED THAT THE FOLLOWING NON-STORMWATER DISCHARGES MAY OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD.
- 1. WATER FROM LINE FLUSHINGS
- 2. PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
- 3. SITE WATERING, TO ALLEVIATE FUGATIVE DUST
- 4. ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS
- 5. IRRIGATION DRAINAGE

IF SAID DISCHARGES DO OCCUR, THEY WILL BE DIRECTED TO THE TEMPORARY EROSION CONTROL MEASURES PRIOR TO DISCHARGE

**6. CONTRACTOR/SUBCONTRACTOR CERTIFICATION:**

ALL CONTRACTOR(S) AND SUBCONTRACTOR(S) IDENTIFIED ABOVE MUST SIGN THE FOLLOWING CERTIFICATION: "I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

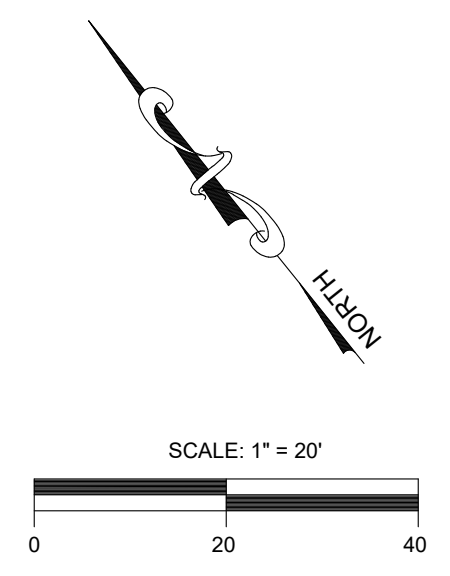
JOB #: 22011 PRJ. MGR: FAP DESIGNER: JWH CHECKED: JPH	ENGINEER FRANK A. PORTER, P.E. FL. LIC. #56922 DATE: Dec. 14, 2023	VISION SOURCE WINTER SPRINGS AT TUSKAWILLA RD. WINTER SPRINGS, FLORIDA FOR FISHER EYE PROPERTIES, LLC	SWPPP PHASE 1 PLAN	6200 Lee Vista Blvd., Suite 400 ORLANDO, FL 32837 WWW.NVS.COM CERTIFICATE OF AUTHORIZATION # 20065												
REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION										SHEET <b>C02.0</b>		
NO.	DATE	DESCRIPTION														



**SITE LEGEND**

- SF — (SF) TEMPORARY SILT FENCE (SEE DETAIL 3, SHEET C10.0)
- (CE) TEMPORARY CONSTRUCTION ENTRANCE
- — PROPERTY LINE (ALONG SILT FENCE)
- — PROPOSED LIMITS OF DISTURBANCE
- ← FLOW ARROW
- (IP1) INLET PROTECTION (SEE DETAIL 4, SHEET C10.0)
- (IP2) INLET PROTECTION (SEE DETAIL 6, SHEET C10.0)

**MPGC - Bid Set**  
Rcvd. 12/04/2023



**BEST MANAGEMENT PRACTICES SEQUENCE**

**1. SITE DESCRIPTION**

- A. CONSTRUCTION OF COMMERCIAL RETAIL BUILDINGS, PUBLIC ROADS, AND SURFACE PARKING AREAS.
- B. SEQUENCE OF SOIL DISTURBANCE:
  - (1) INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS.
  - (2) PREPARE SITE.
  - (3) CLEAR AND GRUB PROPOSED AREA.
  - (4) INSTALL PROPOSED UNDERGROUND STORMWATER AND UTILITIES.
  - (5) INSTALL CONCRETE CURB, CONCRETE SIDEWALK, AND PAVEMENT
  - (6) STABILIZE SITE.
- C. TOTAL SITE AREA: 0.79± ACRES  
DISTURBED SITE AREA: 0.79± ACRES
- D. SOILS: THE SOILS (PER NRCS) POMELLO, ST JOHNS/EAGULLIE
- E. DRAINAGE AREA FOR EXISTING DISCHARGE POINT: 0.79± ACRES  
DRAINAGE AREA FOR PROPOSED DISCHARGE POINT: 0.79± ACRES
- F. LATITUDE AND LONGITUDE OF EXISTING DISCHARGE POINT:  
DISCHARGE POINT LAT: 28° 41' 46.75" N  
DISCHARGE POINT LONG: 81° 15' 38.85" W  
DISCHARGES TO EXISTING STORM WATER SYSTEM  
LATITUDE AND LONGITUDE OF PROPOSED DISCHARGE POINT:  
DISCHARGE POINT LAT: 28° 41' 46.75" N  
DISCHARGE POINT LONG: 81° 15' 38.85" W  
DISCHARGES TO EXISTING STORM WATER SYSTEM

**2. CONTROLS**

- A. EROSION AND SEDIMENT CONTROLS:
  - (1) STABILIZATION PRACTICES:
    1. TEMPORARY SEEDING SHALL BE RYE GRASS APPLIED AT MANUFACTURER'S RECOMMENDATIONS TO ANY DISTURBED AREAS THAT ARE INACTIVE FOR SEVEN DAYS.
    2. MULCHING PRACTICES AND SOD SHALL BE APPLIED TO PARKING LOT ISLANDS.
  - (2) STRUCTURAL PRACTICES:
    1. PRIOR TO CLEARING, A SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE, AS SHOWN HEREIN.
    2. DURING THE CLEARING, GRUBBING, AND SITE GRADING STAGES, AREAS TO BE LEFT DISTURBED MORE THAN 7 DAYS SHALL BE STABILIZED WITH RYE GRASS APPLIED PER THE MANUFACTURER'S SPECIFICATIONS. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 4,000 POUNDS OF STRAW PER ACRE.
    3. AFTER ALL INITIAL SITE GRADING WORK, ALL PROPOSED INLETS/OUTFALLS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF BY THE USE OF THE INLET PROTECTION DESIGNATED ON THE SITE MAP. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE STABILIZED WITH SEED OR SOD AS INDICATED ON THE SITE MAP NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. SEEDING SHALL BE THE SAME AS IN TEMPORARY SEEDING. ALL INSTALLATION SHALL BE COMMENCED AS DEPICTED ON THE SITE MAPS AND EROSION CONTROL DETAIL SHEET.
    4. IF SEDIMENT AND EROSION CONTROL MEASURES DEVIATE FROM THE PLANS THE CITY OF WINTER SPRINGS SHALL BE NOTIFIED.

**B. PERMANENT STORMWATER MANAGEMENT CONTROLS:**

1. CATCH BASINS AND STORM SEWER SYSTEM ON-SITE TO PROVIDE POSITIVE DRAINAGE OF THE ENTIRE SITE TO THE DISCHARGE POINT.
- C. CONTROLS FOR OTHER POLLUTANTS:
  1. WASTE DISPOSAL: ALL WASTE WILL BE DISPOSED OF IN AN APPROPRIATE LEGAL MANOR, AND COMPLY WITH CITY OF WINTER SPRINGS ORDINANCES FOR WASTE DISPOSAL AND COMMERCIAL SITE DEVELOPMENT.
  2. VEHICLE TRACKING: OFF SITE VEHICLE TRACKING OF SEDIMENTS AND DUST GENERATION WILL BE MINIMIZED VIA BEST POSSIBLE PRACTICES, DAILY SWEEPING AND THE USE OF WATER TO KEEP DUST DOWN.
  3. FERTILIZERS, HERBICIDES, AND PESTICIDES: FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURERS' SUGGESTED APPLICATION APPLICATION RATES. THE FERTILIZERS AND PESTICIDES SHALL BE STORED IN A COVERED SHED.
  4. TOXIC SUBSTANCES: ALL PAINTS AND OTHER CHEMICALS WILL BE STORED IN A LOCKED COVERED SHED.
  5. OTHER: PORT-O-LETS WILL BE PLACED AWAY FROM THE STORM SEWER SYSTEMS AND STORM INLETS. NO VEHICLE MAINTENANCE SHALL BE CONDUCTED ON-SITE. A WASHDOWN AREA SHALL BE DESIGNATED AT ALL TIMES AND WILL NOT BE LOCATED IN ANY AREA THAT WILL ALLOW FOR THE DISCHARGE OF POLLUTED RUNOFF. A SMALL VEGETATED BERM SHALL BE PLACED AROUND THE WASHDOWN AREA.

**3. MAINTENANCE:**

1. SILT FENCE SHALL BE INSPECTED AT LEAST WEEKLY. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
2. INLETS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REPAIRS SHALL BE PERFORMED IMMEDIATELY.
3. BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDED SHALL BE RE-SEEDED PER MANUFACTURERS' INSTRUCTIONS.
4. MULCH AND SOD THAT HAS BEEN WASHED OUT SHALL BE REPLACED IMMEDIATELY.

ALL MEASURES ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. CONTROLS ARE TO BE REPLACED OR REPAIRED IF IN A SUBSTANDARD CONDITION. ALL MAINTENANCE MODIFICATIONS ARE TO BE NOTED, ON PLANS, AS THEY OCCUR.

**4. INSPECTIONS:**

A QUALIFIED INSPECTOR SHALL INSPECT ALL POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE AND MS4 (CITY OF WINTER SPRINGS & FDOT); DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED; AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; STRUCTURAL CONTROLS; AND, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION SHALL BE MADE AND RETAINED IN THE CONSTRUCTION TRAILER AS PART OF THE STORMWATER POLLUTION PREVENTION

**5. NON-STORMWATER DISCHARGES:**

IT IS ANTICIPATED THAT THE FOLLOWING NON-STORMWATER DISCHARGES MAY OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

1. WATER FROM LINE FLUSHINGS
2. PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
3. SITE WATERING, TO ALLEVIATE FUGATIVE DUST
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JOB #:	22011
PRJ. MGR:	FAP
DESIGNER:	JWH
CHECKED:	JPH

ENGINEER  
FRANK A. PORTER, P.E.  
FL LIC. #56922

NO.	DATE	REVISIONS

VISION SOURCE WINTER SPRINGS  
AT  
TUSKANILLA RD.  
WINTER SPRINGS, FLORIDA  
FOR  
FISHER EYE PROPERTIES, LLC

SWPPP PHASE 2  
PLAN

6200 LEE VISTA BLVD.  
SUITE 400  
ORLANDO, FL  
(407) 896-3317  
WWW.NV5.COM



CERTIFICATE OF AUTHORIZATION #2066  
C03.0



**SITE LEGEND**

- (A) ACCESSIBLE PARKING SPACE (TYP); SEE DETAIL FOR ACCESSIBLE PARKING SPACE, SIGN AND SYMBOL (SEE SHEET C10.0, DETAIL 1)
- (B) PAVEMENT MARKINGS (TYP), PER FDOT INDEX 17346
- (C) FDOT ADA RAMP WITH DETECTABLE WARNING SURFACE (TYP). (SEE SHEET C10.0, DETAIL 2)
- (D) TYPE D CURB
- (E) EXISTING CONCRETE SIDEWALK
- (F) DUMPSTER ENCLOSURE
- (G) BICYCLE RACKS (SEE SHEET C10.0, DETAIL 7)
- (H) SEE NOTE NO. 3 UNDER SITE INFORMATION SECTION THIS SHEET.
- (I) FIRE HYDRANT PAVEMENT MARKER (SEE SHEET C09.0, DETAIL 8)
- (J) DECORATIVE STOP SIGN (R1-1) - HIGH REFLECTIVE INTENSITY (SEE SHEET C9.0, DETAILS 9 & 10)
- (K) EXISTING PEDESTRIAN CROSSWALK
- (L) CONCRETE PAVEMENT (SEE SHEET C09.0, DETAIL 4)
- (M) PROPOSED 7' WIDE CONCRETE SIDEWALK (SEE SHEET C09.0, DETAIL 1)
- (N) SEE NOTE NO. 1 UNDER SITE INFORMATION SECTION THIS SHEET.
- (O) TYPE F CURB AND GUTTER (SEE SHEET C09.0, DETAIL 3)
- (P) THICKENED CURB (SEE SHEET C09.0, DETAIL 1)
- (Q) 6' X 6' TRANSFORMER CONCRETE PAD
- (R) CONCRETE FLUME & CONCRETE RIP RAP (SEE SHEET C09.0, DETAIL 12)
- (S) PROPOSED 4' WIDE CONCRETE SIDEWALK (SEE SHEET C09.0, DETAIL 1)

**SITE INFORMATION:**

**SITE DATA:**  
 LOT SIZE: 0.79 AC  
 EXISTING LAND USE: VACANT LAND  
 PROPOSED USE: MEDICAL OFFICE  
 EXIST. ZONING: TOWN CENTER (T5 - URBAN CENTER)  
 PROP. ZONING: TOWN CENTER (T5 - URBAN CENTER)  
 FLU: TOWN CENTER (T5 - URBAN CENTER)  
 FAR: 0.29

**PARKING PROVIDED:**  
 STANDARD PARKING: (9' X 18') 22 SPACES  
 STANDARD PARKING: (10' X 18') 15 SPACES  
 HC VAN ACCESSIBLE: (12' X 18') 2 SPACES  
 TOTAL: 39 SPACES

OFF-STREET SURFACE PARKING LOT		
	REQUIRED	PROVIDED
SETBACK	35'	11'

BUILDING MIN HEIGHT: 2 STORIES  
 BUILDING MAX HEIGHT: 5 STORIES  
 PROP. BUILDING HEIGHT: 2 STORIES

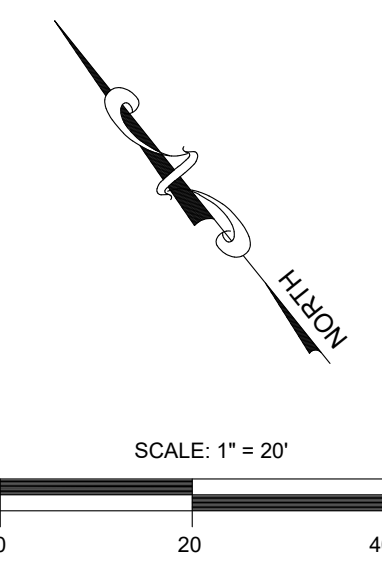
GREEN SPACE PROVIDED: 0.26 AC (32.9%)

LANDSCAPE BUFFER  
 ADJACENT TO R.O.W.: 30'  
 ADJACENT PROPERTY: 10'

T-5 PRINCIPLE BUILDING SETBACK TABLE		
	REQUIRED	PROVIDED
FRONT	0'	0.75'
REAR	15'	100'
SIDE	5'	5'

T-5 ACCESSORY BUILDING SETBACK TABLE		
	REQUIRED	PROVIDED
FRONT	20'	N/A
REAR	15'	10'
SIDE	5'	23'

- (1) A WAIVER FROM WINTER SPRINGS CITY CODE SEC. 20-600 TO ALLOW ALREADY ESTABLISHED STREETSCAPE LOCATED ON THE NORTH AND WEST PROPERTY LINES OF THE PROJECT IN LIEU OF THE STREETSCAPE REQUIREMENTS FOUND IN SEC. 20-600, APPROVED BY CITY COMMISSION ON 08/14/23.
- (2) A WAIVER FROM WINTER SPRINGS CITY CODE SEC. 20-325 (B)(2) TO ALLOW A 0 FOOT FRONT SETBACK FOR THE PROPOSED BUILDING IN LIEU OF A REQUIRED FRONT SETBACK OF 25 FEET. APPROVED BY CITY COMMISSION ON 08/14/23.
- (3) A VARIANCE FROM WINTER SPRINGS CITY CODE SEC. 20-325 (B)(2) TO ALLOW A SETBACK OF 10' FOR ACCESSORY BUILDING REAR SETBACK IN LIEU OF THE 15' MINIMUM SETBACK NOTED IN THE CITY CODE SECTION NOTED ABOVE. APPROVED BY CITY COMMISSION ON 08/14/23.



**SITE LEGEND**

- SWSL/4" SINGLE WHITE SOLID LINE / 4" WIDE
- SWSL/6" SINGLE WHITE SOLID LINE / 6" WIDE
- SWSL/24" SINGLE WHITE SOLID LINE / 24" WIDE

**PAVEMENT LEGEND**

- REGULAR DUTY CONCRETE
- HARD SCAPAE PER ARCH. PLANS.
- STANDARD DUTY ASPHALT (SEE SHEET C09.0, DETAIL 5)
- TO THE EXTENT POSSIBLE, THE CONTRACTOR SHALL PROTECT THE CURRENT CONDITION THE EXISTING ROW IMPROVEMENTS. ANY ALTERATIONS OR MODIFICATIONS TO THIS AREA WILL BE REQUIRED TO BE RESTORED TO PRE-CONSTRUCTION STATE

**MPGC - Bid Set**  
 Rcvd. 12/04/2023

JOB #:	22011
PRJ. MGR:	FAP
DESIGNER:	JWH
CHECKED:	JPH

ENGINEER  
 FRANK A. PORTER, P.E.  
 FL LIC. #5692

NO.	DATE	REVISIONS
1	12/04/23	NEW BLDG. & DUMPSTER FOOTPRINT

VISION SOURCE WINTER SPRINGS  
 AT  
 TUSKAWILLA RD.  
 WINTER SPRINGS, FLORIDA  
 FOR  
 FISHER EYE PROPERTIES, LLC

**SITE PLAN**

6200 LEE VISTA BLVD.  
 SUITE 400  
 ORLANDO, FL  
 (407) 896-3317  
 WWW.NV5.COM



SHEET  
**C04.0**

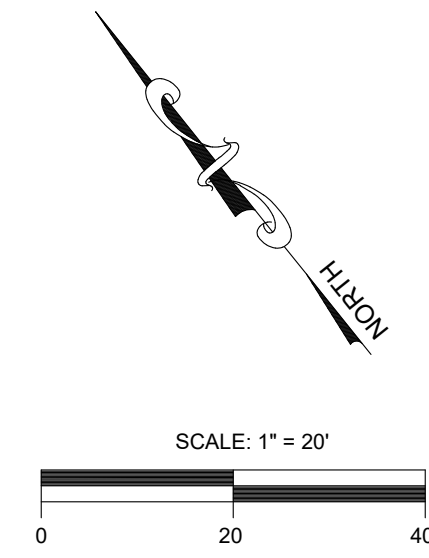


**LEGEND**

- 40.89 = SPOT ELEVATION AT EDGE OF PAVEMENT
- = GRADE BREAK
- = SURFACE FLOW
- = SAWCUT EXISTING EOP AND MATCH TO LINE AND GRADE
- MEP = MATCH EXISTING PAVEMENT
- TC = TOP OF CURB
- BC = BOTTOM OF CURB

**PAVEMENT LEGEND**

- STANDARD DUTY ASPHALT
- REGULAR DUTY CONCRETE
- HARD SCPAE PER ARCH. PLANS.

