

SHOPPES AT THE HEART OF TRADITION



RETAIL 3 - SHELL

10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

PROJECT #: 220088

MASON
Development &
Construction
Bid Set

ISSUE FOR PERMIT

05/31/2023

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK

JOB #	220088
DATE:	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE
COVER SHEET

SHEET NUMBER
G000

SCOPE OF WORK

THE PROJECT CONSISTS OF A 5,806 SF ONE STORY SHELL BUILDING FOR A PROPOSED MERCANTILE TENANT. EXTERIOR ENVELOPE CONSISTS OF CONCRETE TILT-UP PANELS, STOREFRONT AND DECORATIVE CANOPIES. THE ROOF IS A FLAT TPO ROOF ON METAL DECKING AND STEEL JOISTS WITH AN INTERIOR PERIMETER FLOOR SLAB OF CONCRETE. THE BUILDING IS LOCATED WITHIN THE SHOPPES AT THE HEART OF TRADITION IN PORT ST. LUCIE, FLORIDA

FLORIDA PRODUCT APPROVALS

(G.C. TO PROVIDE FLORIDA PRODUCT APPROVALS TO THE AHJ IF ALTERNATE PRODUCTS ARE PROPOSED AND APPROVED BY THE ARCHITECT)

PRODUCT TYPE	MANUFACTURER	MODEL #SERIES	FL PRODUCT APPR. NO.	MIAMI DADE NOA
STOREFRONT AND EXTERIOR DOORS				
STOREFRONT WALL	TRULITE	SERIES 3100 ALUMINUM WINDOW WALL	FL 25676.1 - R1	N/A
HM EXTERIOR DOORS	CECO DOOR PRODUCTS	FLUSH SINGLE COMMERCIAL STEEL DOOR	FL 16355.2 - R1	N/A
STOREFRONT DOOR	TRULITE	351 SERIES ALUMINUM DOOR	FL 18413.1 - R4	N/A
WALL PANELS				
ROOFING PRODUCTS				
SINGLE PLY ROOF ON STEEL	GAF	EVERGUARD TPO ROOF SYSTEMS FOR USE IN FBC NON-VHZ JURISDICTIONS	FL 5293.1	N/A
ROOF HATCH	BILCO	S-50	FL 15110.2 - R1	N/A

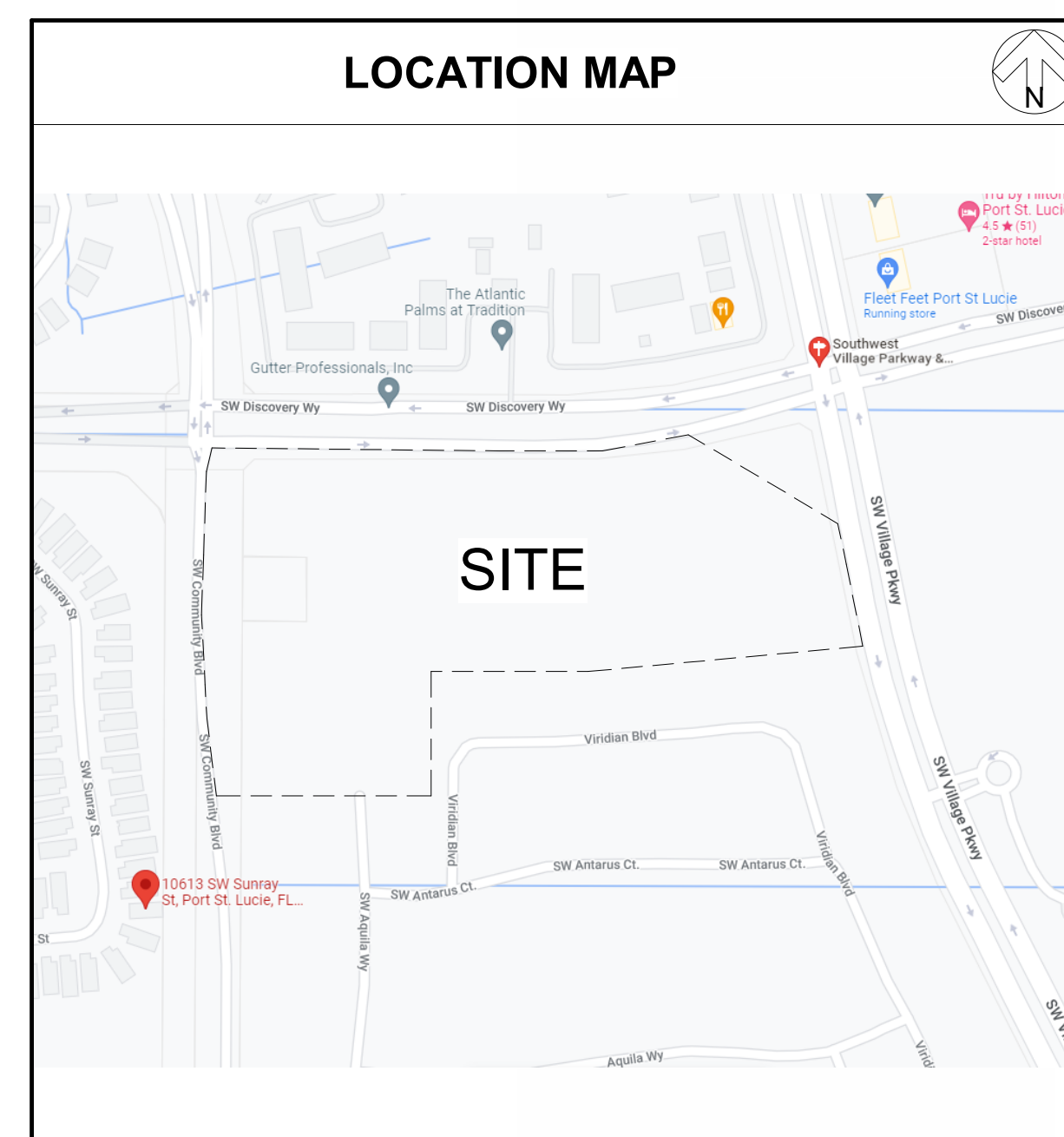
OWNER & CONSULTANTS

OWNER	ARCHITECT	STRUCTURAL	LAND PLANNER / LANDSCAPE
PEBB TRADITION SG-3, LLC BANYAN SG-3, LLC AND PEBB MANAGER, LLC 7900 GLADES ROAD, SUITE 600 BOCA RATON, FL 33434 ROBERT MERCER PHONE: (561) 353-5289 rmercer@pebbent.com	BDB ARCHITECTS 100 NORTH LAURA STREET, SUITE 801 JACKSONVILLE, FL 32204 HOLLY GRIMES PHONE: 904-640-1309 holly.grimes@bdgip.com	LOWE STRUCTURES 11651 CENTRAL PKWY #106 JACKSONVILLE, FL 32202 MATT LOWE, PE PHONE: 904-982-0377 mlowe@lowestructures.com	LUCIDO & ASSOCIATES 701 E OCEAN BOULEVARD STUART, FL 34984 (UNDER SEPARATE CONTRACT AND COVER)
CIVIL ENGINEER	MECHANICAL / PLUMBING	ELECTRICAL	
KIMLEY HORN 445 24TH STREET, SUITE 200 VERO BEACH, FL 32900 (UNDER SEPARATE CONTRACT AND COVER)	BLUESTREAK CONSULTING 25001 EMERY ROAD #400 CLEVELAND, OH 44128 BRIAN RICE, PE PHONE: 216-223-3200 brice@bluestreak-consulting.com	BLUESTREAK CONSULTING 25001 EMERY ROAD #400 CLEVELAND, OH 44128 RICHARD KNAPP, PE PHONE: 216-223-3200 rknapp@bluestreak-consulting.com	

SYMBOL LEGEND

	PARTITION TYPE INDICATOR REFER TO PARTITION SCHEDULE		ELEVATION DATUM TAG
	REVISION NUMBER		DETAIL TAG
	FINISH TAG		INTERIOR ELEVATION TAG
	KEYNOTE		EXTERIOR ELEVATION TAG
	ROOM TAG		PLAN DETAIL TAG
	DOOR TAG		BUILDING SECTION TAG
	WINDOW TAG		GRID BUBBLE & CENTER LINE

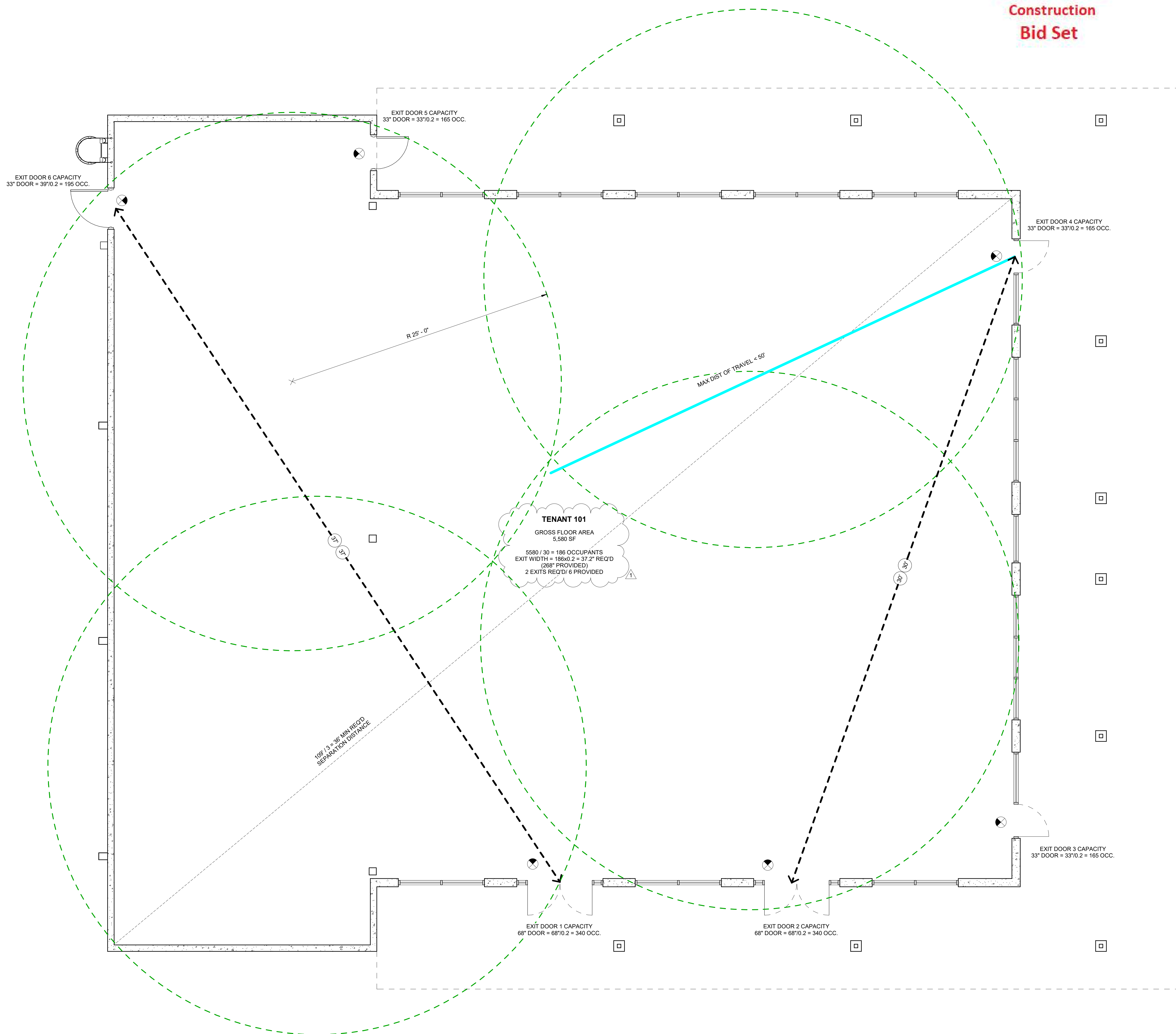
LOCATION MAP



GENERAL NOTES

- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OTHER HANDICAP ACCESSIBILITY CODES.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET UP AND COORDINATION OF ALL UTILITY SERVICES FOR THE PROJECT.
- GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING AND SEQUENCING OF THE WORK WITH OWNER'S REPRESENTATIVE. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE AN AS-BUILT SET OF DRAWINGS TO THE OWNER AT THE END OF THE PROJECT.
- GENERAL CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY ERRORS OR INCONSISTENCIES TO THE ARCHITECT.
- THE DRAWINGS ARE NOT TO BE SCALED. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- THE CONTRACTOR, WITHOUT EXTRA CHARGE, SHALL MAKE SLIGHT ALTERATIONS - CUTTING, FITTING, OR PATCHING OF HIS WORK AS MAY BE NECESSARY TO MAKE ADJUSTABLE PARTS FIT TO FIXED PARTS, LEAVING ALL IN WORKING ORDER WHEN COMPLETED.
- WHERE TRENCHING OR CORE DRILLING IS REQUIRED, SUBFLOORING AND/OR SUBSTRATE SHALL BE RETURNED TO A LEVEL CONDITION.
- GENERAL CONTRACTOR SHALL PROVIDE TERMITE PROTECTION, TO COMPLY WITH FBC 1916.1, UNDER ALL NEW CONSTRUCTION.
- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR SITE CLEAN UP NIGHTLY AND SECUREMENT OF THE WORK SITE.
- ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH THE LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES SHALL BE MEASURED WITH A 24" SMART LEVEL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS TO EACH SUB-CONTRACTOR AND FOR INSURING THAT WORK OF EACH SUB-CONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUB-CONTRACTORS.
- ACTUAL LOCATIONS OF LIGHT FIXTURES, PLUMBING FIXTURES, ETC. ARE TO BE AS INDICATED ON ARCHITECTURAL DRAWINGS. ANY CONFLICTS WITH MEP DRAWINGS ARE TO BE RESOLVED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
- TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBER SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED. IN EACH CASE ADD, BY INFERENCE, AFTER TRADE, PRODUCT OR MANUFACTURER'S NAME, THE PHRASE "OR, AS APPROVED BY THE ARCHITECT."

MASON Development & Construction Bid Set



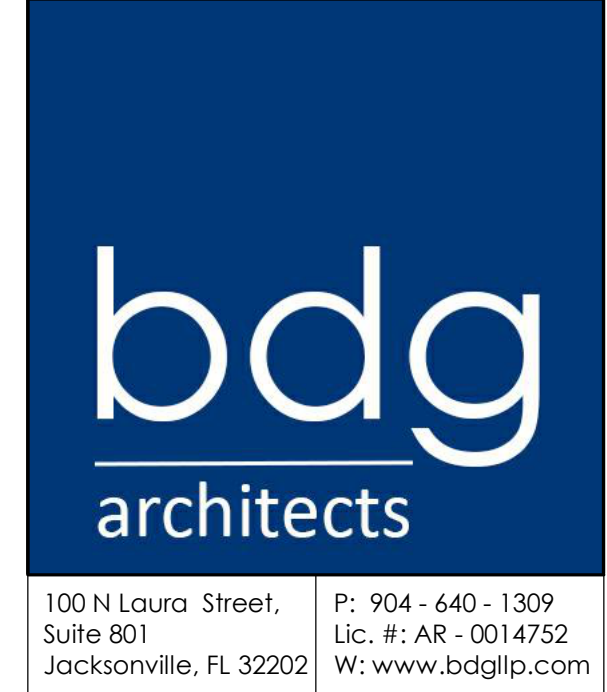
PROJECT DATA				
	FBC	NFPA	PROVIDED	
OCCUPANCY	GROUP M MERCANTILE	CLASS B MERCANTILE	--	
CONSTRUCTION TYPE	IB SPRINKLERED	II(000) SPRINKLERED	--	
FIRE RESISTANCE REQUIREMENTS				
STRUCTURAL FRAMING	0 HOUR	0 HOUR	0 HOUR	
EXTERIOR & INTERIOR BEARING WALLS	0 HOUR	0 HOUR	0 HOUR	
EXTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR	0 HOUR	
INTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR	0 HOUR	
FLOOR CONSTRUCTION	0 HOUR	0 HOUR	0 HOUR	
ROOF CONSTRUCTION	0 HOUR	0 HOUR	0 HOUR	
ALLOWABLE BUILDING HEIGHTS & AREA				
	FBC	NFPA	PROVIDED	
	CHAPTER 5 --			
ALLOWABLE AREA (FOOTNOTE S1)	FBC TABLE 506.2	50,000 GSF	--	
ALLOWABLE HEIGHTS (FOOTNOTE S)	FBC TABLE 504.3	75'-0"	--	
ALLOWABLE STORIES (FOOTNOTE S)	FBC TABLE 504.4	3 STORIES	--	
EXIT REQUIREMENTS	1006.3.2	CHAPTER 9		
MINIMUM REQUIRED	2 EXITS	2 EXITS	2 EXITS	
INTERIOR FINISHES	TBL 803.11	10.2.2		
EXIT ENCLOSURES, EXIT PASSAGEWAYS, & CORRIDORS (SPRINKLERED)			NA	
ROOMS AND ENCLOSED SPACES (SPRINKLERED)	CLASS C	CLASS C	CLASS C	
FIRE PROTECTION SYSTEM	903.3.1.1	12/38.3.5	1015.21.1	
SPRINKLER SYSTEM	NOT REQ'D	NOT REQ'D	PROVIDED	
ARRANGEMENT OF MEANS OF EGRESS (SPRINKLERED (1007.1.1 EXCEPTION 2))	1/3 DIAG. DIM	1/3 DIAG. DIM	PROVIDED	
OCCUPANCY LOAD				
	FBC (TBL 1004.1.2/ SEC. 1004.7)	NFPA	AREA	TOTAL
MERCANTILE/ SALES AREA	60 GROSS	30 GROSS	5,580 SF	93/186 OCCUPANTS
STORAGE, STOCK, SHIPPING AREA	300 GROSS	300 GROSS	--	--
TOTAL				186 OCCUPANTS
*SEE LIFE SAFETY PLAN FOR EGRESS OF PROPOSED TENANT SPACE				
MEANS OF EGRESS	FBC	NFPA	PROVIDED	
EXIT TRAVEL DISTANCE (1017.2 & 1029.7)(SPRINKLERED)	250' MAX	250' SPRINK.	50'-0" MAX	
COMMON PATH OF TRAVEL (1006.2.1)	75' MAX	100' SPRINK.	N/A	
DEAD END CORRIDOR (1020.4)	50' MAX	50' SPRINK.	N/A	
CORRIDOR WIDTH (1020.2)	44" MIN	44" MIN	N/A	
EXIT WIDTH (1005.1)	NA	NA	NA	
DOOR WIDTH	186 OCC X0.2 37.2" REQ'D.	186 OCC X0.2 37.2" REQ'D.	268"	

CODE INFORMATION			
JURISDICTION: CITY OF PORT ST. LUCIE, FLORIDA			
APPLICABLE CODES - 2020 7TH EDITION (UNLESS SPECIFIED OTHERWISE)			
• FLORIDA BUILDING CODE	• NFPA, NATIONAL FIRE PREVENTION ACCOC		
• FLORIDA BUILDING CODE MECHANICAL	• 2018 NFPA-1, FIRE CODE		
• FLORIDA BUILDING CODE PLUMBING	• 2018 NFPA-101, LIFE SAFETY CODE		
• FLORIDA BUILDING CODE FUEL GAS	• 2020 NFPA-70, NATIONAL ELECTRICAL CODE		
• FLORIDA ACCESSIBILITY CODE	• 2017 NEC		
• NATIONAL ELECTRICAL CODE			
• FLORIDA FIRE PREVENTION CODE			

- LIFE SAFETY GENERAL NOTES**
- SMOKE DETECTORS SHALL BE CONTINUOUSLY POWERED BY BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA 101, 7-6.29 AND NFPA 74 AND CONNECTED TO EMERGENCY GENERATOR
 - PROVIDE FIRE EXTINGUISHERS PER NFPA10 AS REQUIRED
 - ENTIRE PROJECT IS PROTECTED WITH A CLASS 1 AUTOMATIC FIRE PROTECTION SYSTEM. FINAL SPRINKLER DESIGN AND INSTALLATION BY FIRE SPRINKLER CONTRACTOR.

