

# SHOPPES AT THE HEART OF TRADITION

## RETAIL 2 - SHELL

10100 SW DISCOVERY WAY  
PORT ST. LUCIE, FL - 34987

PROJECT #: 220088

## ISSUE FOR PERMIT

05/31/2023

**MASON**  
Development &  
Construction  
Bid Set

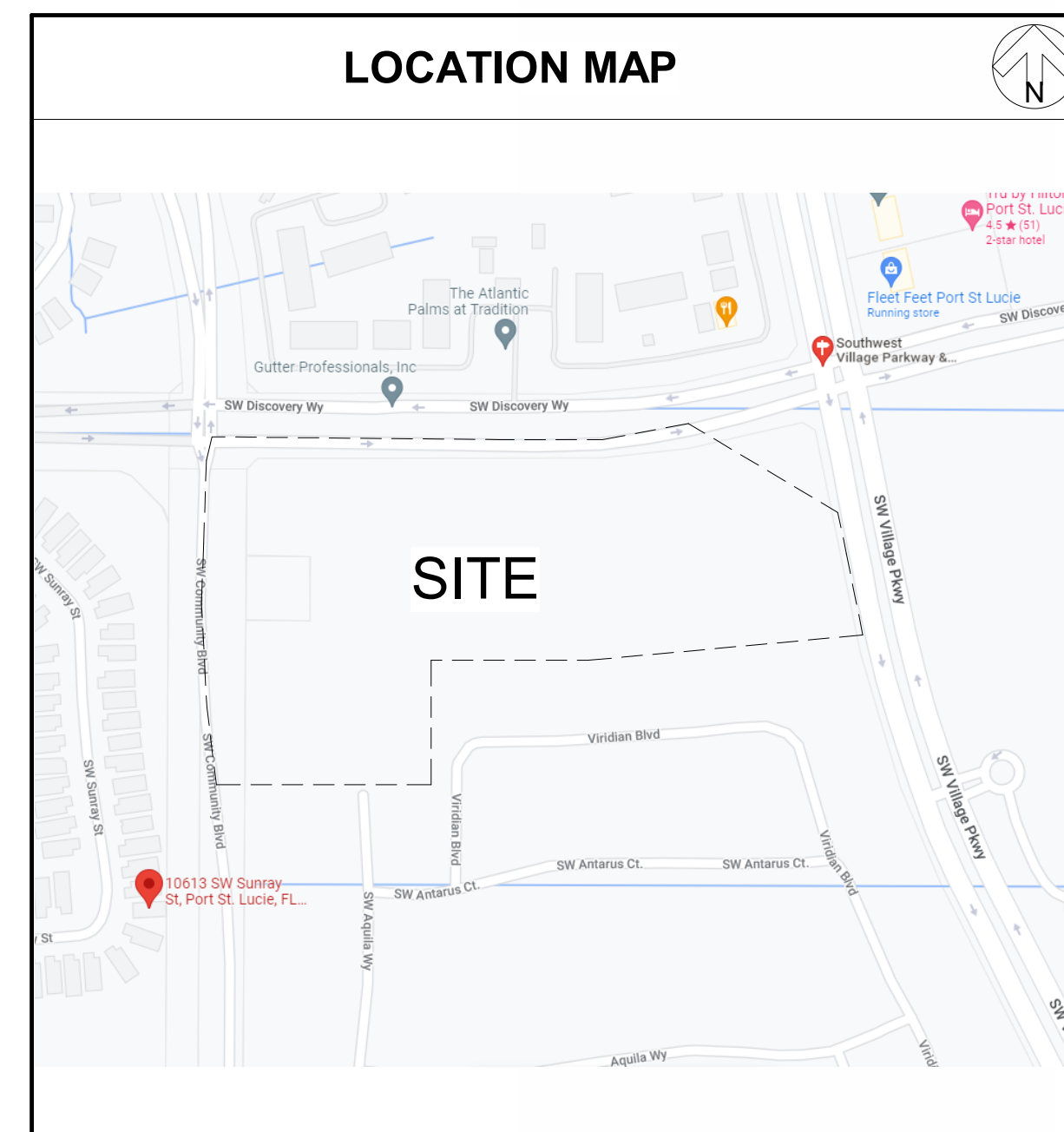


SCOPE OF WORK
THE PROJECT CONSISTS OF A 12,110 SF ONE STORY MULTI-TENANT MERCANTILE SHELL BUILDING WITH EXTERIOR CONCRETE TILT-UP PANELS, STOREFRONT AND DECORATIVE CANOPIES. THE ROOF IS A TPO ROOF ON METAL DECKING OVER STEEL JOISTS. BUILT-OUT BY TENANTS.
THE BUILDING IS LOCATED WITHIN THE SHOPPES AT THE HEART OF TRADITION IN PORT ST. LUCIE, FLORIDA

FLORIDA PRODUCT APPROVALS					
(G.C. TO PROVIDE FLORIDA PRODUCT APPROVALS TO THE AHJ IF ALTERNATE PRODUCTS ARE PROPOSED AND APPROVED BY THE ARCHITECT)					
PRODUCT TYPE	MANUFACTURER	MODEL #/SERIES	FL PRODUCT APPR. NO.	MIAMI DADE NOA	
<b>STOREFRONT AND EXTERIOR DOORS</b>					
STOREFRONT WALL	TRULITE	SERIES 3100 ALUMINUM WINDOW WALL	FL 25676.1 - R1	N/A	
HM EXTERIOR DOORS	CECO DOOR PRODUCTS	FLUSH SINGLE COMMERCIAL STEEL DOOR	FL 16355.2 - R1	N/A	
STOREFRONT DOOR	TRULITE	351 SERIES ALUMINUM DOOR	FL 18413.1 - R4	N/A	
<b>WALL PANELS</b>					
<b>ROOFING PRODUCTS</b>					
SINGLE PLY ROOF ON STEEL	GAF	EVERGUARD TPO ROOF SYSTEMS FOR USE IN FBC NON-HVHZ JURISDICTIONS	FL 5293.1	N/A	
ROOF HATCH	BILCO	S-50	FL 15110.2 - R1	N/A	

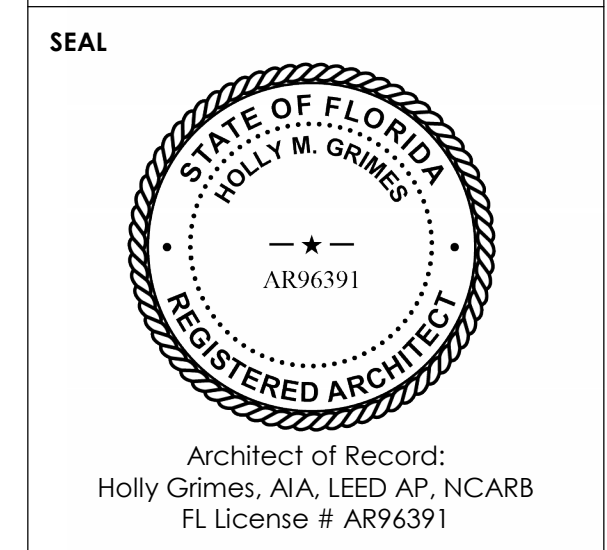
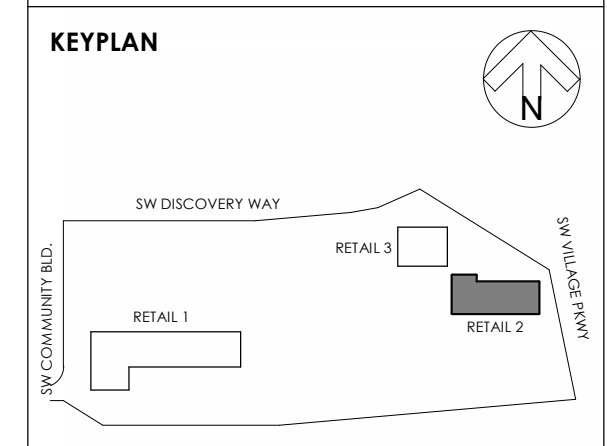
OWNER & CONSULTANTS			
<b>OWNER</b>	<b>ARCHITECT</b>	<b>STRUCTURAL</b>	<b>LAND PLANNER / LANDSCAPE</b>
PEBB TRADITION SG-3, LLC, BANYAN SG-3, LLC AND PEBB MANAGER, LLC 7900 GLADES ROAD, SUITE 600 BOCA RATON, FL 33434 ROBERT MERCER PHONE: (561) 353-5289 rmerc@pebbent.com	BDG ARCHITECTS 100 NORTH LAURA STREET, SUITE 801 JACKSONVILLE, FL 32202 HOLLY GRIMES PHONE: 904-640-1309 holly.grimes@bdgip.com	LOWE STRUCTURES 11651 CENTRAL PKWY #106 JACKSONVILLE, FL 32224 MATT LOWE, PE PHONE: 904-982-0377 mlowe@lowestructures.com	LUCIDO & ASSOCIATES 701 E OCEAN BOULEVARD STUART, FL 34984 (UNDER SEPARATE CONTRACT AND COVER)
<b>CIVIL ENGINEER</b>	<b>MECHANICAL / PLUMBING</b>	<b>ELECTRICAL</b>	
KIMLEY HORN 445 24TH STREET, SUITE 200 VERO BEACH, FL 32909 (UNDER SEPARATE CONTRACT AND COVER)	BLUESTREAK CONSULTING 25001 EMERY ROAD #400 CLEVELAND, OH 44128 BRIAN RICE, PE PHONE: 216-223-3200 brice@bluestreak-consulting.com	BLUESTREAK CONSULTING 25001 EMERY ROAD #400 CLEVELAND, OH 44128 RICHARD KNAPP, PE PHONE: 216-223-3200 rknapp@bluestreak-consulting.com	

SYMBOL LEGEND	
	PARTITION TYPE INDICATOR REFER TO PARTITION SCHEDULE
	REVISION NUMBER
	FINISH TAG
	KEYNOTE
	ROOM TAG
	DOOR TAG
	STOREFRONT TAG
	ELEVATION DATUM TAG
	DETAIL TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	PLAN DETAIL TAG
	BUILDING SECTION TAG
	GRID BUBBLE & CENTER LINE



GENERAL NOTES	
1.	THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
2.	ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OTHER HANDICAP ACCESSIBILITY CODES.
3.	PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET UP AND COORDINATION OF ALL UTILITY SERVICES FOR THE PROJECT.
4.	GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING AND SEQUENCING OF THE WORK WITH OWNER'S REPRESENTATIVE. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
5.	GENERAL CONTRACTOR SHALL PROVIDE AN AS-BUILT SET OF DRAWINGS TO THE OWNER AT THE END OF THE PROJECT.
6.	GENERAL CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
7.	THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY ERRORS OR INCONSISTENCIES TO THE ARCHITECT.
8.	THE DRAWINGS ARE NOT TO BE SCALED. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
9.	THE CONTRACTOR, WITHOUT EXTRA CHARGE, SHALL MAKE SLIGHT ALTERATIONS - CUTTING, FITTING, OR PATCHING OF HIS WORK AS MAY BE NECESSARY TO MAKE ADJUSTABLE PARTS FIT TO FIXED PARTS, LEAVING ALL IN WORKING ORDER WHEN COMPLETED.
10.	WHERE TRENCHING OR CORE DRILLING IS REQUIRED, SUBFLOORING AND/OR SUBSTRATE SHALL BE RETURNED TO A LEVEL CONDITION.
11.	GENERAL CONTRACTOR SHALL PROVIDE TERMITE PROTECTION, TO COMPLY WITH FBC 1916.1, UNDER ALL NEW CONSTRUCTION.
12.	GENERAL CONTRACTOR TO BE RESPONSIBLE FOR SITE CLEAN UP NIGHTLY AND SECUREMENT OF THE WORK SITE.
13.	ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH THE LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES SHALL BE MEASURED WITH A 24" SMART LEVEL.
14.	CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS TO EACH SUB-CONTRACTOR AND FOR INSURING THAT WORK OF EACH SUB-CONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUB-CONTRACTORS.
15.	ACTUAL LOCATIONS OF LIGHT FIXTURES, PLUMBING FIXTURES, ETC. ARE TO BE AS INDICATED ON ARCHITECTURAL DRAWINGS. ANY CONFLICTS WITH MEP DRAWINGS ARE TO BE RESOLVED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
16.	TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBER SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED. IN EACH CASE ADD, BY INFERENCE, AFTER TRADE, PRODUCT OR MANUFACTURER'S NAME, THE PHRASE "OR, AS APPROVED BY THE ARCHITECT."

DRAWINGS		DRAWINGS ISSUED	
SHEET #	SHEET NAME	DATE	REVISION
GENERAL			
G000	COVER SHEET		
G021	LIFE SAFETY PLAN		
STRUCTURAL			
S0.1	GENERAL NOTES & DESIGN CRITERIA		
S0.2	ISOMETRIC VIEWS		
S1.1	FOUNDATION PLAN		
S1.2	ROOF FRAMING PLAN		
S2.1	SECTION & DETAILS		
ARCHITECTURAL			
A100	ARCHITECTURAL SITE PLAN		
A121	FLOOR PLAN		
A140	ROOF PLAN & DETAILS		
A200	BUILDING ELEVATIONS		
A210	3D VIEWS		
A300	BUILDING SECTIONS		
A310	WALL SECTIONS & TILT-UP PANEL DETAILS		
A311	WALL SECTION		
A400	STOREFRONT & DOOR SCHEDULES & DETAILS		
MECHANICAL / PLUMBING			
MP100	MECHANICAL AND PLUMBING PLAN		
MP200	MECHANICAL AND PLUMBING SPECIFICATIONS		
ELECTRICAL			
E100	ELECTRICAL PLAN		
E200	ELECTRICAL ONE-LINE AND SPECIFICATIONS		
ES100	ELECTRICAL SITE PLAN		



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1	01/31/2023	ISSUE FOR BID
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PROJECT INFORMATION BLOCK	
JOB #	220088
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SHEET TITLE	
COVER SHEET	
SHEET NUMBER	
G000	

CODE INFORMATION	
JURISDICTION: CITY OF PORT ST. LUCIE, FLORIDA	
APPLICABLE CODES - 2020 7TH EDITION (UNLESS SPECIFIED OTHERWISE)	
• FLORIDA BUILDING CODE	• NFPA, NATIONAL FIRE PREVENTION ASSOC.
• FLORIDA BUILDING CODE MECHANICAL	• 2018 NFPA-1, FIRE CODE
• FLORIDA BUILDING CODE PLUMBING	• 2018 NFPA-101, LIFE SAFETY CODE
• FLORIDA BUILDING CODE FUEL GAS	• 2020 NFPA-70, NATIONAL ELECTRICAL CODE
• FLORIDA ACCESSIBILITY CODE	• 2017 NEC
• NATIONAL ELECTRICAL CODE	
• FLORIDA FIRE PREVENTION CODE	

LIFE SAFETY LEGEND:	
	HATCHED AREA INDICATES AREA TO REMAIN. NO WORK THIS AREA. NOTE THAT EXISTING FINISHES INDICATED TO REMAIN ARE TO BE PROTECTED THROUGHOUT DEMOLITION AND CONSTRUCTION.
	1 HOUR FIRE RATED SEPARATION
	2 HOUR FIRE RATED SEPARATION
	3 HOUR FIRE RATED SEPARATION
	INDICATES NEW PARTITION
	INDICATES EXISTING CONSTRUCTION TO REMAIN
	EXIT SIGNAGE (REFER TO ELECTRICAL)
	EXIT
	EXIT ACCESS
	GROSS FLOOR AREA