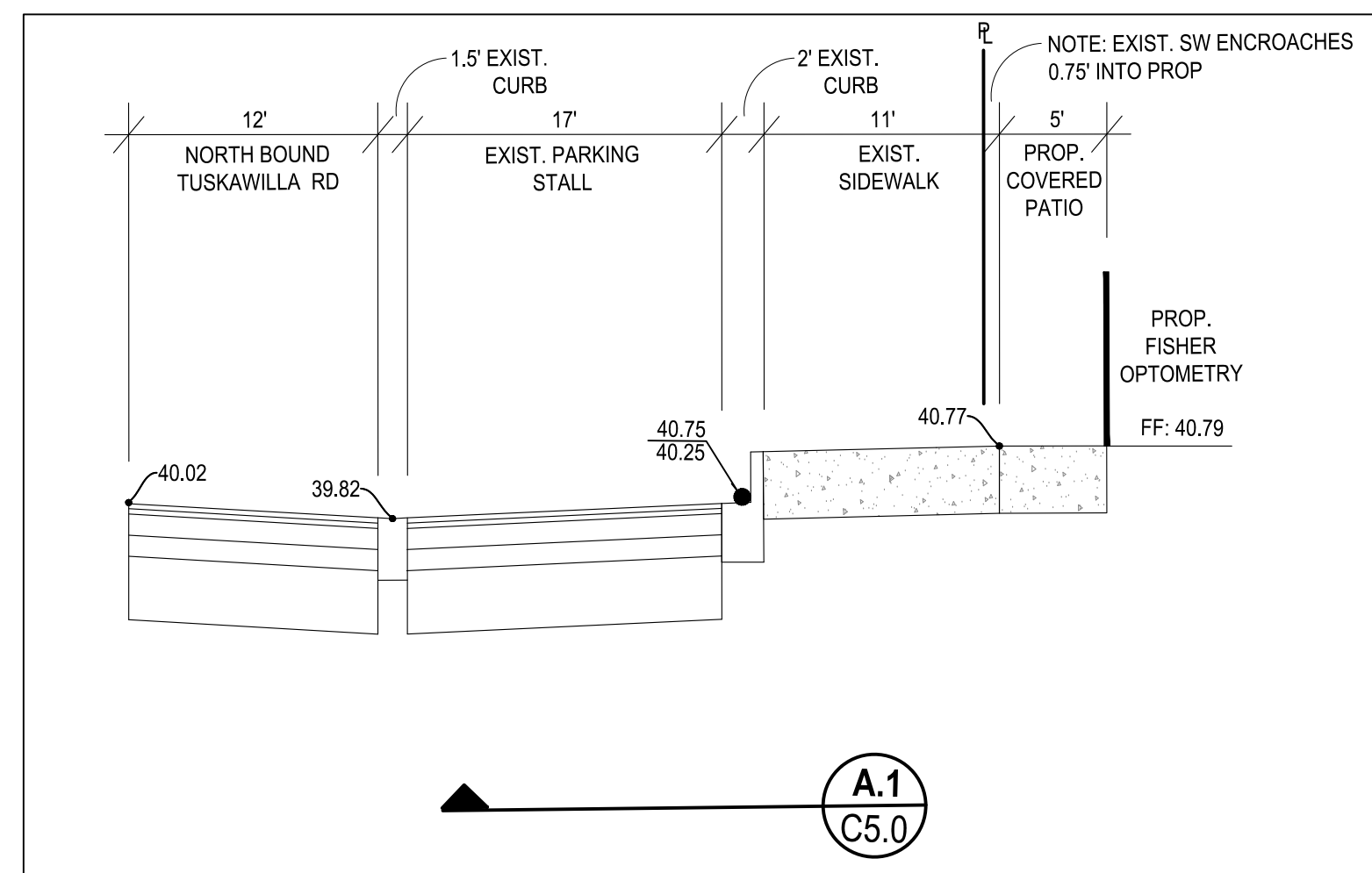


**ROOF PIPE MATERIAL:**  
ALTERNATE PIPE MATERIALS FOR THE ROOF DRAIN PIPES ARE ALLOWED PENDING APPROVAL BY THE E.O.R.

**MPGC - Bid Set**  
Rcvd. 12/04/2023

**NOTES:**

1. LOT GRADING SHALL NOT IMPOSE ANY ADDITIONAL RUNOFF ONTO NOR IMPEDE RUNOFF FROM ADJACENT PROPERTIES.
2. ALL SITE WORK SHOWN SHALL BE CONSTRUCTED BY THE GENERAL CONTRACTOR.
3. ELEVATIONS SHOWN ARE BASED ON NAVD88, SEE BOUNDARY & TOPOGRAPHIC SURVEY UNDER GENERAL NOTES.
4. SLOPE ALL ROOF DRAIN DOWN SPOUT PIPING AT 1.00% MIN.
5. STORMWATER MANAGEMENT IS PROVIDED THROUGH A MASTER STORMWATER SYSTEM. ALL ONSITE RUNOFF HAS BEEN ADDRESSED AND ACCOUNTED FOR IN THE SYSTEM. RUNOFF WILL BE CONVEYED THROUGH CONCRETE FLUMES TO A PROPOSED SWALE ON THE EAST SIDE OF THE PROPERTY WHICH OUTFALLS TO THE EXISTING MASTER STORMWATER SYSTEM. SJRWMD MASTER PERMIT NO. 95027 SERIES.



**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
*Check positive response codes before you dig!*

JOB #:	22011
PRJ. MGR:	FAP
DESIGNER:	JWH
CHECKED:	JPH

ENGINEER  
FRANK A. PORTER, P.E.  
FL LIC. #89692

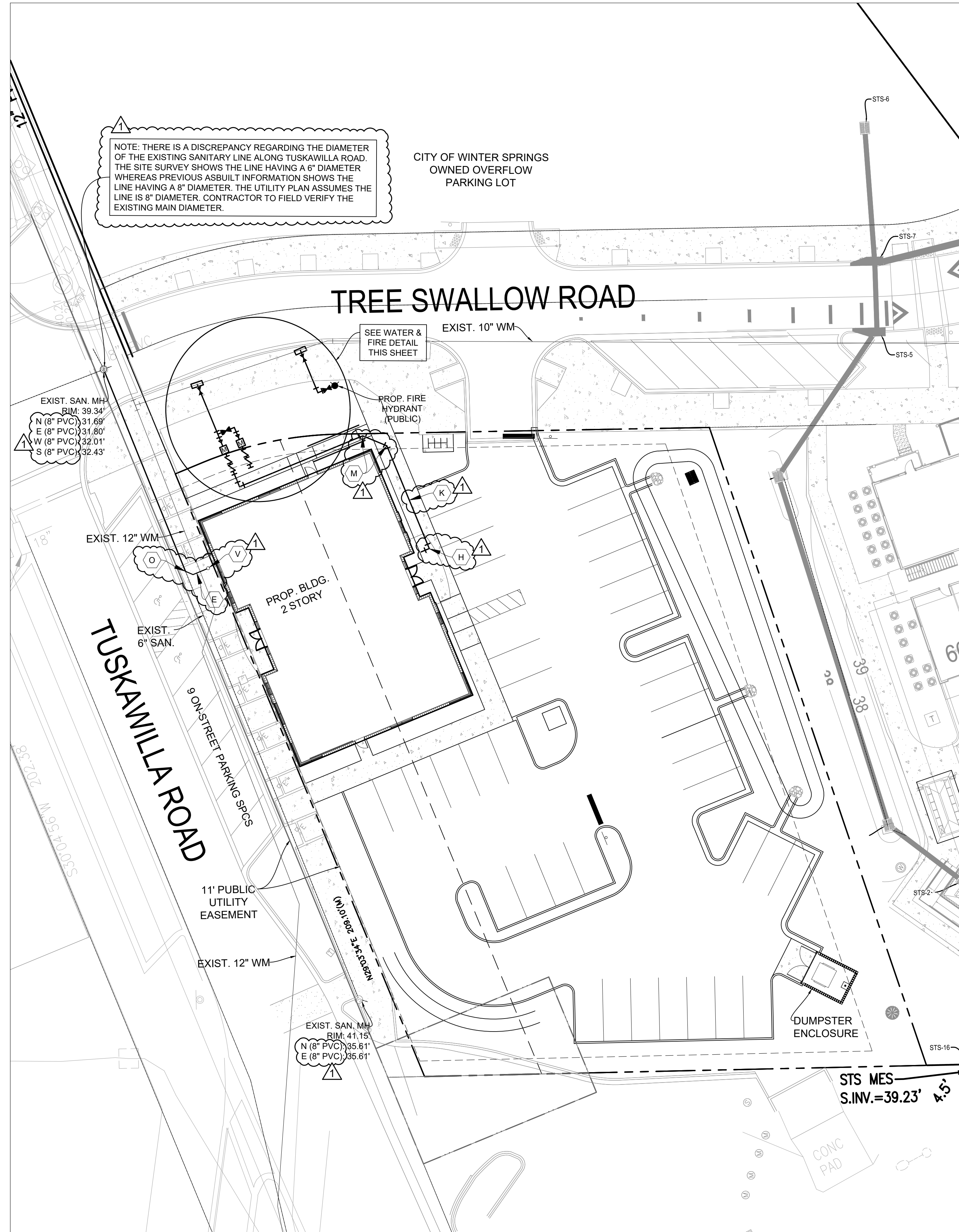
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VISION SOURCE WINTER SPRINGS  
AT  
TUSKAWILLA RD.  
WINTER SPRINGS, FLORIDA  
FOR  
FISHER EYE PROPERTIES, LLC

**GRADING PLAN**

6200 Lee Vista Blvd., Suite 400  
Orlando, FL  
(407) 986-3317  
WWW.NVS.COM  
CERTIFICATE OF AUTHORIZATION # 29065





**UTILITY LEGEND**

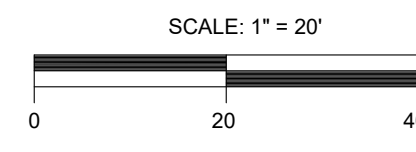
- A 6" FIRE HYDRANT ASSEMBLY AND VALVE
- B 2" PVC OR POLY
- C 90° ELBOW
- D IRRIGATION POINT OF CONNECTION
- E 4" PVC SEWER LATERAL @ 1% MINIMUM SLOPE
- F 2" TEE
- G 2" SERVICE SADDLE ON 10" MAIN
- H 1.5" 90° ELBOW
- I 2" BACKFLOW PREVENTOR
- J 1.5" METER AND 1.5" RPZ FOR DOMESTIC WATER
- K 1.5" DOMESTIC SERVICE LINE
- L 2" FIRE SERVICE LINE
- M 1.5" 45° ELBOW
- N 3/4" HOSE BIB
- O WYE INTO EXISTING SANITARY MAIN. ESTIMATED DEPTH IS (33.45) CONTRACTOR TO VERIFY.
- P NOT USED
- Q 1.5" METER AND 1.5" RPZ FOR IRRIGATION
- R 2" X 1.5" REDUCER
- S 6" WET TAP WITH 6" GATE VALVE TO EXISTING 10" WM (FIRE P.O.S.)
- T 6" 90° ELBOW
- U NOT USED
- V CLEAN OUT (INV. 37.47)
- W NOT USED
- X 2" GATE VALVE

NOTE: SEE SHEET C07.0 FOR UTILITY DETAILS

**MPGC - Bid Set**  
Rcvd. 12/04/2023

**NOTES:**

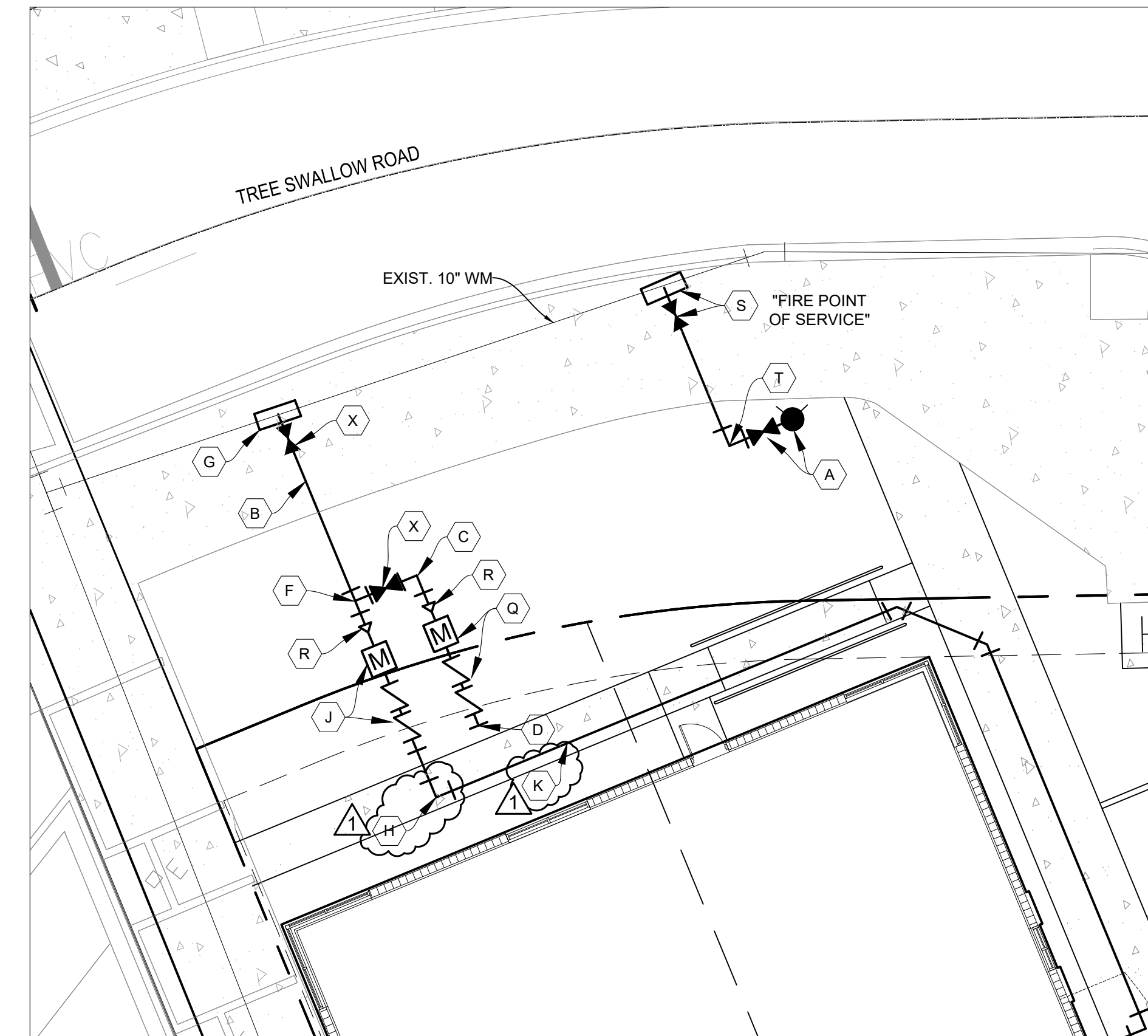
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**POTABLE WATER USAGE:**

TYPE OF FIXTURE	FIXTURE UNITS	NUMBER OF FIXTURE UNITS	TOTAL FIXTURE UNITS	TOTAL ERC	ERC/ERU GALLON FACTOR (GPD)	TOTAL GALLONS PER DAY
SINK, SERVICE, HAND	2.0	25	50.0	4.2	350	1458
SHOWERS, PER HEAD	3.0	2	6.0	0.5	350	175
WATER CLOSET (TOILET)	6.0	8	48.0	4	350	1400
<b>TOTAL ERC</b>						<b>3033</b>

NOTE: FIXTURE UNIT RATES PER ORANGE COUNTY FLORIDA UTILITIES STANDARDS AND SPECIFICATIONS MANUAL



JOB #:	22011
PRJ. MGR:	FAP
DESIGNER:	JWH
CHECKED:	JPH

ENGINEER  
FRANK A. PORTER, P.E.  
FL LIC. #8592

NO.	DATE	REVISIONS
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VISION SOURCE WINTER SPRINGS  
AT  
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WINTER SPRINGS, FLORIDA  
FOR  
FISHER EYE PROPERTIES, LLC

**UTILITY PLAN**

6200 Lee Vista Blvd., Suite 400  
ORLANDO, FL  
407.886.5377  
WWW.VS.COM  
CERTIFICATE OF AUTHORIZATION # 20065



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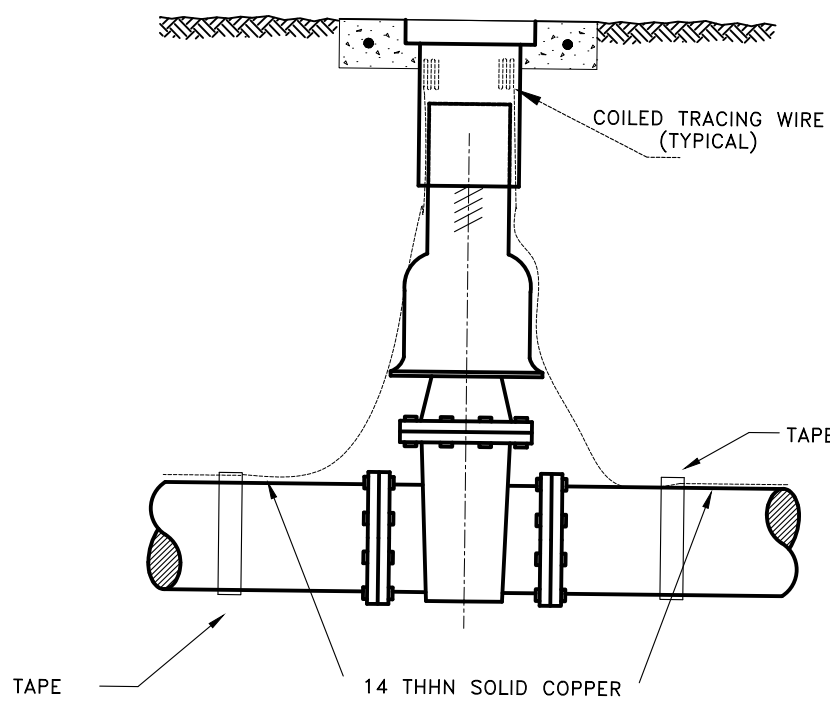
FITTINGS	PVC PIPE DIAMETERS							
	4"	6"	8"	10"	12"	16"	18"	20"
TEE	30	45	70	75	95	120	140	165
END CAPS AND VALVES ON THE END OF THE MAIN	50	110	115	121	141	180	220	240
90° BENDS	40	40	45	50	60	75	75	95
45° BENDS	20	20	20	30	30	40	40	50
22 1/2° BENDS	10	10	10	10	10	20	20	20
11 1/4° BENDS	10	10	10	10	10	10	10	10

DUCTILE IRON PIPE APPLICATIONS  
MINIMUM LINEAR FEET OF PVC PIPE TO BE RESTRAINED

FITTINGS	DUCTILE IRON DIAMETERS									
	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"
TEE	36	45	54	81	72	108	90	126	117	171
END CAPS AND VALVES ON THE END OF THE MAIN	45	90	81	126	99	153	117	171	144	216
90° BENDS	36	36	36	45	54	54	63	72	81	72
45° BENDS	18	18	18	27	27	27	27	36	36	45
22 1/2° BENDS	9	9	9	9	9	18	18	18	18	18
11 1/4° BENDS	9	9	9	9	9	9	9	9	9	9

\*\*\* = DUCTILE IRON PIPE WITH POLYETHYLENE WRAP  
NOTE:  
\* THE LINEAR FOOTAGE OF PIPE IS MEASURED FROM THE BEND OR FITTING OUT TO THE AMOUNT SHOWN ON THE CHART; ANY BELL OR JOINT THAT FALLS WITHIN THAT LINEAR FOOTAGE SHALL HAVE A BELL OR JOINT RESTRAINT INSTALLED

**PIPE JOINT RESTRAINT DETAIL**  
NTS

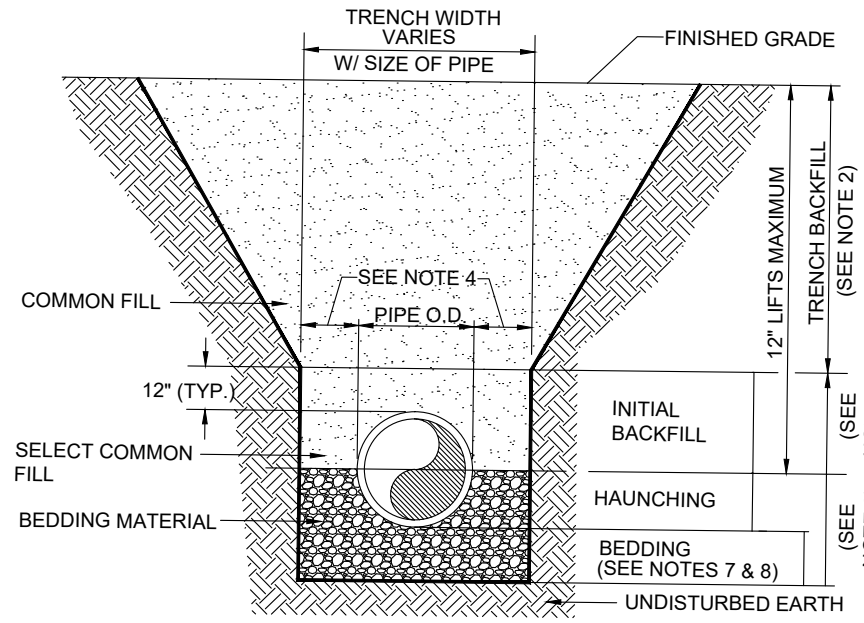


**TRACING WIRE GENERAL NOTES:**  
1. PIPE LINE TRACING WIRE IS TO BE INSTALLED ON ALL POTABLE WATER RECLAIMED WATER AND SEWER FORCE MAINS.  
2. SYSTEMS-TRACING WIRE SHALL ALLOW TRACABILITY OF ALL PIPE BRANCHES INCLUDING THOSE FOR HYDRANTS. TRACING WIRE SHALL BE INSTALLED OVER THE ENTIRE LENGTH OF THE MAIN AND SECURED TO THE MAIN EVERY 5 FEET WITH ADHESIVE TAPE. WIRE SHALL EXTEND A MINIMUM OF 12" ABOVE GRADE AT EACH INTERVAL AND SHALL BE COILED AND PLACED IN A VALVE BOX FOR EASY ACCESSIBILITY.  
3. ON DEAD END MAINS THE TRACING WIRE SHALL BE PLACED IN A PROPERLY IDENTIFIED PVC VALVE BOX AT THE END OF THE RUN.