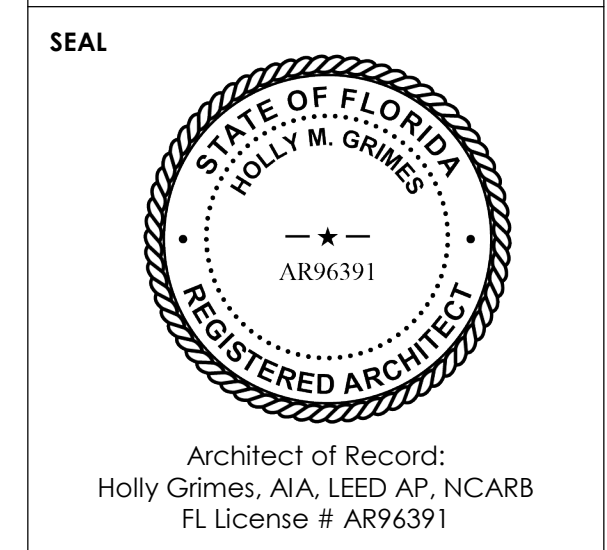
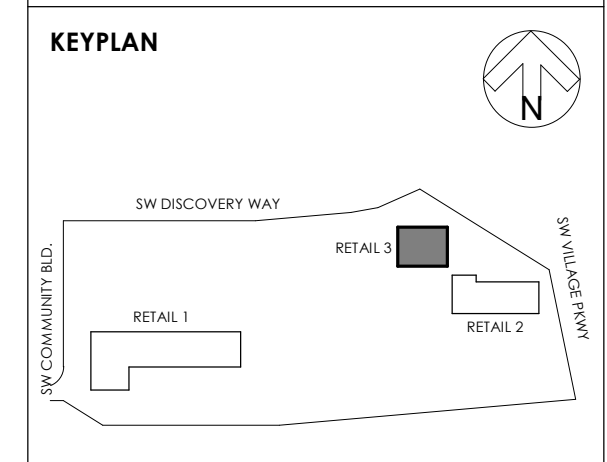
LIFE SAFETY LEGEND:

	HATCHED AREA INDICATES AREA TO REMAIN. NO WORK THIS AREA. NOTE THAT EXISTING FINISHES INDICATED TO REMAIN ARE TO BE PROTECTED THROUGHOUT DEMOLITION AND CONSTRUCTION.
	1 HOUR FIRE RATED SEPARATION
	2 HOUR FIRE RATED SEPARATION
	3 HOUR FIRE RATED SEPARATION
	INDICATES NEW PARTITION
	INDICATES EXISTING CONSTRUCTION TO REMAIN
	EXIT SIGNAGE (REFER TO ELECTRICAL)
	EXIT
	EXIT ACCESS



SHOPPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

THESE DRAWINGS AND PLANS ARE REPRODUCTIONS THEREOF, AND ANY COLOR OR ELECTRONIC USE OF THESE DRAWINGS AND PLANS HEREBY GRANTED IS THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS AND CONDITIONS AND THE SAFETY AND CONSTRUCTION OF THE PLAN. THE PLANS SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECT AND SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE OF THE WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THESE DOCUMENTS.



ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK

JOB #	220088
DATE:	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE
LIFE SAFETY PLAN

SHEET NUMBER

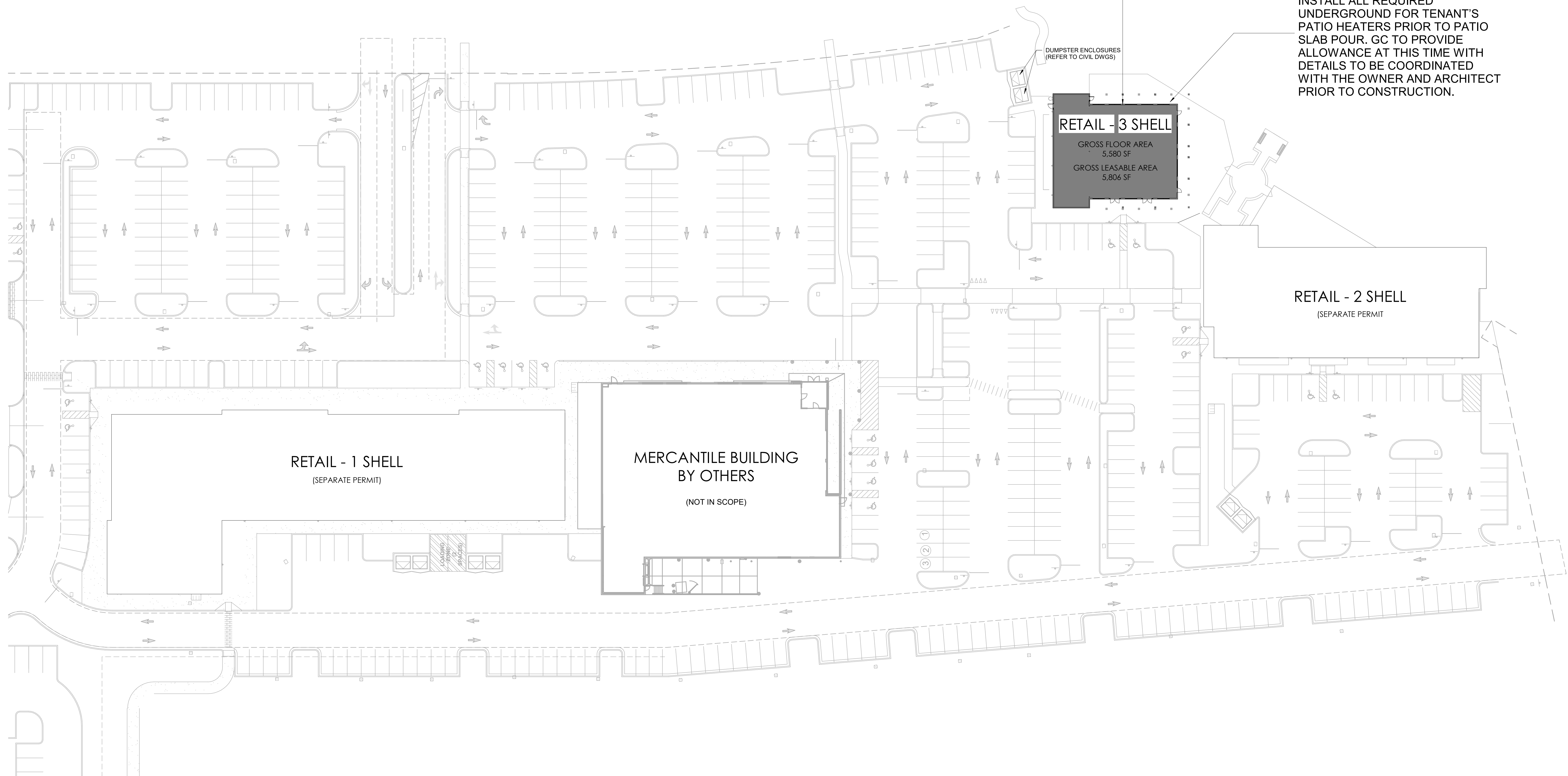
G021

1 LIFE SAFETY PLAN
1/4" = 1'-0"

MASON
Development &
Construction
Bid Set

PROPOSED SHELL BUILDING
1 STORY, MERCANTILE
TYPE IIB CONSTRUCTION,
FULLY SPRINKLERED
(REFER TO CIVIL DWGS FOR
BUILDING POSITION AND ALL
CIVIL/HARDSCAPE, INCLUDING FFE
AND FINISH GRADES)

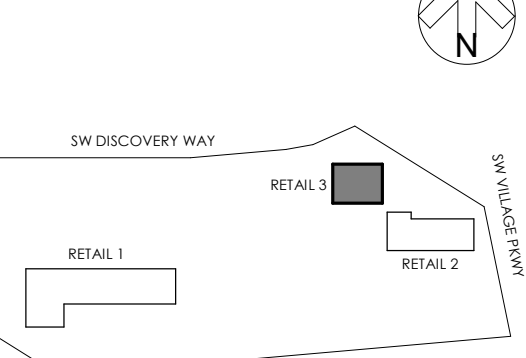
PER LEASE - LANDLORD TO
COORDINATE WITH TENANT TO
INSTALL ALL REQUIRED
UNDERGROUND FOR TENANT'S
PATIO HEATERS PRIOR TO PATIO
SLAB POUR. GC TO PROVIDE
ALLOWANCE AT THIS TIME WITH
DETAILS TO BE COORDINATED
WITH THE OWNER AND ARCHITECT
PRIOR TO CONSTRUCTION.



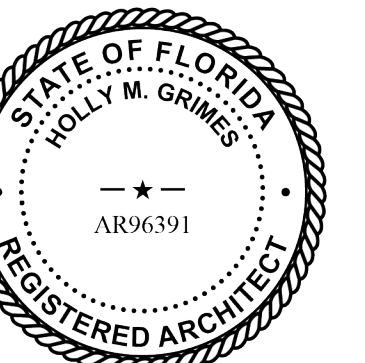
SHOPPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. THE USER OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS AND CONDITIONS OF THE AGREEMENT AND THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS.

KEYPLAN



SEAL



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID

PROJECT INFORMATION BLOCK

JOB #	220088
DATE:	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE

ARCHITECTURAL SITE PLAN

SHEET NUMBER

A100

GENERAL NOTES FLR PLN

- ALL DIMENSIONS ARE FROM EXTERIOR FACE OF CIVIL COLUMN LINE, FACE OF INTERIOR STUD, OR FACE OF EXTERIOR SHEATHING U.N.O.
- REFER TO CIVIL PLAN FOR NORTH ORIENTATION
- EDGE OF DOOR JAMB SHALL BE MINIMUM 4" FROM INTERSECTING WALL UNLESS OTHERWISE NOTED OR AS REQUIRED FOR HARDWARE INSTALLATION.
- NOT USED
- LOCATION AND NUMBER OF FIRE EXTINGUISHERS ARE TO BE INSTALLED PER THE DIRECTION OF THE LOCAL AUTHORITIES AND NFPA 10.
- ALL INTERIOR FINISHES ARE TO COMPLY WITH THE REQUIREMENTS AS SET FORTH IN THE CURRENT STANDARD EDITION OF ALL GOVERNING CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION OVER THE SCOPE OF WORK.
- GENERAL CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT.
- GENERAL CONTRACTOR SHALL COORDINATE ALL WOOD BLOCKING, STEEL SUPPORTS AND ANY OTHER ITEMS WHICH ARE IMBEDDED IN DRYWALL PARTITIONS OR ENCLOSURES WHICH RELATE TO HIS WORK OR THE WORK OF ANY SEPARATE CONTRACTORS ALL WOOD BLOCKING, BRIDGING, BRACING, FRAMING, ETC., SHALL BE FIRE RETARDANT TREATED AS CALLED FOR BY THE GOVERNING BUILDING CODE AND THE CONTRACTOR MUST SUBMIT AFFIDAVITS OF SUCH FIRE TREATMENT TO THE OWNERSHIP.
- REFER TO EXTERIOR ELEVATIONS AND WINDOW / DOOR SCHEDULE FOR ADDITIONAL STOREFRONT INFORMATION
- REFERENCE ENGINEERING PLANS FOR PLUMBING AND ELECTRICAL EQUIPMENT AND SYSTEMS. CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER.



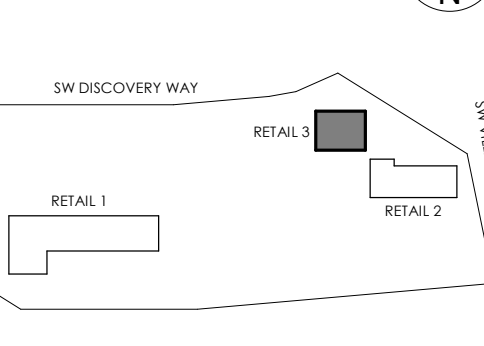
100 N Laura Street, Suite 801
Jacksonville, FL 32202
P: 904-640-1309
Lic. #: AR-0014752
W: www.bdgflp.com

SHOPPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

MASON
Development &
Construction
Bid Set

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. ANY REPRODUCTION, COPIING, OR USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED A VIOLATION OF THE TERMS OF THE AGREEMENT AND THE LIABILITY AND CONSTRUCTION OF THE PLAN. THE PLANS SHALL NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. ANY REPRODUCTION, COPIING, OR USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED A VIOLATION OF THE TERMS OF THE AGREEMENT AND THE LIABILITY AND CONSTRUCTION OF THE PLAN. THE PLANS SHALL NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. ANY REPRODUCTION, COPIING, OR USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED A VIOLATION OF THE TERMS OF THE AGREEMENT AND THE LIABILITY AND CONSTRUCTION OF THE PLAN.

KEYPLAN



SEAL



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

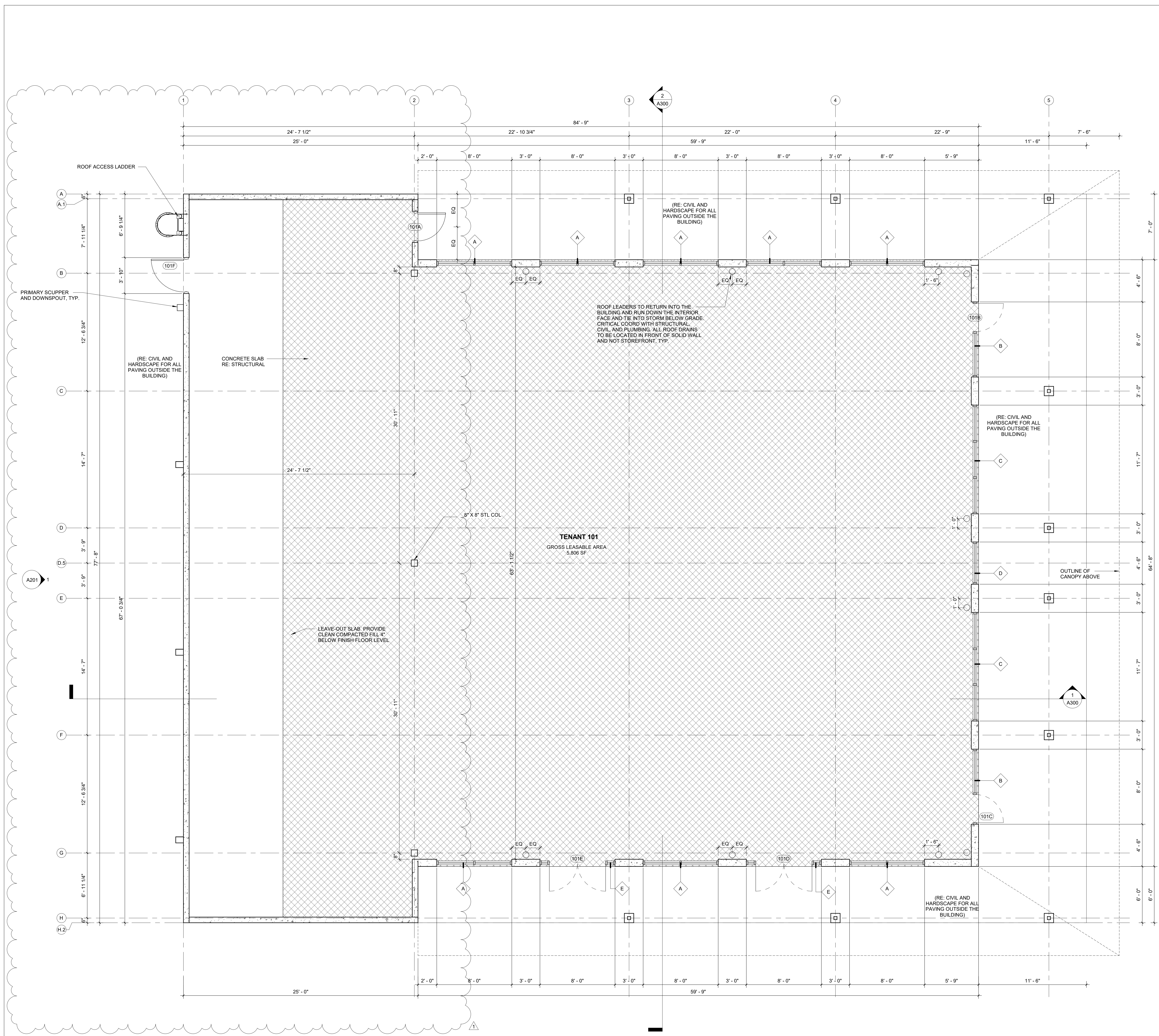
PROJECT INFORMATION BLOCK	
JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE

FLOOR PLAN

SHEET NUMBER

A121



1 RESTAURANT - FLOOR PLAN
1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

- 80 MIL FULLY ADHERED TPO MEMBRANE OVER 1/2" COVER BOARD OVER 4" RIGID INSULATION MECHANICALLY ATTACHED TO METAL DECKING ON SLOPING STEEL JOISTS.
- ROOF CRICKETS TO BE 1/4" PER FOOT MINIMUM FULLY TAPERED POLYISOCYANURATE INSULATION MECHANICALLY ATTACHED TO DECK BELOW AS PART OF ATTACHMENT OF LAYER ABOVE, TYPICAL.
- INSTALL ALL ROOF SYSTEMS AND RELATED COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. PROVIDE SHOP DRAWINGS FOR APPROVAL AS REQUIRED BY SPECIFICATIONS.
- VERIFY AND COORDINATE LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING.
- ALL ROOF PENETRATIONS REQUIRE PRESSURE TREATED 2 X 6 BLOCKING AT INSULATION AROUND ENTIRE PERIMETER FOR FLASHING ATTACHMENT.
- OMISSION OF ANY ACCESSORY FROM THE ROOF PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES FOR SUCH ITEMS.
- RTU CURB SIZES AND LOCATIONS TO BE CONFIRMED WITH ARCHITECT AND OWNER PRIOR TO ORDER AND INSTALL.