PROJECT DATA			
BUILDING OCCUPANCY	FBC GROUP M MERCANTILE	NFPA CLASS B MERCANTILE	PROVIDED --
CONSTRUCTION TYPE PROVIDED	II-B SPRINKLERED	II(000) SPRINKLERED	--
<b>FIRE RESISTANCE REQUIREMENTS</b>			
STRUCTURAL FRAMING	0 HOUR	0 HOUR	0 HOUR
EXTERIOR & INTERIOR BEARING WALLS	0 HOUR	0 HOUR	0 HOUR
EXTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR	0 HOUR
INTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR	0 HOUR	0 HOUR
ROOF CONSTRUCTION	0 HOUR	0 HOUR	0 HOUR
<b>ALLOWABLE BUILDING HEIGHTS &amp; AREA</b>			
	FBC	NFPA	PROVIDED
ALLOWABLE AREA (FOOTNOTE S1)	CHAPTER 5 FBC TABLE 506.2	50,000 GSF	--
ALLOWABLE HEIGHTS (FOOTNOTE S)	FBC TABLE 504.3	75'-0"	24'-0"
ALLOWABLE STORIES (FOOTNOTE S)	FBC TABLE 504.4	3 STORIES	1 STORY
<b>EXIT REQUIREMENTS</b>			
MINIMUM REQUIRED	1006.3.2	CHAPTER 9	2 EXITS
INTERIOR FINISHES	TBL 803.11	10.2.2	
EXIT ENCLOSURES, EXIT PASSAGEWAYS, & CORRIDORS (SPRINKLERED)			NA
ROOMS AND ENCLOSED SPACES (SPRINKLERED)	CLASS C	CLASS C	CLASS C
<b>FIRE PROTECTION SYSTEM</b>			
SPRINKLER SYSTEM	903.3.1.1	CHAPTER 9	PROVIDED
ARRANGEMENT OF MEANS OF EGRESS SPRINKLERED (1007.1.1 EXCEPTION 2)	1/3 DIAG. DIM	1/3 DIAG. DIM	PROVIDED
<b>OCCUPANCY LOAD</b>			
	FBC (TBL 1004.1.2/ SEC. 1004.7)	NFPA (TBL 7.3.1.2)	GROSS FLOOR AREA
MERCANTILE SALES AREA	60 GROSS	30 GROSS	11,749 SF
STORAGE, STOCK, SHIPPING AREA	300 GROSS	300 GROSS	--
TOTAL			392 OCCUPANTS
*SEE LIFE SAFETY PLAN FOR EGRESS OF EACH PROPOSED TENANT SPACE			
<b>MEANS OF EGRESS</b>			
EXIT TRAVEL DISTANCE (1017.2 & 1029.7)(SPRINKLERED)	FBC	NFPA	PROVIDED
COMMON PATH OF TRAVEL (1006.2.1)	250' MAX	250'	1'-0" MAX
DEAD END CORRIDOR (1020.4)	75' MAX	100' SPRINK.	N/A
CORRIDOR WIDTH (1020.2)	50' MAX	50' SPRINK.	N/A
EXIT WIDTH (1005.1)	44" MIN	44" MIN	44"
DOOR WIDTH	N/A	N/A	N/A
	392 OCC X0.2	392 OCC X0.2	528"
	78.4" REQ'D.	78.4" REQ'D.	

**bdg**  
architects

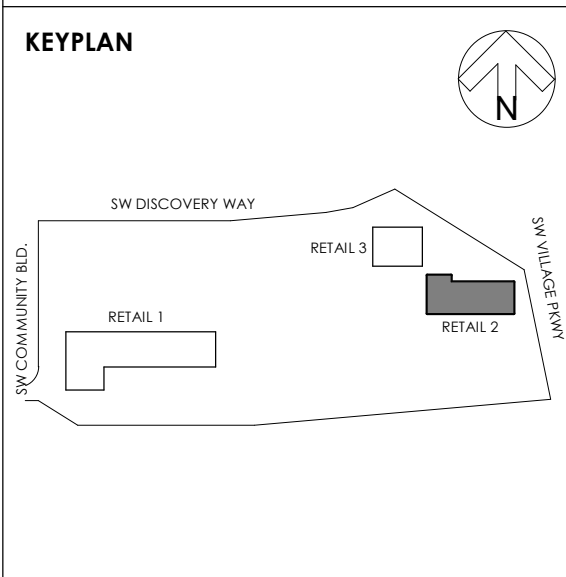
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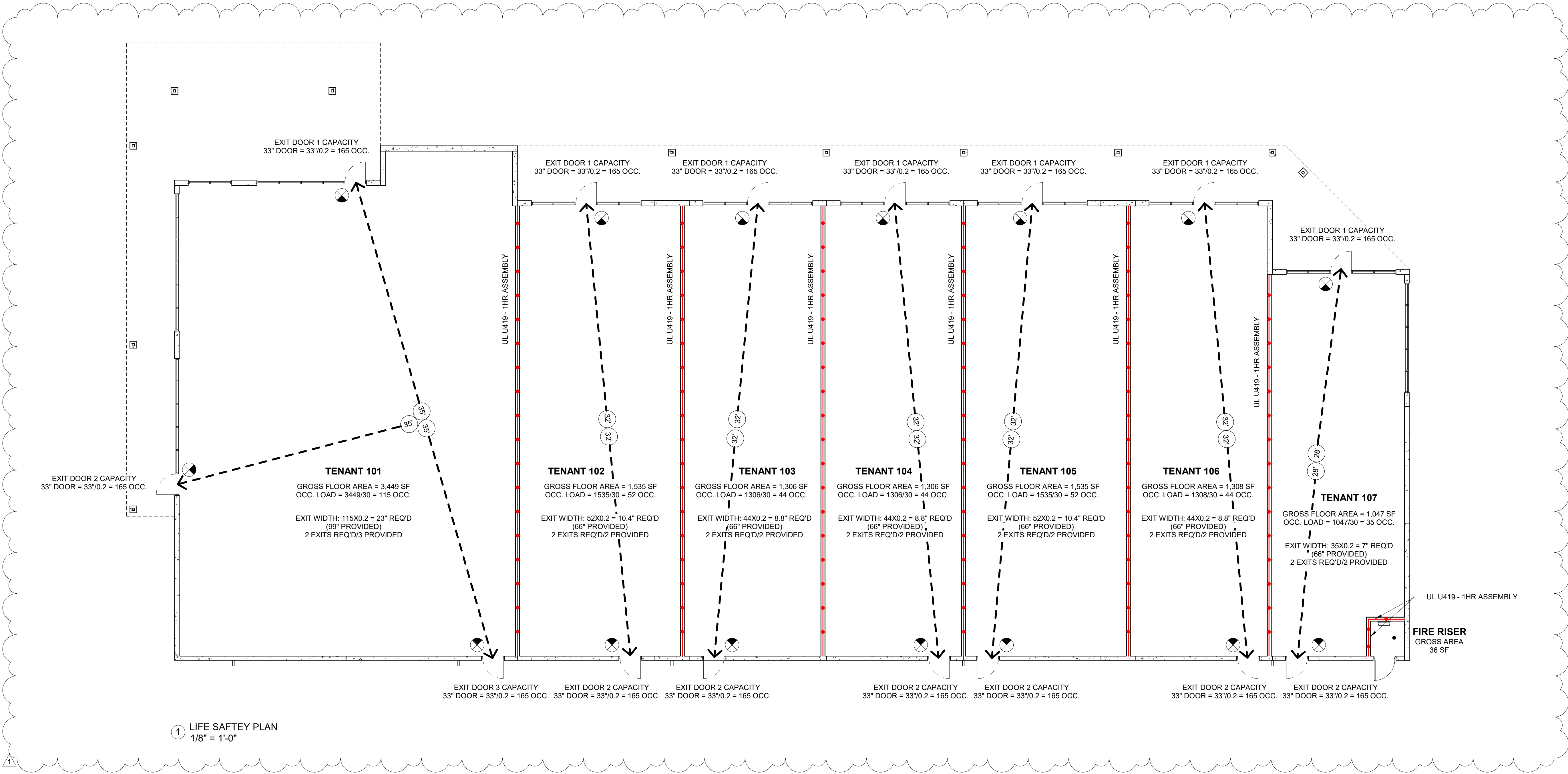
Architect of Record:  
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FL License # AR96391

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1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

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SHEET TITLE  
**LIFE SAFETY PLAN**

SHEET NUMBER  
**G021**



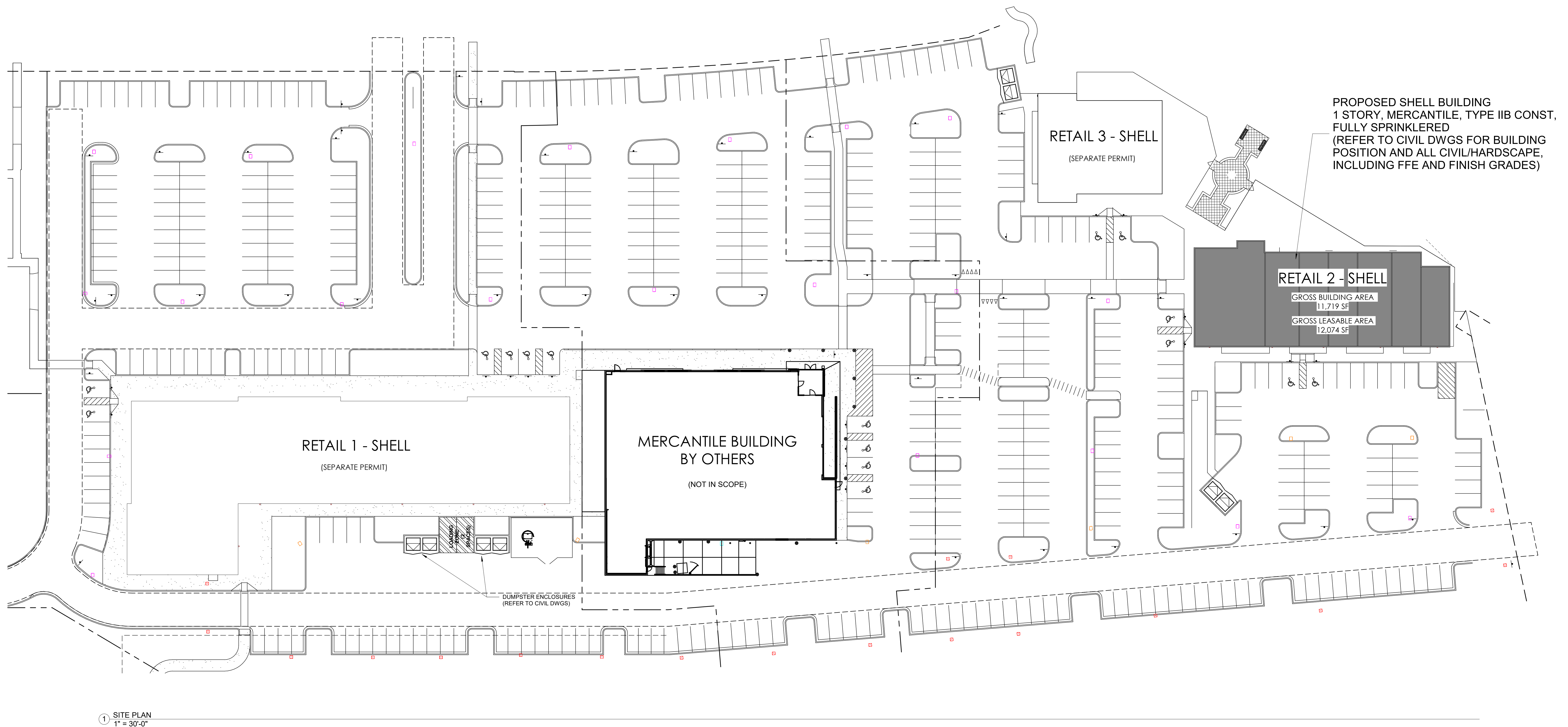
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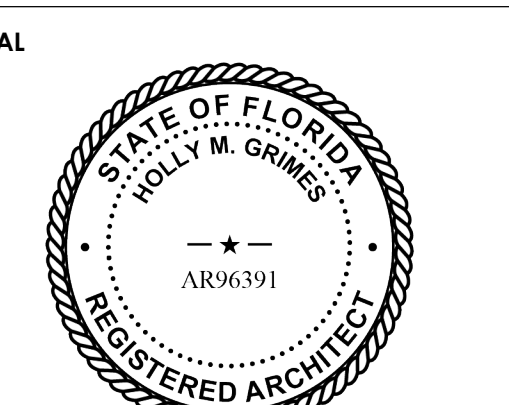
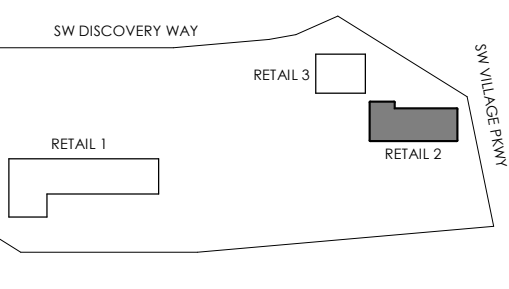
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**KEYPLAN**



Architect of Record:  
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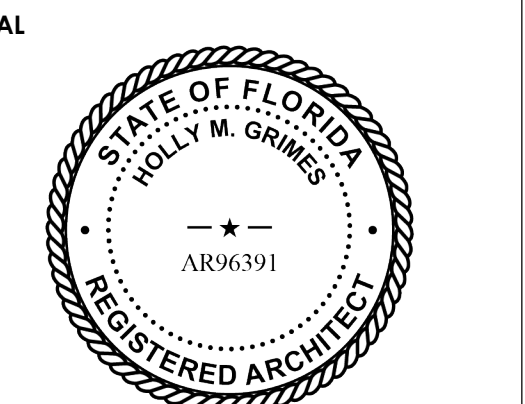
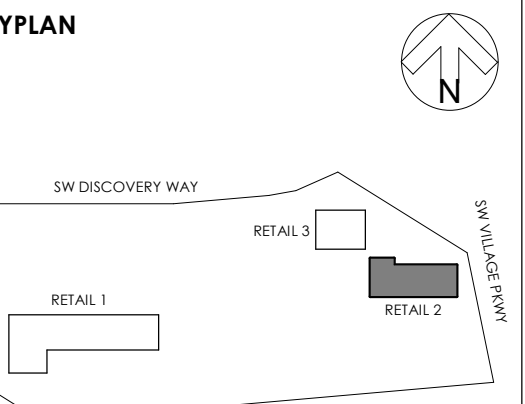
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SHEET TITLE  
**ARCHITECTURAL SITE PLAN**