**TRACING WIRE CONNECTION**

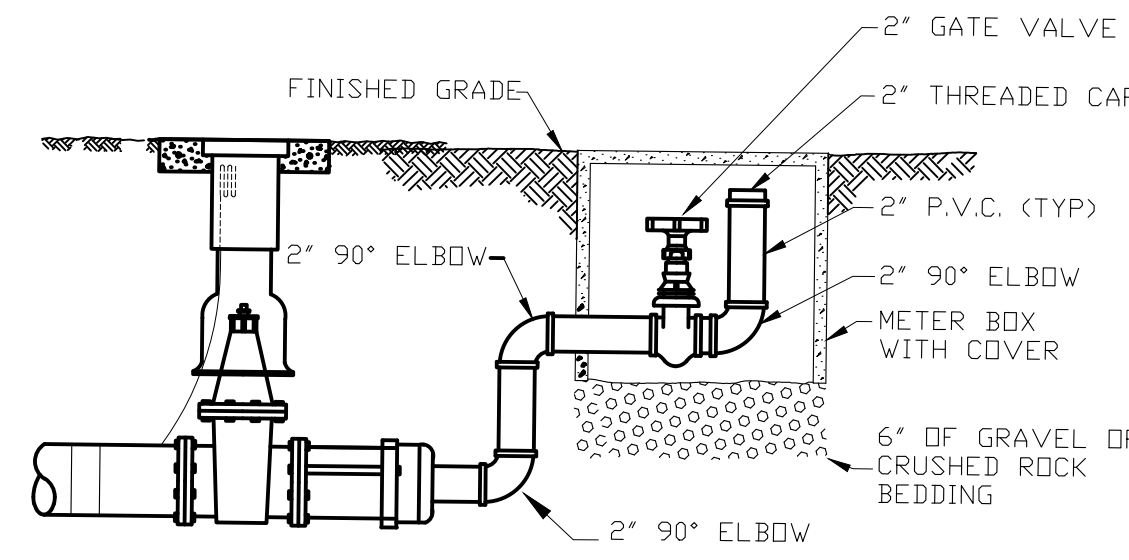
12



**NOTES:**  
1. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY, PER AASHTO T-190. DENSITY TEST SHALL BE PROVIDED TO THE CITY BY AN APPROVED LAB.  
2. TYPE "A" BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.  
3. 15" MAXIMUM 1/2" MINIMUM FOR PIPE DIAMETERS 24" AND LARGER.  
4. 24" MAXIMUM 1/2" MINIMUM FOR PIPE DIAMETERS 30" AND LARGER.  
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.  
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.  
7. BEDDING DEPTH SHALL BE A 4" MINIMUM FOR PIPE DIAMETERS UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.  
8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE (IN THE FIELD) THE REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.  
9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF THE GOVERNING AGENCIES.

**BEDDING & TRENCHING - TYPE A**  
NTS

9

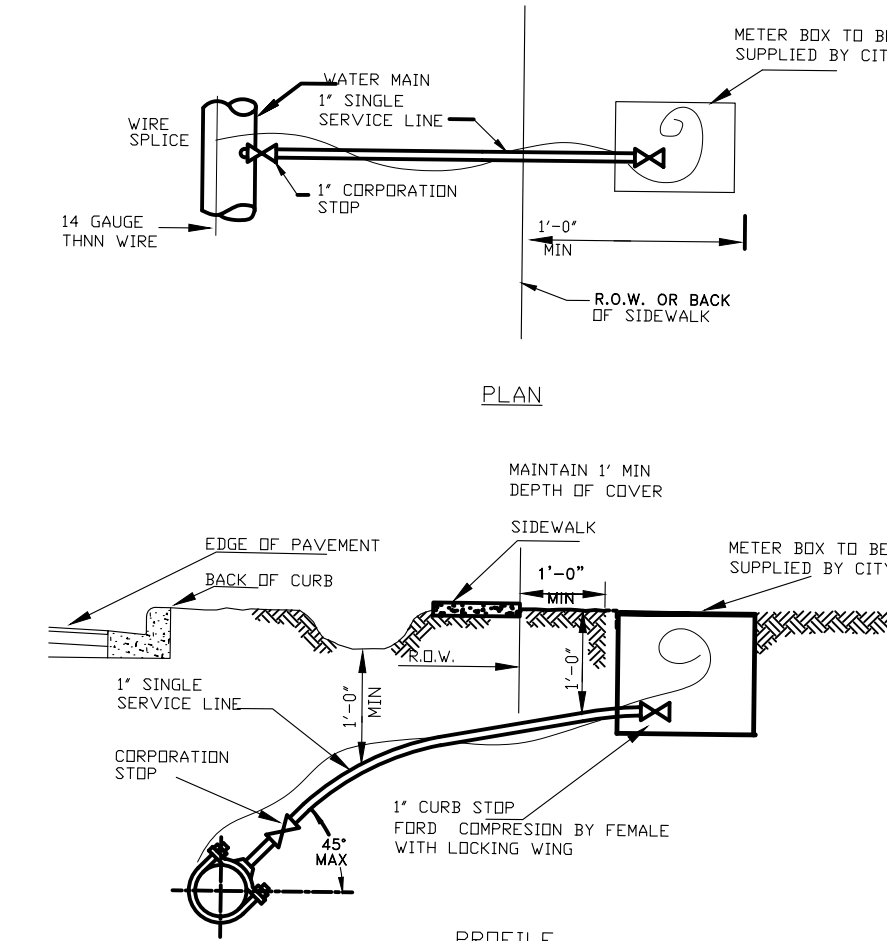


**NOTE:**  
ALL PIPE AND FITTINGS MUST BE GALVANIZED IRON PIPE OR SCHEDULE 80 P.V.C.



**BLOWOFF VALVE**

7

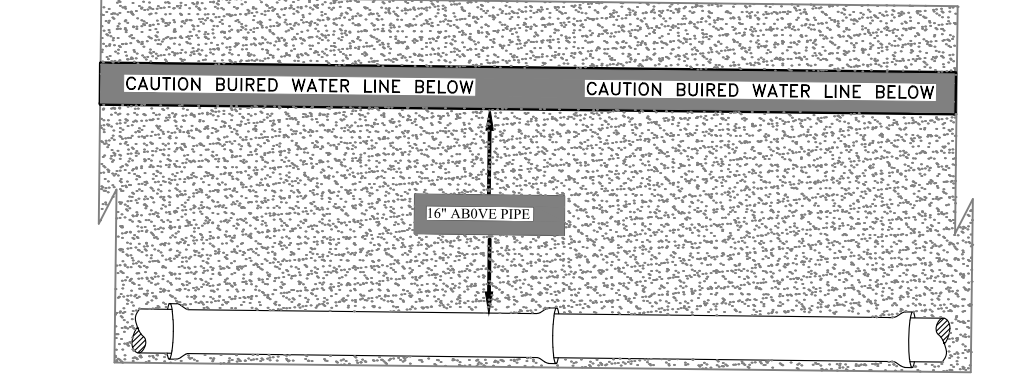
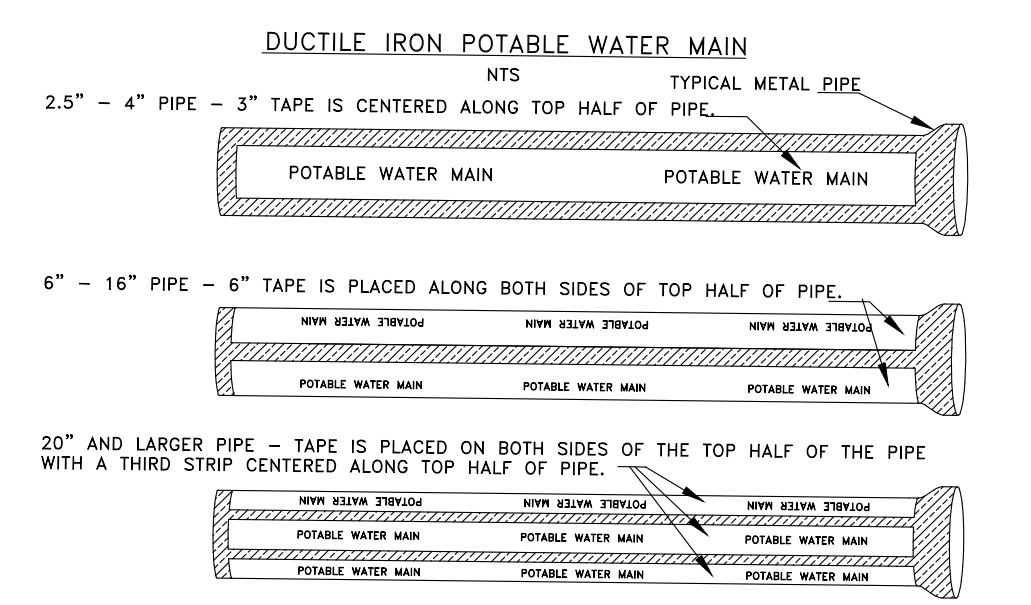


**NOTES:**  
1. METER BOX INSTALLED BY THE CITY OF WINTER SPRINGS  
2. METER PURCHASED FROM AND INSTALLED BY THE CITY OF WINTER SPRINGS

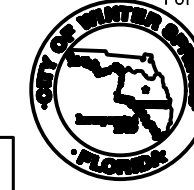


**POTABLE WATER SINGLE SERVICE CONNECTION**

4

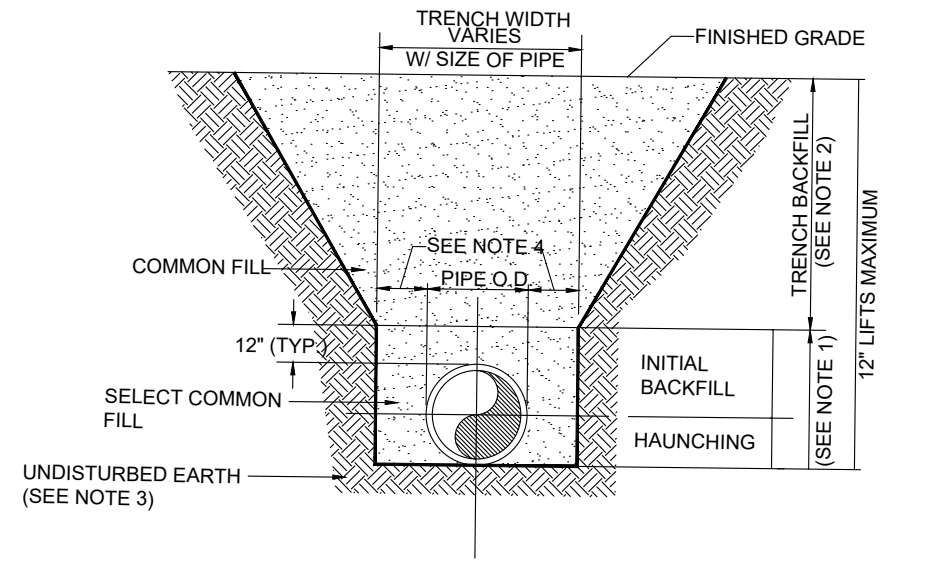


**NOTE:**  
Standard Non-Detectable Warning Tape  
Water Line Tape is 3" Wide and Blue with Black Lettering  
Sewer Line Tape is 3" Wide and Green with Black Lettering  
Force Main Tape is 3" Wide and Brown with Black Lettering



**PIPE IDENTIFICATION AND WARNING TAPE**

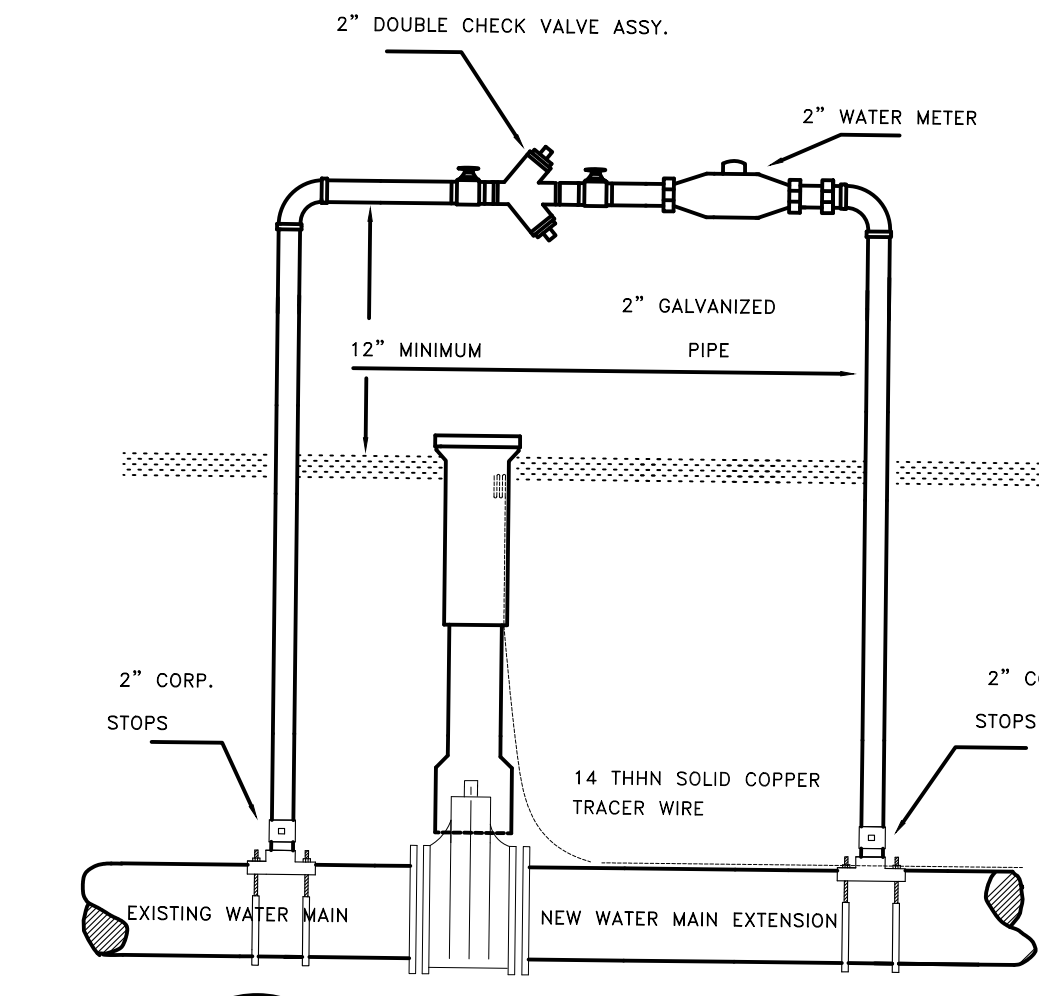
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**NOTES:**  
1. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY, PER AASHTO T-190. DENSITY TEST SHALL BE PROVIDED TO THE CITY BY AN APPROVED LAB.  
2. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE "A" BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.  
3. 15" MAXIMUM 1/2" MINIMUM FOR PIPE DIAMETERS LESS THAN 24".  
4. 24" MAXIMUM 1/2" MINIMUM FOR PIPE DIAMETERS 24" AND LARGER.  
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.  
6. ALL PIPES ARE TO BE INSTALLED WITH THE BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.  
7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF THE GOVERNING AGENCIES.

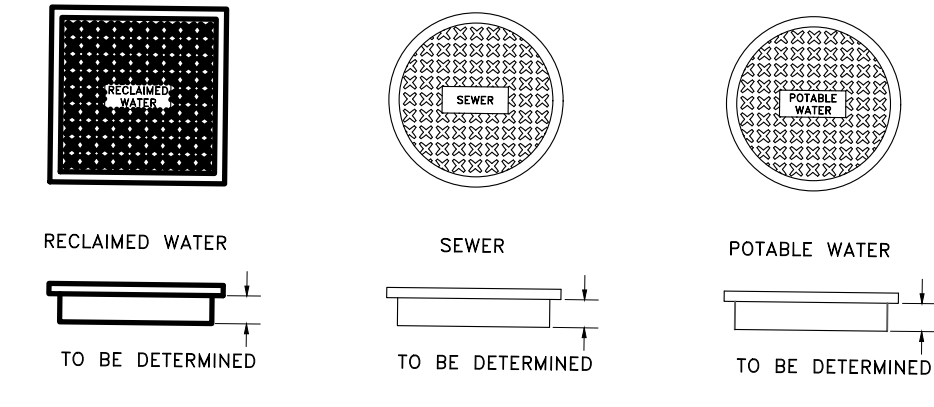
**BEDDING & TRENCHING - TYPE B**  
NTS

10

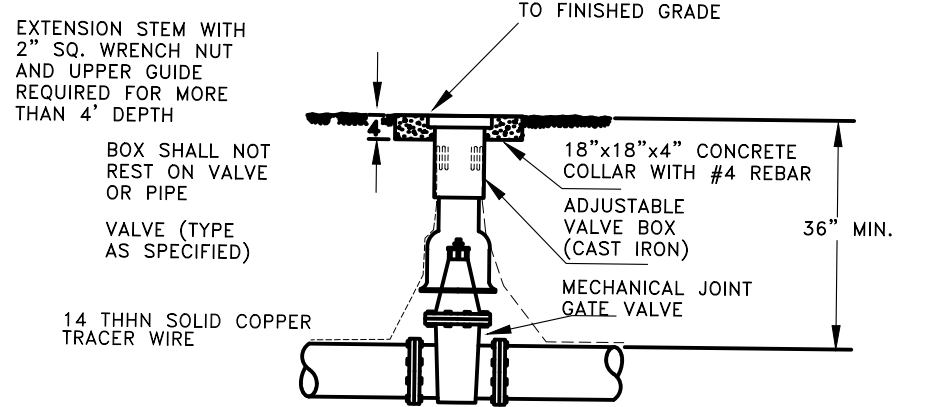


**TEMPORARY BYPASS**

8



**TYPICAL VALVE BOX COVER DETAILS**

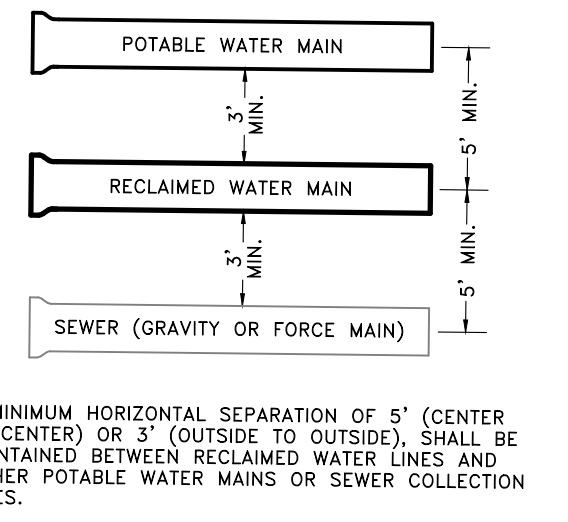


**TYPICAL VALVE AND VALVE BOX DETAIL**

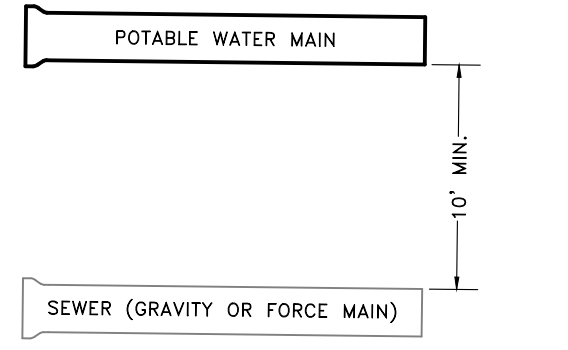


**VALVE, VALVE BOX AND COVER**

5



A MINIMUM HORIZONTAL SEPARATION OF 5' (CENTER TO CENTER) OR 3' (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN RECLAIMED WATER LINES AND EITHER POTABLE WATER MAINS OR SEWER COLLECTION LINES.