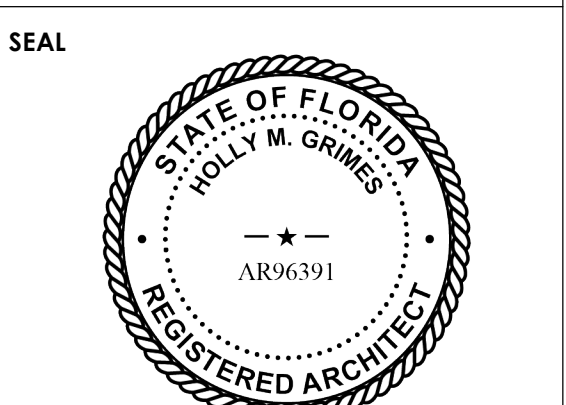
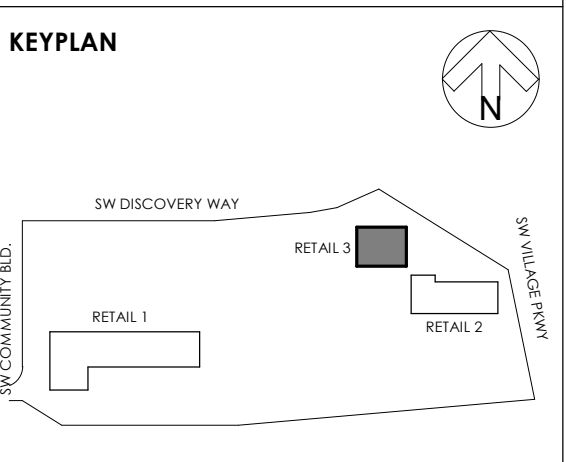
100 N Laura Street,
Suite 801
Jacksonville, FL 32202

P: 904-640-1309
Lic. #: AR-0014752
W: www.bdgfla.com

**MASON
Development &
Construction
Bid Set**

SHOPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC USE OF THESE DRAWINGS AND PLANS HEREBY FORWARDED TO ANY OTHER PARTY, WITHOUT THE WRITTEN APPROVAL OF BGD ARCHITECTS, IS STRICTLY PROHIBITED. BGD ARCHITECTS SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THESE DRAWINGS AND PLANS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY AND COMPLETENESS OF THESE DRAWINGS AND PLANS. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AND PLANS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY AND COMPLETENESS OF THESE DRAWINGS AND PLANS. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AND PLANS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY AND COMPLETENESS OF THESE DRAWINGS AND PLANS.



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

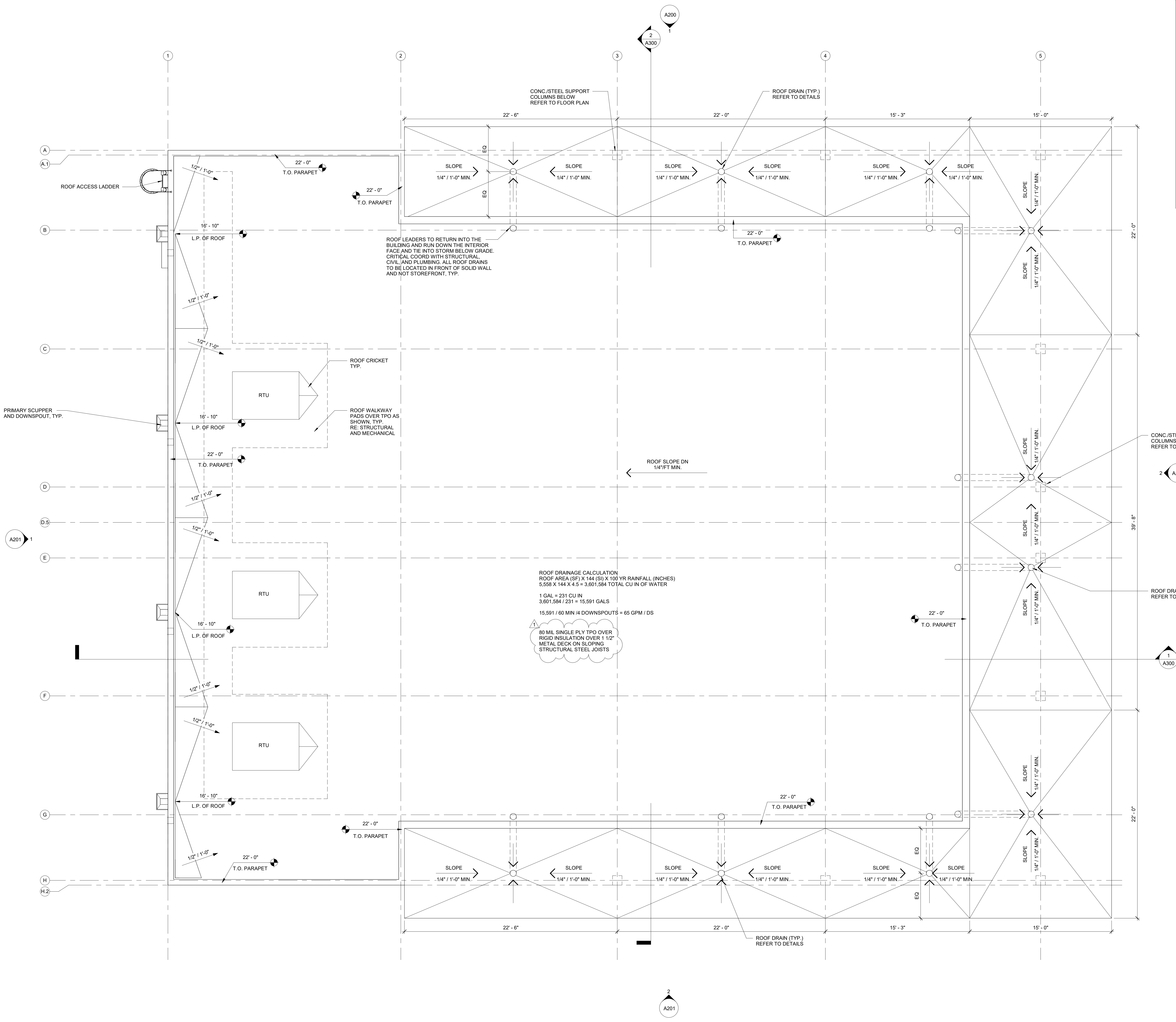
ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK

JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A140



1 ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A400 FOR ALL STOREFRONT TYPES, ELEVATIONS AND DETAILS.
2. ALL TENANT SIGN REFERENCES ARE GRAPHIC IN NATURE. ALL SIGNAGE TO BE SEPARATELY SUBMITTED BY OTHERS FOR PERMIT.

EXTERIOR FINISH LEGEND		
NUMBER	FINISH	COMMENTS
1	PRE-FINISHED ALUMINUM STOREFRONT	IMPACT RESISTANT STOREFRONT AND GLAZING; STOREFRONT COLOR: DARK BRONZE; REFER TO STOREFRONT SCHEDULE AND DETAILS AND DIVISION 8 OF THE PROJECT SPECIFICATIONS.
2	PAINTED CONCRETE TILT-UP PANEL	2 COATS ACRYLIC PAINT OVER PRIMER OVER TILT-UP CONCRETE; COLOR: WHITE; REFER TO DIVISION 9 OF THE PROJECT SPECIFICATIONS.
3	EXPOSED CONCRETE TILT-UP PANEL	WATER REPELLANT OVER TILT-UP CONCRETE WALL PANELS; REFER TO DIVISION 7 OF THE PROJECT SPECIFICATIONS.
4	MURAL	MURAL (BY OTHERS) OVER PAINTED CONCRETE TILT-UP WALL PANEL.
5	TENANT SIGN AREA	SIGNS BY OTHERS UNDER SEPARATE PERMIT
6	HM DOOR AND FRAME	TWO COATS PAINT OVER PRIMER; COLOR: DARK BRONZE (TO BE SELECTED BY ARCHITECT)
7	SCUPPERS AND DOWNSPOUT	4" X 6" (MIN.) SCUPPER & 4" X 4" (MIN.) DOWNSPOUT. GC TO CONFIRM COMPLIANCE WITH GPM PER SCUPPER/ DOWNSPOUT. SEE ROOF PLAN. PRE-FINISHED ALUMINUM. COLOR TO MATCH EXPOSED CONCRETE COLOR OF WALL.
8	OVERFLOW SCUPPER	SIZE TO MATCH PRIMARY SCUPPER AND LOCATE 2" MIN. ABOVE PRIMARY SCUPPER. MUST BE LESS THAN 4" ABOVE PRIMARY SCUPPER.
9	STAIN GRADE CELLULAR PVC FASCIA BOARD	RE: WALL SECTIONS COLOR TO BE SELECTED BY OWNER AND ARCHITECT
10	NOT USED	
11	CONCRETE COLUMN	1'-0" SQUARE CAST-IN-PLACE CONCRETE COLUMNS SEALED WITH WATER REPELLANT. RE: STRUCTURAL AND DIVISION 7 OF THE SPECIFICATIONS.
12	TUBE STEEL COLUMN	PAINTED STEEL PLANT AND 4" TUBE STEEL; COLOR: WHITE. RE: STRUCTURAL.
13	ROOF ACCESS LADDER	RE: SHEET A410 FOR DETAILS - PAINT TO MATCH WALL
14	CONCRETE RELIEF PATTERN	RE: SHEET A410 FOR DETAILS - PAINT TO MATCH WALL
15	TILT-UP PANEL JOINT	RE: SHEET A310 FOR DETAILS



100 N Laura Street,
Suite 801
Jacksonville, FL 32202

P: 904-640-1309
Lic. #: AR-0014752
W: www.bdgflp.com

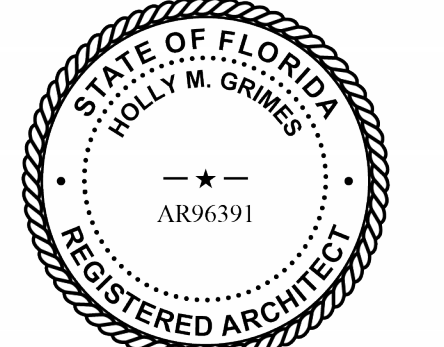
MASON
Development &
Construction
Bid Set

SHOPPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. ANY CHANGES TO THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS SHALL BE AT THE USER'S SOLE RISK. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THESE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THESE PLANS SHALL BE REFERRED IMMEDIATELY TO BGD ARCHITECTS FOR CLARIFICATION. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THESE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THESE PLANS SHALL BE REFERRED IMMEDIATELY TO BGD ARCHITECTS FOR CLARIFICATION. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THESE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THESE PLANS SHALL BE REFERRED IMMEDIATELY TO BGD ARCHITECTS FOR CLARIFICATION.

KEYPLAN

SEAL



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

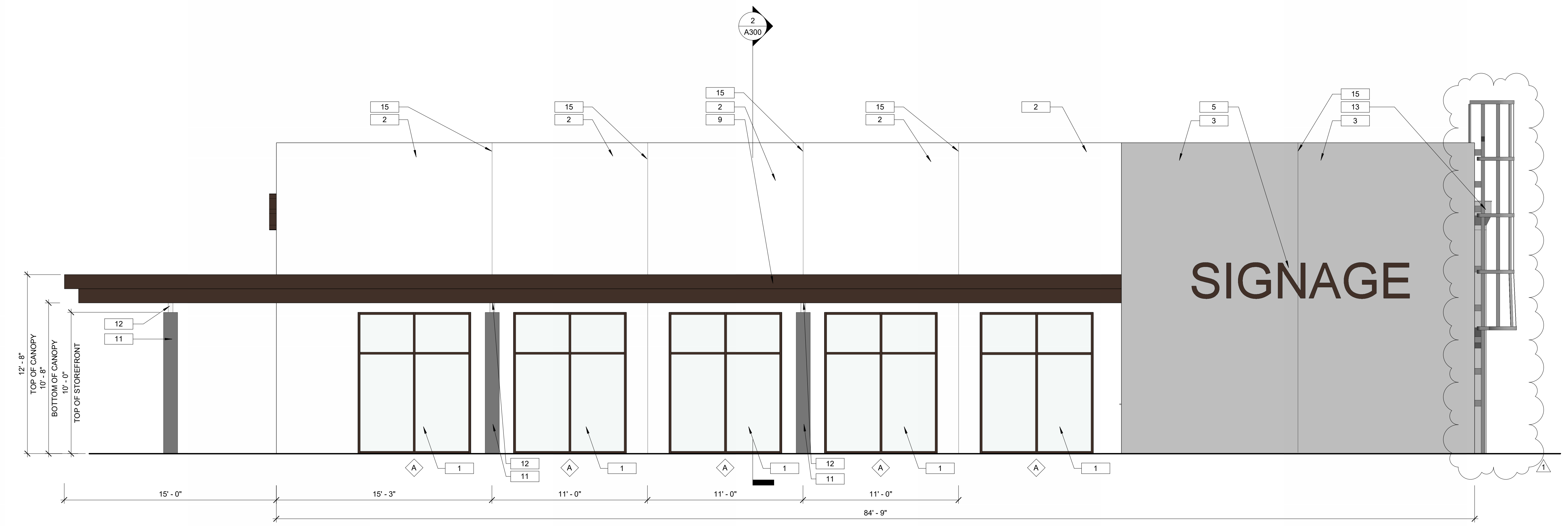
ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK	
JOB #	220088
DATE:	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

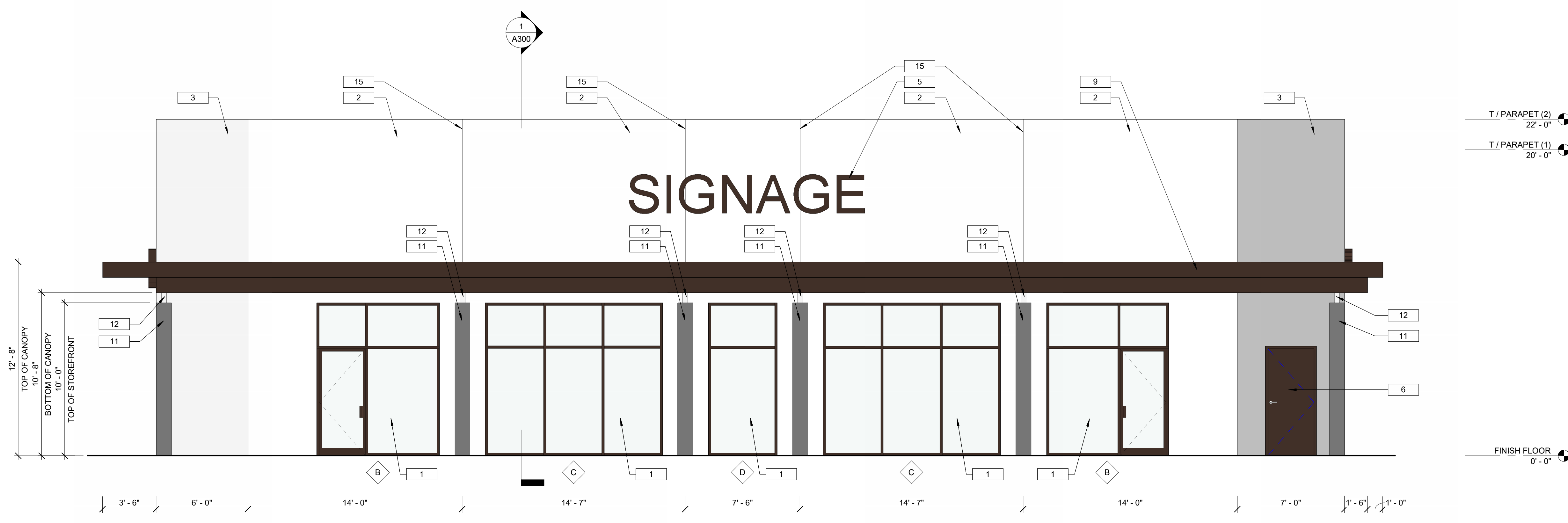
SHEET TITLE
**BUILDING ELEVATIONS
NORTH AND EAST**

SHEET NUMBER

A200



1 EXTERIOR ELEVATION NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION EAST
1/4" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A400 FOR ALL STOREFRONT TYPES, ELEVATIONS AND DETAILS.
2. ALL TENANT SIGN REFERENCES ARE GRAPHIC IN NATURE. ALL SIGNAGE TO BE SEPARATELY SUBMITTED BY OTHERS FOR PERMIT.