SHEET NUMBER  
**A100**

1 SITE PLAN  
1" = 30'-0"

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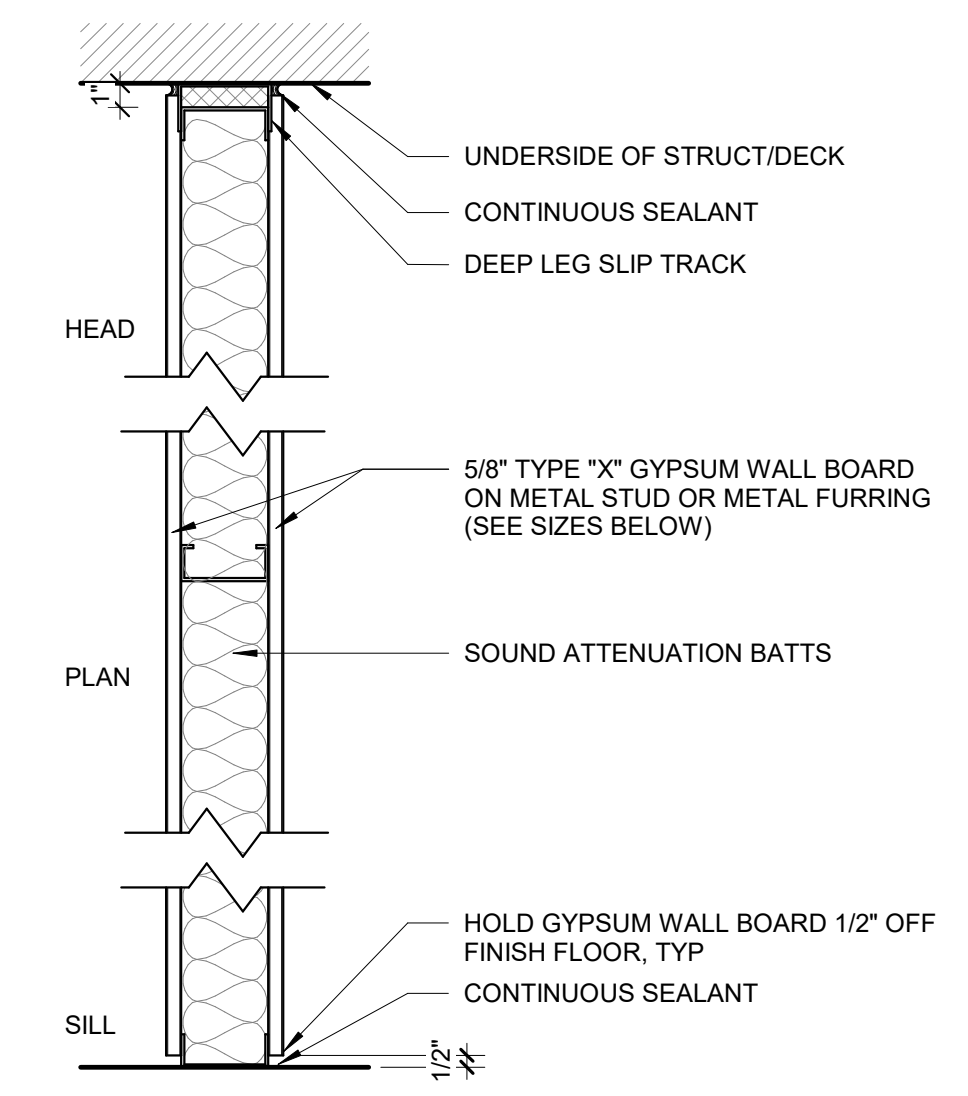
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SHEET TITLE	
FLOOR PLAN	
SHEET NUMBER	

**GENERAL NOTES FLOOR PLAN**

- ALL DIMENSIONS ARE FROM EXTERIOR FACE OF CONCRETE, COLUMN LINE, OR CENTERLINE OF INTERIOR STUD U.N.O.
- REFER TO CIVIL PLAN FOR TRUE NORTH ORIENTATION
- EDGE OF DOOR JAMB SHALL BE MINIMUM 4" FROM INTERSECTING WALL UNLESS OTHERWISE NOTED OR AS REQUIRED FOR HARDWARE INSTALLATION.
- LOCATION AND NUMBER OF FIRE EXTINGUISHERS ARE TO BE INSTALLED PER THE DIRECTION OF THE LOCAL AUTHORITIES AND NFPA 10.
- ALL INTERIOR FINISHES ARE TO COMPLY WITH THE REQUIREMENTS AS SET FORTH IN THE CURRENT STANDARD EDITION OF ALL GOVERNING CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION OVER THE SCOPE OF WORK.
- GENERAL CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT.
- GENERAL CONTRACTOR SHALL COORDINATE ALL WOOD BLOCKING, STEEL SUPPORTS AND ANY OTHER ITEMS WHICH ARE IMBEDDED IN DRYWALL PARTITIONS OR ENCLOSURES WHICH RELATE TO HIS WORK OR THE WORK OF ANY SEPARATE CONTRACTORS.
- ALL WOOD BLOCKING, BRIDGING, FRAMING, ETC., SHALL BE FIRE RETARDANT TREATED AS CALLED FOR BY THE GOVERNING BUILDING CODE AND THE CONTRACTOR MUST SUBMIT AFFIDAVITS OF SUCH FIRE TREATMENT TO THE OWNERSHIP.
- REFER TO EXTERIOR ELEVATIONS AND WINDOW / DOOR SCHEDULE FOR ADDITIONAL STOREFRONT INFORMATION
- REFERENCE ENGINEERING PLANS FOR PLUMBING AND ELECTRICAL EQUIPMENT AND SYSTEMS. CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER.



NOTE: CONSTRUCT IN ACCORDANCE WITH UL U419

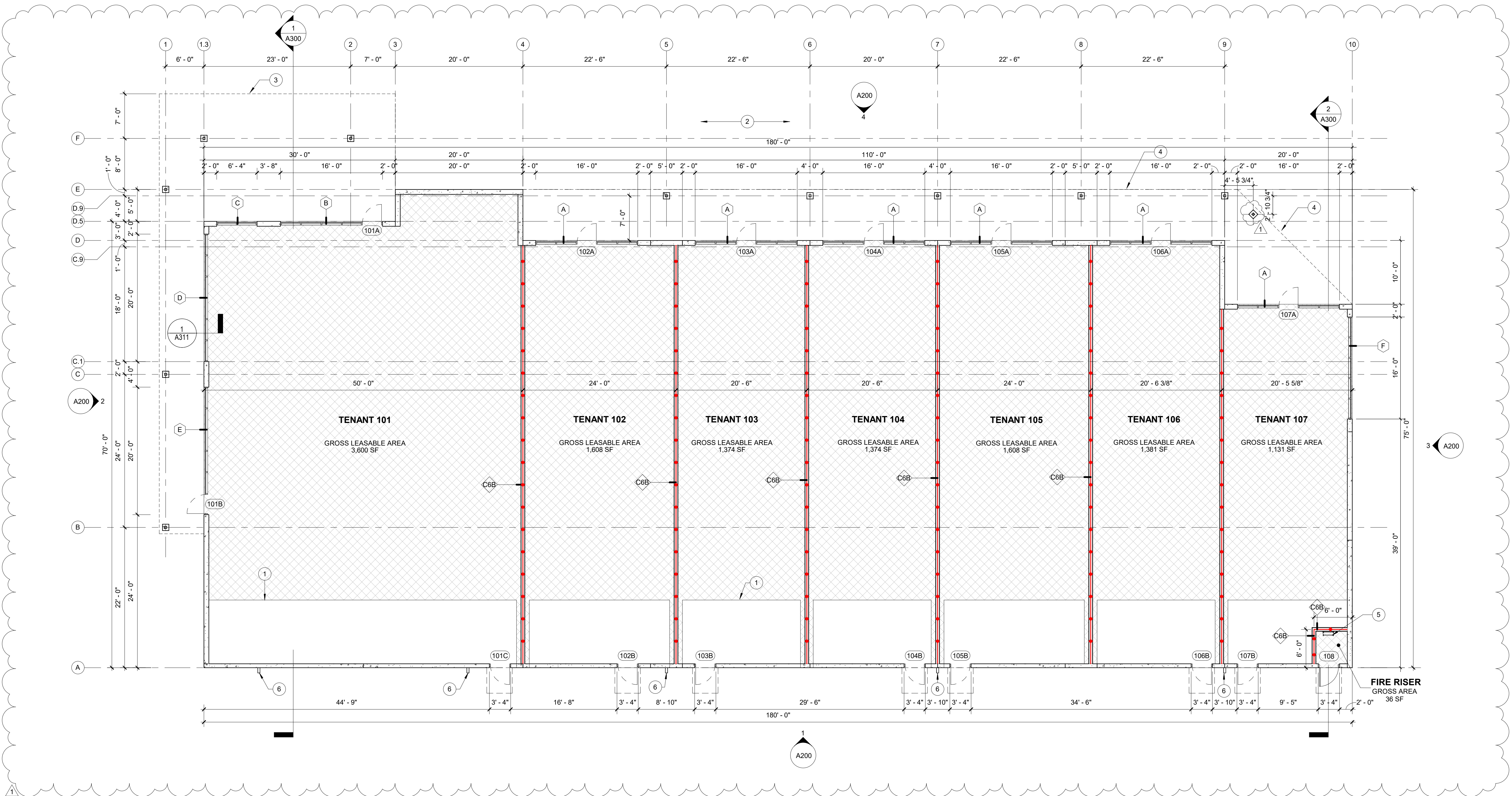
TAG SYMB.	STUD SIZE	PART. WIDTH	FIRE RATING	UL LISTING	STC NO SOUND/ WITH SOUND	REMARKS
C6B	6"	7 1/4"	1HR	U419	WITH SOUND BATT	20 GAUGE AT 16" O.C.

2 TENANT DEMISING WALL  
1 1/2" = 1'-0"

**KEYNOTES - FLOOR PLAN**

NUMBER	DESCRIPTION
1	CONCRETE SLAB EDGE, TYP. (REFER TO STRUCTURE DRAWINGS)
2	ADJACENT CONCRETE SIDEWALK BY OTHERS (REFER TO CIVIL DRAWINGS)
3	APPROXIMATE LINE OF HIGH CANOPY ABOVE
4	APPROXIMATE LINE OF CANOPY ABOVE
5	ROOF ACCESS LADDER
6	PRIMARY SCUPPER AND DOWNSPOUT

**MASON**  
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1 FLOOR PLAN  
1/8" = 1'-0"

**MASON**  
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**ROOF PLAN GENERAL NOTES**

- 80 MIL FULLY ADHERED TPO MEMBRANE OVER 1/2" COVER BOARD OVER 4" RIGID INSULATION MECHANICALLY ATTACHED TO METAL DECKING ON SLOPING STEEL JOISTS.
- ROOF CRICKETS TO BE 1/4" PER FOOT MINIMUM FULLY TAPERED POLYISOCYANURATE INSULATION MECHANICALLY ATTACHED TO DECK BELOW AS PART OF ATTACHMENT OF LAYER ABOVE, TYPICAL.
- INSTALL ALL ROOF SYSTEMS AND RELATED COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. PROVIDE SHOP DRAWINGS FOR APPROVAL AS REQUIRED BY SPECIFICATIONS.
- VERIFY AND COORDINATE LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING.
- ALL ROOF PENETRATIONS REQUIRE PRESSURE TREATED 2 X 8 BLOCKING AT INSULATION AROUND ENTIRE PERIMETER FOR FLASHING ATTACHMENT.
- OMISSION OF ANY ACCESSORY FROM THE ROOF PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES FOR SUCH ITEMS.
- RTU CURB SIZES AND LOCATIONS TO BE CONFIRMED WITH ARCHITECT AND OWNER PRIOR TO ORDER AND INSTALL.



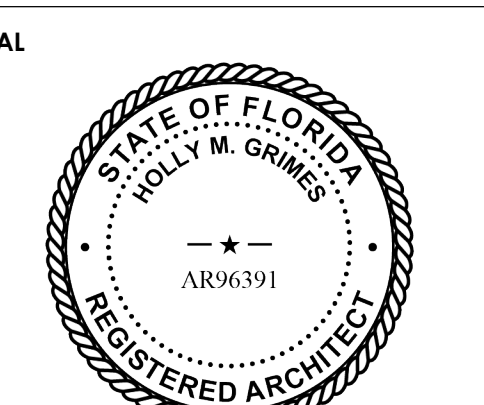
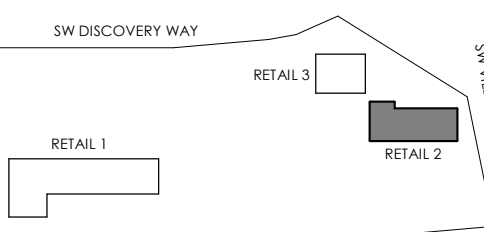
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**KEYPLAN**