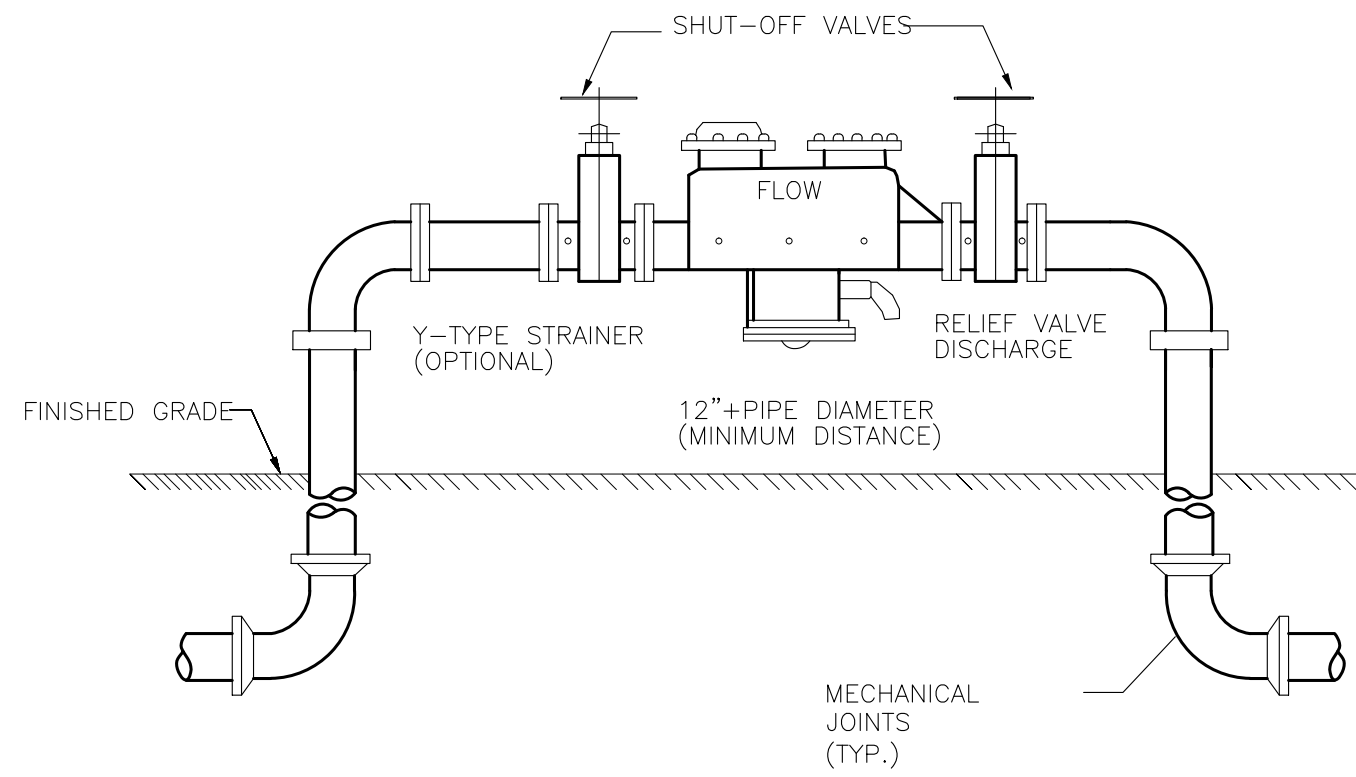
A MINIMUM HORIZONTAL SEPARATION OF 10' (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN SEWER COLLECTION LINES AND POTABLE WATER MAINS.



**MINIMUM HORIZONTAL SEPARATION REQUIREMENTS FOR POTABLE, RECLAIMED, AND SEWER LINES**

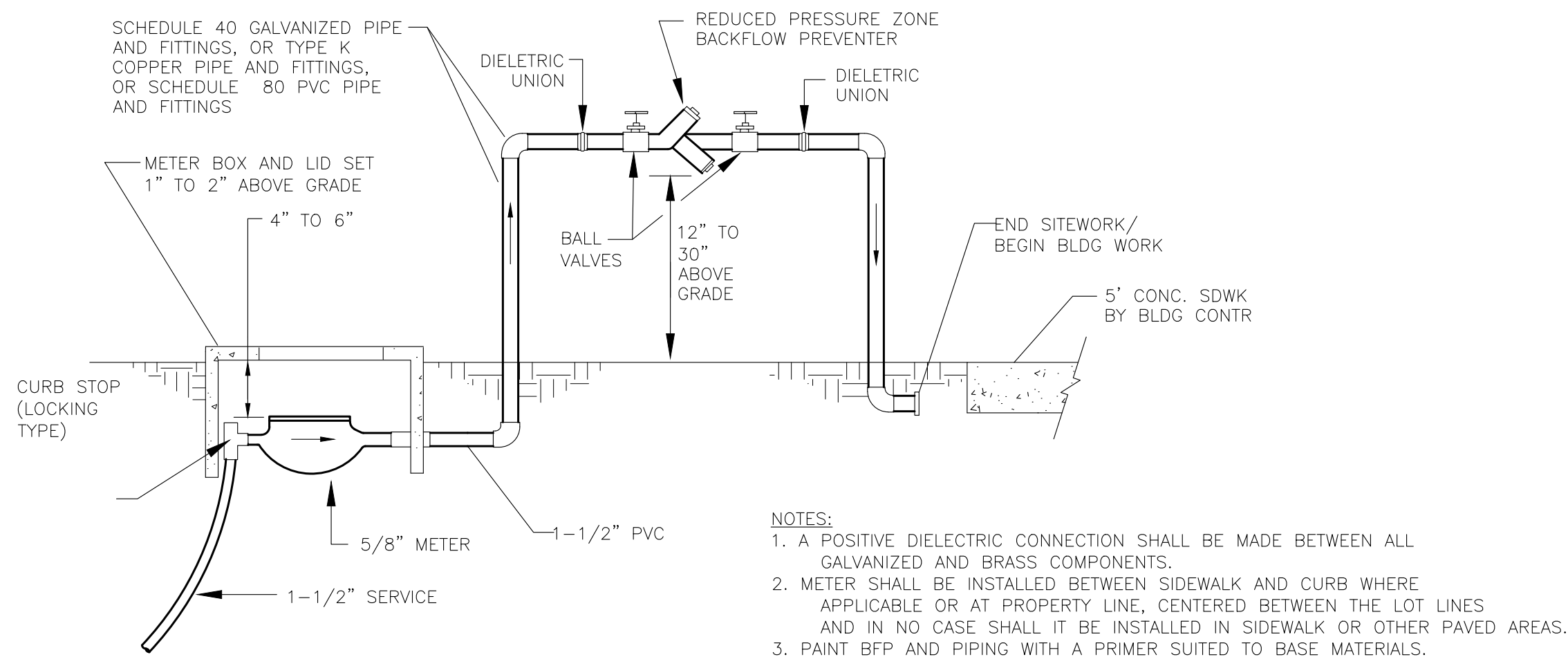
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**REDUCED PRESSURE PRINCIPLE BACKFLOW (TYPICAL INSTALLATION)**  
NTS



13

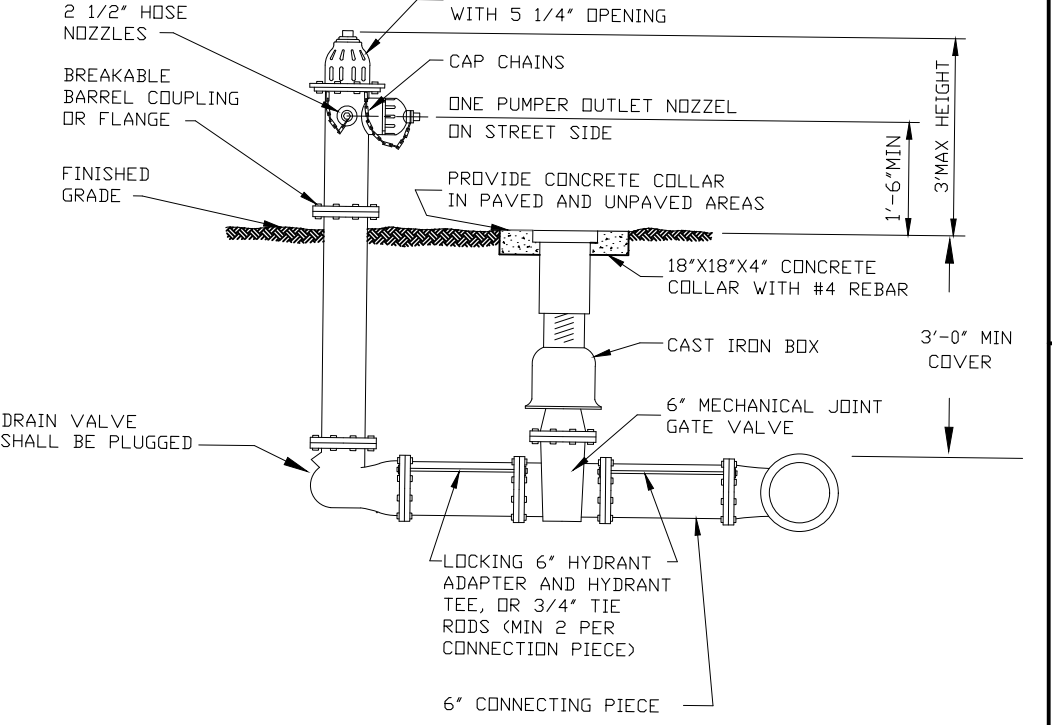
**TYPICAL RPZ B.F.P. AND METER ASSEMBLY**  
NTS



**NOTES:**  
1. A POSITIVE DIELECTRIC CONNECTION SHALL BE MADE BETWEEN ALL GALVANIZED AND BRASS COMPONENTS.  
2. METER SHALL BE INSTALLED BETWEEN SIDEWALK AND CURB WHERE APPLICABLE OR AT PROPERTY LINE, CENTERED BETWEEN THE LOT LINES AND IN NO CASE SHALL IT BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.  
3. PAINT BFP AND PIPING WITH A PRIMER SUITED TO BASE MATERIALS. FINISH WITH TWO COATS EXTERIOR ENAMEL (COLOR IS OPTIONAL).  
4. ON NEW INSTALLATIONS, THE BACKFLOW PREVENTION DEVICES SHALL BE TESTED BEFORE THE METER INSTALLATION CAN BE APPROVED FOR USE.  
5. POLY SERVICE LINE SIZED BY SERVICE CONNECTION (1 1/2" MIN.).  
6. MAINTENANCE OF THE BACKFLOW PREVENTER, PIPING AND APPURTENANCES DOWN STREAM OF THE METER SHALL BE THE RESPONSIBILITY OF THE OWNER.

6

**MPGC - Bid Set**  
Rcvd. 12/04/2023



**NOTES:**  
1. THE HYDRANTS ACCEPTABLE TO THE CITY OF WINTER SPRINGS SHALL BE EITHER THE GLDY # 42 MEDALLION AMERICAN DARLING B84B, OR THE MUELLER A-423.  
2. ENTIRE ASSEMBLY SHALL BE PAINTED SHERWIN WILLIAMS SAFETY YELLOW.  
3. GRIP RING OR WELD LOG RESTRAINTS MAY BE USED IN PLACE OF ALL THREAD RODS.



**FIRE HYDRANT ASSEMBLY**

3

**RECORD DRAWING**  
THIS RECORD DRAWING IS BASED ON THE RESULTS OF A LIMITED NUMBER OF CONVECTIVITY PERFORMED RECLAIMED MAINS AND POTABLE MAINS. THE RESULTS OF THESE TESTS ARE NOT GUARANTEED. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE TO THE CITY OF WINTER SPRINGS PROPERTY OR PERSONS OR PROPERTY CAUSED BY THE RECORD DRAWING.

**VISION SOURCE WINTER SPRINGS**  
AT  
**TUSKAWILLA RD.**  
**WINTER SPRINGS, FL**  
FOR  
**FISHER EYE PROPERTIES, LLC**

**WATER DETAIL SHEET**

6200 Lee Vista Blvd., Suite 400  
Orlando, FL  
407.966.3377  
WWW.NVS.COM  
CERTIFICATE OF AUTHORIZATION # 20065



SHEET  
**C07.0**

**ENGINEER**  
FRANK A. PORTER, P.E.  
FL LIC. #06052

**JOB #:** 22011  
**PROJ. MGR.:** JAP  
**DESIGNER:** JWH  
**CHECKED:** JPM  
**DATE:** Dec. 04, 2023

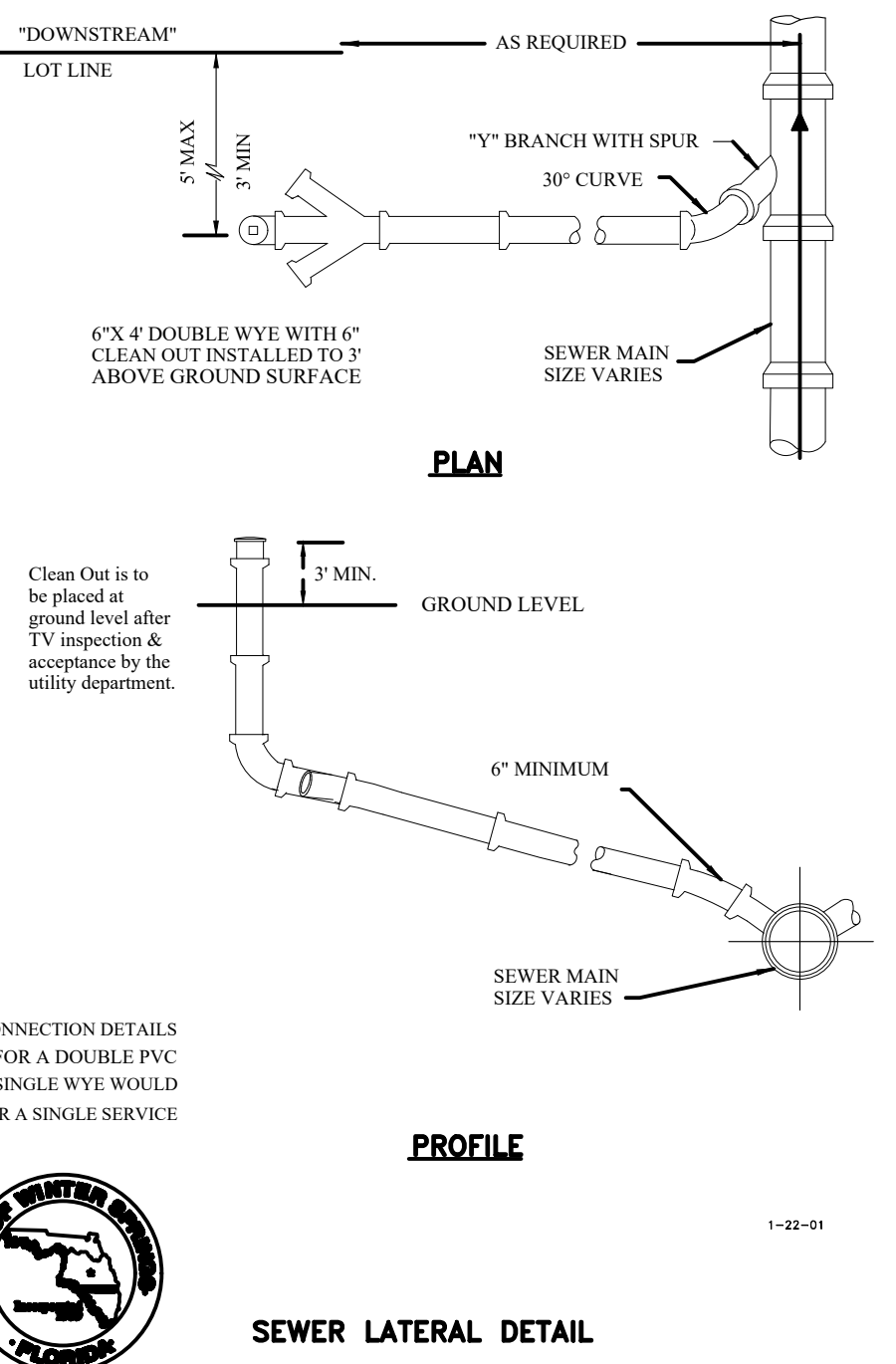
NO.	DATE	REVISIONS

10

7

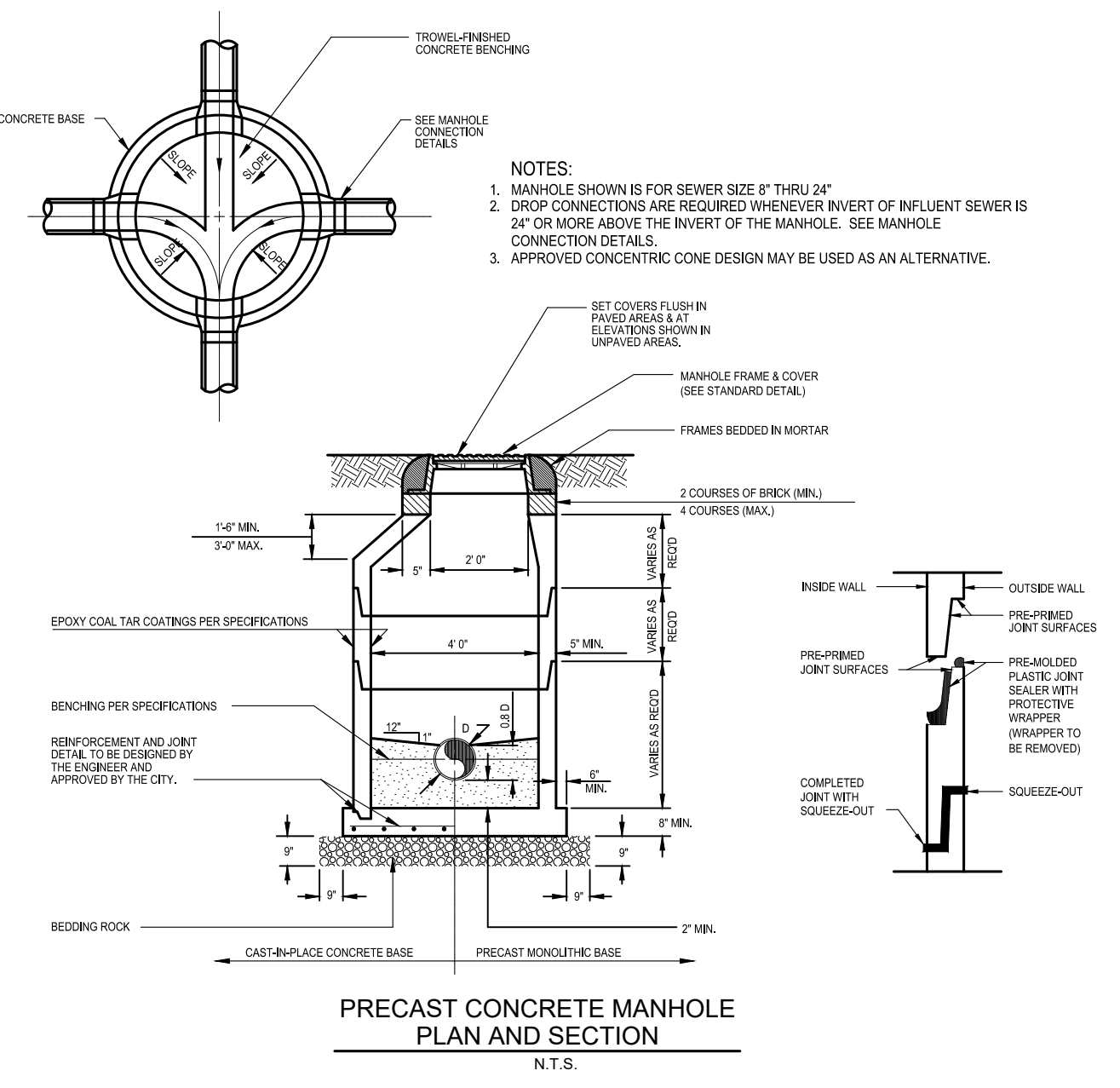
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1