EXTERIOR FINISH LEGEND		
NUMBER	FINISH	COMMENTS
1	PRE-FINISHED ALUMINUM STOREFRONT	IMPACT RESISTANT STOREFRONT AND GLAZING; STOREFRONT COLOR: DARK BRONZE. REFER TO STOREFRONT SCHEDULE AND DETAILS AND DIVISION 8 OF THE PROJECT SPECIFICATIONS.
2	PAINTED CONCRETE TILT-UP PANEL	2 COATS ACRYLIC PAINT OVER PRIMER OVER TILT-UP CONCRETE; COLOR: WHITE. REFER TO DIVISION 9 OF THE PROJECT SPECIFICATIONS.
3	EXPOSED CONCRETE TILT-UP PANEL	WATER REPELLANT OVER TILT-UP CONCRETE WALL PANELS; REFER TO DIVISION 7 OF THE PROJECT SPECIFICATIONS.
4	MURAL	MURAL (BY OTHERS) OVER PAINTED CONCRETE TILT-UP WALL PANEL.
5	TENANT SIGN AREA	SIGNS BY OTHERS UNDER SEPARATE PERMIT
6	HM DOOR AND FRAME	TWO COATS PAINT OVER PRIMER; COLOR: DARK BRONZE (TO BE SELECTED BY ARCHITECT)
7	SCUPPERS AND DOWNSPOUT	4" X 8" (MIN.) SCUPPER & 4.5" X 4.5" (MIN.) DOWNSPOUT. GC TO CONFIRM COMPLIANCE WITH GPM PER SCUPPER/ DOWNSPOUT. SEE ROOF PLAN. PRE-FINISHED ALUMINUM. COLOR TO MATCH EXPOSED CONCRETE COLOR OF WALL.
8	OVERFLOW SCUPPER	SIZE TO MATCH PRIMARY SCUPPER AND LOCATE 2" MIN. ABOVE PRIMARY SCUPPER. MUST BE LESS THAN 4" ABOVE PRIMARY SCUPPER.
9	STAIN GRADE CELLULAR PVC FASCIA BOARD	RE: WALL SECTIONS COLOR TO BE SELECTED BY OWNER AND ARCHITECT
10	NOT USED	
11	CONCRETE COLUMN	1'-0" SQUARE CAST-IN-PLACE CONCRETE COLUMNS SEALED WITH WATER REPELLANT. RE: STRUCTURAL AND DIVISION 7 OF THE SPECIFICATIONS.
12	TUBE STEEL COLUMN	PAINTED STEEL PLANT AND 4" TUBE STEEL. COLOR: WHITE. RE: STRUCTURAL
13	ROOF ACCESS LADDER	RE: SHEET A410 FOR DETAILS - PAINT TO MATCH WALL
14	CONCRETE RELIEF PATTERN	RE: SHEET A410 FOR DETAILS - PAINT TO MATCH WALL
15	TILT-UP PANEL JOINT	RE: SHEET A310 FOR DETAILS



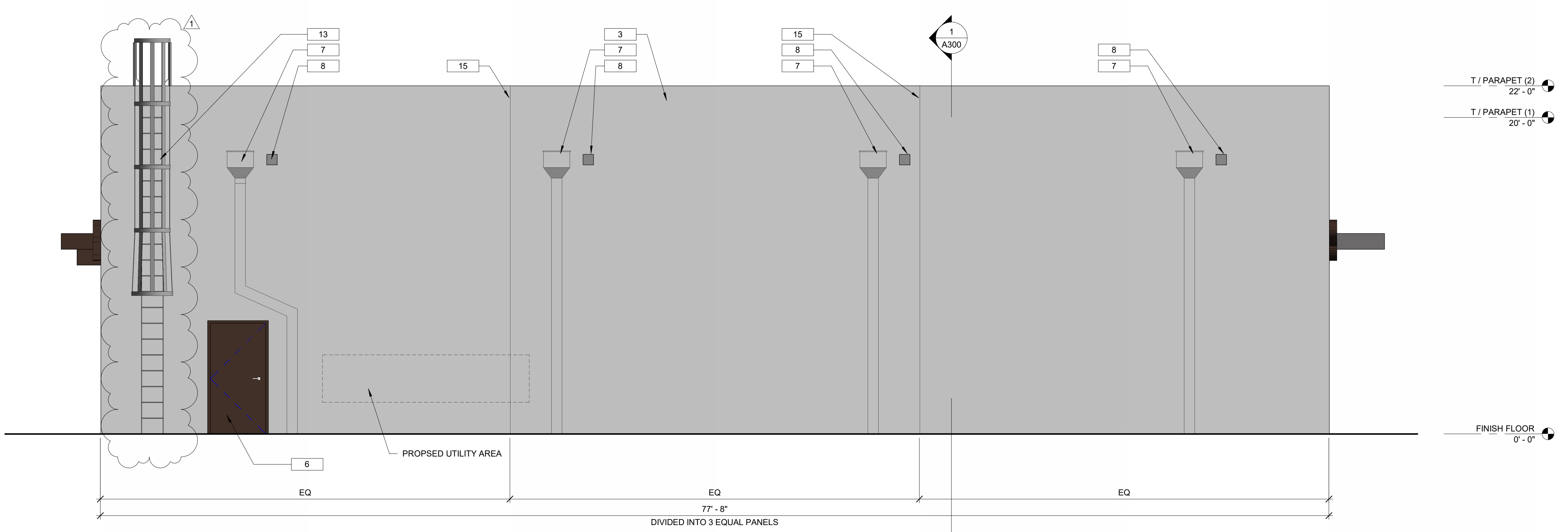
100 N Laura Street, Suite 801
Jacksonville, FL 32202
P: 904-640-1309
Lic. #: AR-0014752
W: www.bdgflp.com

SHOPPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

MASON Development & Construction Bid Set



2 EXTERIOR ELEVATION SOUTH
1/4" = 1'-0"



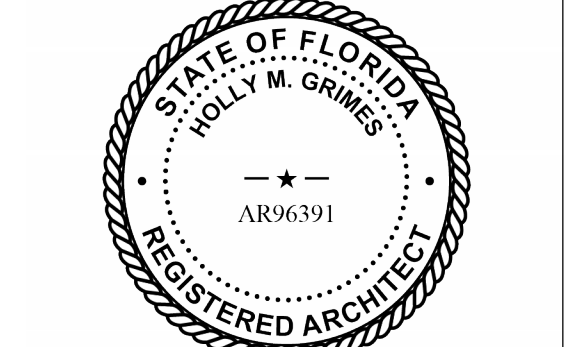
1 EXTERIOR ELEVATION WEST
1/4" = 1'-0"

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS IN THE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS IN THE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

KEYPLAN



SEAL



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK	
JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE
**BUILDING ELEVATIONS
WEST AND SOUTH**

SHEET NUMBER
A201

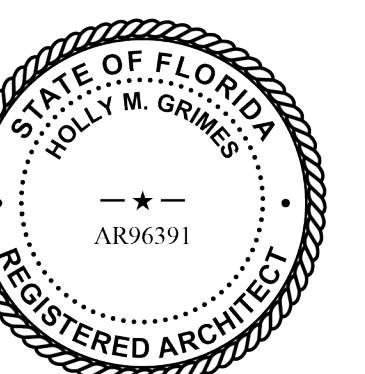
MASON
**Development &
Construction**
Bid Set

SHOPPER AT THE HEART OF TRADITION
RETAIL 3 - SHELL
10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

THESE DRAWINGS AND PLANS ARE THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE DESIGN CONCEPTS AND THE SAFETY AND CONSTRUCTIBILITY OF THE PLAN. THE PLANS SHALL NOT BE CHANGED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MADE, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, SHALL BE CONSIDERED ACCEPTANCE OF THE DESIGN CONCEPTS AND THE SAFETY AND CONSTRUCTIBILITY OF THE PLAN. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO COMMENCEMENT OF WORK SHALL BE AT THE RISK OF THE CONTRACTOR. BDG ARCHITECTS SHALL NOT BE RESPONSIBLE FOR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING, AND PERFORMANCE OF ITS WORK AND ALL WORK PERFORMED IN SUBORDINATION TO OR IN CONNECTION WITH THESE DOCUMENTS.

KEYPLAN

SEAL



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

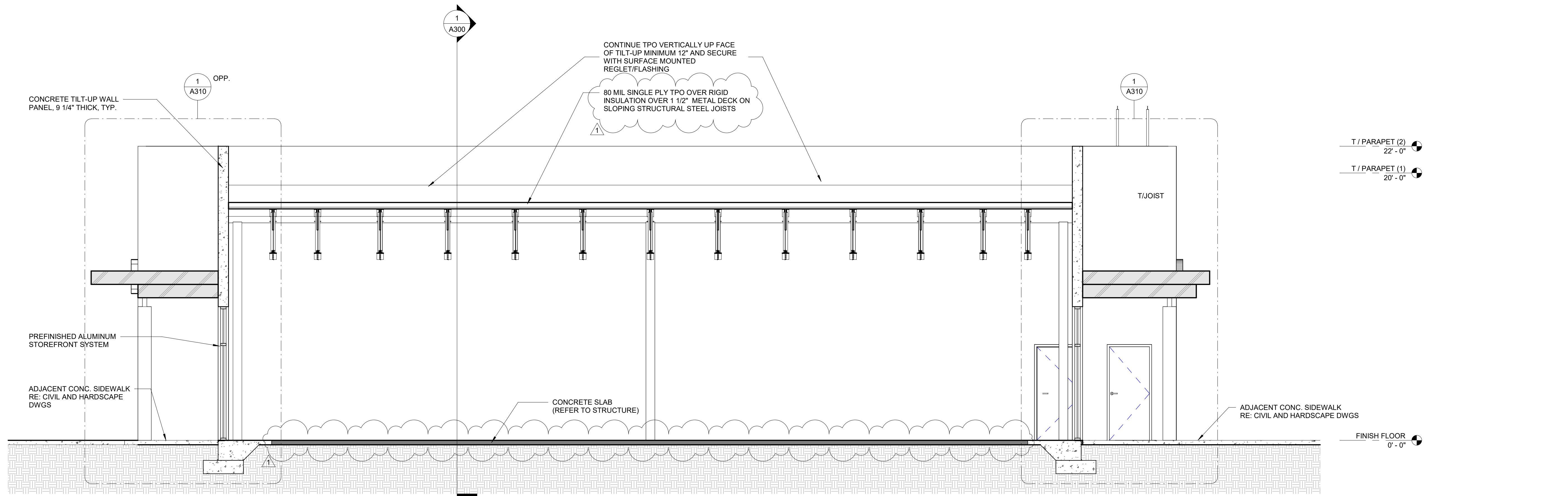
PROJECT INFORMATION BLOCK	
JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE

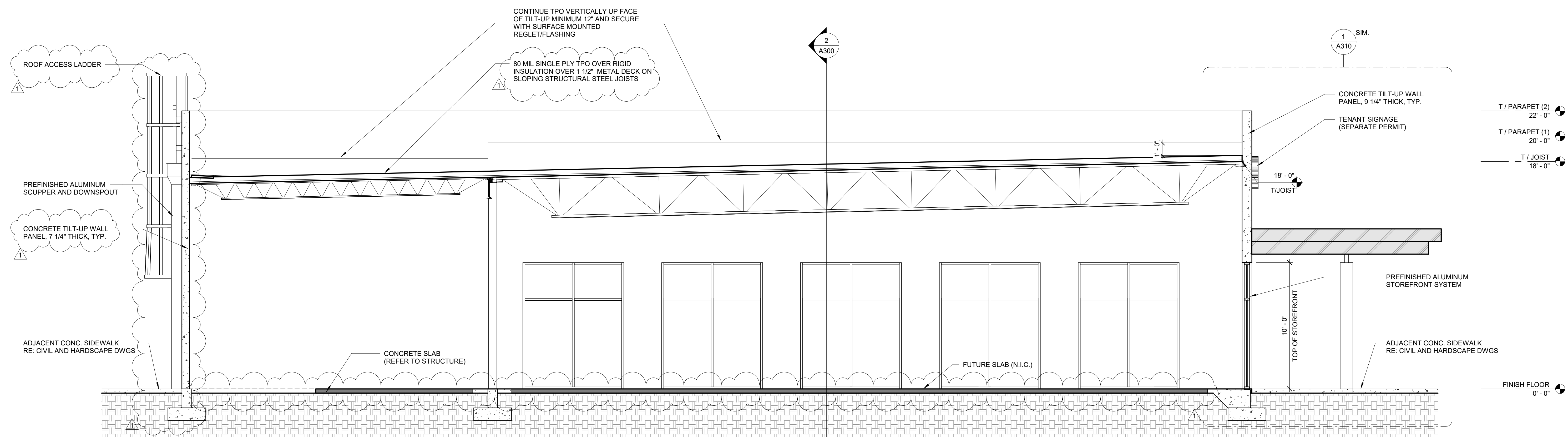
BUILDING SECTIONS

SHEET NUMBER

A300



2 BUILDING SECTION 2
1/4" = 1'-0"



1 BUILDING SECTION 1
1/4" = 1'-0"

DOOR SCHEDULE													
DR NO	DOOR SIZES			DOOR			FRAME			DETAILS			COMMENTS
	WIDTH	HEIGHT	THICKNESS	TYPE	MATL	FINISH	MATL	FINISH	SILL	HEAD	JAMB	HRDW SET	
101A	3'-0"	7'-0"	0'-1.3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
101B	3'-0"	7'-0"	0'-1.3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATION
101C	3'-0"	7'-0"	0'-1.3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATION
101D	6'-0"	7'-0"	0'-1.3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	6/A400	SET 5.0	REFER TO STOREFRONT ELEVATION
101E	6'-0"	7'-0"	0'-1.3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	6/A400	SET 5.0	REFER TO STOREFRONT ELEVATION
101F	3'-6"	7'-0"	0'-1.3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 2.0	

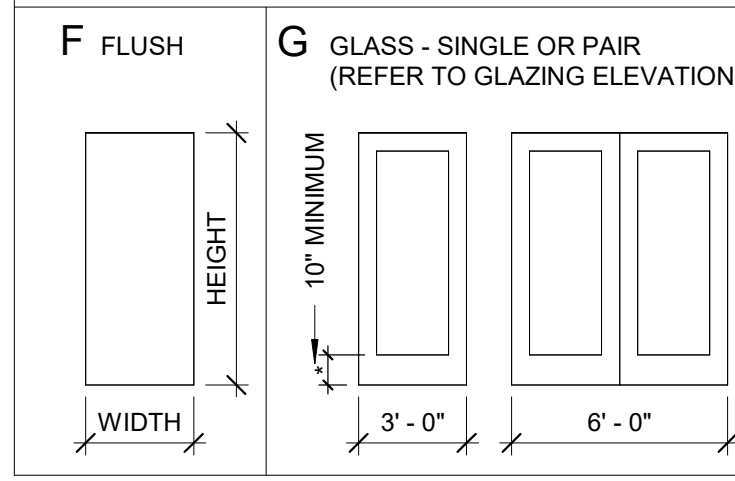
STOREFRONT AND DOOR NOTES:

- REFER TO SPECIFICATIONS FOR DOOR HARDWARE. ALL HARDWARE SETS TO COMPLY WITH FLORIDA ACCESSIBILITY CODE.
- STOREFRONTS AND DOORS SHALL MEET ALL LOCAL WIND SPEED AND IMPACT REQUIREMENTS.
- OVERALL STOREFRONT DIMENSIONS ARE GIVEN AS ROUGH OPENINGS.
- GENERAL CONTRACTOR TO VERIFY COUNT OF ALL STOREFRONT TYPES. SOME TYPES OCCUR AT MULTIPLE LOCATIONS.
- ALL ALUMINUM STOREFRONT SYSTEMS SHALL BE DARK BROWN ANODIZED FINISH.
- GLAZING BASIS OF DESIGN IS VITRO LAMINATED INSULATING WITH CLEAR GLASS THROUGHOUT AND SOLARBAN 80 ON SURFACE 4 OF THE LAMINATED SECTION WHICH PROVIDES A VLT OF 68%, AN EXT. REFLECTANCE OF 10%, A SHGC OF 0.37 AND A WINTER U-VALUE OF 0.28. REFER TO SPECIFICATIONS.
- THE STOREFRONT SYSTEM BASIS OF DESIGN IS THE TRULITE RESISTOR IMPACT 3100 SERIES WITH THE TRULITE 351 DOOR. REFER TO SPECIFICATION.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
- PRIOR TO INSTALLING SEALANT AND CLOSED CELL BACKER RODS, ENSURE THAT ALL JOINTS ARE DRY AND FREE FROM DEBRIS.
- AT ALL STOREFRONT LOCATIONS, SET ACCESSIBLE THRESHOLD IN FULL BED OF SEALANT.