Architect of Record:  
Holly Grimes, AIA, LEED AP, NCARB  
FL License # AR96391

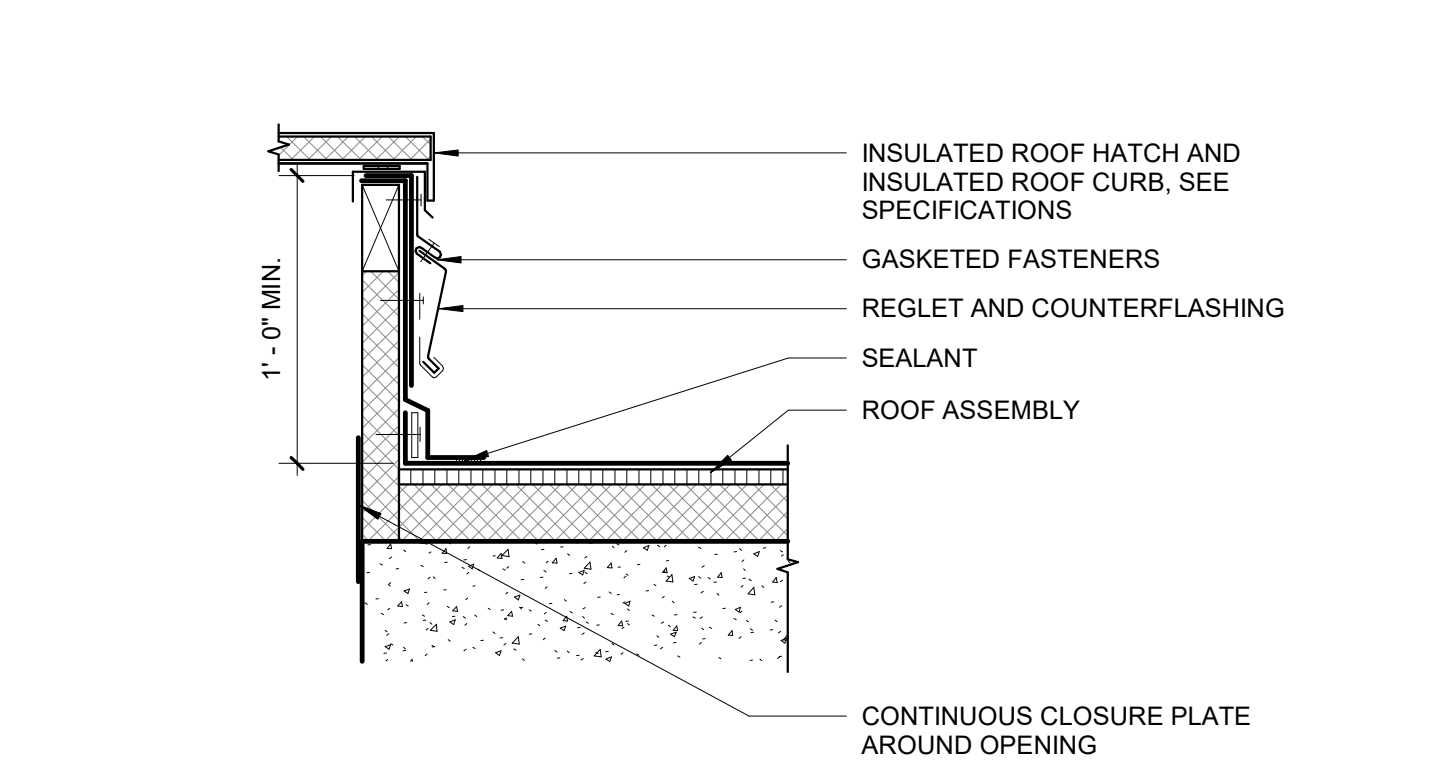
ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK	
JOB #	220088
DATE	05/31/2023
DRAWN BY:	PS/GT/PJ
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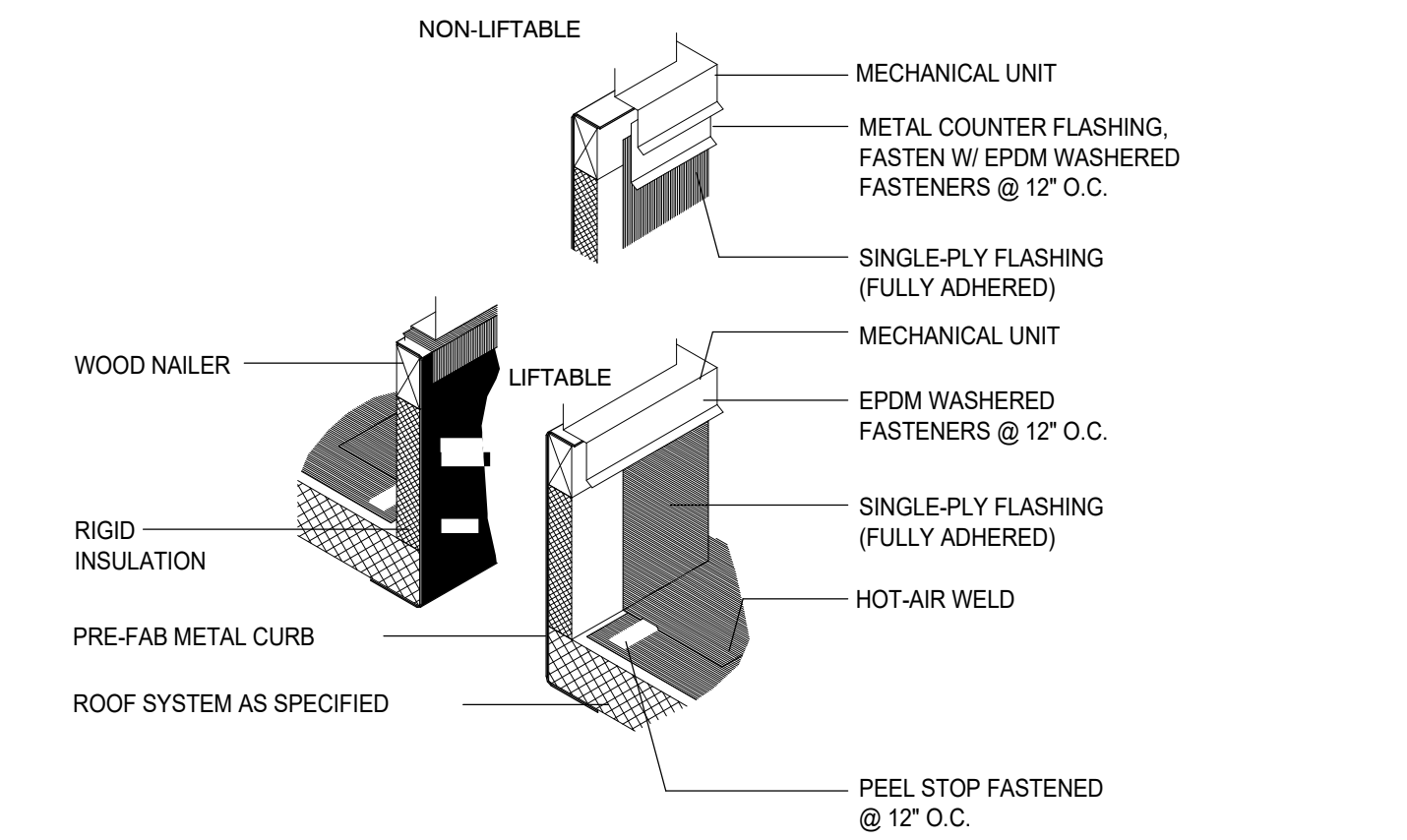
**ROOF PLAN & DETAILS**

SHEET NUMBER

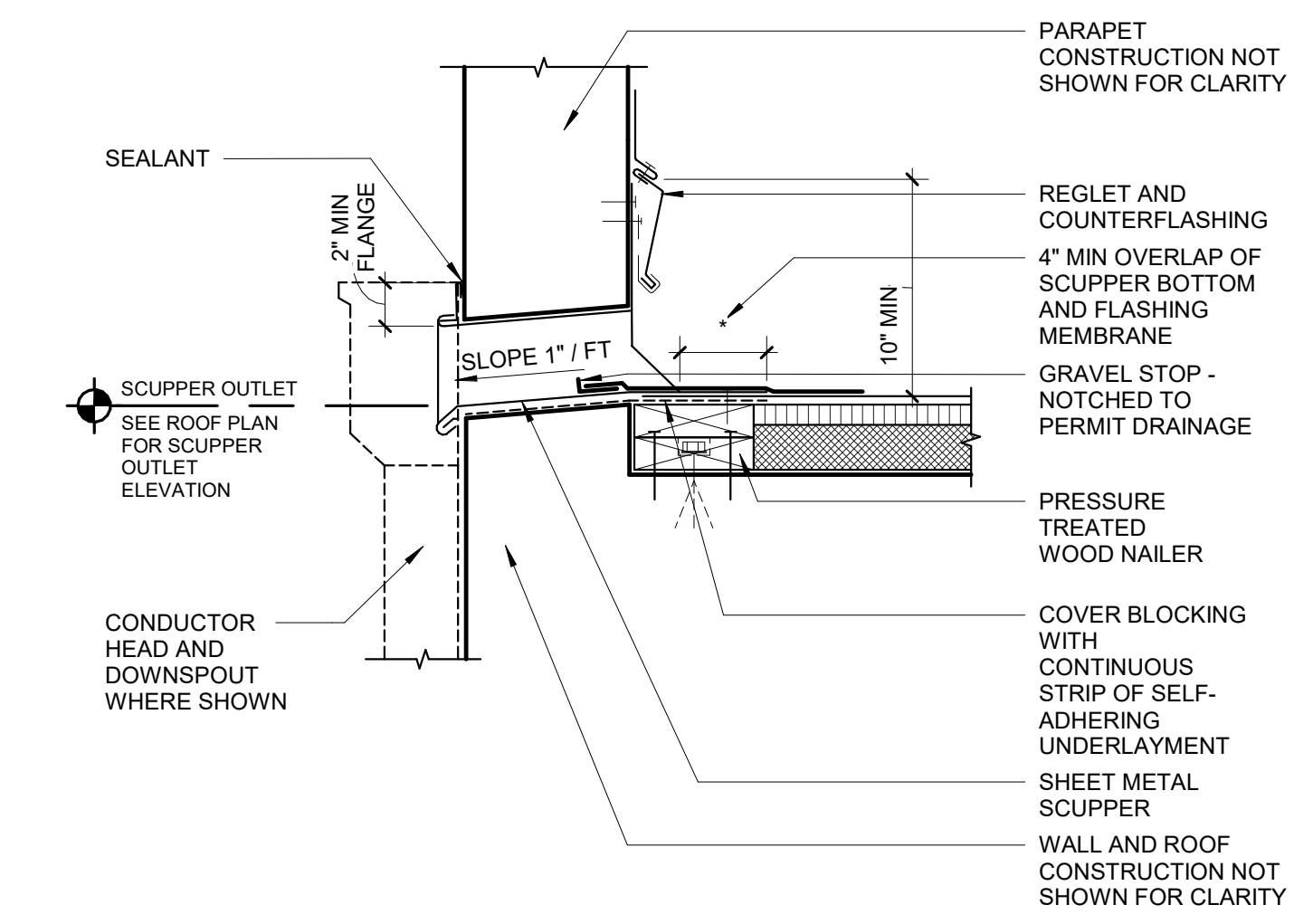
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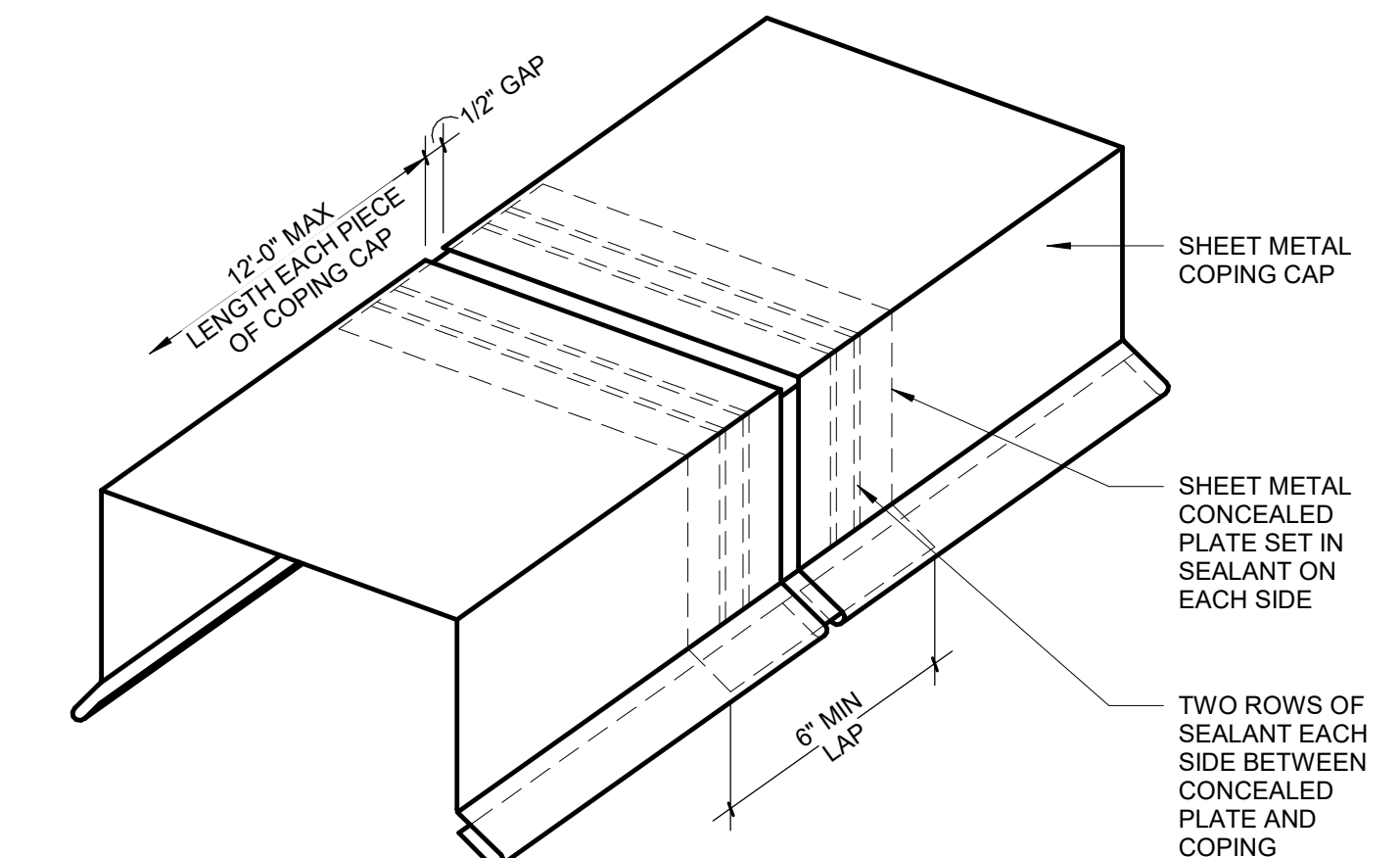
6 DETAIL @ ROOF HATCH  
1 1/2" = 1'-0"



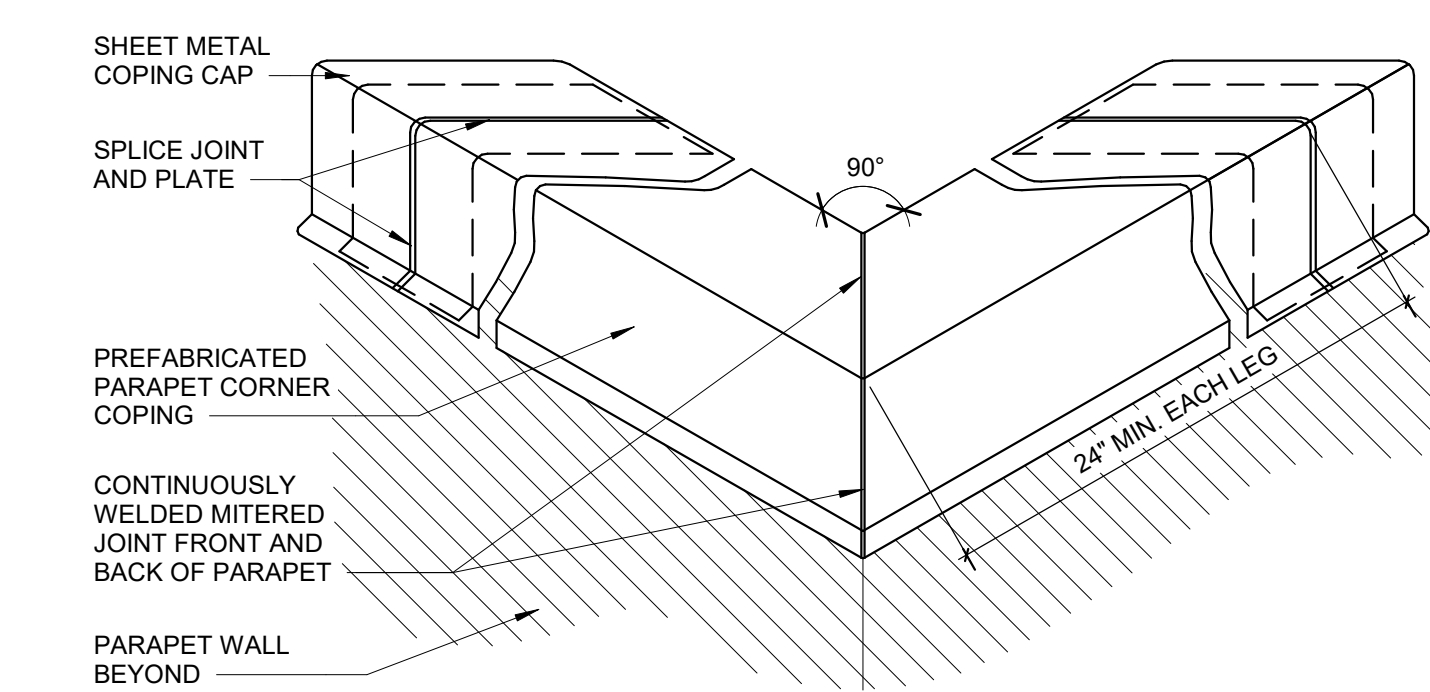
5 DETAIL @ PRE-FAB PANEL CURB  
1 1/2" = 1'-0"