SEWER LATERAL DETAIL

1-22-01



PRECAST CONCRETE MANHOLE PLAN AND SECTION

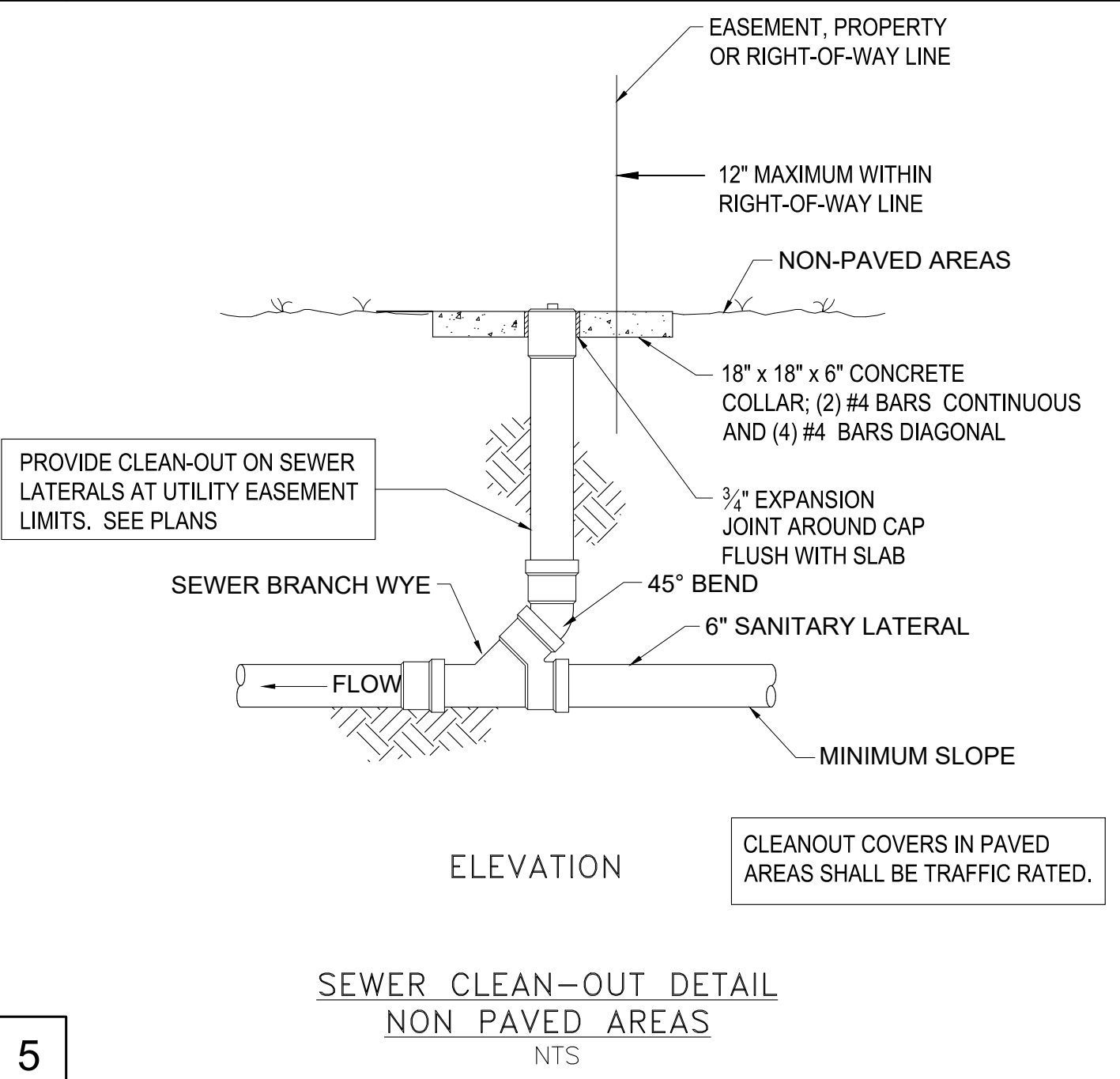
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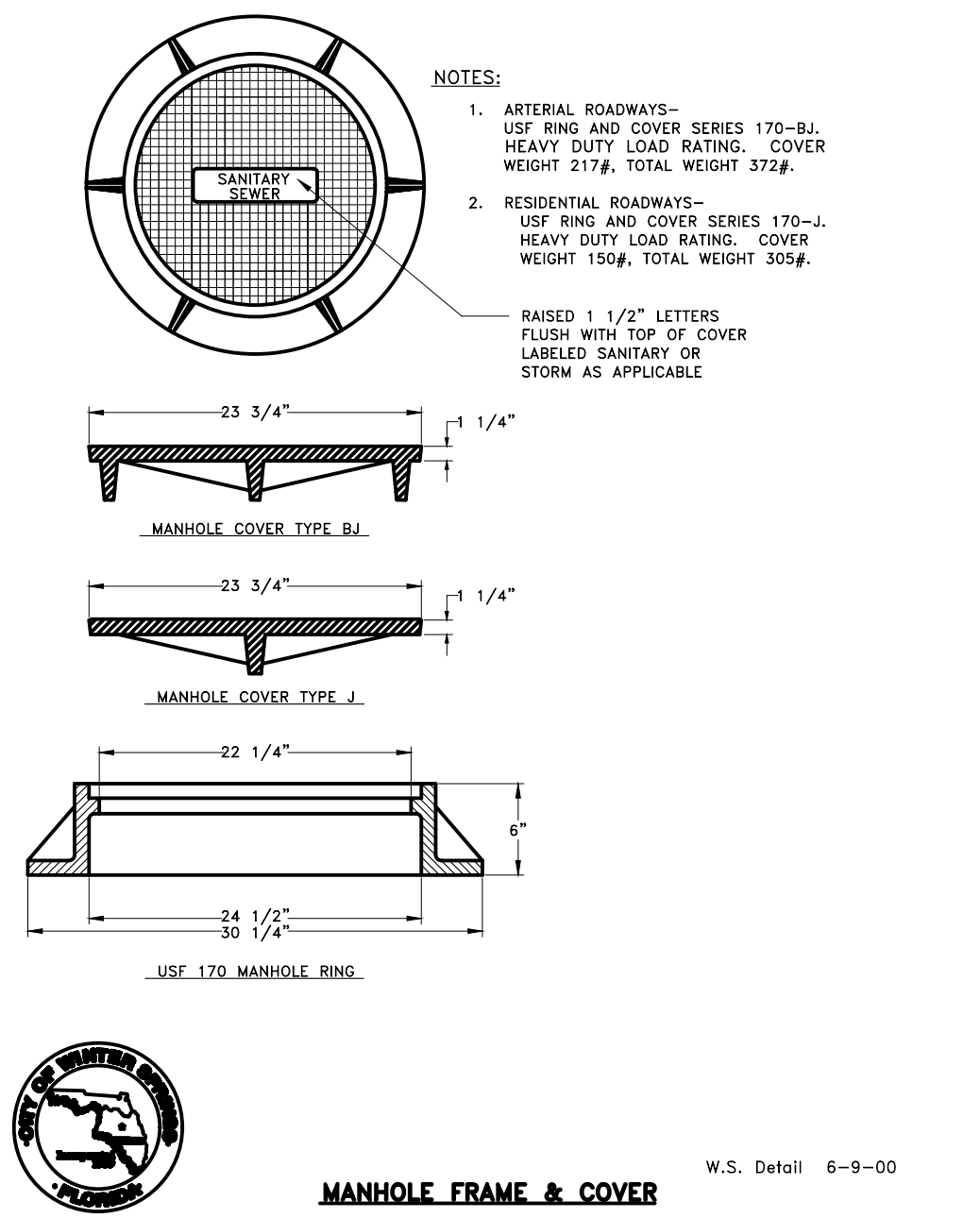
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2



SEWER CLEAN-OUT DETAIL NON PAVED AREAS

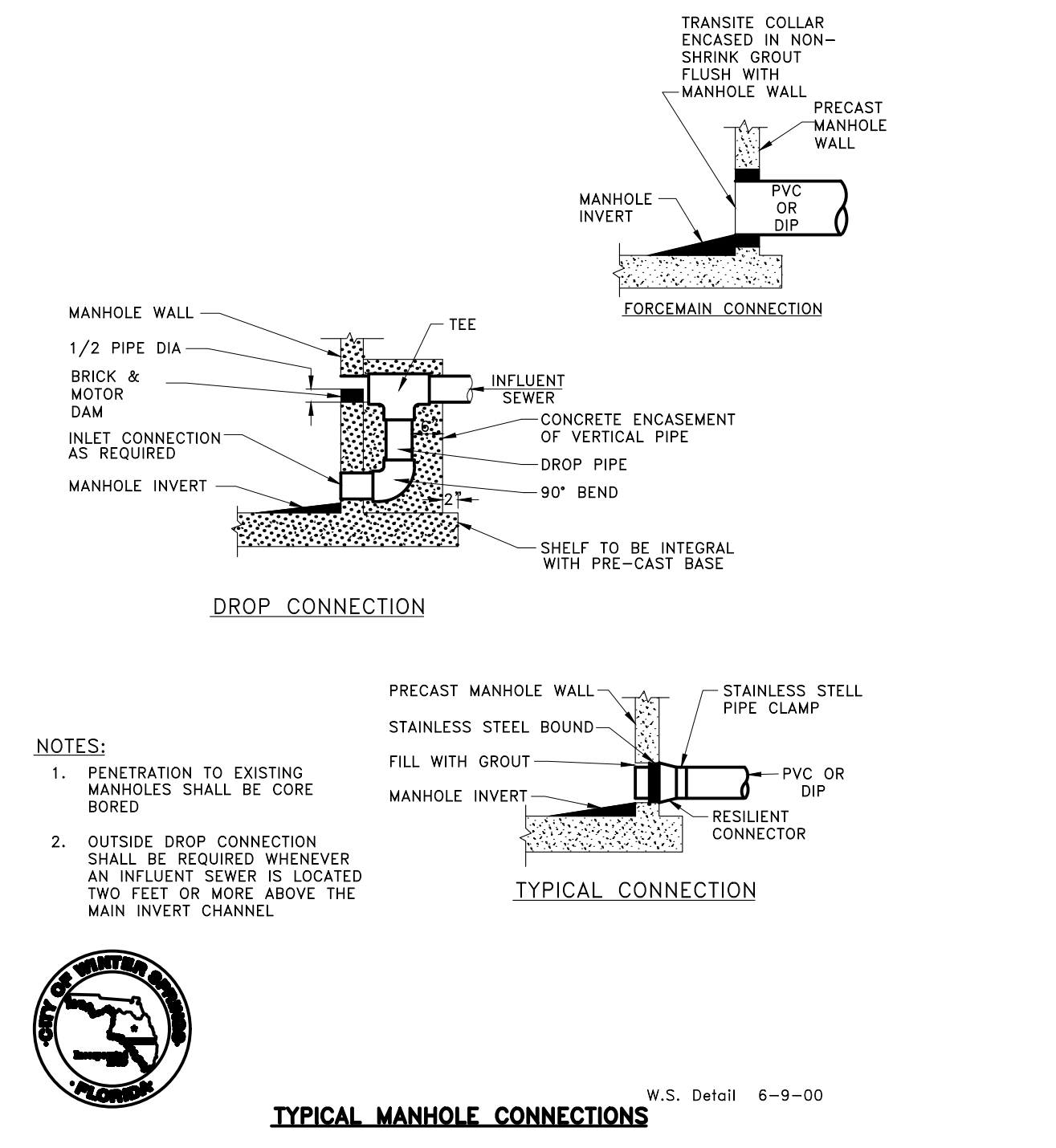
NTS



MANHOLE FRAME & COVER

W.S. Detail 6-9-00

**MPGC - Bid Set**  
 Rcvd. 12/04/2023



TYPICAL MANHOLE CONNECTIONS

W.S. Detail 6-9-00



JOB #:	22011	<b>ENGINEER</b> FRANK A. PORTER, P.E. FL LIC. #16060	DATE: Dec. 04, 2023		
PLJ. MGR:	FAP		DESIGNER:	JWH	CHECKED:
REVISIONS					
NO.	DATE				
RECORD DRAWING		THIS RECORD DRAWING IS BASED ON THE RESULTS OF UNLIMITED NUMBER OF CONSTRUCTION PERFORMED REFINED PLANS AND UNLIMITED DELIVERY METHOD OF SANITARY WATER AND SEWERAGE. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS RECORD DRAWING OR THE RESULTS OF THE CONSTRUCTION.			
VISION SOURCE WINTER SPRINGS		TUSKAWILLA RD. WINTER SPRINGS, FL FISHER EYE PROPERTIES, LLC			
SANITARY DETAIL SHEET		6200 Lee Vista Blvd., Suite 400 Orlando, FL 32837 WWW.NVS.COM CERTIFICATE OF AUTHORIZATION # 20065			
SHEET		C08.0			

12

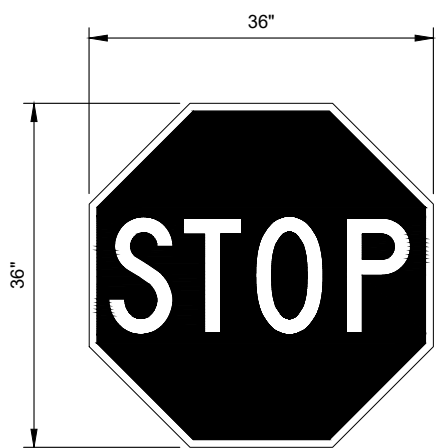
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6

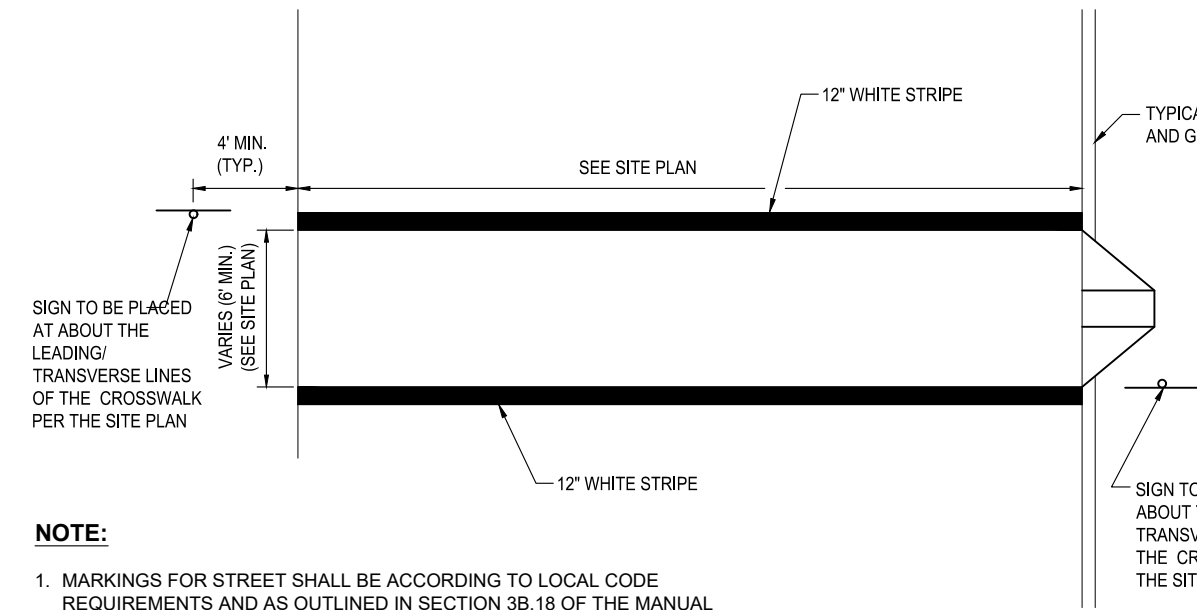
3

0:\22011-20\CONSTR\C8.0 SAN DETAIL SHEET.dwg - Dec. 04, 2023 - 1:29pm





WHITE LEGEND RED BACKGROUND HIGH REFLECTIVE INTENSITY  
R1-1  
"STOP" SIGN DETAIL  
N.T.S.



NOTE:  
1. MARKINGS FOR STREET SHALL BE ACCORDING TO LOCAL CODE REQUIREMENTS AND AS OUTLINED IN SECTION 3B.18 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.  
2. ALL STRIPING IS TO BE THERMOPLASTIC PER FDOT SPECIFICATIONS.

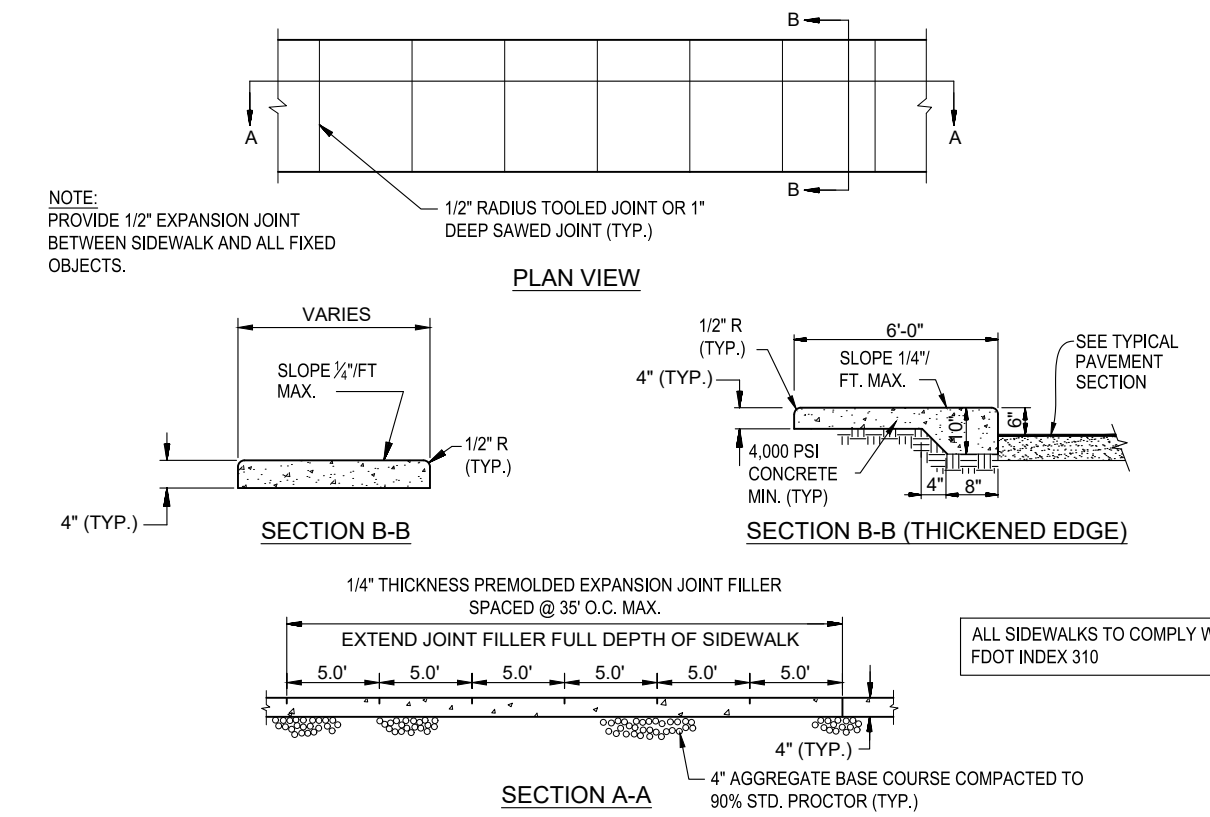
PRIVATE CROSSWALK STRIPING DETAIL  
N.T.S.