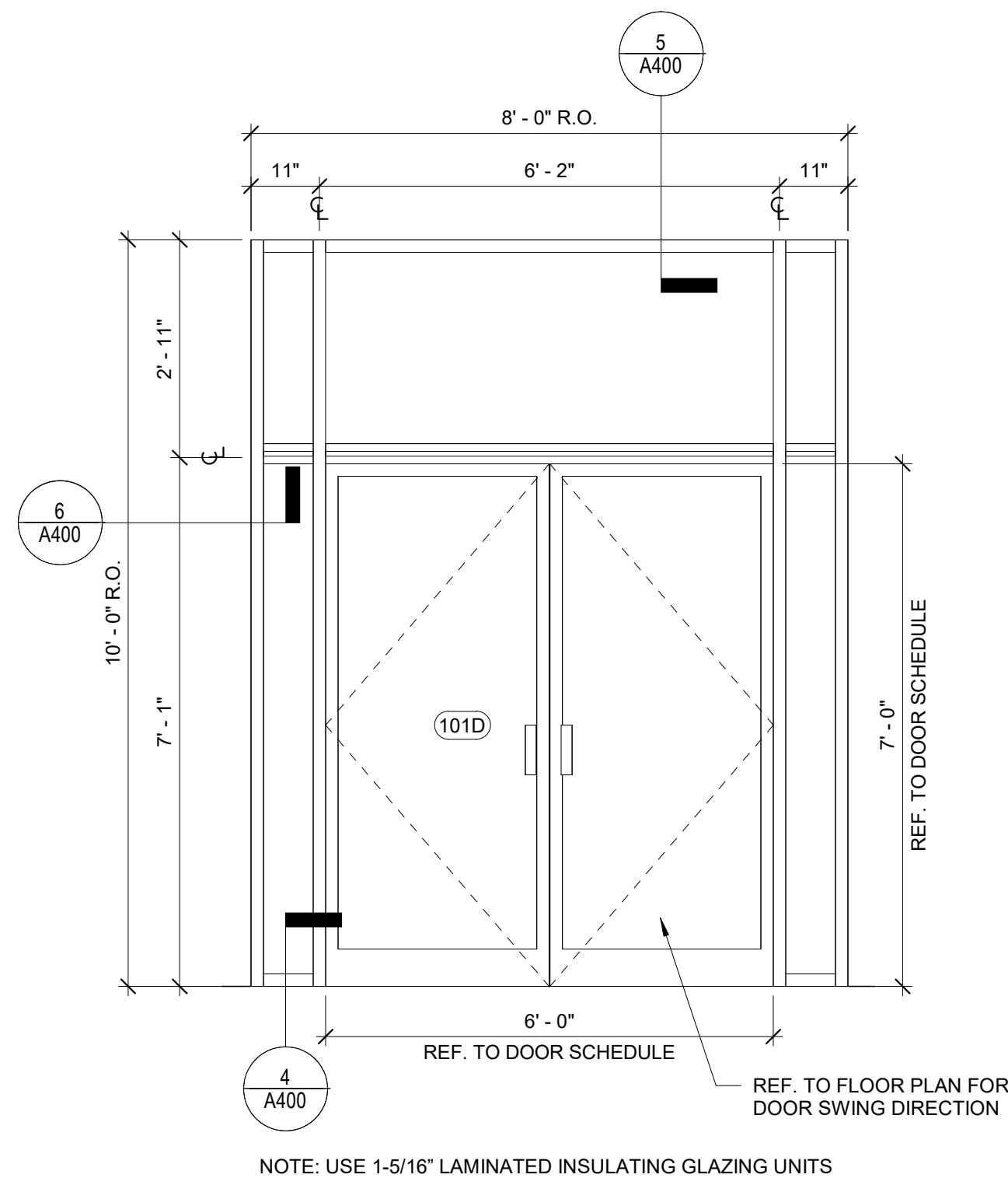
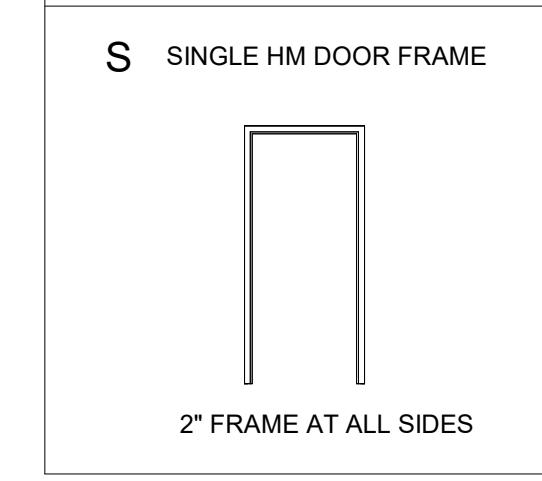
DOOR TRANSITION NOTES:

- FLOOR LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED OR TAPERED 1:2 PER ADA.
- FLOOR LEVEL CHANGES BETWEEN 1/4" AND 1/2" SHALL BE TAPERED AT A MAX 1:2 RATIO. MAX VERTICAL SHALL BE 1/4".
- FLOOR LEVEL CHANGES GREATER THAN 1/2" SHALL BE SLOPED AT A MIN 1:12 RATIO OR PROVIDE ADA THRESHOLD.