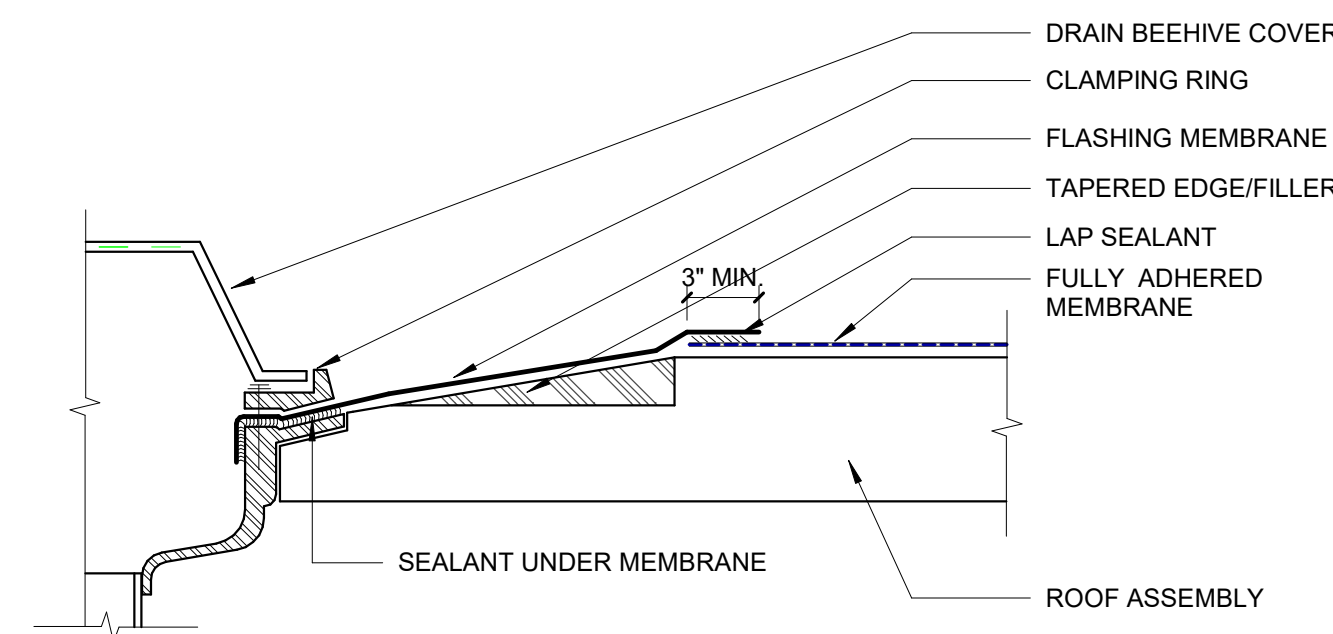
4 DETAIL @ PARAPET SCUPPER THRU WALL  
1 1/2" = 1'-0"



3 DETAIL @ COPING CAP WITH SPLICE PLATE  
3" = 1'-0"

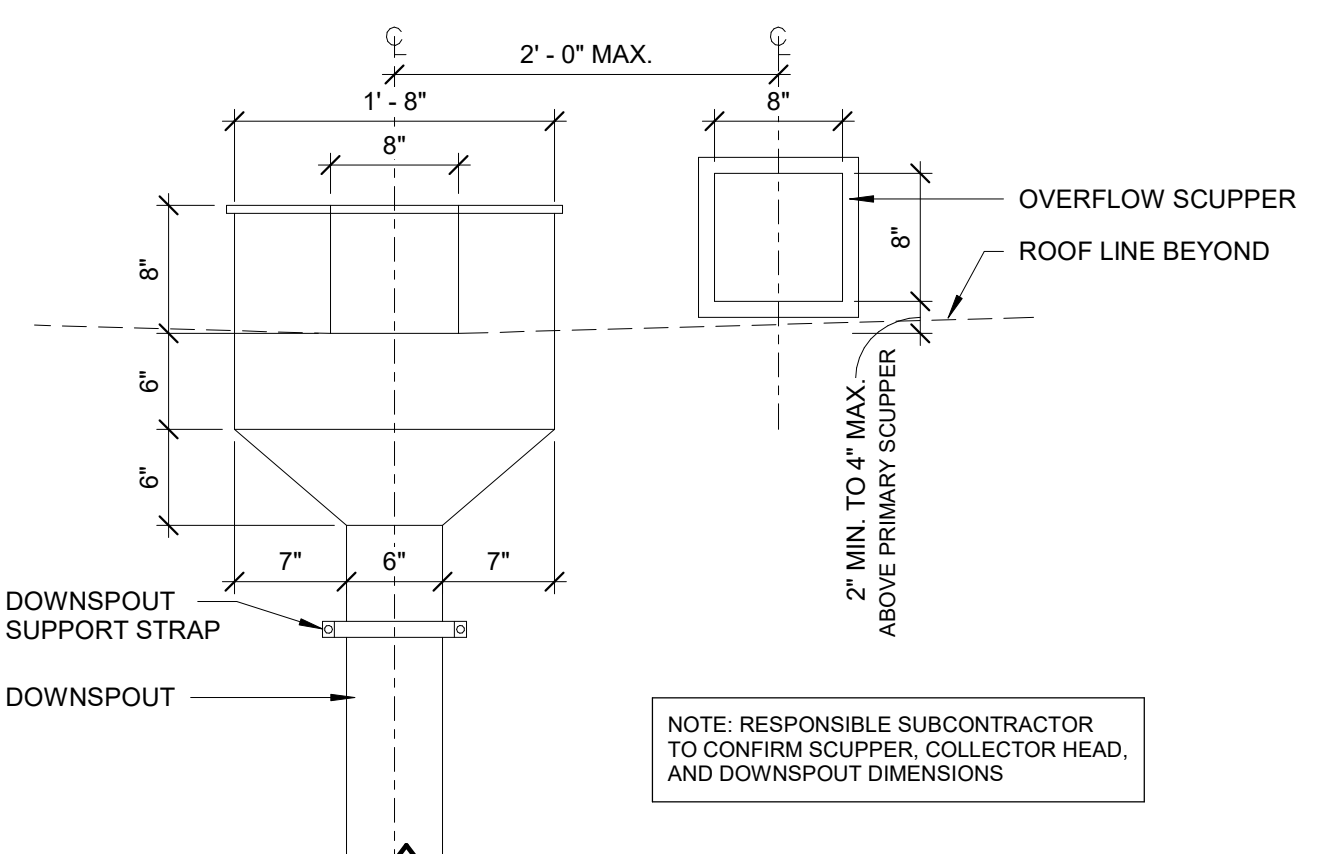


2 DETAIL @ COPING CORNER  
3" = 1'-0"

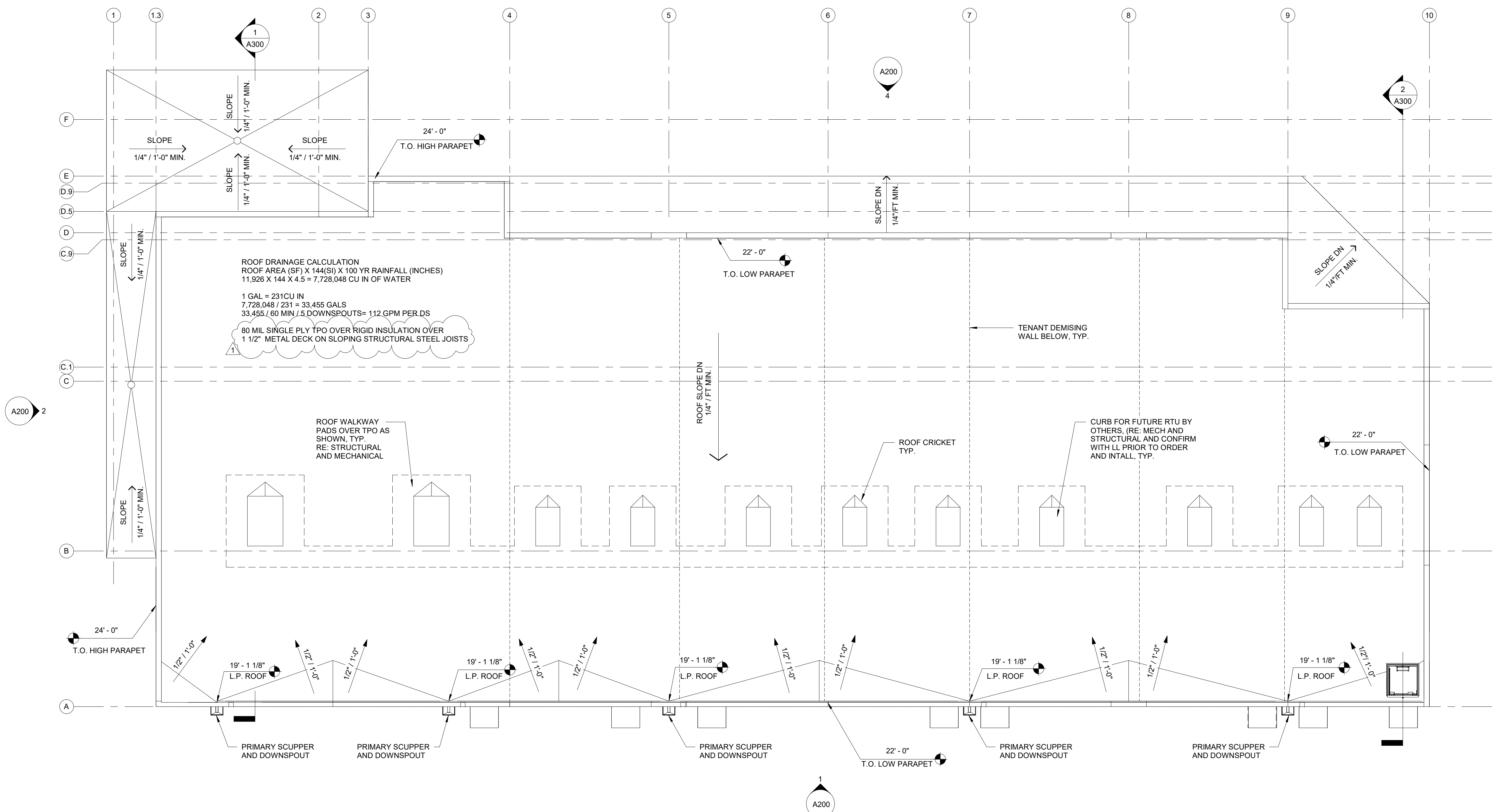


- NOTES:
- EXISTING DRAIN BOWL, CLAMPING RING AND DRAIN ACCESSORIES ARE TO BE CLEANED FREE OF ALL CONTAMINATES.
  - ASPHALT RESISTANT FLASHING CAN BE USED IN AREAS OF ASPHALT ROOFING COMPONENTS.

8 DETAIL @ PRIMARY ROOF DRAIN  
1 1/2" = 1'-0"



7 DETAIL @ PRIMARY AND OVERFLOW SCUPPER  
1" = 1'-0"



1 ROOF PLAN  
1/8" = 1'-0"

**MASON**  
Development &  
Construction  
Bid Set

**GENERAL NOTES**

1. REFER TO SHEET A400 FOR ALL STOREFRONT TYPES, ELEVATIONS AND DETAILS.
2. ALL TENANT SIGN REFERENCES ARE GRAPHIC IN NATURE. ALL SIGNAGE TO BE SEPARATELY SUBMITTED BY OTHERS FOR PERMIT.

EXTERIOR FINISH LEGEND		
NUMBER	FINISH	COMMENTS
1	PRE-FINISHED ALUMINUM STOREFRONT	IMPACT RESISTANT STOREFRONT AND GLAZING; STOREFRONT COLOR: DARK BRONZE; REFER TO STOREFRONT SCHEDULE AND DETAILS AND DIVISION 8 OF THE PROJECT SPECIFICATIONS.
2	PAINTED CONCRETE TILT-UP PANEL	2 COATS ACRYLIC PAINT OVER PRIMER OVER TILT-UP CONCRETE; COLOR: WHITE; REFER TO DIVISION 9 OF THE PROJECT SPECIFICATIONS.
3	EXPOSED CONCRETE TILT-UP PANEL	WATER REPELLANT OVER TILT-UP CONCRETE WALL PANELS; REFER TO DIVISION 7 OF THE PROJECT SPECIFICATIONS.
4	MURAL	MURAL (BY OTHERS) OVER PAINTED CONCRETE TILT-UP PANEL.
5	TENANT SIGN AREA	SIGNS BY OTHERS UNDER SEPARATE PERMIT.
6	HM DOOR AND FRAME	2 COATS PAINT OVER PRIMER; COLOR: DARK BRONZE (TO BE SELECTED BY ARCHITECT)
7	SCUPPERS AND DOWNSPOUT	4 1/4" X 5/8" (MIN.) SCUPPER & 4 1/2" X 4 1/2" (MIN.) DOWNSPOUT. GO TO CONFIRM COMPLIANCE WITH GPM PER SCUPPER/DOWNSPOUT. SEE ROOF PLAN. PRE-FINISHED ALUMINUM. COLOR TO MATCH EXPOSED CONCRETE COLOR OF WALL.
8	OVERFLOW SCUPPER	SIZE TO MATCH PRIMARY SCUPPER AND LOCATE 2" MIN. ABOVE PRIMARY SCUPPER. MUST BE LESS THAN 4' ABOVE PRIMARY SCUPPER.
9	CANOPY	COLOR: DARK BRONZE; RE: WALL SECTIONS.
10	ALUMINUM AWNING	PRE-FABRICATED PRE-FINISHED ALUMINUM AWNING; COLOR: DARK BRONZE; SIZE: 4'x4'x8". REFER TO DIVISION 10 OF THE PROJECT SPECIFICATIONS.
11	CONCRETE COLUMN	1 1/2" SQUARE CAST-IN-PLACE CONCRETE COLUMNS SEALED WITH WATER REPELLANT. RE: STRUCTURAL AND DIVISION 7 OF THE SPECIFICATIONS.
12	TUBE STEEL COLUMN	PAINTED STEEL PLANT AND 4" TUBE STEEL; COLOR: WHITE. RE: STRUCTURAL.
13	GREENSCREEN	WELDED WIRE PANEL PLANT SUPPORT SYSTEM; RE: DIVISION 32 OF SPECIFICATIONS; SIZE: 8'W X 14'H
14	TILT-UP PANEL JOINT	



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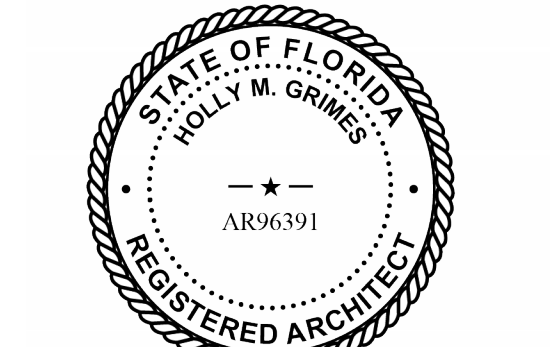
SHOPPES AT THE HEART OF TRADITION  
RETAIL 2 - SHELL  
10100 SW DISCOVERY WAY  
PORT ST. LUCIE, FL - 34987

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**KEYPLAN**



**SEAL**



Architect of Record:  
Holly M. Grimes, AIA, LEED AP, NCARB  
FL License # AR96391