MPGC - Bid Set

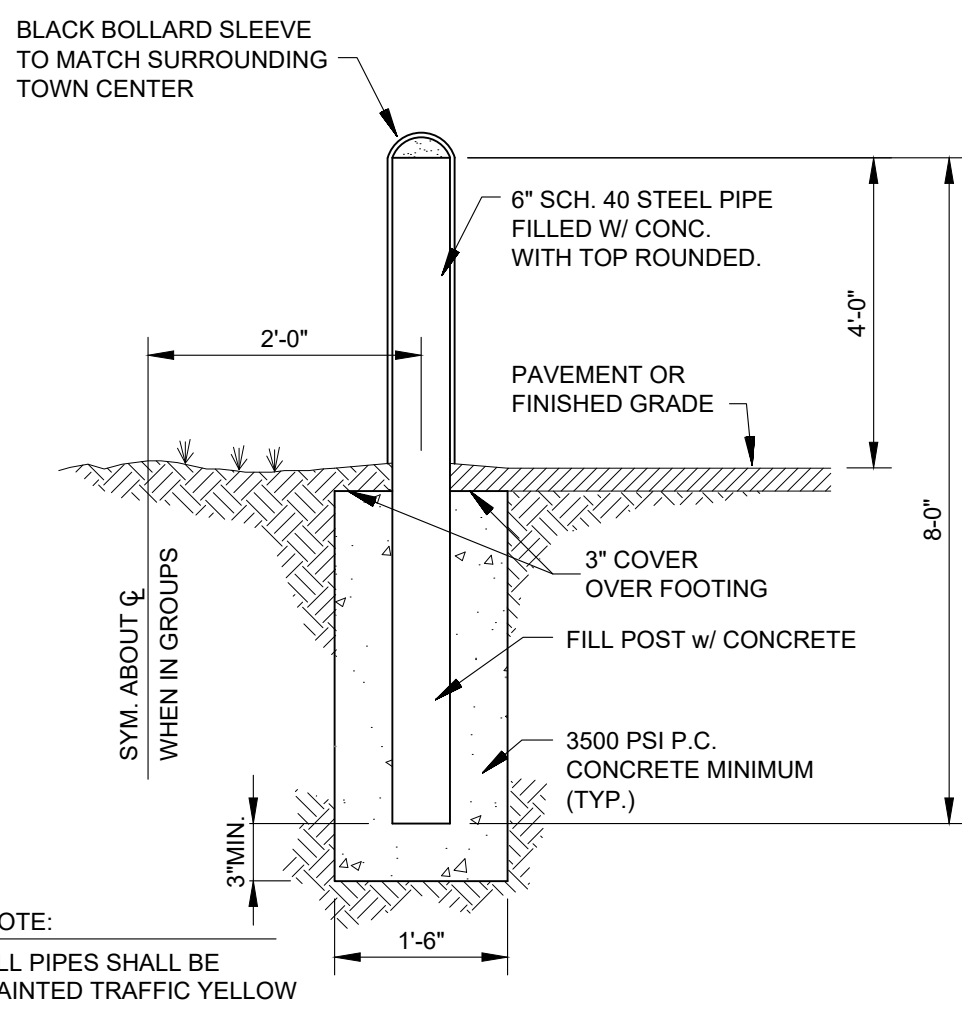
Rcvd. 12/04/2023

RIGID (PORTLAND CEMENT CONCRETE) PAVEMENT DESIGN SHOULD FOLLOW SEMINOLE COUNTY SPECIFICATIONS FOR MINIMUM COMPRESSIVE STRENGTH. BASED ON OUR EXPERIENCE, A MINIMUM THICKNESS OF 6 INCHES CAN BE USED FOR STANDARD DUTY APPLICATIONS AND A MINIMUM THICKNESS OF 7 INCHES SHOULD BE UTILIZED FOR HEAVY DUTY APPLICATIONS. ANY STEEL REINFORCEMENT WITHIN THE CONCRETE PAVEMENT SHOULD BE DESIGNED BY THE PROJECT CIVIL OR PAVEMENT ENGINEER. THE SUBGRADE SHOULD BE PREPARED TO ACHIEVE A MINIMUM LBR OF 30 TO A DEPTH OF 12 INCHES BELOW THE CONCRETE BASE ELEVATION. THE SUBGRADE SOILS SHOULD BE COMPACTED TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. TO AID IN THE DESIGN OF THE ANTICIPATED CONCRETE PAVEMENT SECTIONS, A MODULUS OF SUBGRADE REACTION OF 100 PCI (LBR 20 SANDS) SHOULD BE UTILIZED FOR THE LOW BEARING SANDS UNLESS STABILIZATION IS ADDED TO INCREASE THE BEARING VALUE. IF THE SANDS ARE STABILIZED, A MODULUS VALUE OF 150 PCI CAN BE UTILIZED.

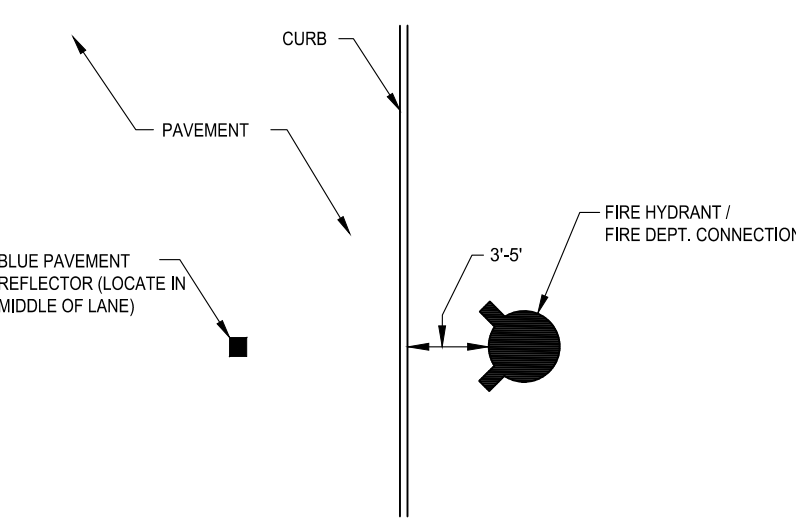
CONCRETE PAVING  
NTS



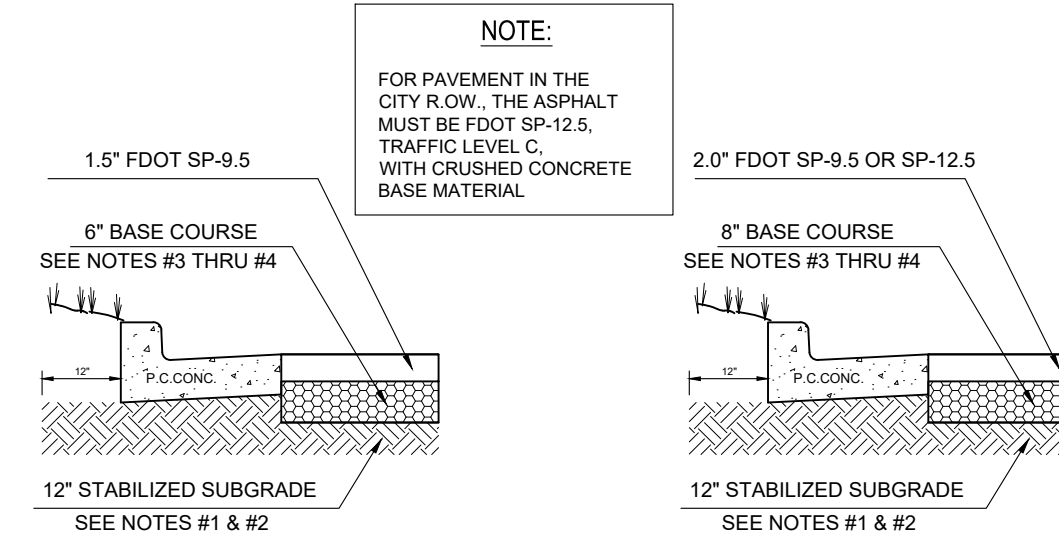
TYPICAL CONCRETE SIDEWALK DETAIL  
N.T.S.



CONCRETE BOLLARD  
NTS



PAVEMENT MARKING AT FIRE HYDRANT / FDC DETAIL  
N.T.S.



NOTE:  
FOR PAVEMENT IN THE CITY & C.W., THE ASPHALT MUST BE FDOT SP-12.5, TRAFFIC LEVEL C, WITH CRUSHED CONCRETE BASE MATERIAL.

STANDARD DUTY  
1. THE SUBGRADE SHOULD MEET A MINIMUM LBR OF 40 (STABILIZED SUBGRADE) OR FIV OF 75 POUNDS PER SQUARE INCH (PSI). THE EXISTING SANDY SOIL AND RECOMMENDED IMPORTED FILL WILL LIKELY POSSESS A LBR OF 20 TO 30. THEREFORE, IN ORDER TO INCREASE THE BEARING VALUE, SHELL, LIMEROCK, CRUSHED CONCRETE, LOW PLASTICITY CLAYEY SANDS OR ANOTHER ACCEPTABLE PRODUCT WOULD NEED TO BE BLENDED WITH THESE SANDS. THE STABILIZED SUBGRADE SHOULD BE A MINIMUM DEPTH OF 12 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (MPMD) AND MEET THE REQUIREMENTS FOR TYPE B OR C STABILIZED SUBGRADE FOR THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).

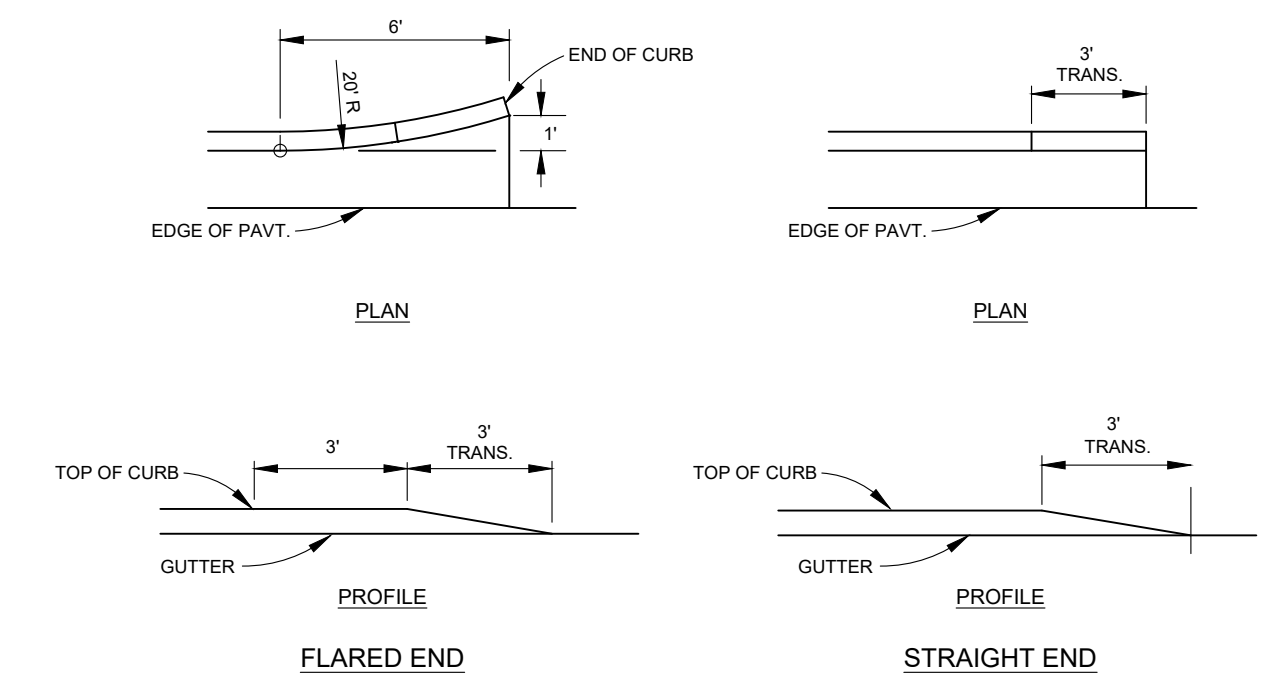
HEAVY DUTY  
1. THE SUBGRADE SHOULD MEET A MINIMUM LBR OF 100 AND COMPLY WITH THE LATEST EDITION OF THE FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS. PLACE LIMEROCK IN MAXIMUM SIX-INCH LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 95 PERCENT OF THE MPMD. CRUSHED CONCRETE BASE SHALL COMPLY WITH THE LATEST EDITION OF THE FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS. PLACE CRUSHED CONCRETE IN MAXIMUM SIX INCH LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 98 PERCENT OF THE MPMD.

2. COMPACTION TESTING OF THE SUBGRADE SHOULD BE PERFORMED TO FULL DEPTH AT A FREQUENCY OF AT LEAST ONE (1) TEST PER 1,000 SQUARE FEET, OR EVERY 200 LINEAL FEET OF ROADWAY, WHICHEVER IS GREATER. COMPACTION TESTING OF THE STABILIZED SUBGRADE SHOULD BE PERFORMED AT FULL DEPTH AT A FREQUENCY OF AT LEAST ONE (1) TEST PER 10,000 SQUARE FEET, OR A MINIMUM OF 3 TESTS, WHICHEVER IS GREATER.

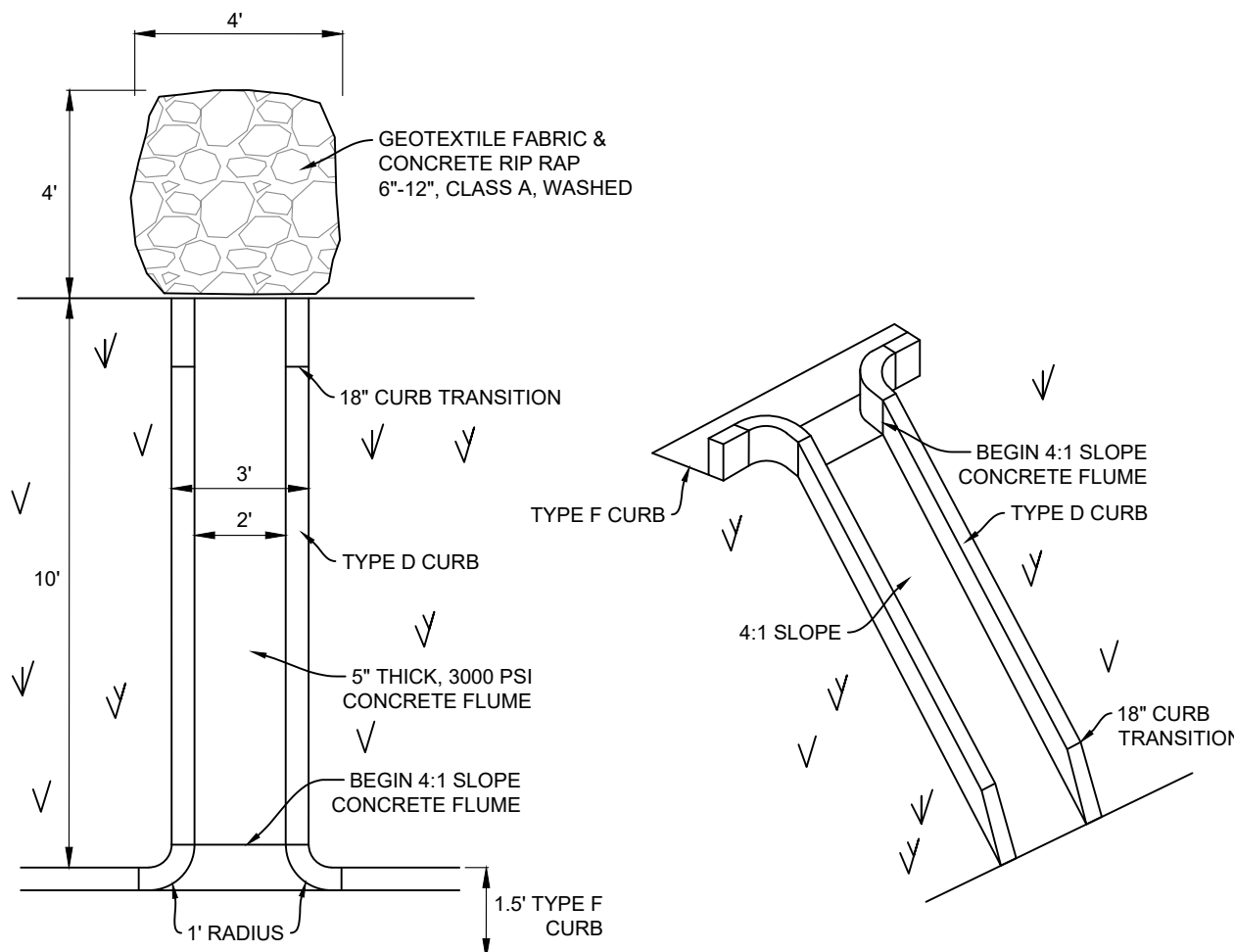
3. LIMEROCK BASES SHOULD BE A MINIMUM LBR OF 100 AND COMPLY WITH THE LATEST EDITION OF THE FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS. PLACE LIMEROCK IN MAXIMUM SIX-INCH LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 95 PERCENT OF THE MPMD. CRUSHED CONCRETE BASE SHALL COMPLY WITH THE LATEST EDITION OF THE FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS. PLACE CRUSHED CONCRETE IN MAXIMUM SIX INCH LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 98 PERCENT OF THE MPMD.

4. TRAFFIC SHOULD NOT BE ALLOWED ON THE SUBGRADE AS THE BASE IS PLACED TO AVOID RUTTING. BEFORE PAVING, THE BASE SHOULD BE CHECKED FOR SOUNDNESS.

ASPHALT PAVING  
NTS

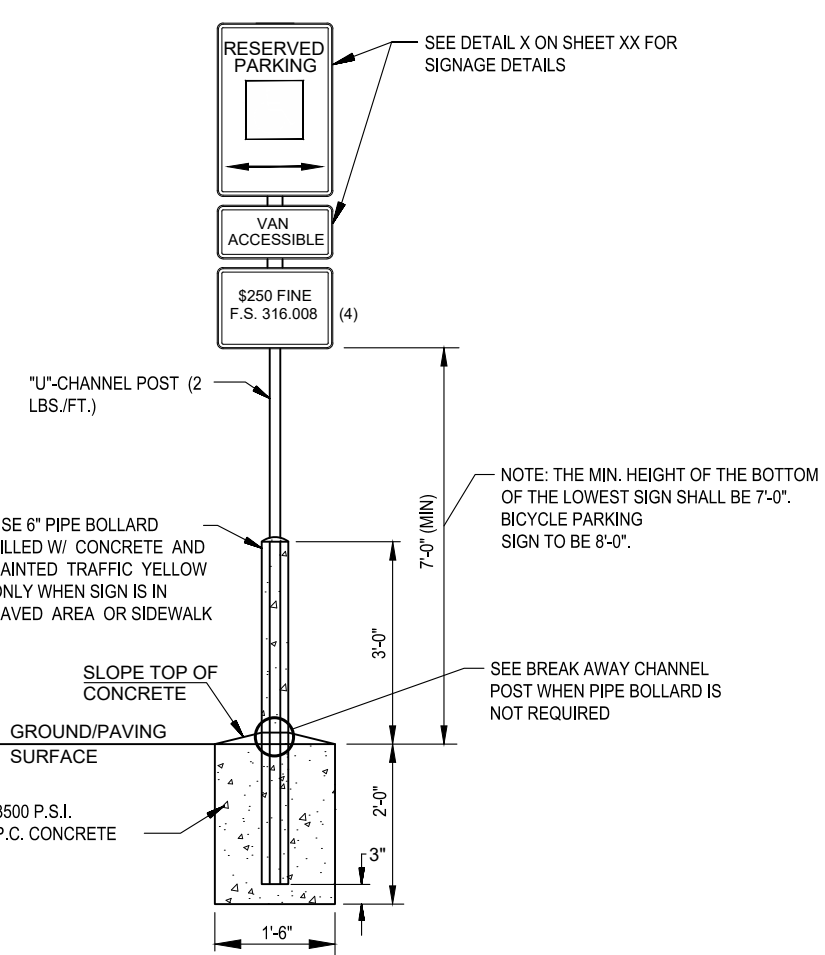


CURB AND GUTTER ENDINGS DETAIL  
N.T.S.