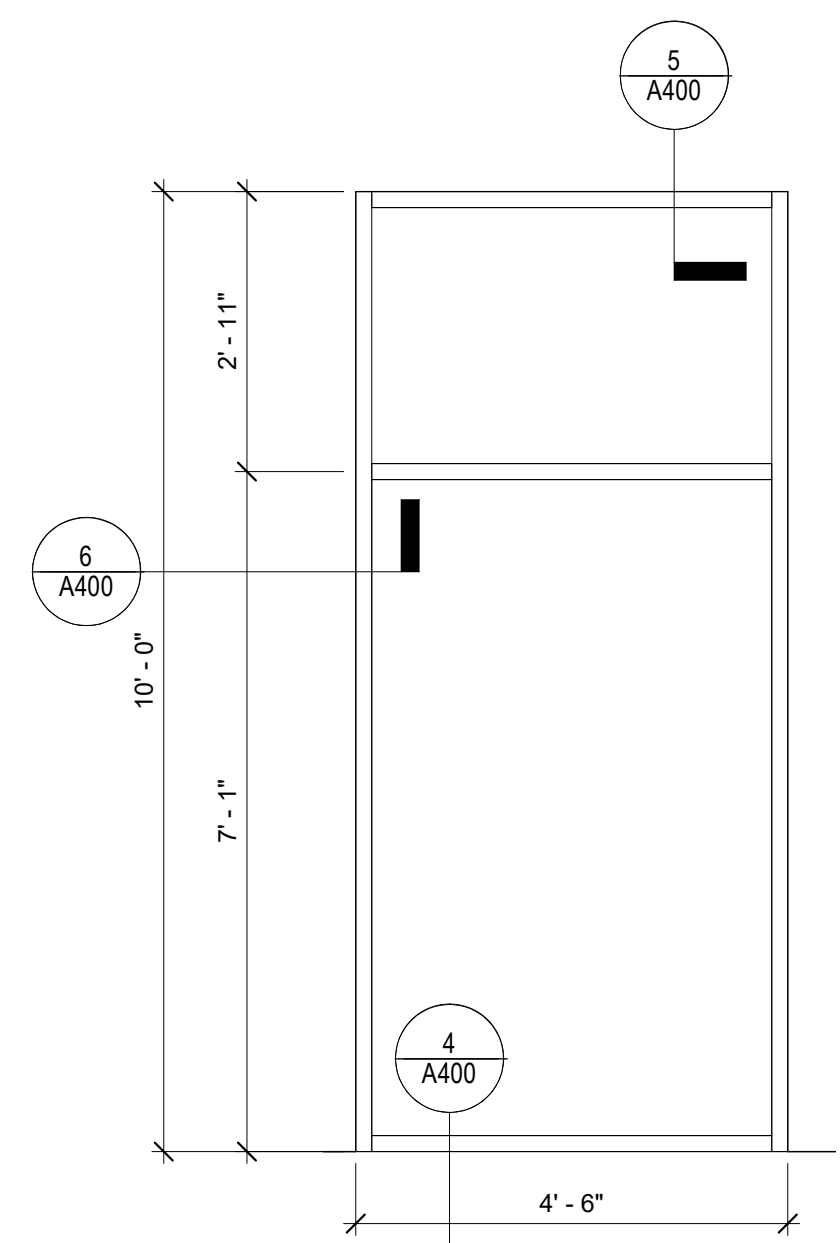
DOOR TYPES



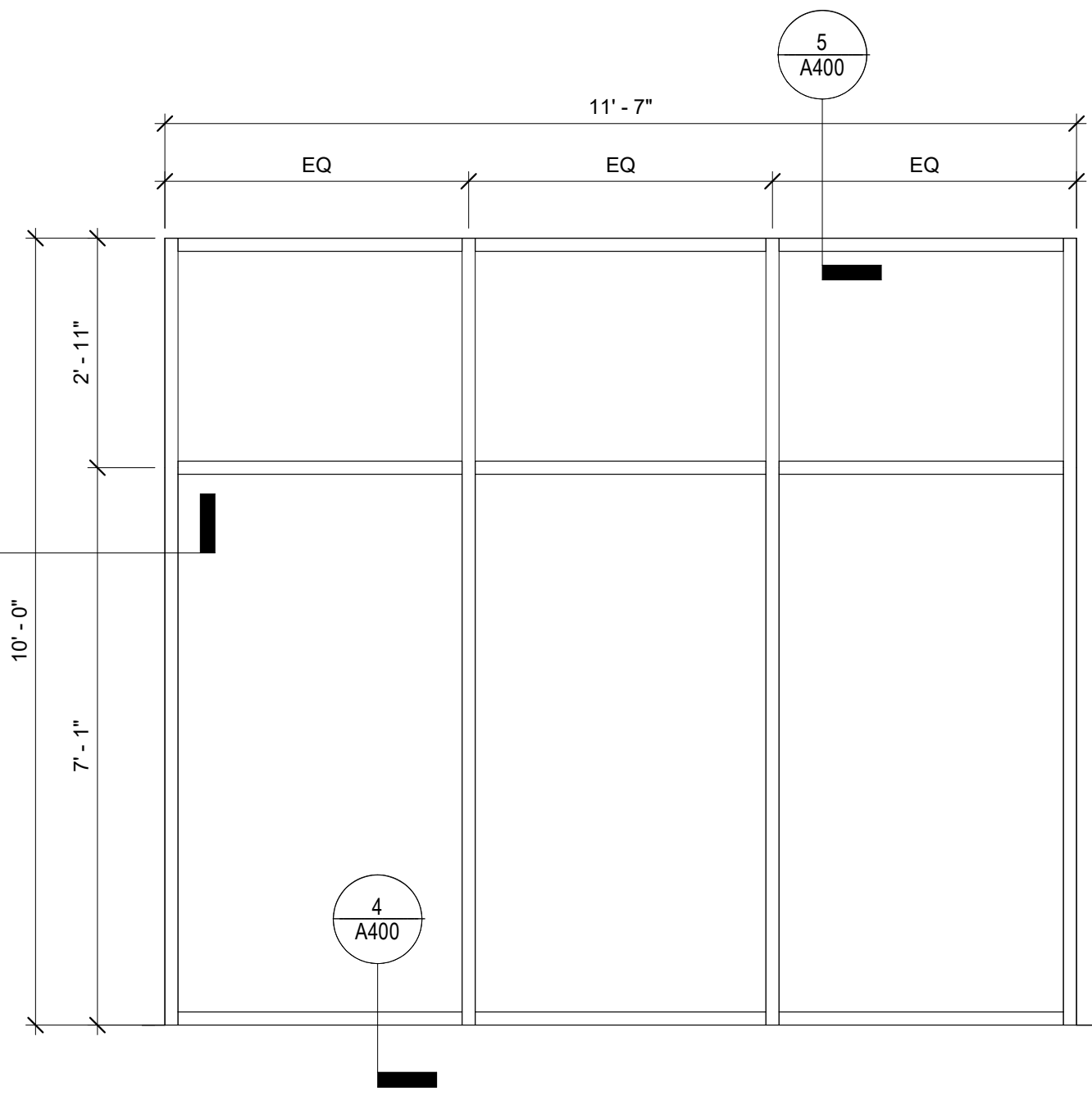
FRAME TYPES



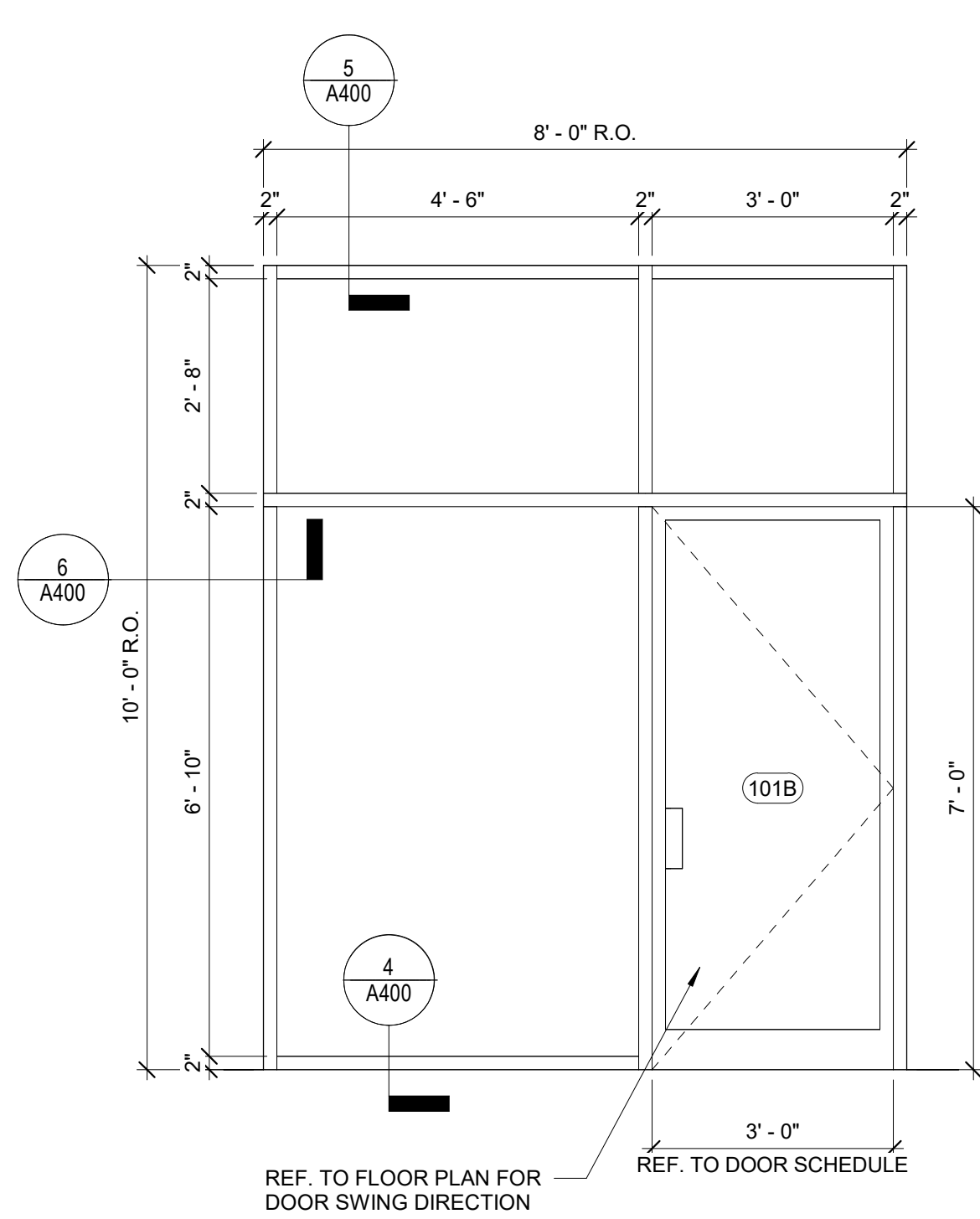
STOREFRONT TYPE E



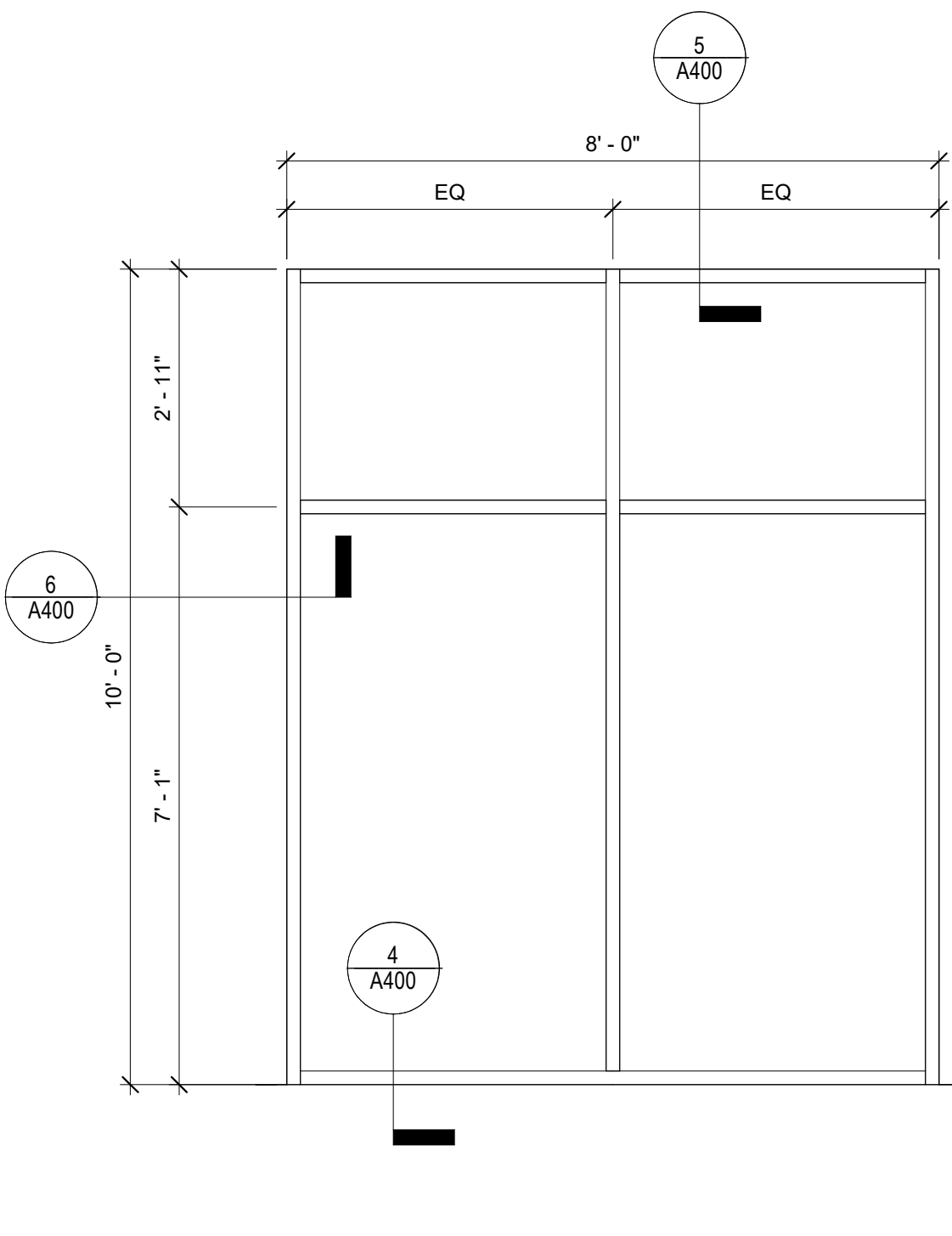
STOREFRONT TYPE D



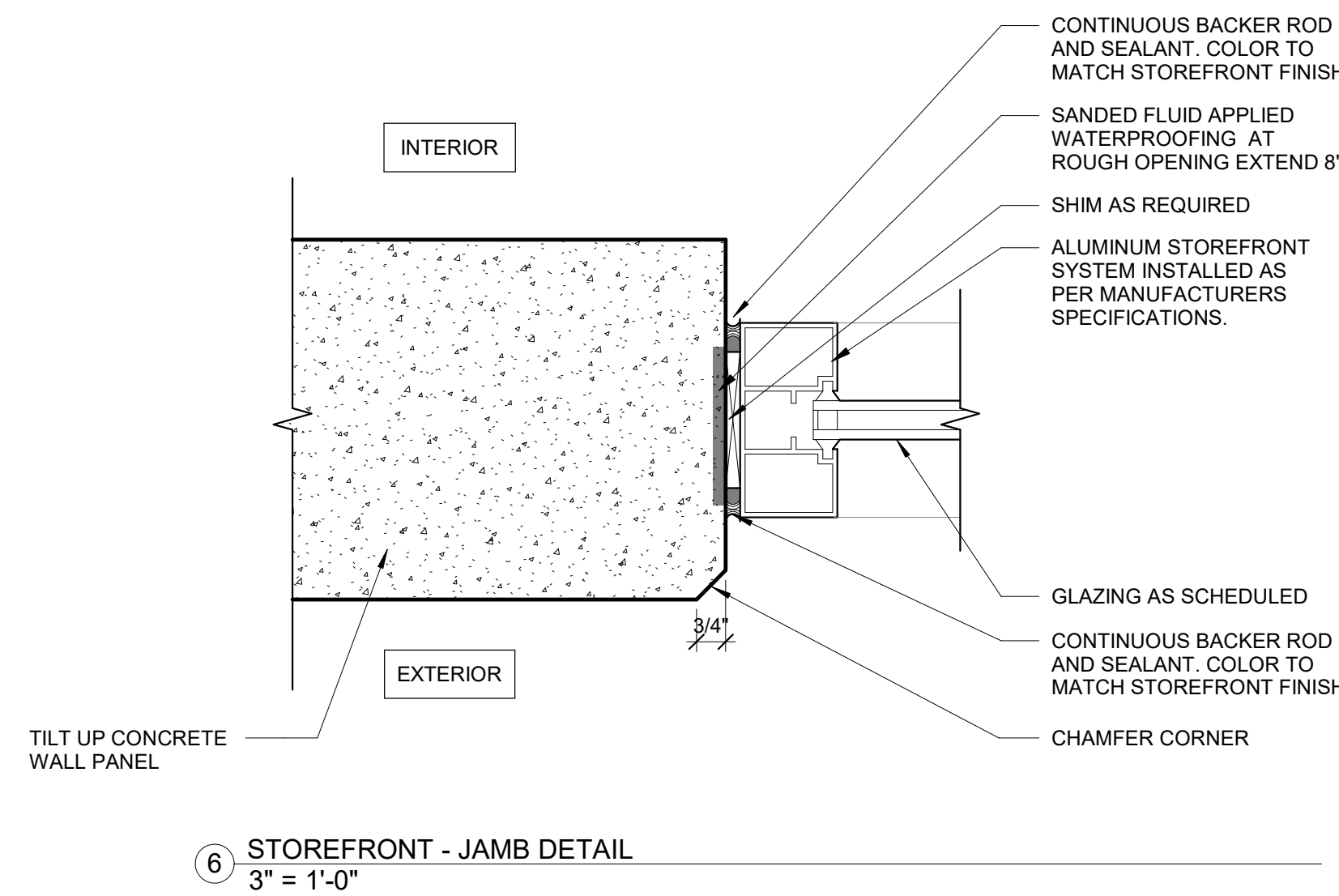
STOREFRONT TYPE C



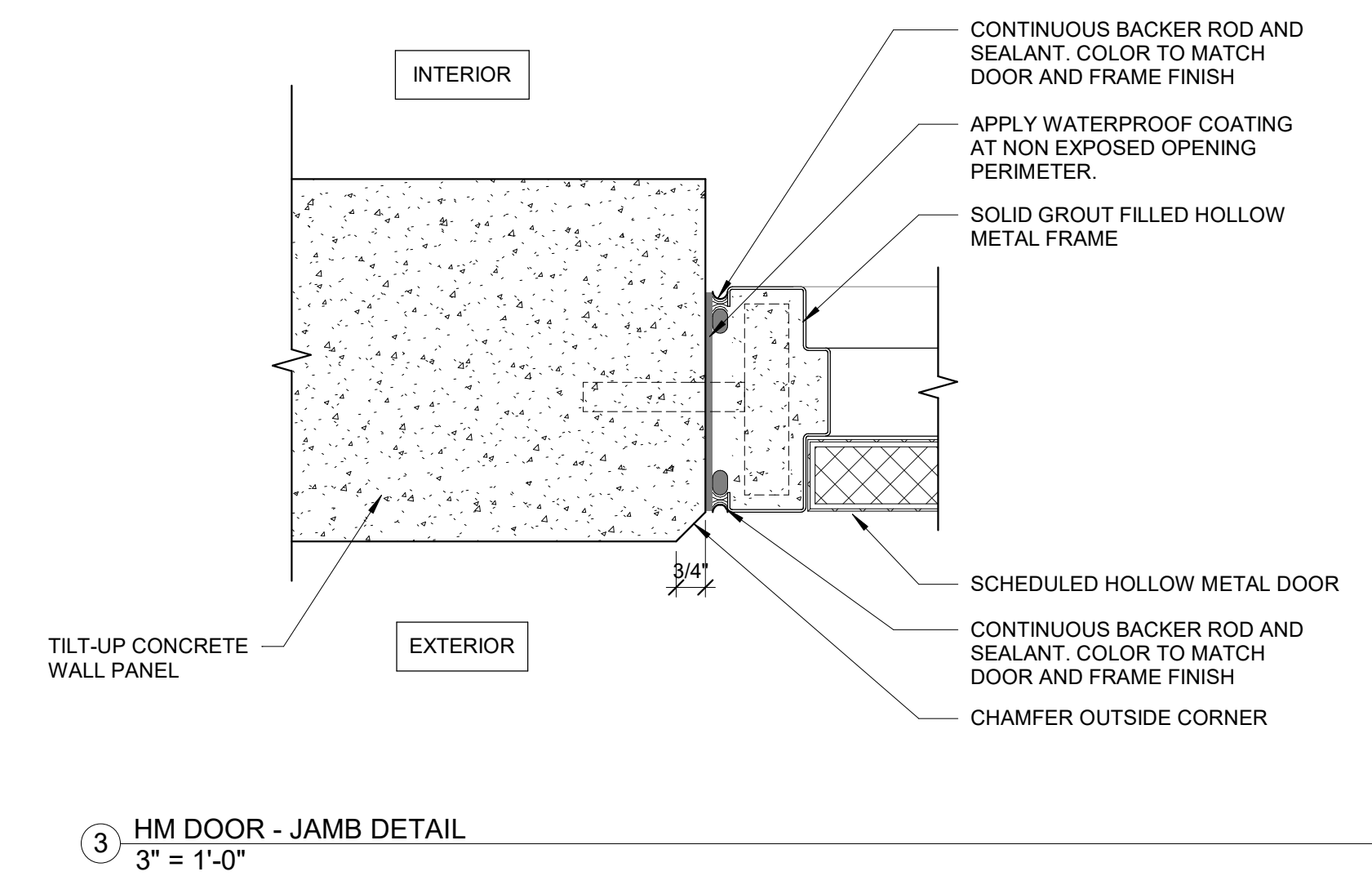
STOREFRONT TYPE B



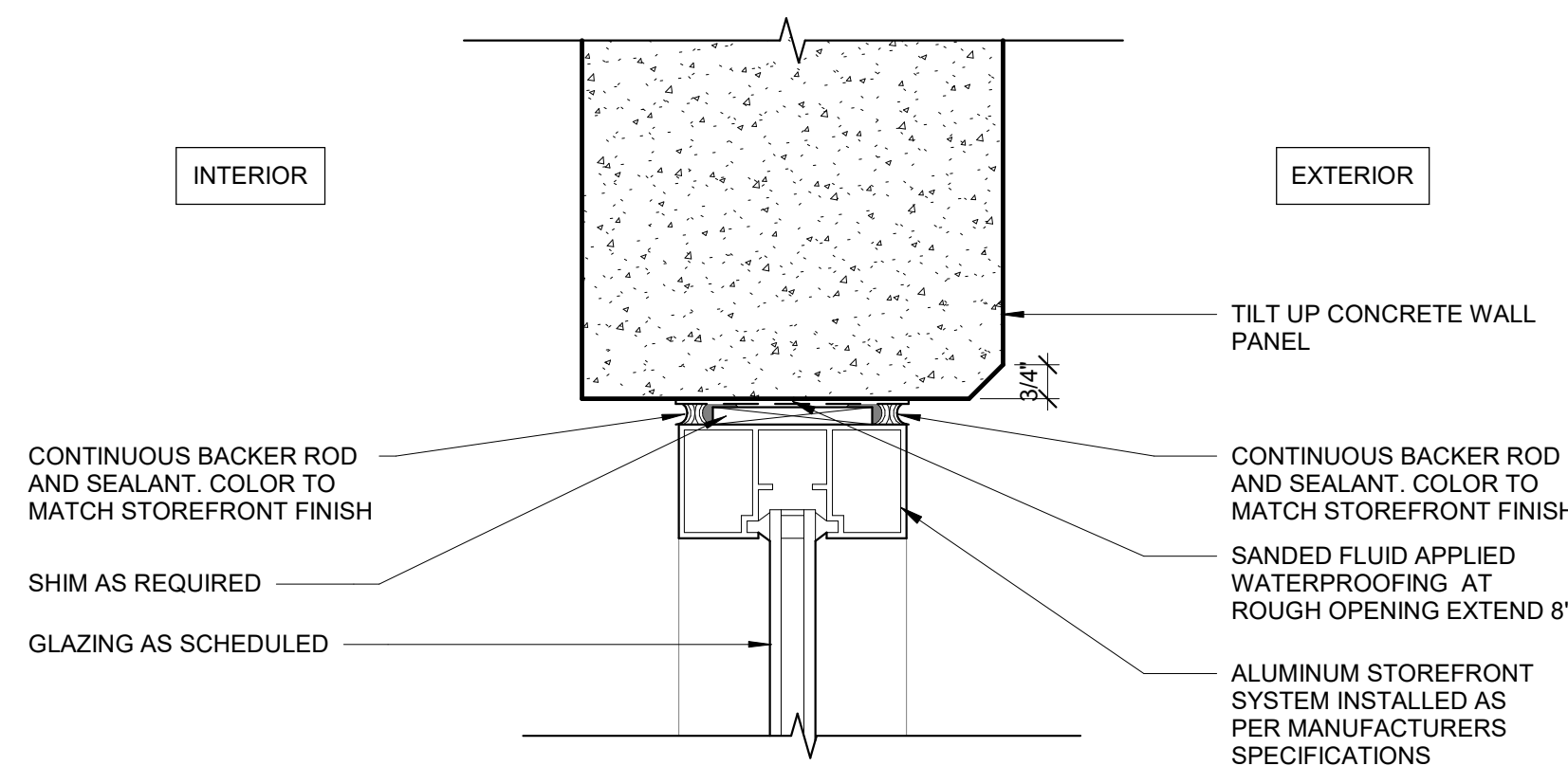
STOREFRONT TYPE A



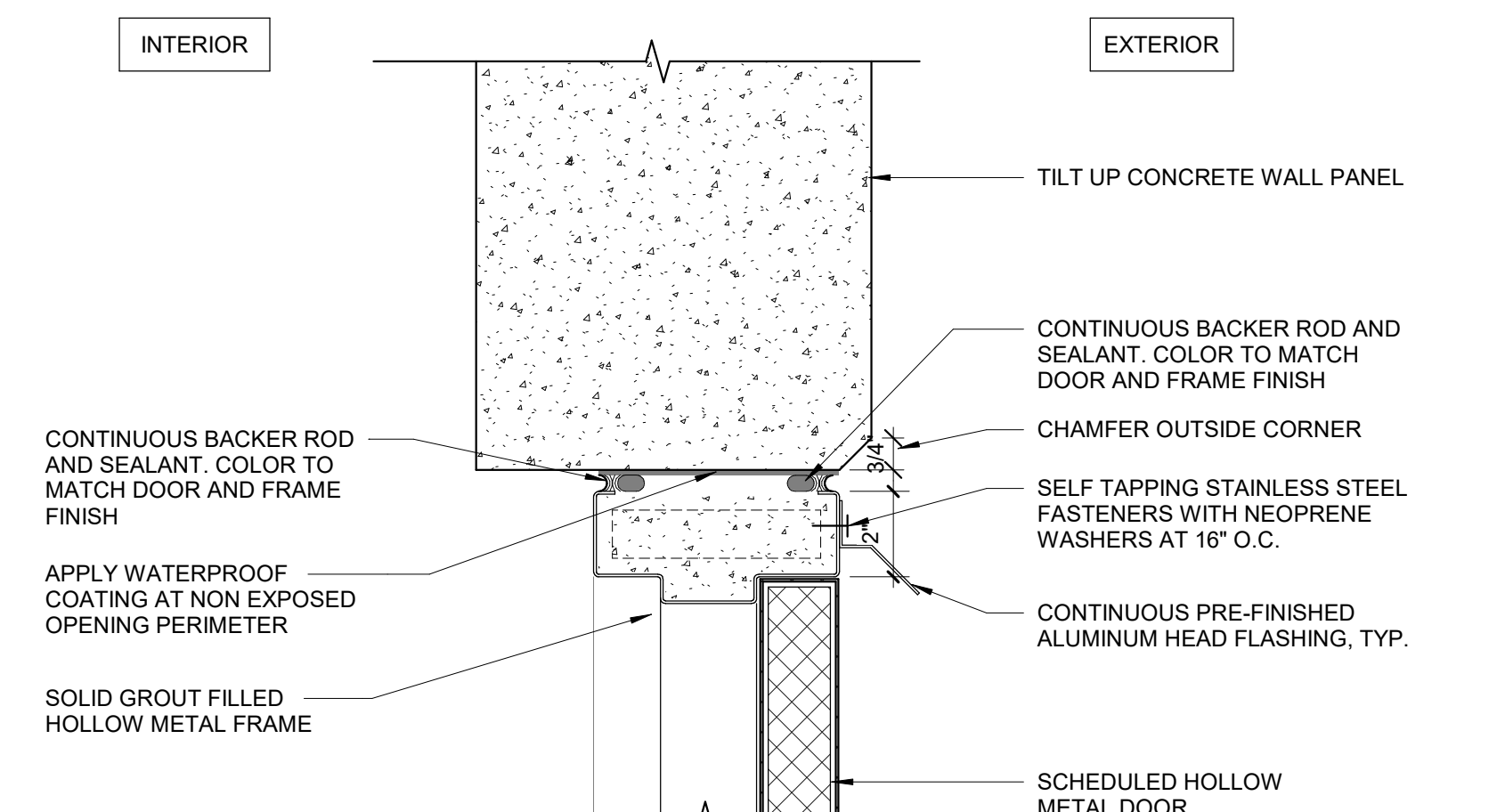
6 STOREFRONT - JAMB DETAIL
3" = 1'-0"



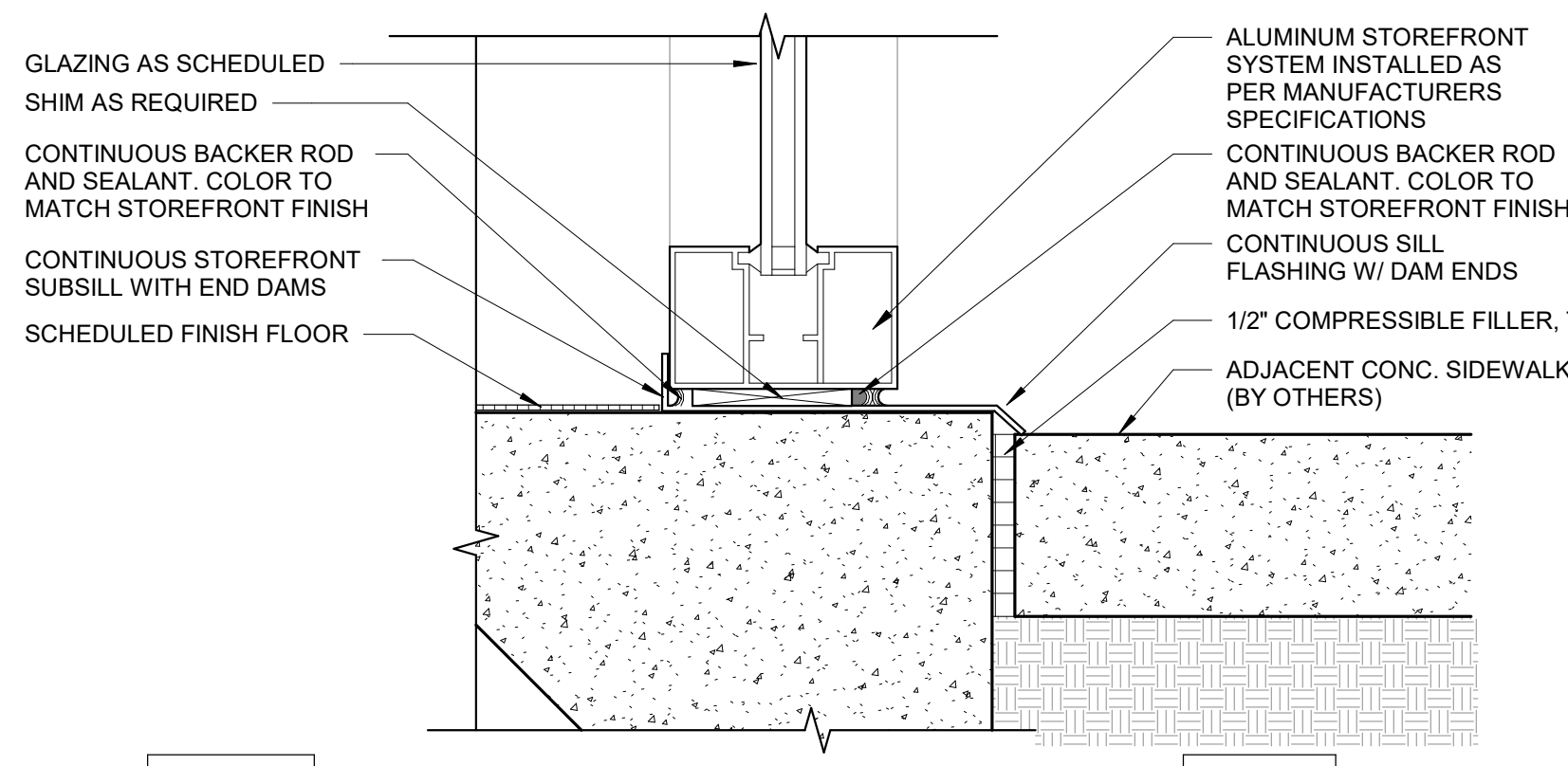
3 HM DOOR - JAMB DETAIL
3" = 1'-0"