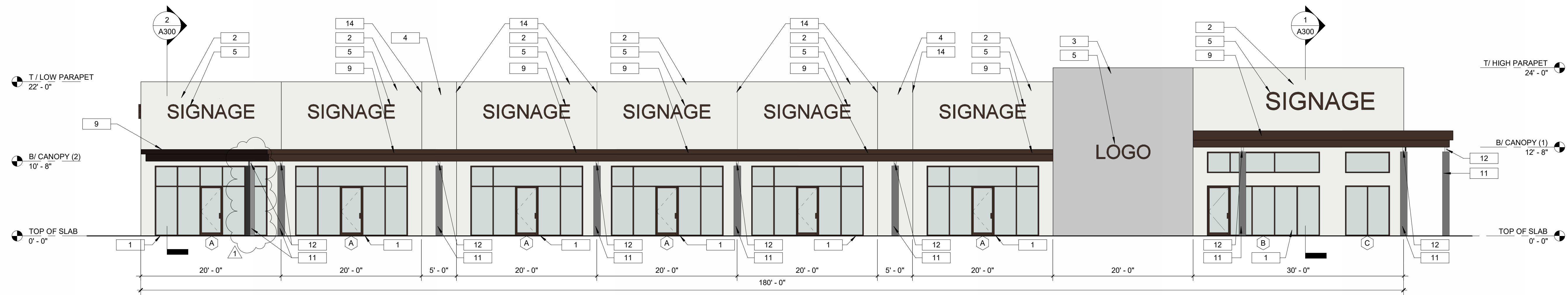
ISSUE BY	DATE	DESCRIPTION
2	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK	
JOB #	220088
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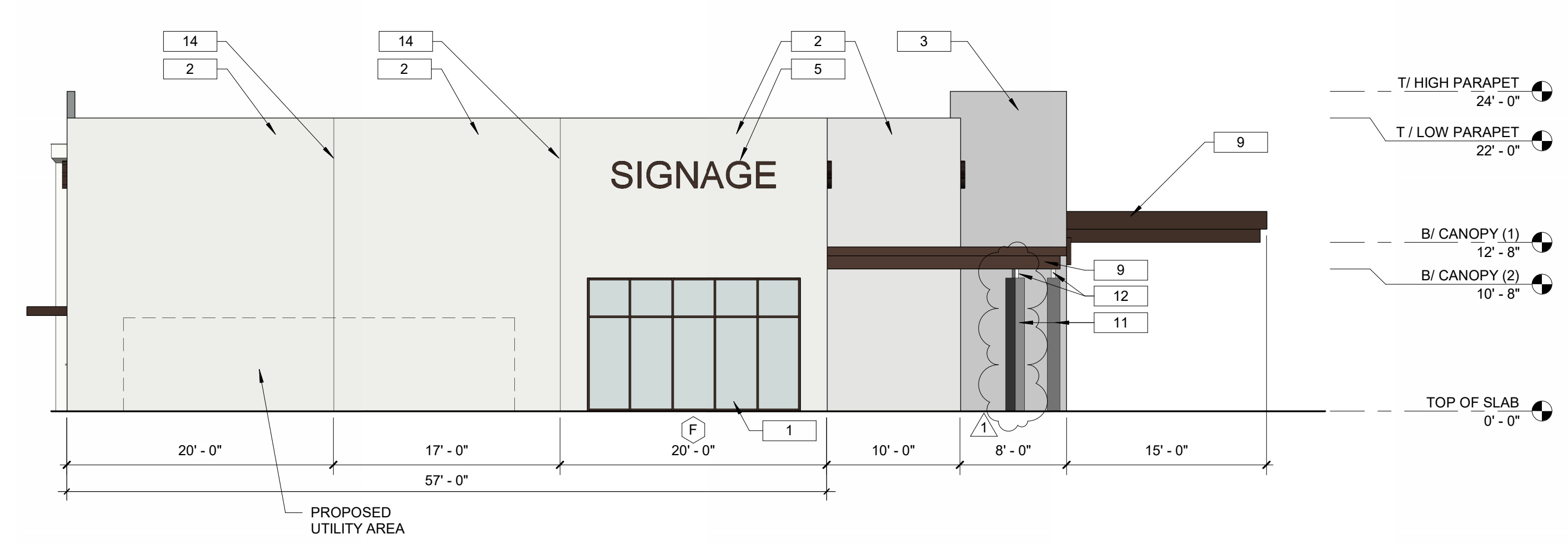
SHEET TITLE  
**BUILDING ELEVATIONS**

SHEET NUMBER

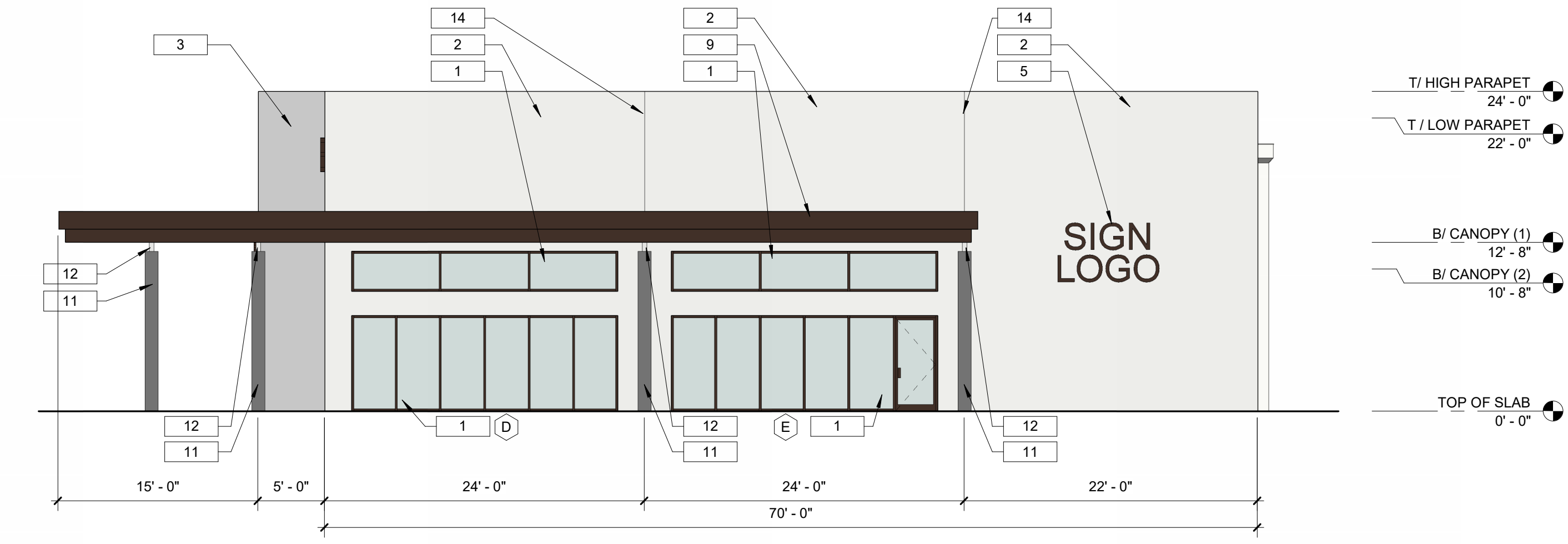
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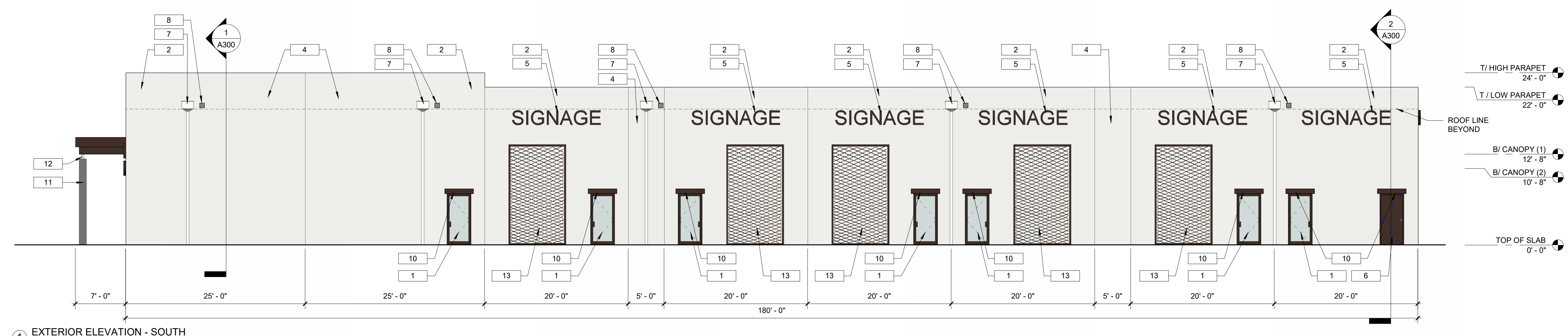
4 EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



3 EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"

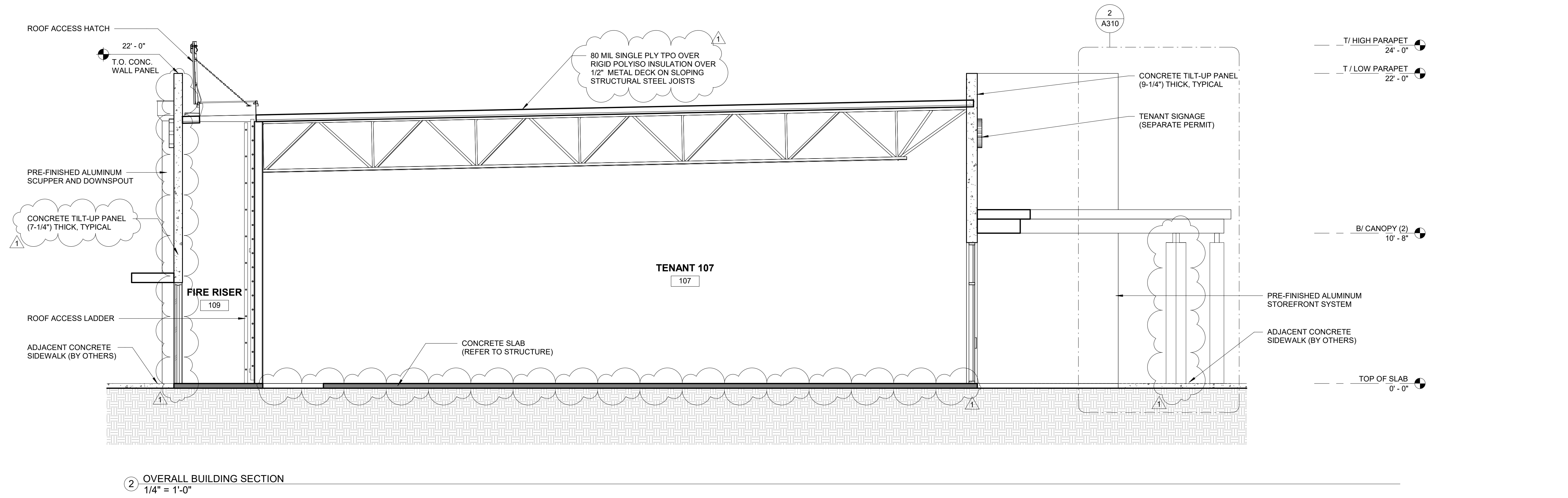


2 EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"

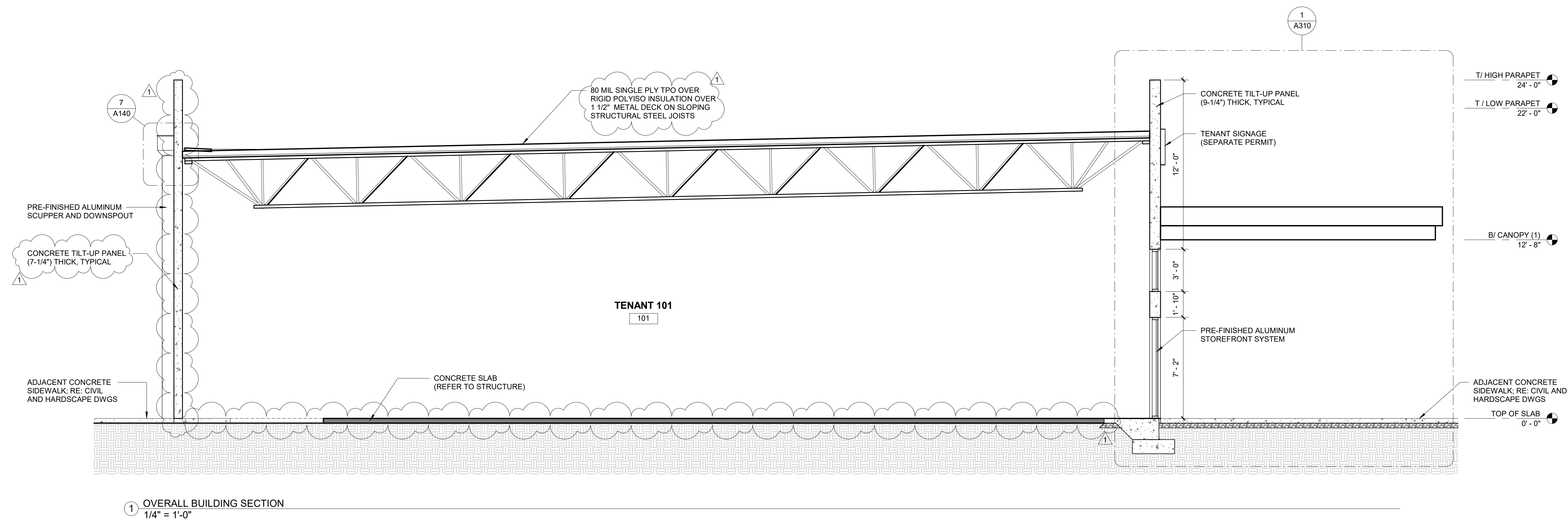


1 EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"





2 OVERALL BUILDING SECTION  
1/4" = 1'-0"

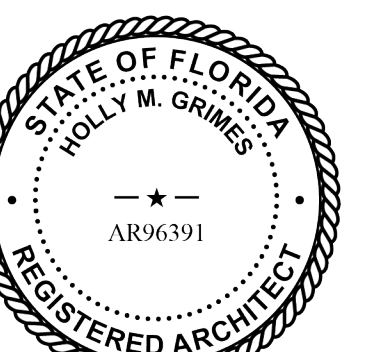


1 OVERALL BUILDING SECTION  
1/4" = 1'-0"

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KEYPLAN

SEAL



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PROJECT INFORMATION BLOCK

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DATE:	05/31/2023
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SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

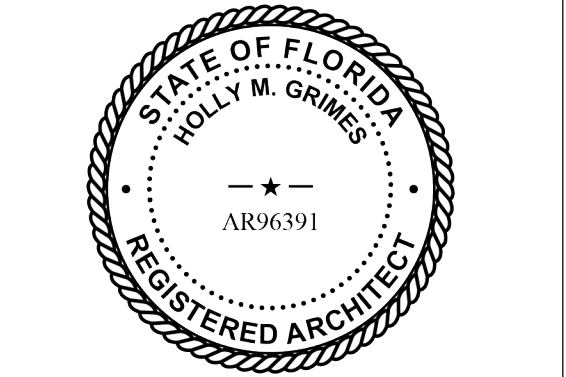


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**KEYPLAN**

- WOOD BLOCKING ANCHORED TO DECKING
- CONT. PRE-FIN ALUM DRIP EDGE
- CONTINUE TPO MEMBRANE DOWN OVER ALL WOOD BLOCKING
- CONT. STEEL ANGLE RE: STRUCTURAL
- TUBE STEEL RE: STRUCTURAL
- STAIN GRADE CELLULAR PVC FASCIA
- 1/2" STAIN GRADE CELLULAR PVS SOFFIT CEILING PANEL OVER 1/2" MIN. F.R.T. PLYWOOD OVER LIGHT GAUGE FRAMING, RE: STRUCTURAL
- STAIN GRADE CELLULAR PVC FASCIA