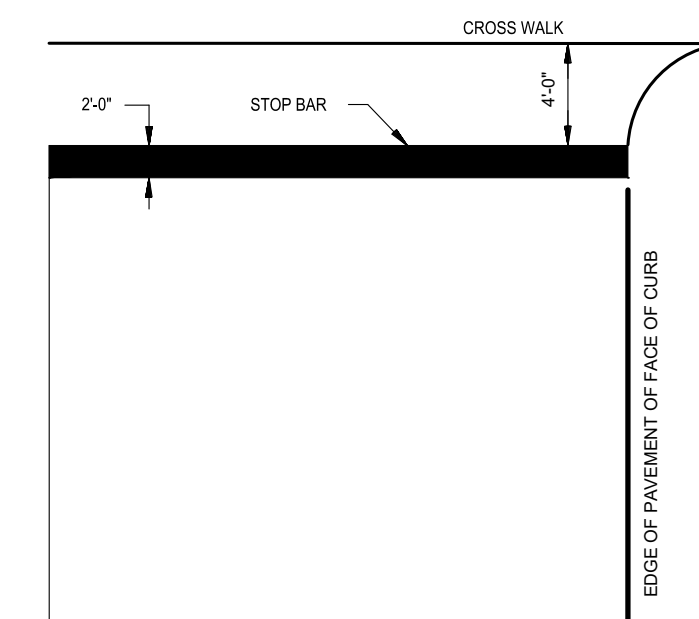


CONCRETE FLUME PLAN VIEW  
NTS

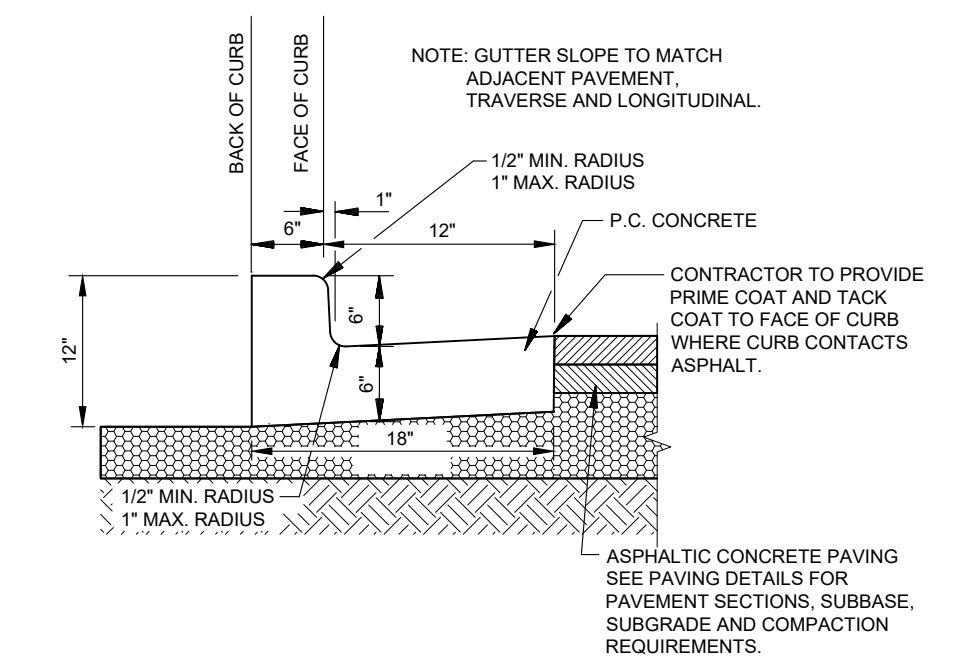
CONCRETE FLUME ISOMETRIC VIEW  
NTS



SIGN MOUNTING DETAIL  
N.T.S.



STOP BAR DETAIL  
N.T.S.



18" CURB AND GUTTER DETAIL  
N.T.S.

22011	22011	FRANK A. PORTER, P.E.	DATE: Dec. 04, 2023
PLJ, MGR:	FAP	FLC, #06052	
DESIGNER:	JWH		
CHECKED:	JPM		
NO.	DATE	REVISIONS	
1			
2			
3			
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10			
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12			

RECORD DRAWING  
THIS RECORD DRAWING IS BASED ON THE RESULTS OF LIMITED NUMBER OF CONSTRUCTION RELATED TESTS AND FIELD OBSERVATIONS. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE QUALITY OF THE WORKMANSHIP AND MATERIALS. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO THE BEST OF HIS KNOWLEDGE.

VISION SOURCE WINTER SPRINGS  
TUSKAWILLA RD.  
WINTER SPRINGS, FL  
FISHER EYE PROPERTIES, LLC

GENERAL DETAIL SHEET 1

6200 Lee Vista Blvd., Suite 400  
Orlando, FL  
(407) 896-3317  
WWW.NV5.COM  
CERTIFICATE OF AUTHORIZATION # 20085

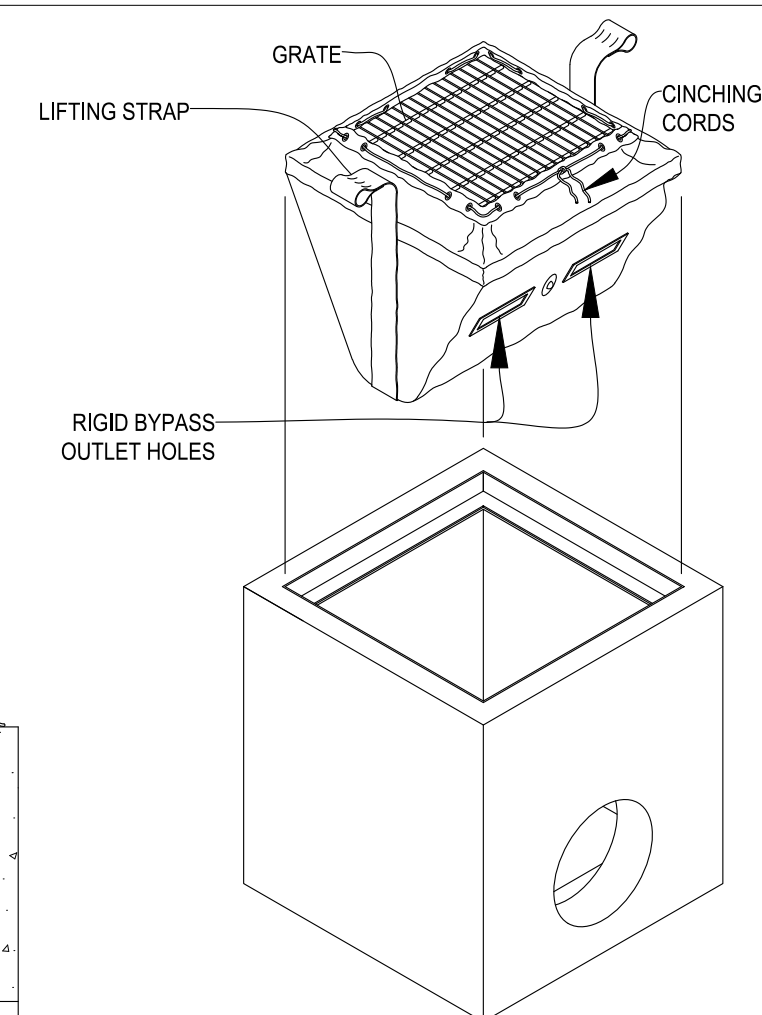
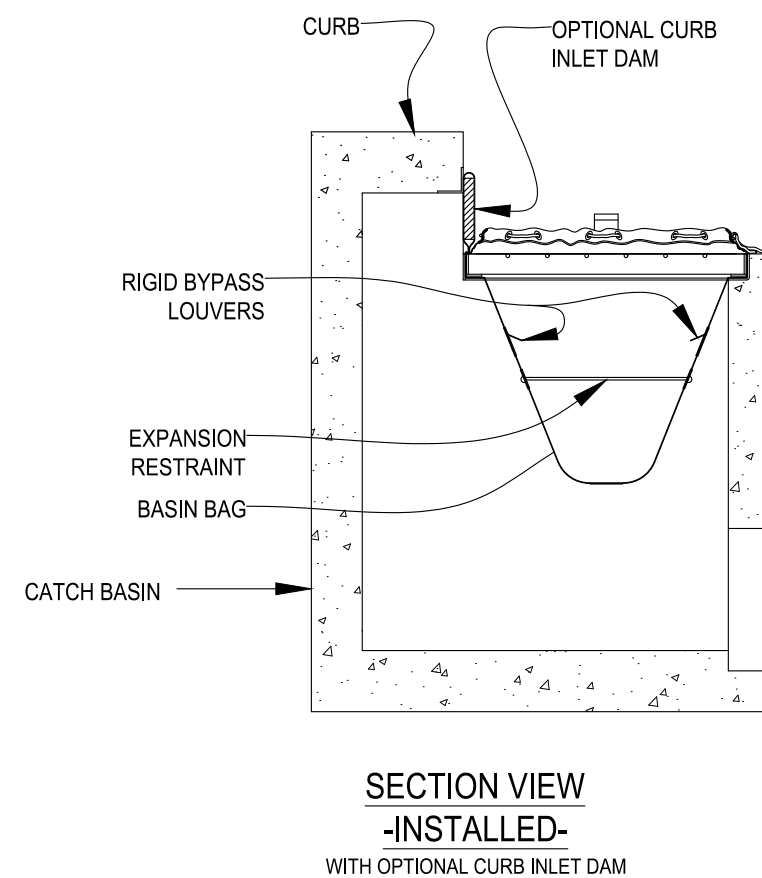


SHEET C09.0

**MPGC - Bid Set**

Rcvd. 12/04/2023

SPECIFIER CHART		
MODEL NO.	CATCH BASIN ID Inside Dimension (inch x inch)	CURB DAM OPTION (YES / NO)
FG-TB24	24 x 24	NO
FG-TB24D	24 x 24	YES
FG-TB2436	24 x 36	NO
FG-TB2436D	24 x 36	YES
FG-TB36	36 x 36	NO
FG-TB36D	36 x 36	YES



- NOTES:**
1. FloGard T-Bag is manufactured from woven monofilament polypropylene fabric. Other materials available upon request.
  2. May be ordered with Fossil Rock oil absorbent pouches installed.
  3. Optional curb inlet dam available upon request.
  4. Periodic maintenance is required. FloGard T-Bag should never be allowed to fill beyond the top of the bypass outlet louvers.
  5. Appropriate lifting equipment should be used when performing periodic maintenance.

TITLE **FloGard** T-BAG™  
TEMPORARY INLET PROTECTION DEVICE

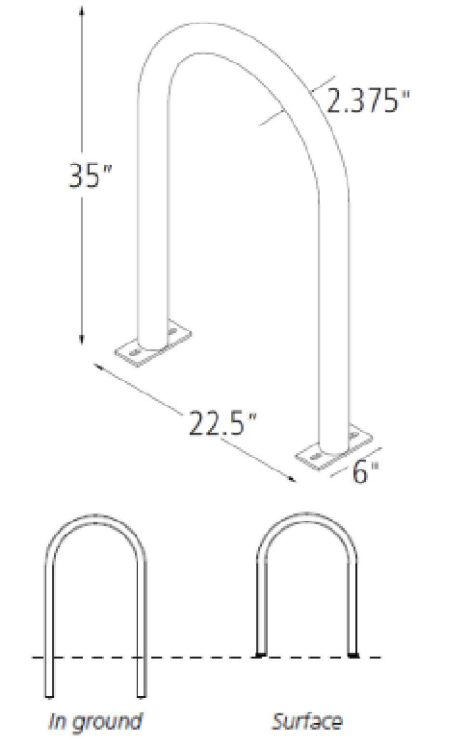
**KRISTAR** KriStar Enterprises, Inc.  
P.O. Box 6419, Santa Rosa, CA 95406  
Ph: 800.579.8819, Fax: 707.524.8196, www.kristar.com

DRAWING NO. FG-TB-0001  
REV. N/R 0002  
DATE JPR 09/01/06  
SHEET 1 OF 1

**INLET SEDIMENT FILTER**

N.T.S.

4

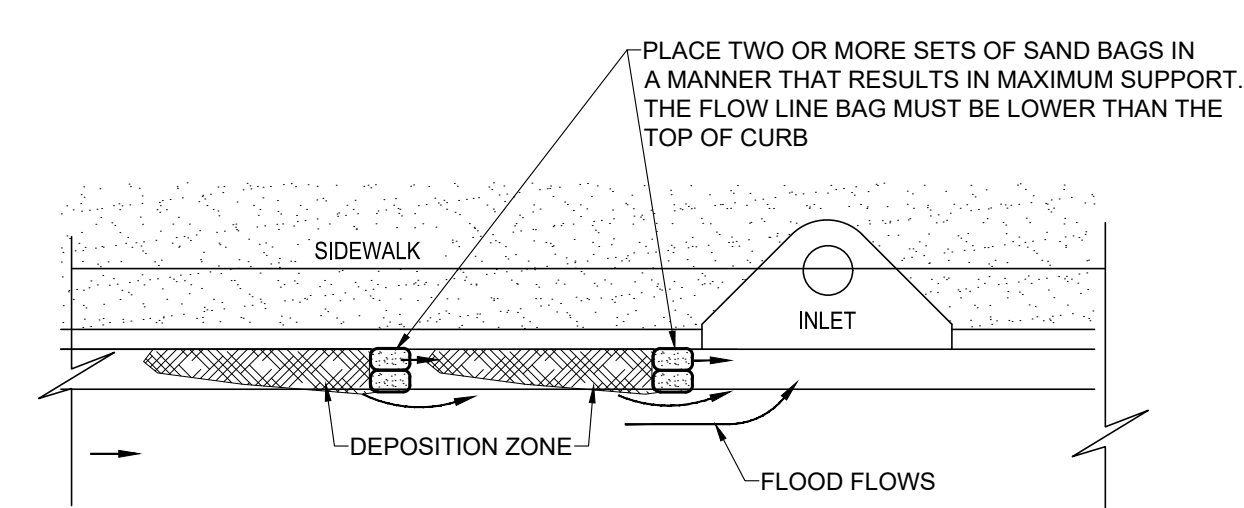


**Product** Hoop Rack Heavy Duty  
**Capacity** 2 Bikes  
**Materials** 2" schedule 40 pipe (2.375" OD)  
**Finishes** Standard options: Galvanized Or Powder Coated

**BICYCLE RACK DETAIL**

NTS

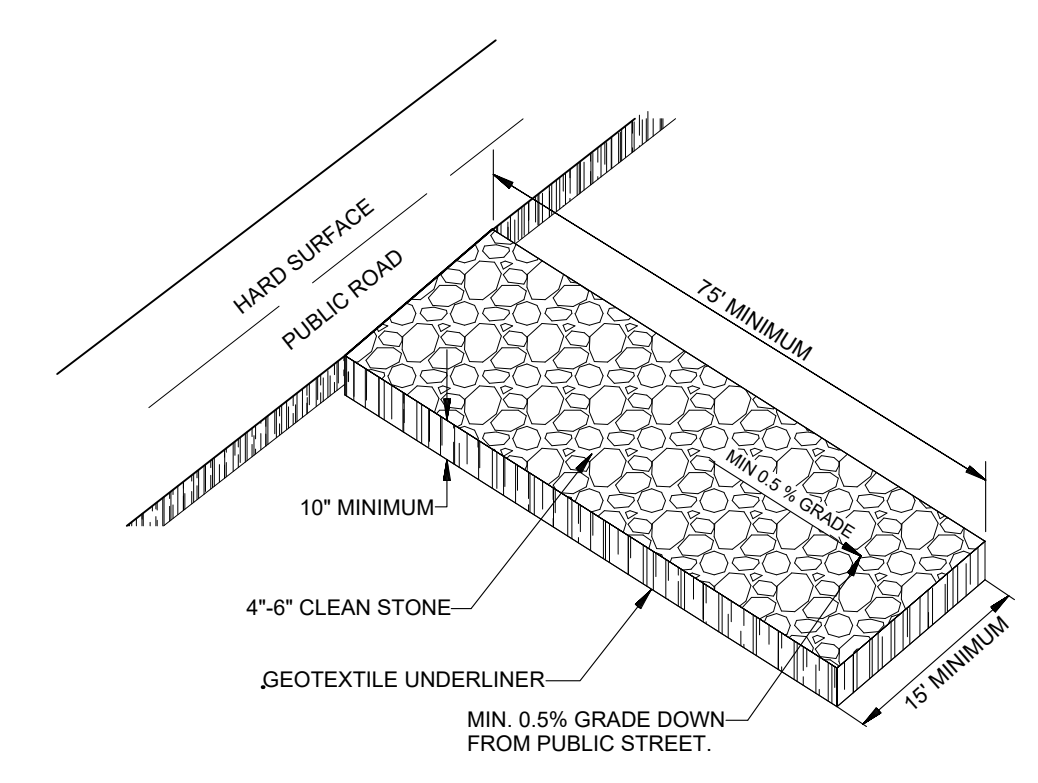
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**IP2, CURB INLET PROTECTION SYSTEM**

NTS

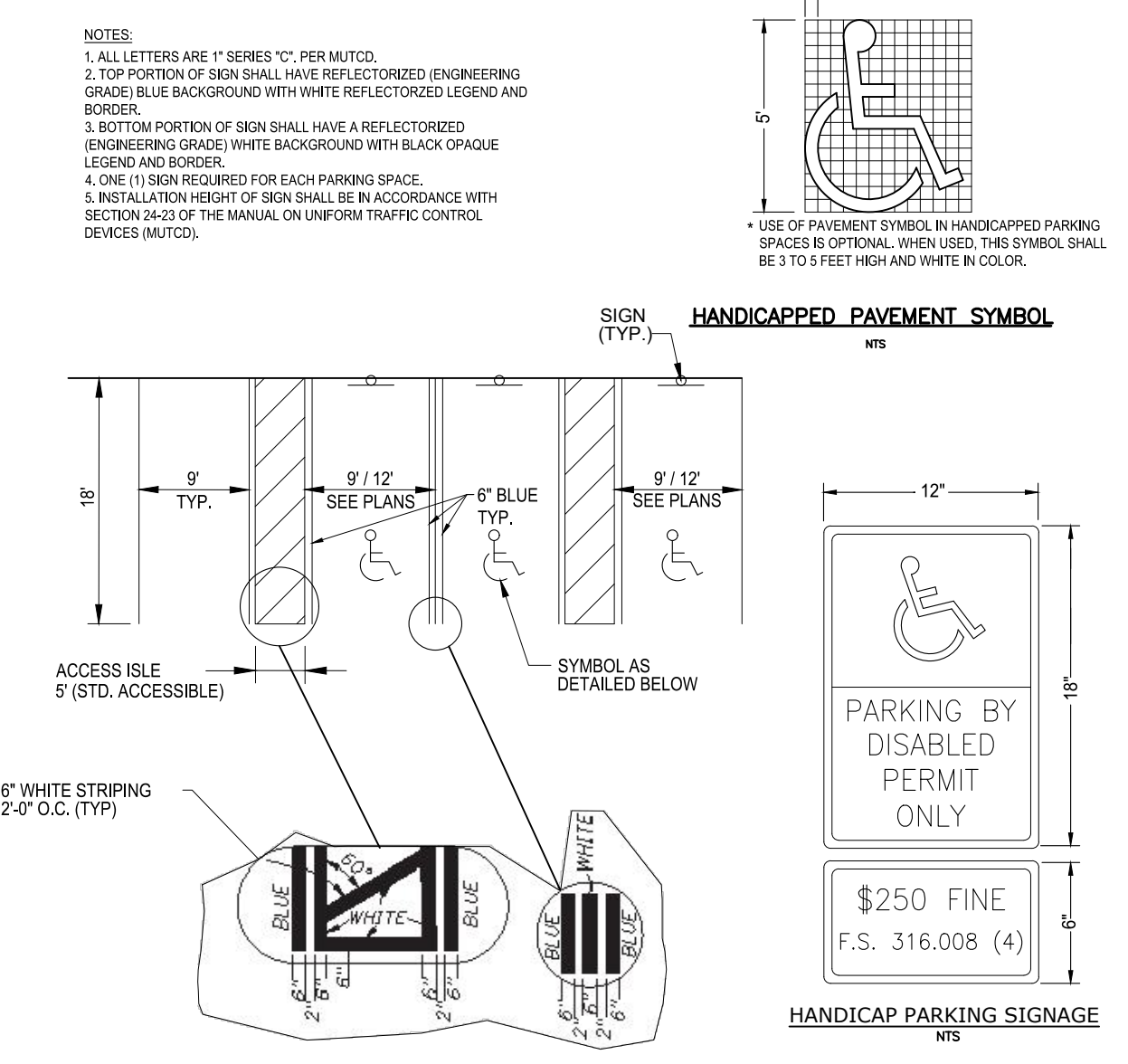
6



**CONSTRUCTION ENTRANCE**

N.T.S.