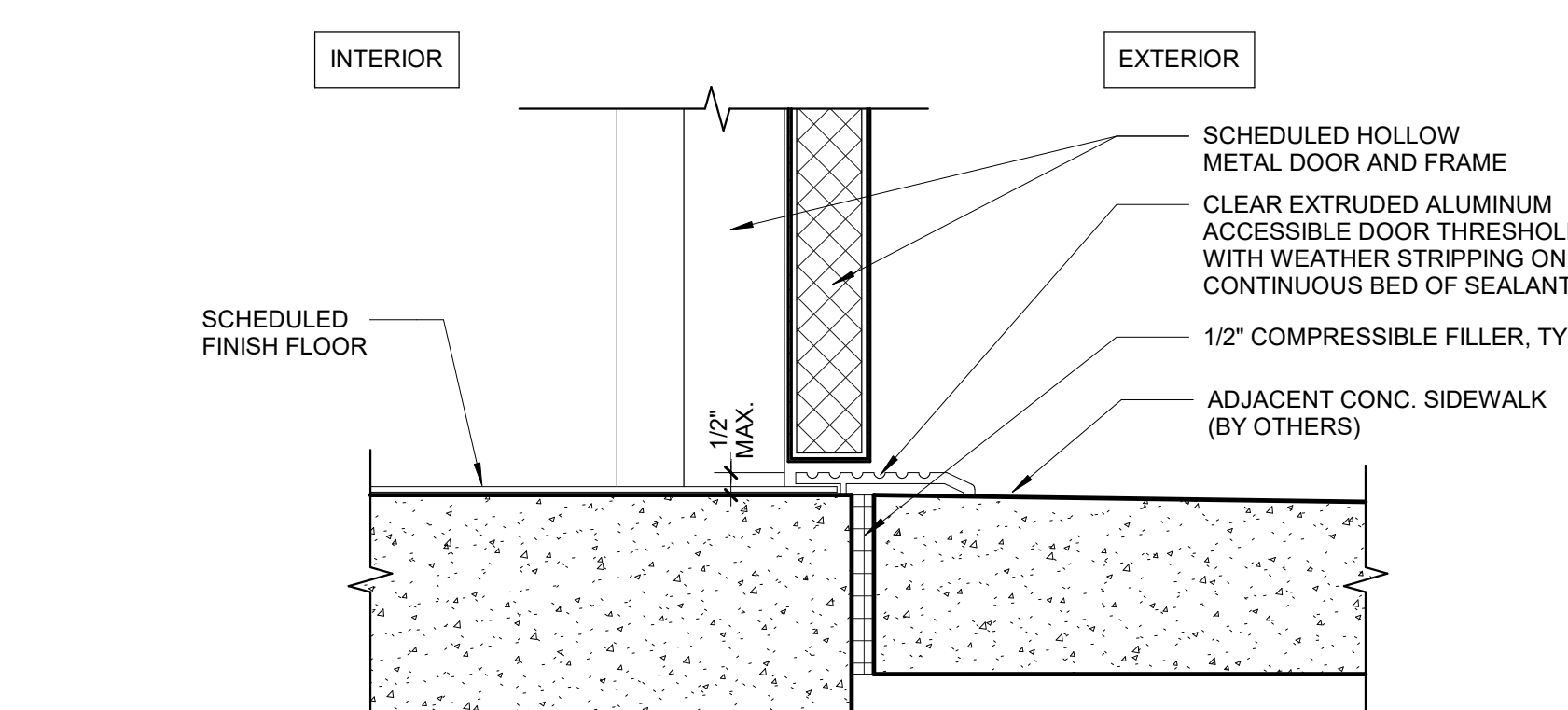
5 STOREFRONT - HEAD DETAIL
3" = 1'-0"



2 HM DOOR - HEAD DETAIL
3" = 1'-0"



4 STOREFRONT - SILL DETAIL
3" = 1'-0"



1 HM DOOR - TYPICAL THRESHOLD
3" = 1'-0"

MASON Development & Construction Bid Set

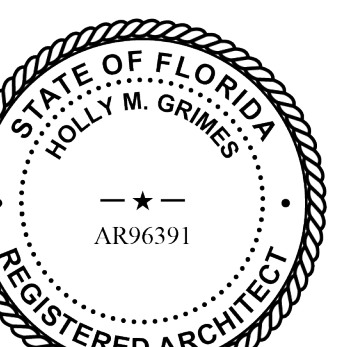
SHOPPES AT THE HEART OF TRADITION
RETAIL 3 - SHELL

10200 SW DISCOVERY WAY
PORT ST. LUCIE, FL - 34987

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR INJURIES OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THESE DRAWINGS AND PLANS, WHETHER CAUSED BY NEGLIGENCE OR OTHERWISE, AND REGARDLESS OF HOW SUCH DAMAGES, LOSSES, OR INJURIES MAY BE CAUSED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR INJURIES OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THESE DRAWINGS AND PLANS, WHETHER CAUSED BY NEGLIGENCE OR OTHERWISE, AND REGARDLESS OF HOW SUCH DAMAGES, LOSSES, OR INJURIES MAY BE CAUSED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

KEYPLAN

SEAL



Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID

PROJECT INFORMATION BLOCK	
JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE

STOREFRONT & DOOR SCHEDULES & DETAILS

SHEET NUMBER

A400

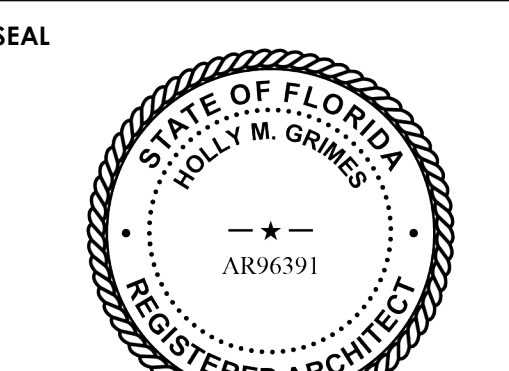


100 N Laura Street,
Suite 801
Jacksonville, FL 32202

P: 904-640-1309
Lic. #: AR-0014752
W: www.bdgip.com

THESE DRAWINGS AND PLANS ARE THE PROPERTY OF BGD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF BGD ARCHITECTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS OR PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY BGD ARCHITECTS AND SHALL BE THE PROPERTY OF BGD ARCHITECTS. BGD ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS OR PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BGD ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY BGD ARCHITECTS AND SHALL BE THE PROPERTY OF BGD ARCHITECTS.

KEYPLAN

Architect of Record:
Holly Grimes, AIA, LEED AP, NCARB
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