**SEAL**



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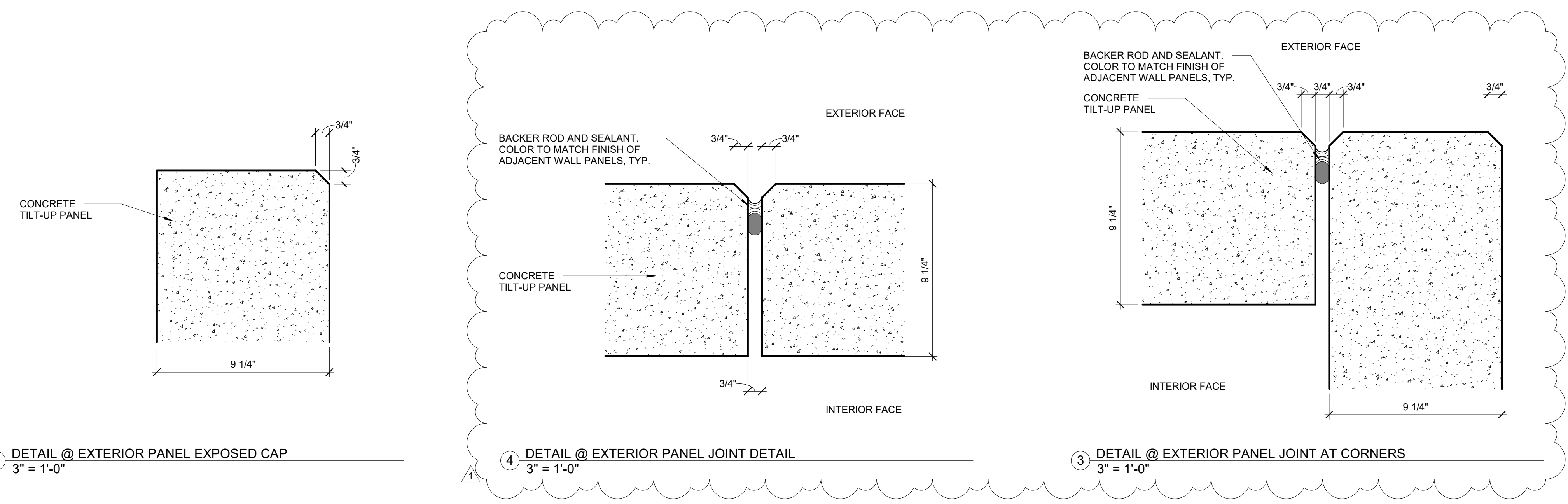
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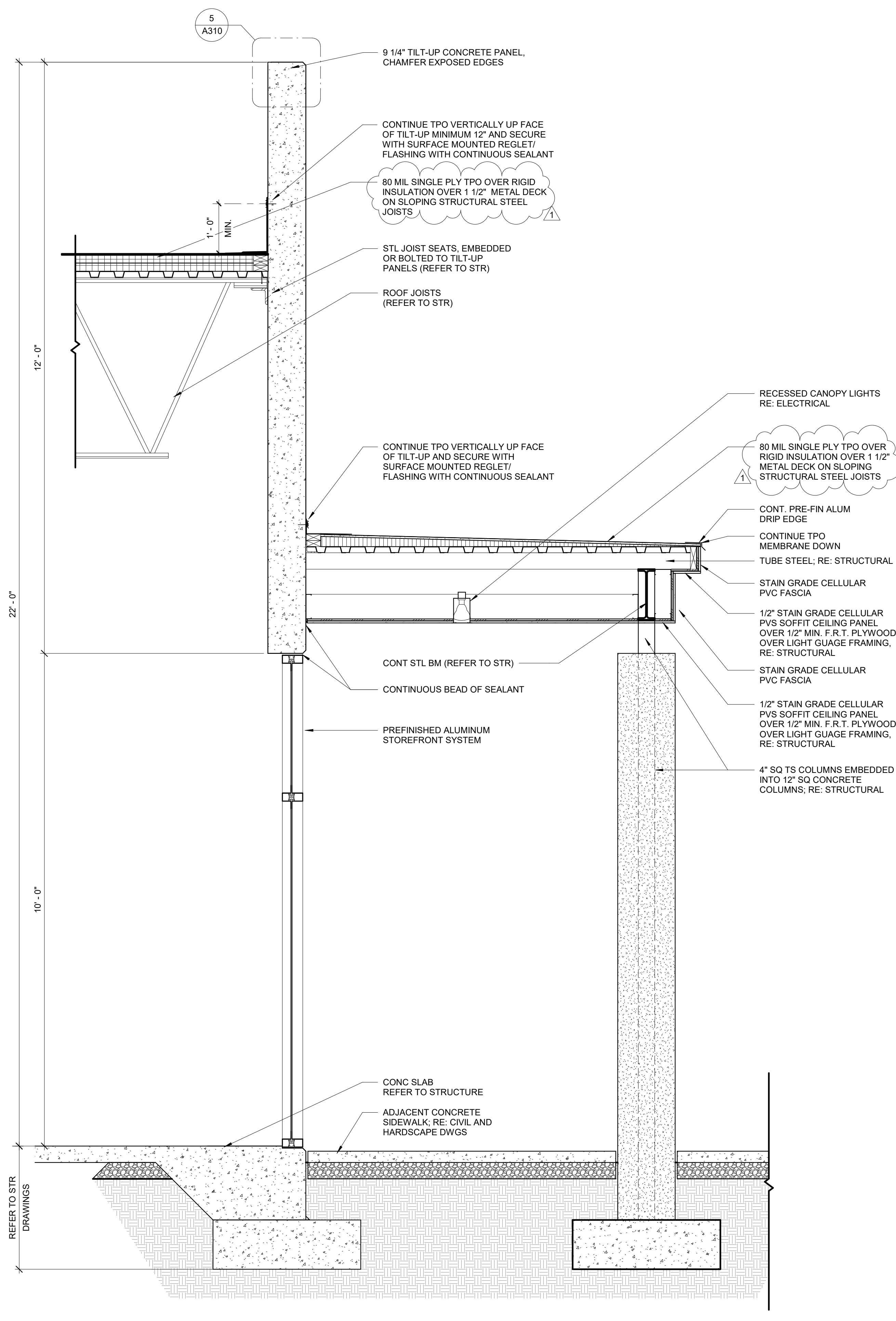
WALL SECTIONS & TILT-UP PANEL DETAILS

**SHEET NUMBER**

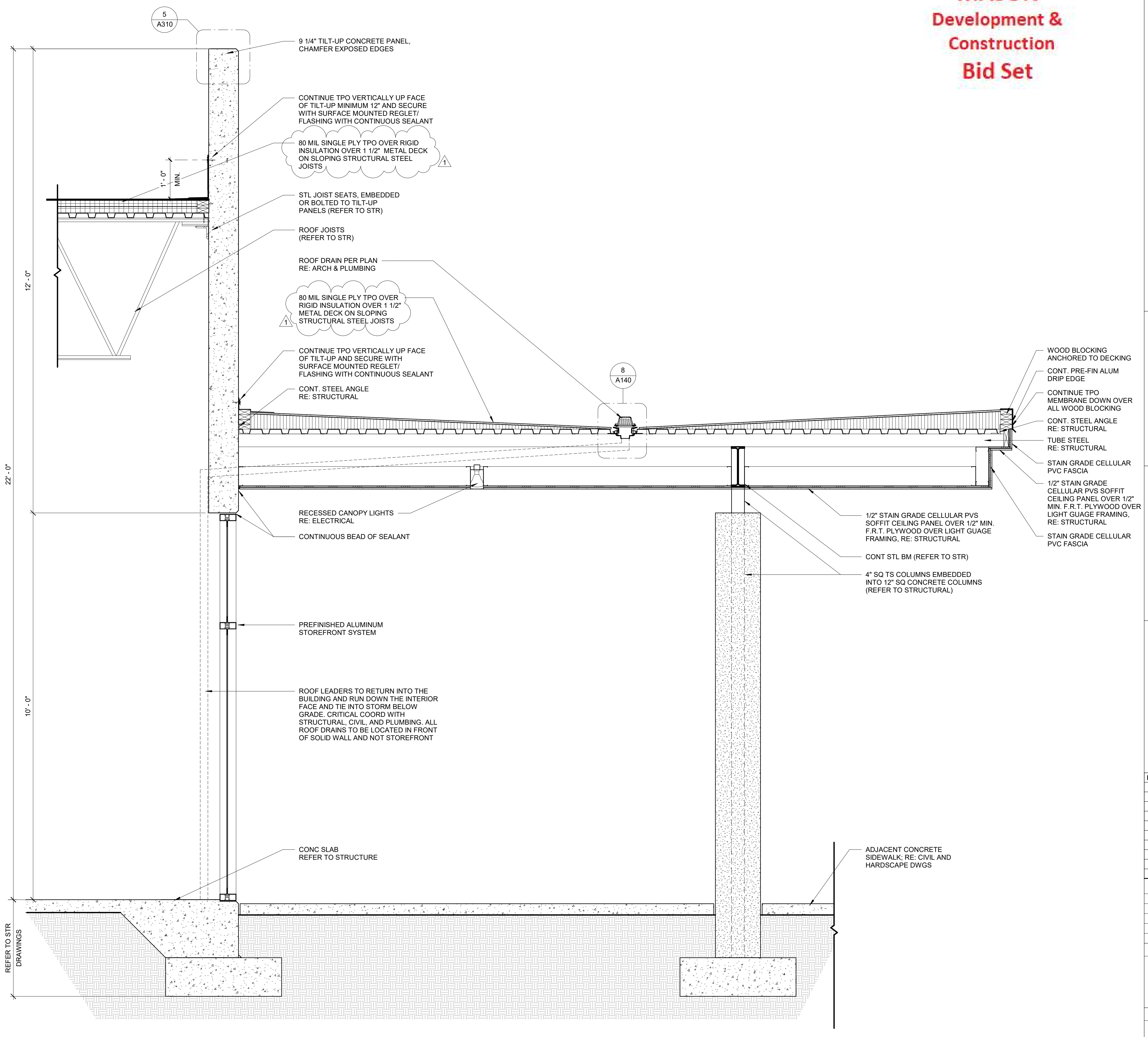
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**MASON**  
Development &  
Construction  
Bid Set

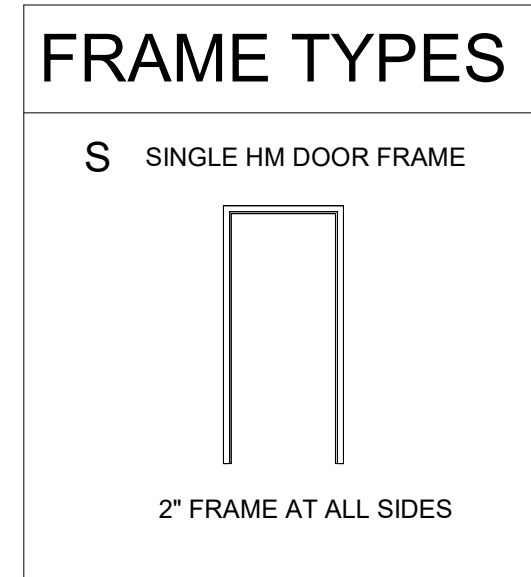
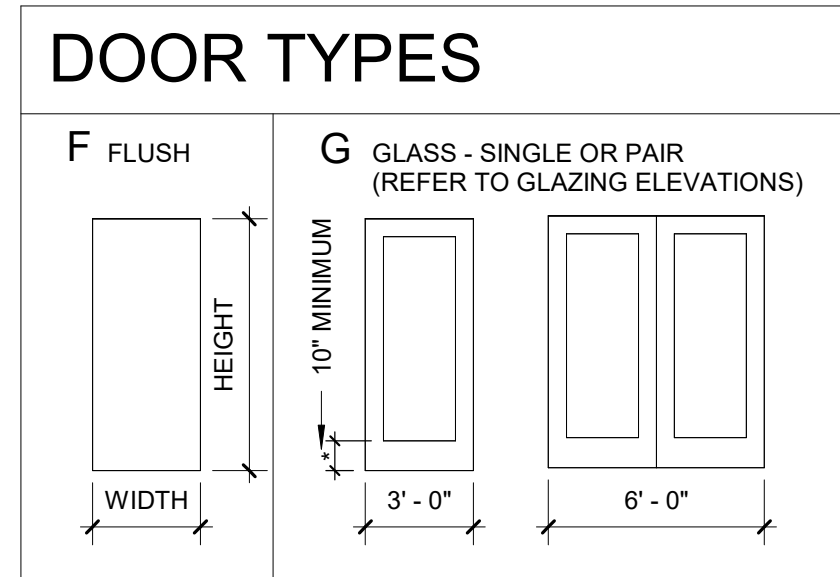


2 WALL SECTION THRU NORTH WALL @ RETAIL CANOPY  
3/4" = 1'-0"



1 WALL SECTION THRU NORTH WALL @ RESTAURANT CANOPY  
3/4" = 1'-0"





DOOR SCHEDULE												
DR NO	DOOR SIZES			DOOR			FRAME		DETAILS			COMMENTS
	WIDTH	HEIGHT	THICKNESS	TYPE	MATL	FINISH	MATL	FINISH	SILL	HEAD	JAMB	
101A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
101B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
101C	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
102A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
102B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
103A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
103B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
104A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
104B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
105A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
105B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
106A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
106B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
107A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
107B	3'-0"	7'-0"	0'-1 3/4"	F	ALUM	ANOD	ALUM	ANOD	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
108	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 1.0

- ### STOREFRONT AND DOOR NOTES:
- REFER TO SPECIFICATIONS FOR DOOR HARDWARE. ALL HARDWARE SETS TO COMPLY WITH FLORIDA ACCESSIBILITY CODE.
  - STOREFRONTS AND DOORS SHALL MEET ALL LOCAL WIND SPEED AND IMPACT REQUIREMENTS.
  - OVERALL STOREFRONT DIMENSIONS ARE GIVEN AS ROUGH OPENINGS.
  - GENERAL CONTRACTOR TO VERIFY COUNT OF ALL STOREFRONT TYPES. SOME TYPES OCCUR AT MULTIPLE LOCATIONS.
  - ALL ALUMINUM STOREFRONT SYSTEMS SHALL BE DARK BROWN ANODIZED FINISH.
  - GLAZING BASIS OF DESIGN IS VITRO LAMINATED INSULATING WITH CLEAR GLASS THROUGHOUT AND SOLARBAN 60 ON SURFACE 4 OF THE LAMINATED SECTION WHICH PROVIDES A VLT OF 88%, AN EXT. REFLECTANCE OF 10%, A SHGC OF 0.37 AND A WINTER U-VALUE OF 0.28. REFER TO SPECIFICATIONS.
  - THE STOREFRONT SYSTEM BASIS OF DESIGN IS THE TRULITE RESISTOR IMPACT 3100 SERIES WITH THE TRULITE 351 DOOR. REFER TO SPECIFICATION.
  - FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
  - PRIOR TO INSTALLING SEALANT AND CLOSED CELL BACKER RODS, ENSURE THAT ALL JOINTS ARE DRY AND FREE FROM DEBRIS.
  - AT ALL STOREFRONT DOORS, SET ACCESSIBLE THRESHOLD IN FULL BED OF SEALANT.