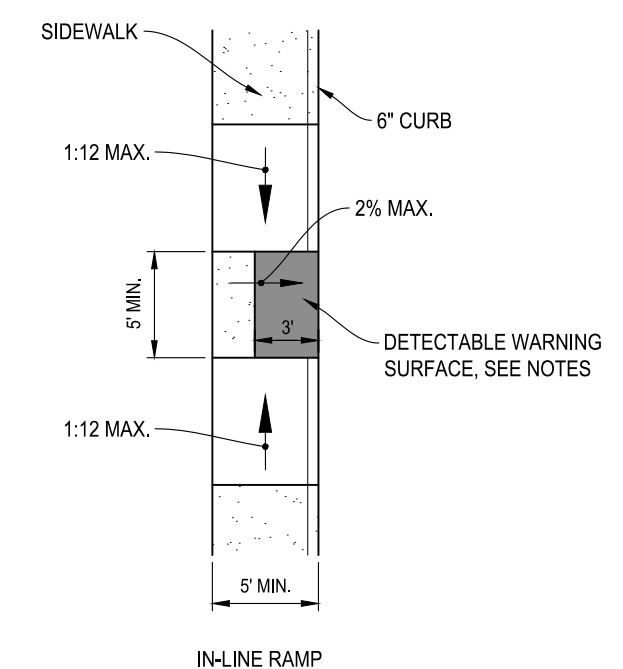
5



**PARKING LOT STRIPING DETAILS**

NTS

1

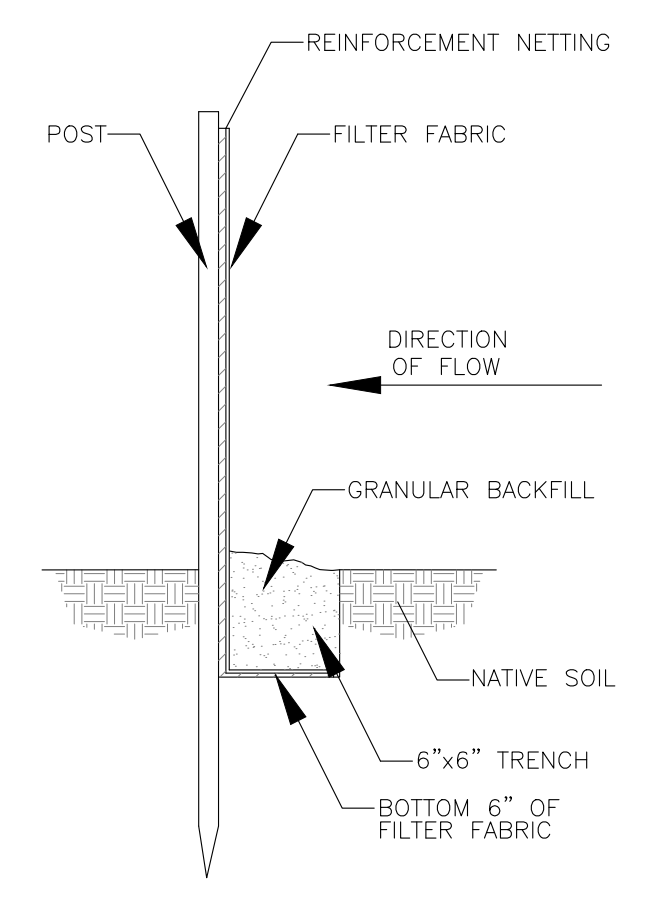


- NOTES:**
1. DETECTABLE WARNING SURFACE SHALL BE UTILIZED AT HAZARDOUS VEHICULAR AREAS AND SHALL BE A CONTINUOUS SURFACE 36" WIDE AS MEASURED IN THE DIRECTION OF THE RAMP.
  2. DETECTABLE WARNING SURFACES SHALL CONSIST OF: EXPOSED AGGREGATE, SUCH AS 3/8" ADA TRUNCATED DOME PAVERS.
  3. DETECTABLE WARNING SURFACE MATERIAL SHALL CONTRAST IN COLOR AND TEXTURE WITH THE ADJACENT WALKING SURFACES BY AT LEAST 70%. CONTRAST SHALL BE DETERMINED BY THE DIFFERENCE IN LIGHT REFLECTANCE VALUE (LRV) OF EACH MATERIAL.

**ON-SITE ADA RAMPS**

NTS

2



**SILT BARRIER DETAIL**

N.T.S.

3

JOB #:	22011
ENGINEER:	FRANK A. PORTER, P.E. FL LIC. #86902
PLI. MGR.:	FAP
DESIGNER:	JWH
CHECKED:	JPM
DATE:	Dec. 04, 2023

NO.	DATE	REVISIONS

**RECORD DRAWING**  
THIS RECORD DRAWING IS BASED ON THE RESULTS OF A LIMITED NUMBER OF CONSTRUCTION PERFORMED FIELD AND PLANS AND UNWARRANTED DELIVERY OF THE DRAWING WATER AND BE GUARANTEED. THE ENGINEER SHALL BE RESPONSIBLE FOR THE RECORD DRAWING. CONTACT THE ENGINEER FOR ANY INFORMATION.  
ENGINEER: FLIC. #

VISION SOURCE WINTER SPRINGS  
AT  
TUSKAWILLA RD.  
WINTER SPRINGS, FL  
FISHER EYE PROPERTIES, LLC

**GENERAL DETAIL SHEET 2**

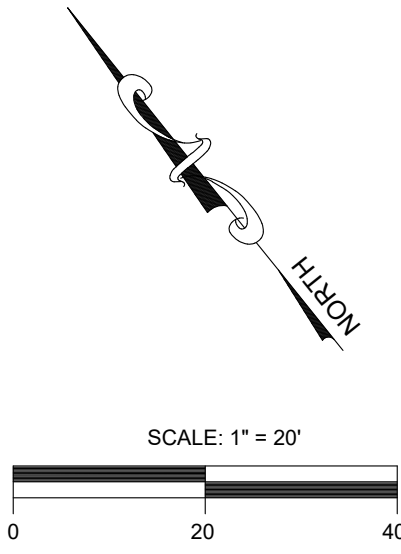
6200 Lee Vista Blvd., Suite 400  
Orlando, FL  
(407) 886-3017  
WWW.NVS.COM  
CERTIFICATE OF AUTHORIZATION # 29065

**NVS**

SHEET  
C10.0



**MPGC - Bid Set**  
Rcvd. 12/04/2023



**TREE LEGEND**

- PALM TREE
- PINE TREE
- CAMPHOR TREE
- UNKNOWN TREE
- OAK TREE
- TREE REMOVED

**TREE REMOVAL**

SIZE	TREES REMOVED	CREDIT / TREE	TOTAL CREDITS
4" TO 8"	12	1	12
9" TO 11"	3	2	6
12" TO 15"	1	3	3
16" TO 24"	1	4	4
<b>TOTAL TREES</b>	<b>17</b>	<b>TOTAL CREDITS</b>	<b>25</b>

**PROPOSED TREES (SEE SHEET L-1)**

SPECIES	MIN. REQ.	PROPOSED TREES	CREDITS / TREE	TOTAL CREDITS
CHINESE ELM	3" CAL, 12' HT	5	1	5
LIVE OAK	5" CAL, 16' HT	4	2	8
QUEEN PALM	14' HT	2	1	2
BALD CYPRESS	3" CAL, 12' HT	4	1	4
DAHOOON HOLLY	45 GAL, 8' HT	5	2	10
<b>TOTAL TREES</b>			<b>TOTAL CREDITS</b>	<b>29</b>

**TOTAL REMAINING MITIGATION CREDITS**

TOTAL REMOVED	TOTAL PROPOSED	REQUIRED MITIGATION
25	29	0

NOTE:  
REFER TO LANDSCAPE PLAN, SHEET L-1, FOR PROPOSED TREE LOCATIONS.  
ANY DEFICIT IN TREE CREDITS WILL BE MITIGATED PER CITY OF WINTER SPRINGS LAND DEVELOPMENT CODE.

JOB #:	22011
PRJ. MGR:	FAP
DESIGNER:	JWH
CHECKED:	JPH

**ENGINEER**  
FRANK A. PORTER, P.E.  
FL LIC. #56922  
DATE: Dec. 04, 2023

NO.	DATE	REVISIONS

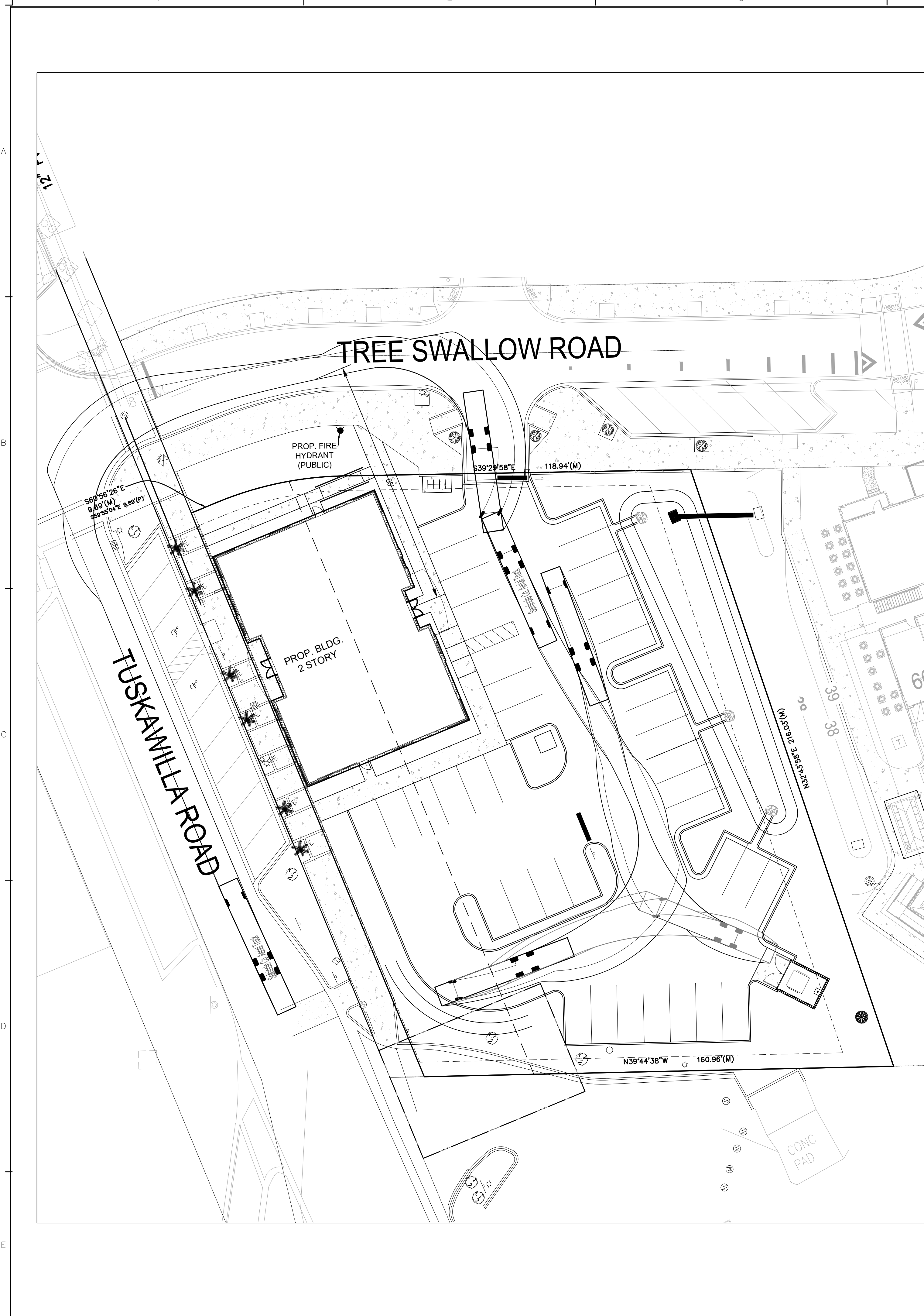
VISION SOURCE WINTER SPRINGS  
AT  
TUSKAWILLA RD.  
WINTER SPRINGS, FLORIDA  
FOR  
FISHER EYE PROPERTIES, LLC

**TREE REMOVAL PLAN**

6200 LEE VISTA BLVD.  
SUITE 400  
ORLANDO, FL  
(407) 896-3317  
WWW.NVS.COM  
CERTIFICATE OF AUTHORIZATION # 20065



SHEET  
**C11.0**



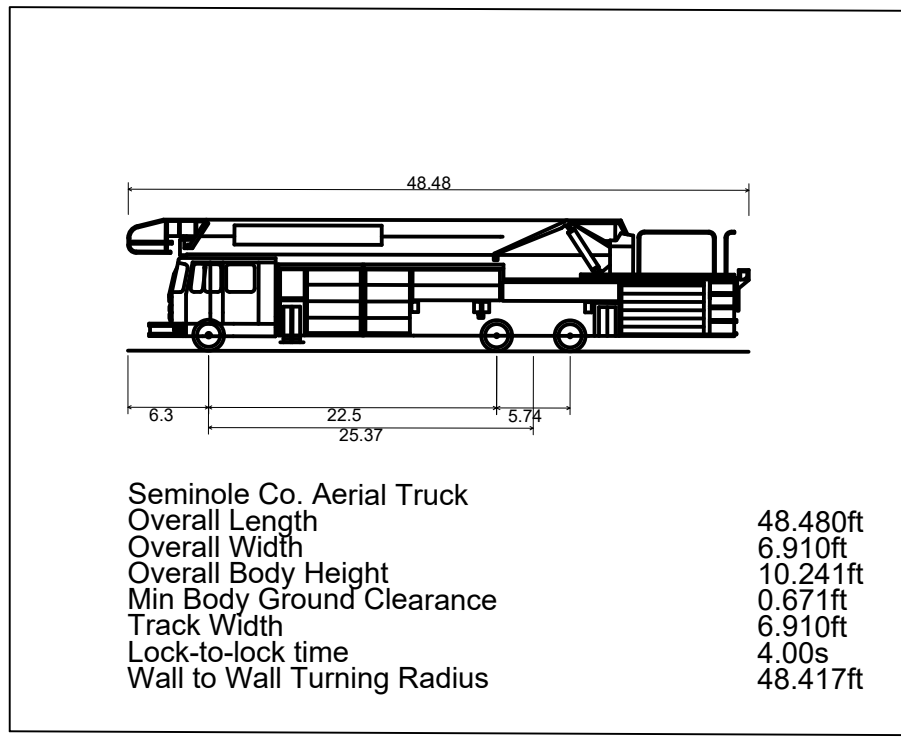
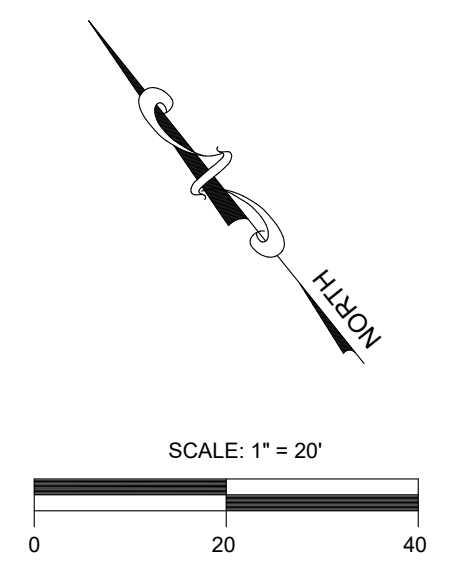
**NOTES**

1. FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, 18.1.4);
2. A SECOND ENTRANCE/EXIT MIGHT BE REQUIRED PER AHJ IF THE RESPONSE TIME FOR EMERGENCY IS EXCEEDED PER NFPA 1, SECTION 18.2.3.3 MULTIPLE ACCESS ROADS.
3. A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. (NFPA 1, 16.4.3.1);
4. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 1, 16.4.3.1.3);
5. FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING.
6. A 36 IN. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2 1/2 IN. NFPA 1, 18.5.7.
7. HYDRANT SHALL BE MARKED WITH A BLUE REFLECTOR THAT IS PLACED 6" IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.10.
8. ACCESS TO GATED SUBDIVISIONS OR DEVELOPMENTS SHALL PROVIDE FIRE DEPARTMENT ACCESS THROUGH AN APPROVED SOS AND SEMINOLE COUNTY KNOX KEY SWITCH. NFPA 1, 18.2.2.2.

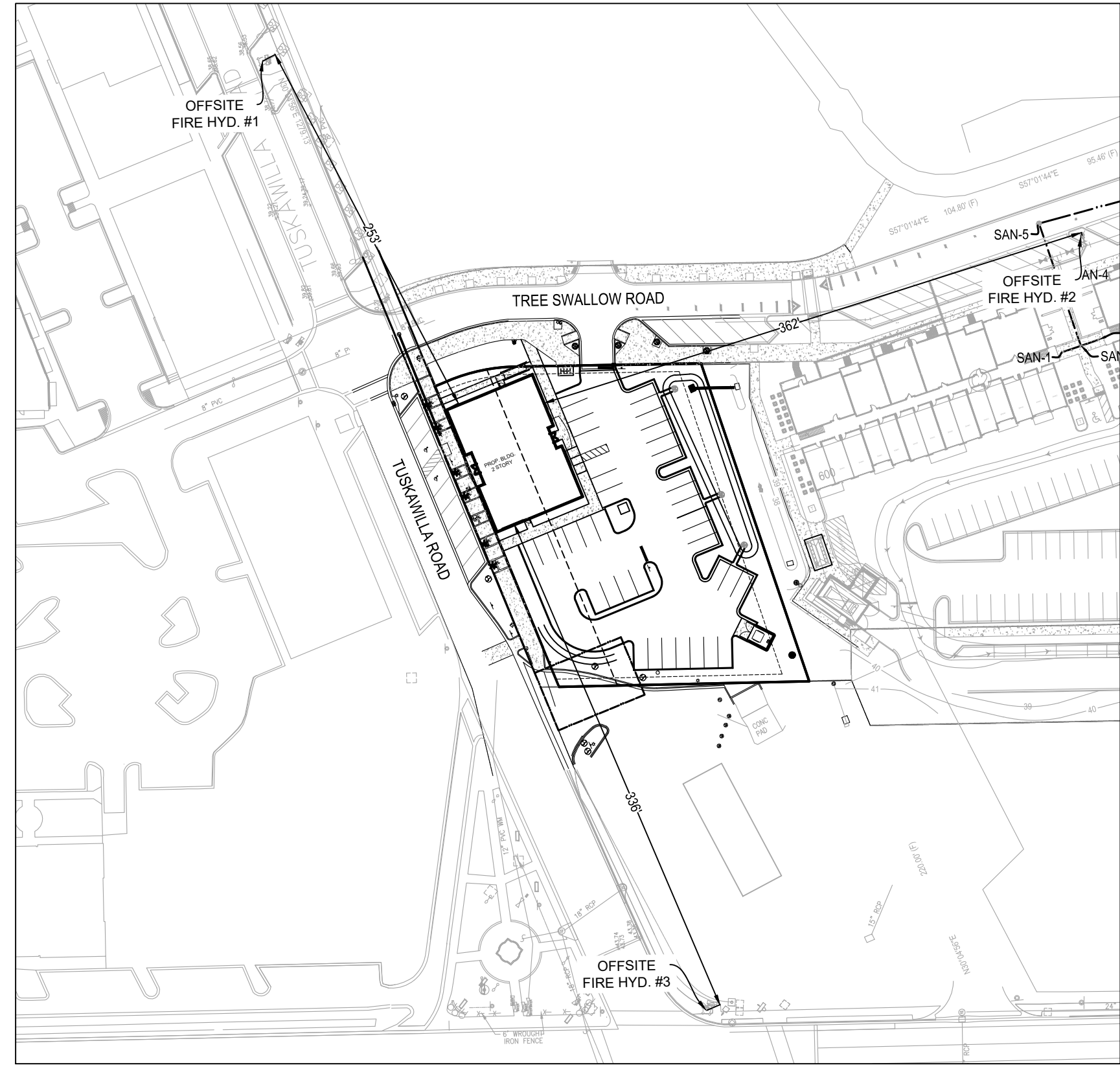
**FIRE FLOW CALCULATION**

BUILDING LABEL:	COMMERCIAL OFFICE
BUILDING TYPE:	IBC II-B, NFPA II(000)
BUILDING FLOOR AREA:	9,421 SF
MINIMUM REQUIRED FIRE FLOW (NFPA1 TABLE 18.4.5.2.1):	2,000 GPM
NUMBER OF FIRE HYDRANT PROVIDED:	2 HYDRANTS (1 PROPOSED, 1 EXISTING)
MAXIMUM FIRE HYDRANT FIRE FLOW CAPACITY (NFPA13 TABLE 18.5.4.3):	1 PROPOSED HYDRANT AT < 250' = 1,500 GPM 1 EXISTING HYDRANT AT > 250' = 1,000 GPM

NOTE: PROPOSED BUILDING NOT TO BE SPRINKLED



**MPGC - Bid Set**  
Rcvd. 12/04/2023



**OFFSITE FIRE HYDRANT LOCATIONS**  
1" = 80'

JOB #:	22011
PRJ. MGR:	FAP
DESIGNER:	JWH
CHECKED:	JPH

ENGINEER  
FRANK A. PORTER, P.E.  
FL LIC. #8692

NO.	DATE	REVISIONS

VISION SOURCE WINTER SPRINGS  
AT  
TUSKAWILLA RD.  
WINTER SPRINGS, FLORIDA  
FOR  
FISHER EYE PROPERTIES, LLC

**FIRE TRUCK  
ACCESS PLAN**

6200 LEE VISTA BLVD.  
SUITE 400  
ORLANDO, FL  
(407) 898-3317  
WWW.NVS.COM



CERTIFICATE OF AUTHORIZATION # 20065  
SHEET  
C12.0