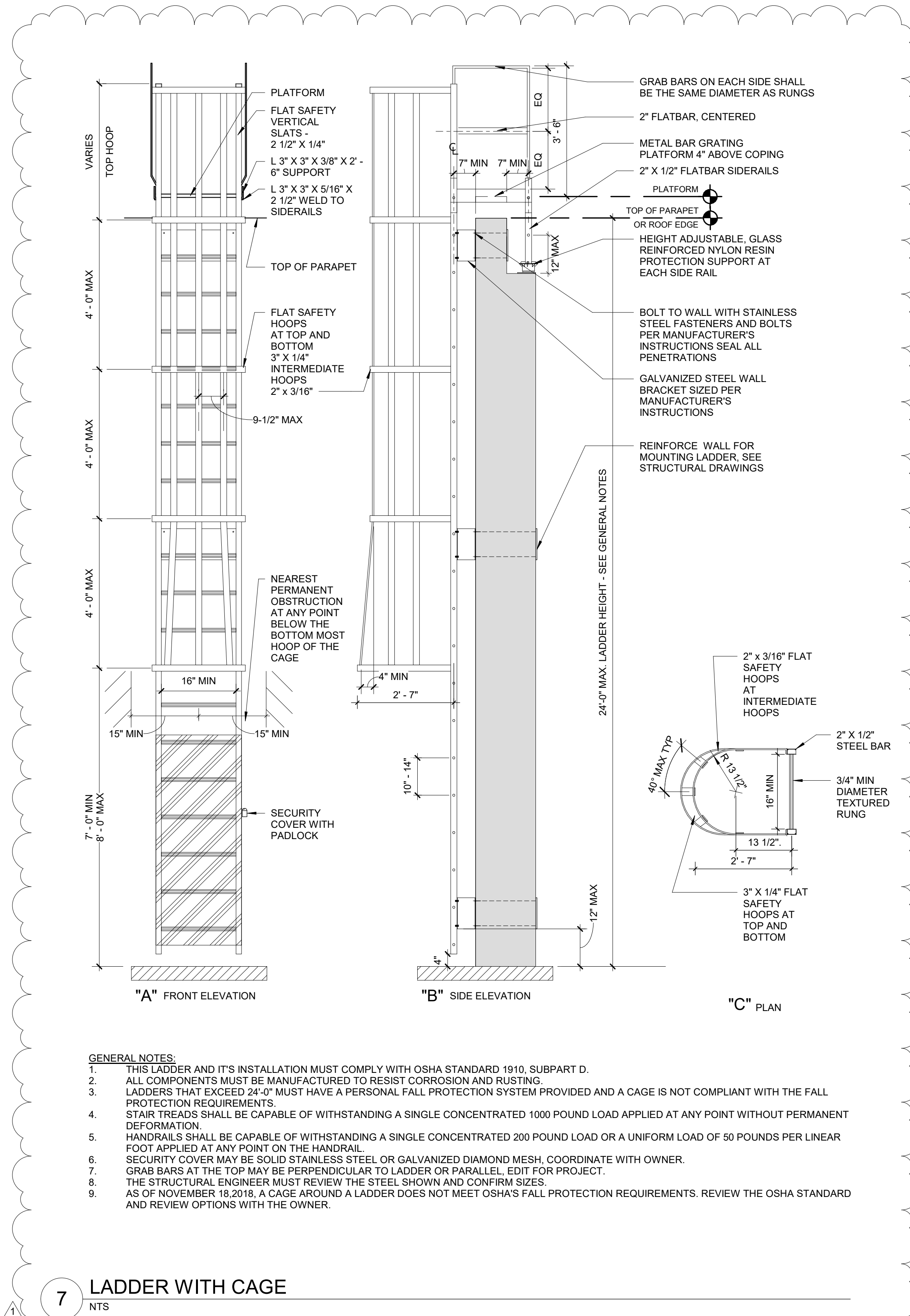
PROJECT INFORMATION BLOCK

JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

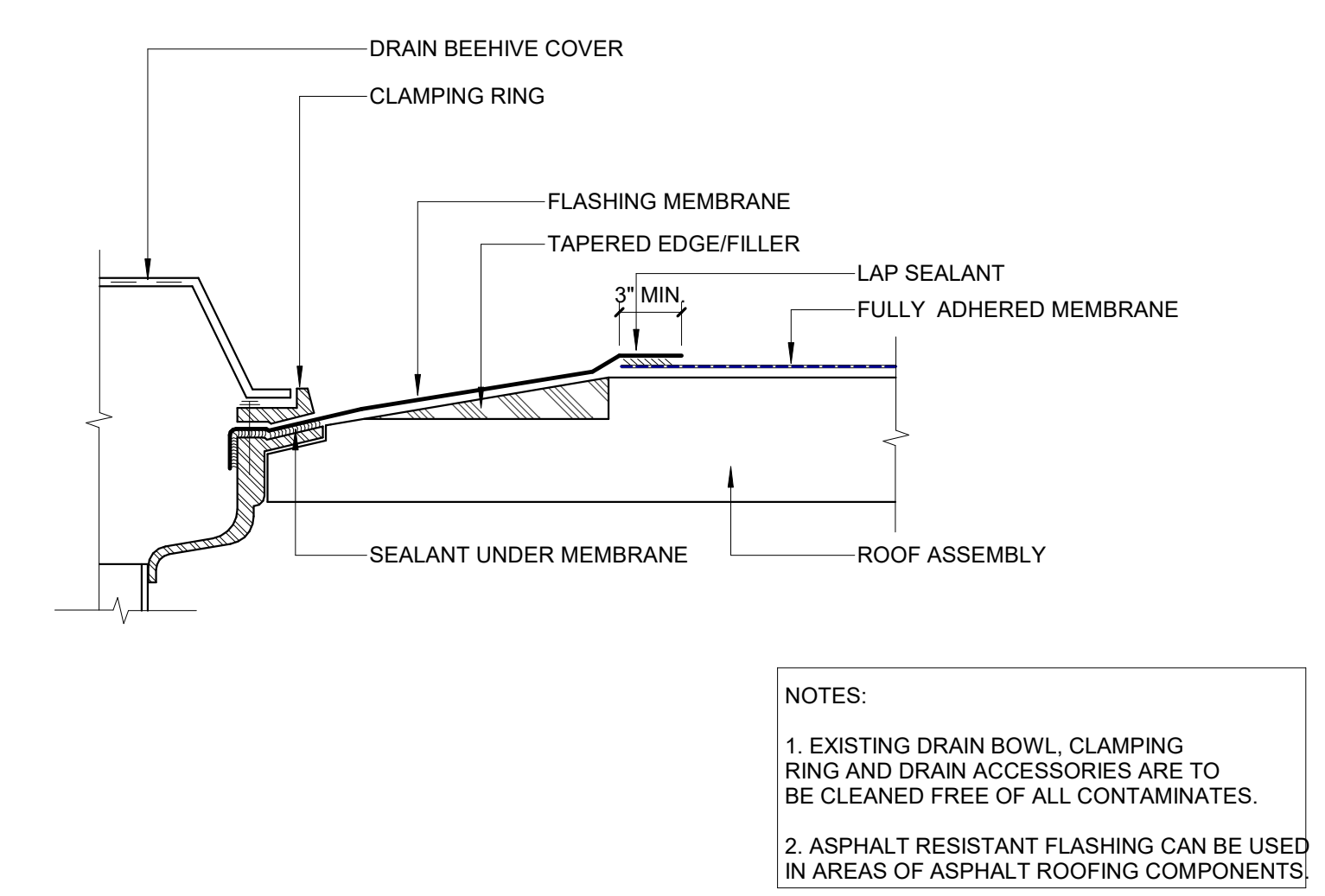
ROOFING DETAILS

SHEET NUMBER

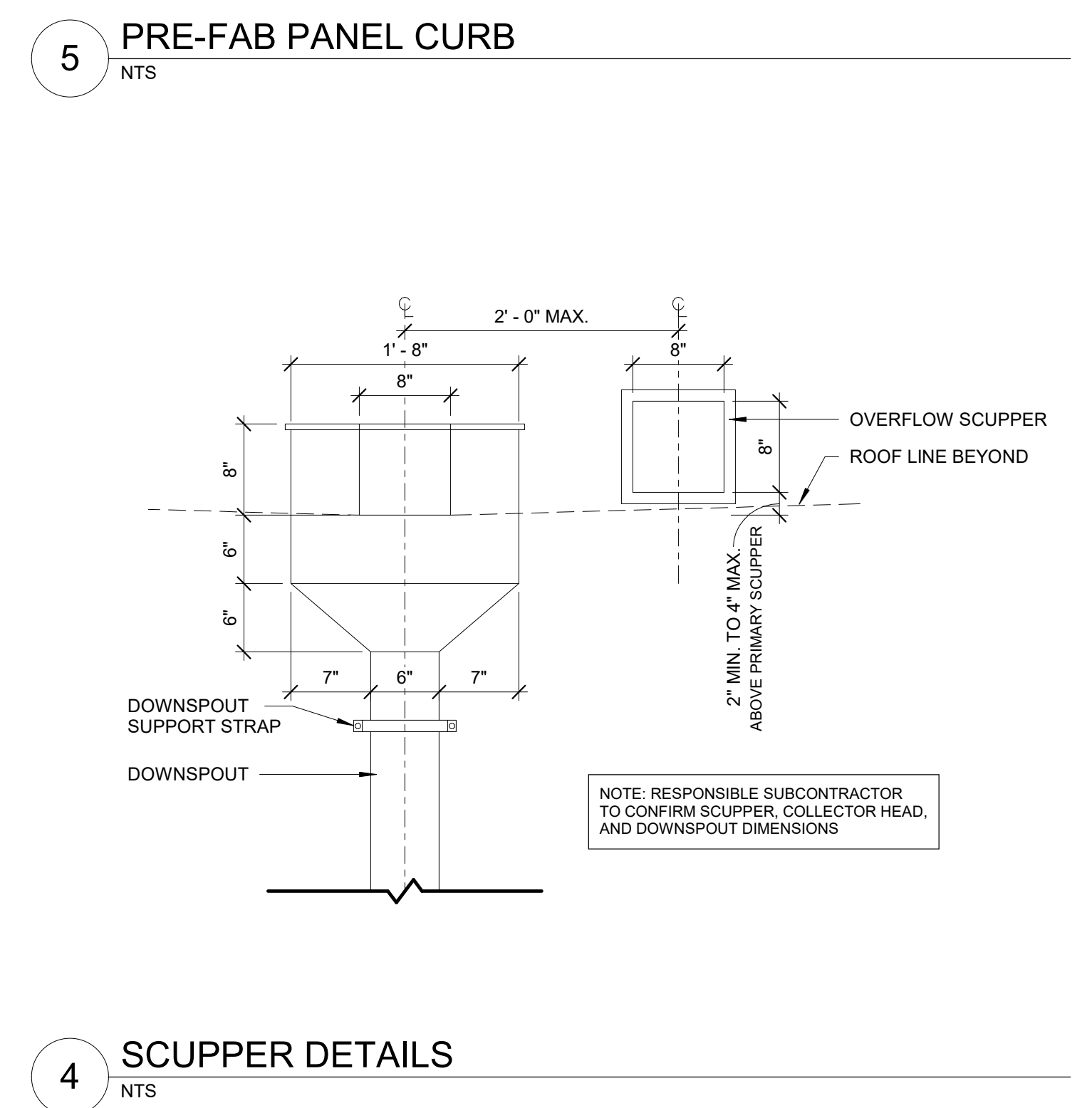
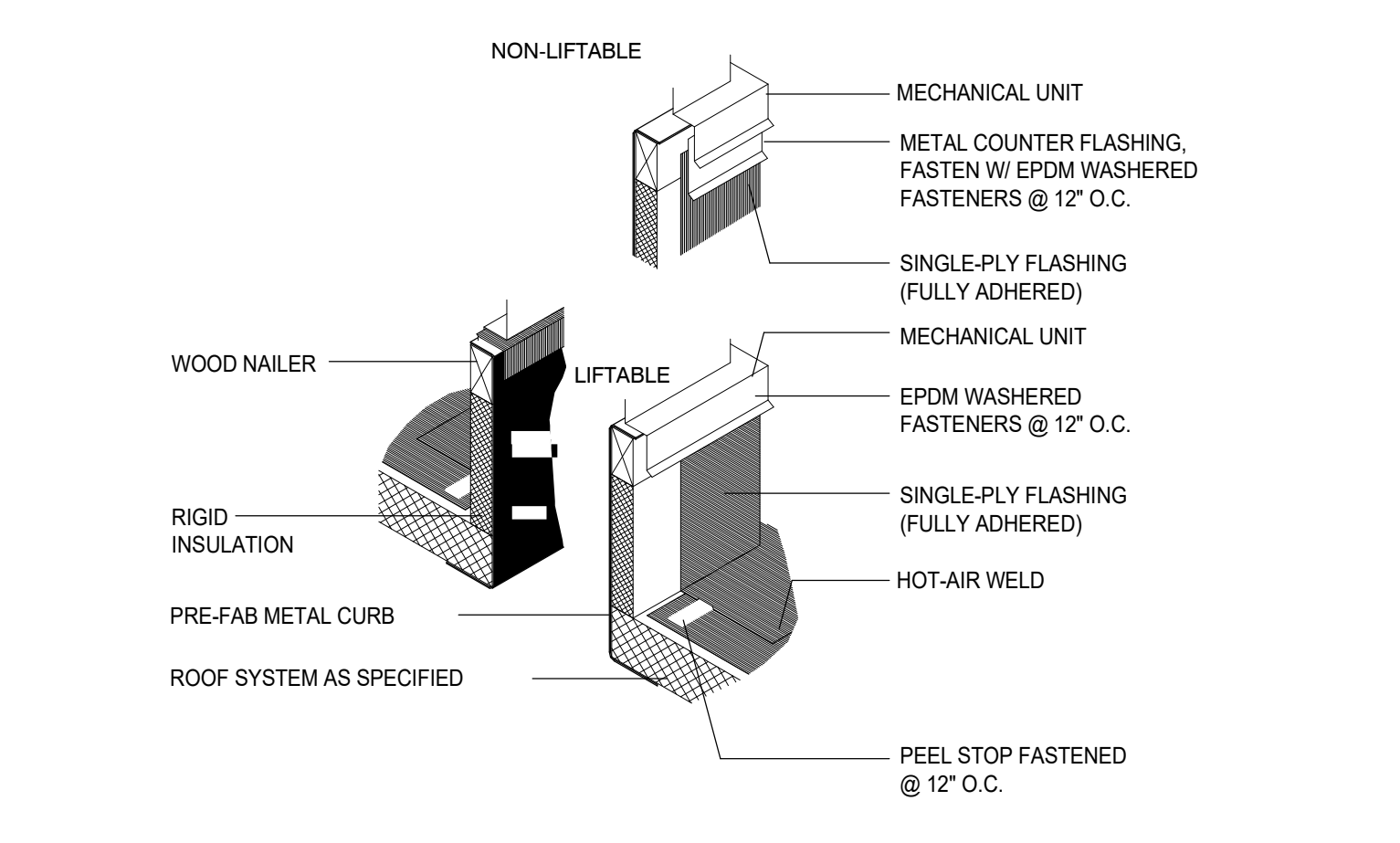
A410



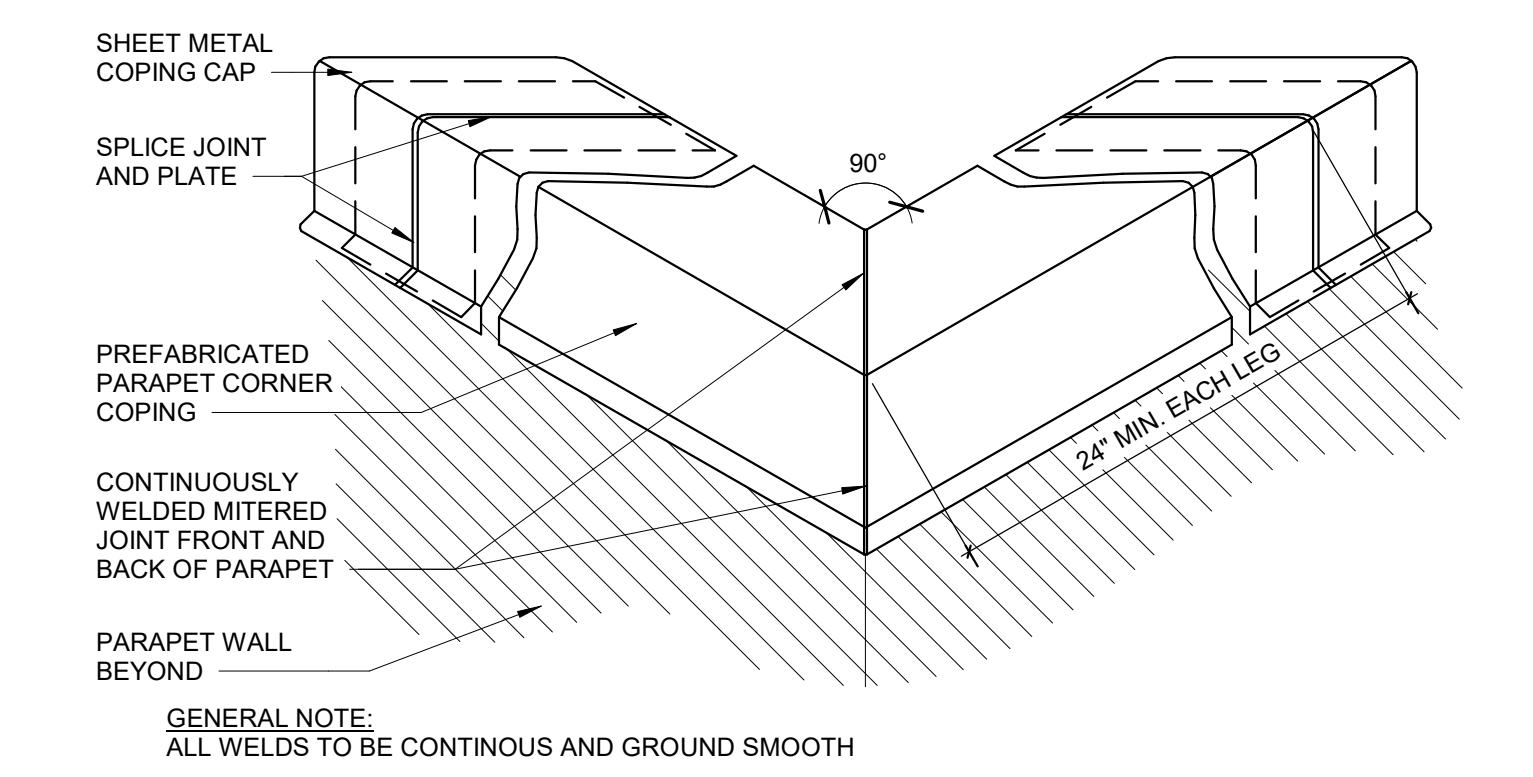
- GENERAL NOTES:**
- THIS LADDER AND ITS INSTALLATION MUST COMPLY WITH OSHA STANDARD 1910, SUBPART D.
 - ALL COMPONENTS MUST BE MANUFACTURED TO RESIST CORROSION AND RUSTING.
 - LADDERS THAT EXCEED 24'-0" MUST HAVE A PERSONAL FALL PROTECTION SYSTEM PROVIDED AND A CAGE IS NOT COMPLIANT WITH THE FALL PROTECTION REQUIREMENTS.
 - STAIR TREADS SHALL BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED 1000 POUND LOAD APPLIED AT ANY POINT WITHOUT PERMANENT DEFORMATION.
 - HANDRAILS SHALL BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED 200 POUND LOAD OR A UNIFORM LOAD OF 50 POUNDS PER LINEAR FOOT APPLIED AT ANY POINT ON THE HANDRAIL.
 - SECURITY COVER MAY BE SOLID STAINLESS STEEL OR GALVANIZED DIAMOND MESH, COORDINATE WITH OWNER.
 - GRAB BARS AT THE TOP MAY BE PERPENDICULAR TO LADDER OR PARALLEL, EDIT FOR PROJECT.
 - THE STRUCTURAL ENGINEER MUST REVIEW THE STEEL SHOWN AND CONFIRM SIZES.
 - AS OF NOVEMBER 18, 2018, A CAGE AROUND A LADDER DOES NOT MEET OSHA'S FALL PROTECTION REQUIREMENTS. REVIEW THE OSHA STANDARD AND REVIEW OPTIONS WITH THE OWNER.



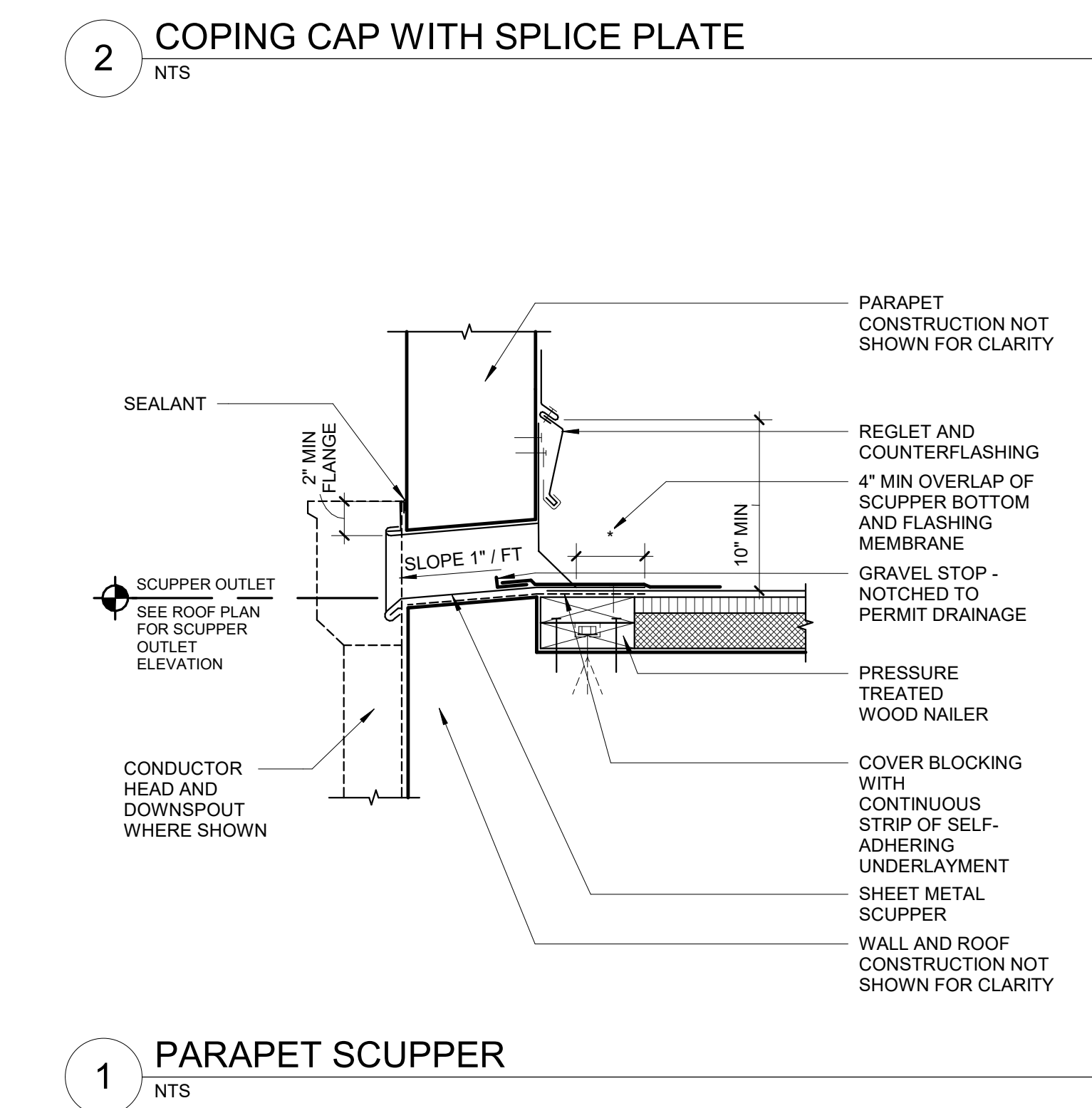
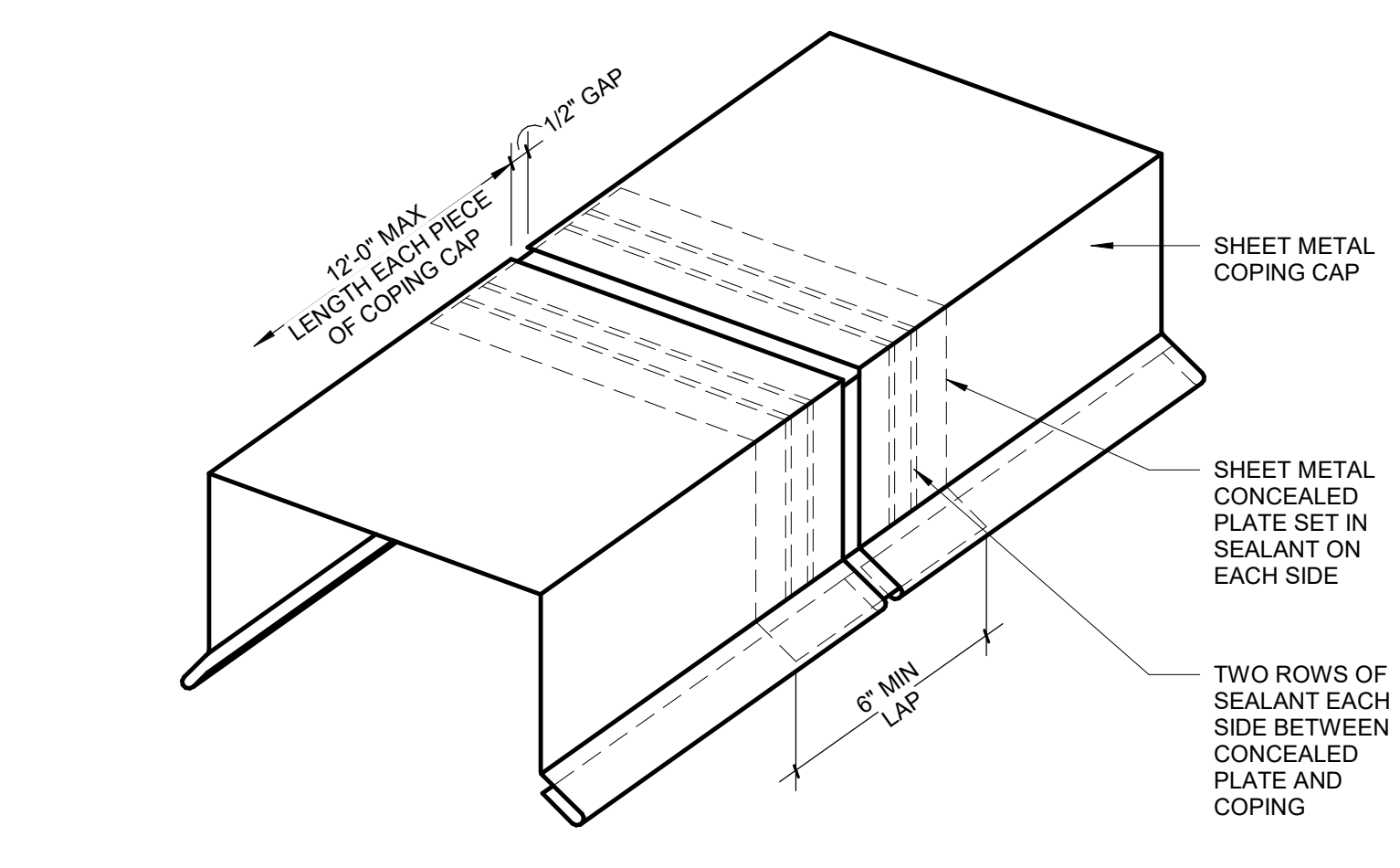
- NOTES:**
- EXISTING DRAIN BOWL, CLAMPING RING AND DRAIN ACCESSORIES ARE TO BE CLEANED FREE OF ALL CONTAMINATES.
 - ASPHALT RESISTANT FLASHING CAN BE USED IN AREAS OF ASPHALT ROOFING COMPONENTS.



NOTE: RESPONSIBLE SUBCONTRACTOR TO CONFIRM SCUPPER, COLLECTOR HEAD, AND DOWNSPOUT DIMENSIONS.



GENERAL NOTE:
ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH



WALL AND ROOF CONSTRUCTION NOT SHOWN FOR CLARITY