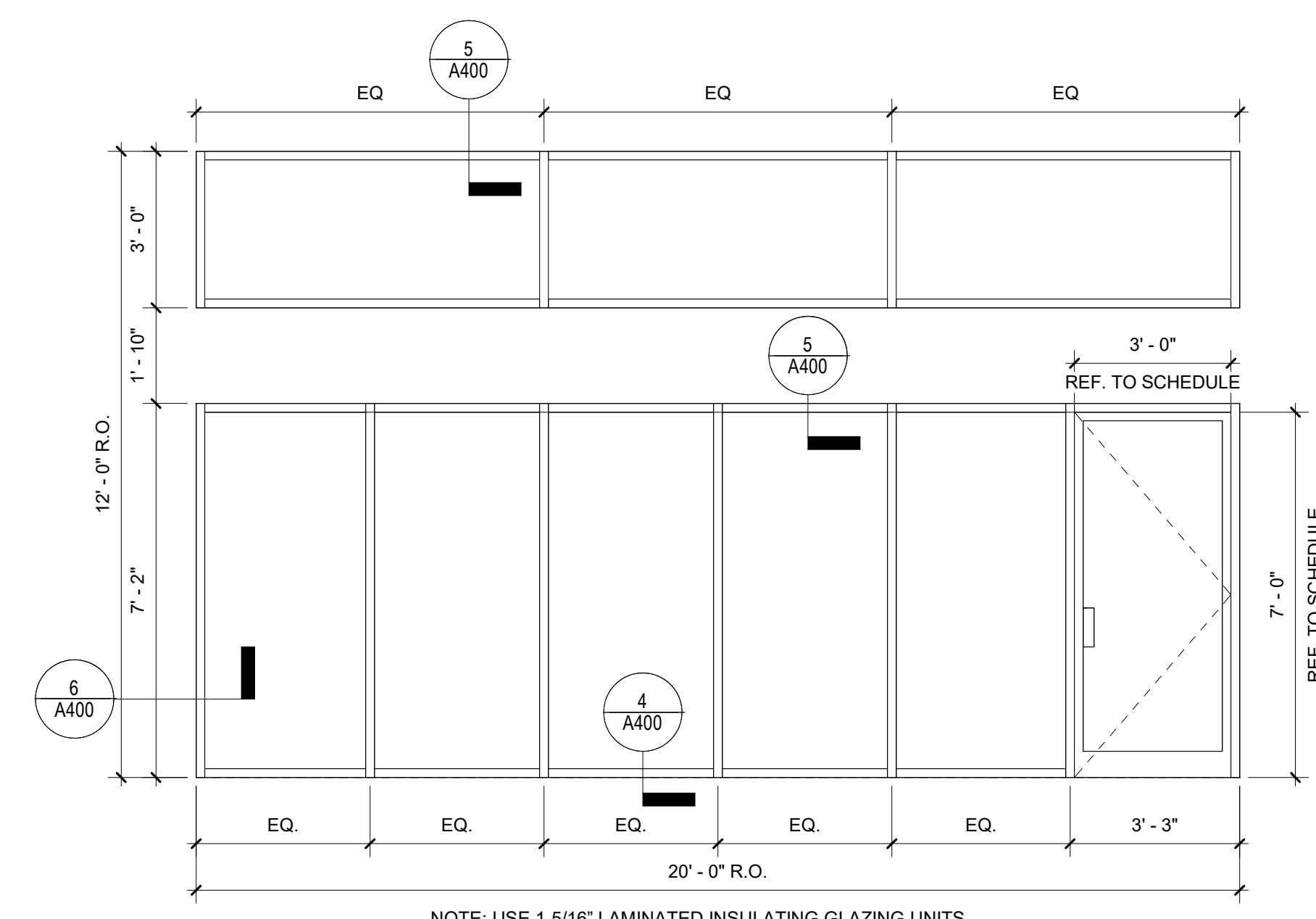
**bdg architects**

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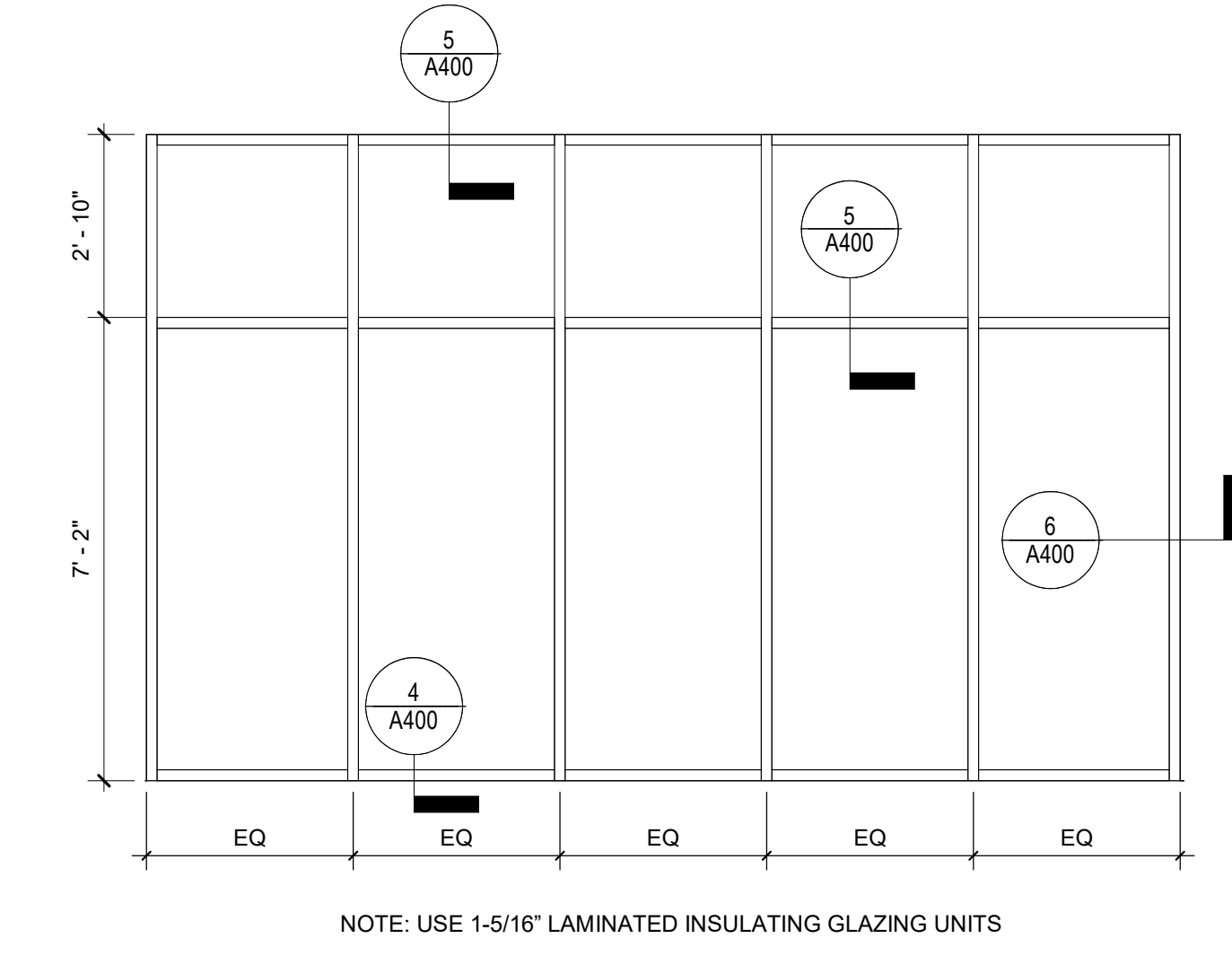
**MASON Development & Construction Bid Set**

- ### DOOR TRANSITION NOTES:
- FLOOR LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED OR TAPERED 1:2 PER ADA.
  - FLOOR LEVEL CHANGES BETWEEN 1/4" AND 1/2" SHALL BE TAPERED AT A MAX 1:2 RATIO. MAX VERTICAL SHALL BE 1/4".
  - FLOOR LEVEL CHANGES GREATER THAN 1/2" SHALL BE SLOPED AT A MIN 1:12 RATIO OR PROVIDE ADA THRESHOLD.



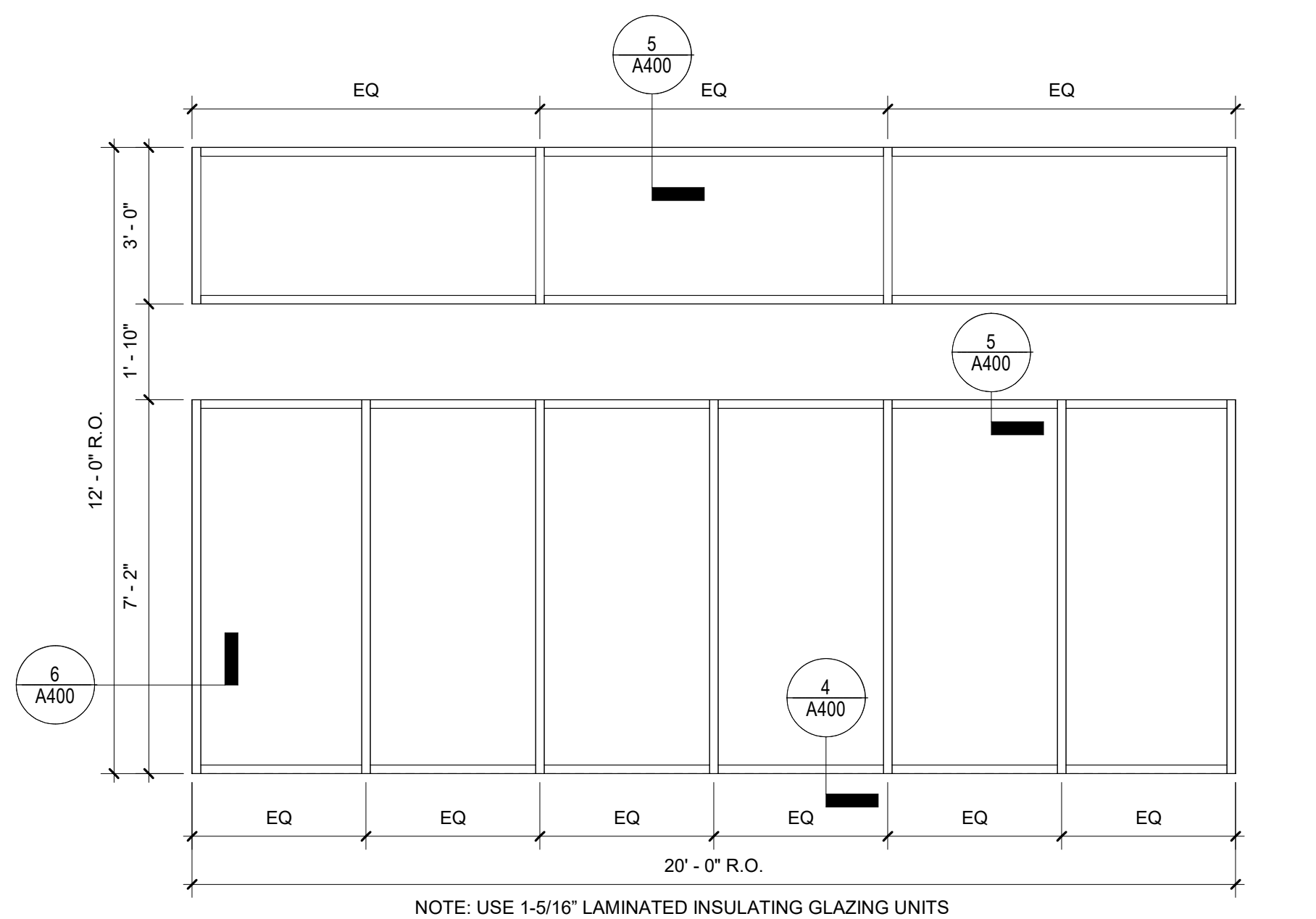
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**STOREFRONT TYPE E**



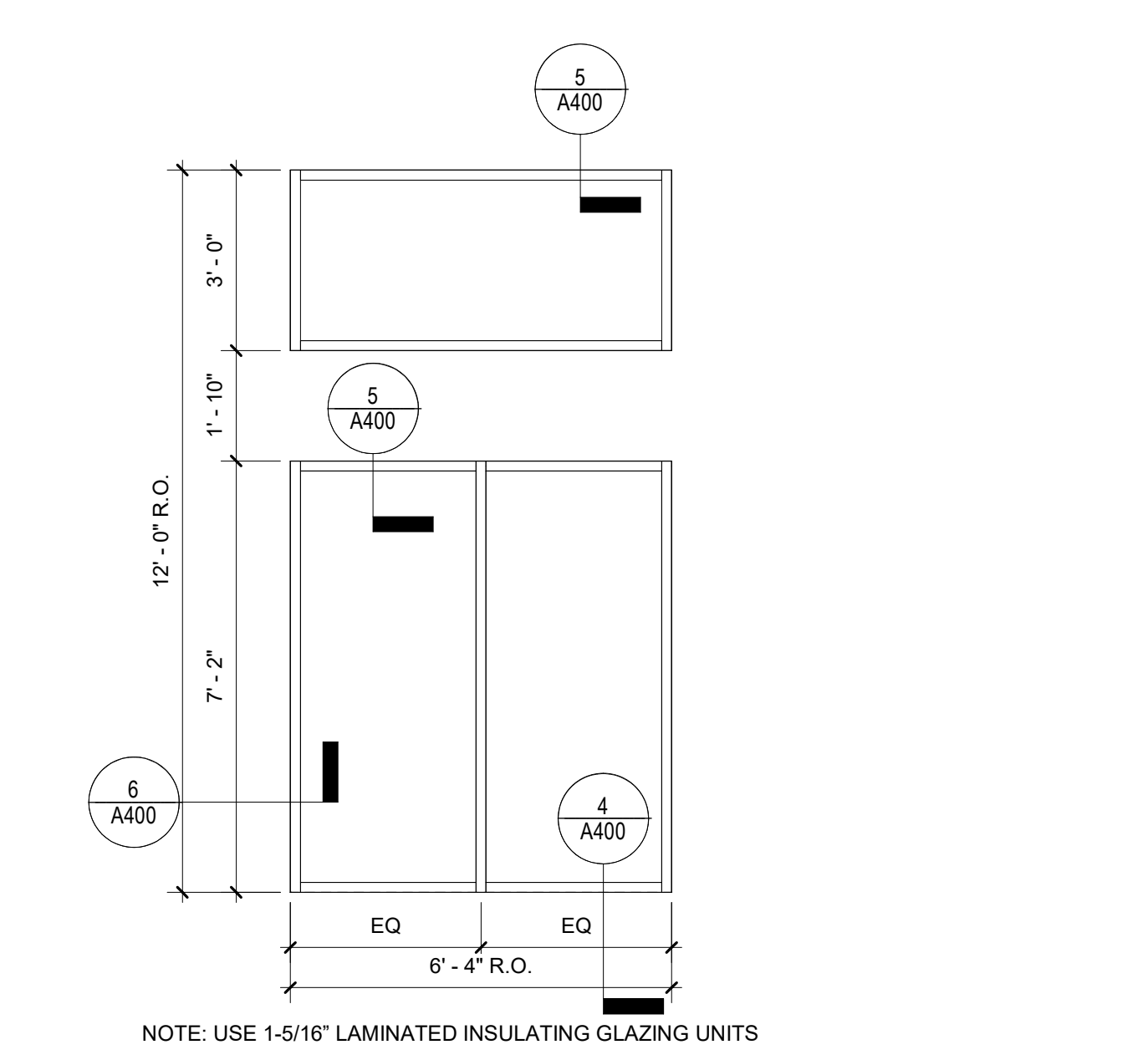
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**STOREFRONT TYPE F**



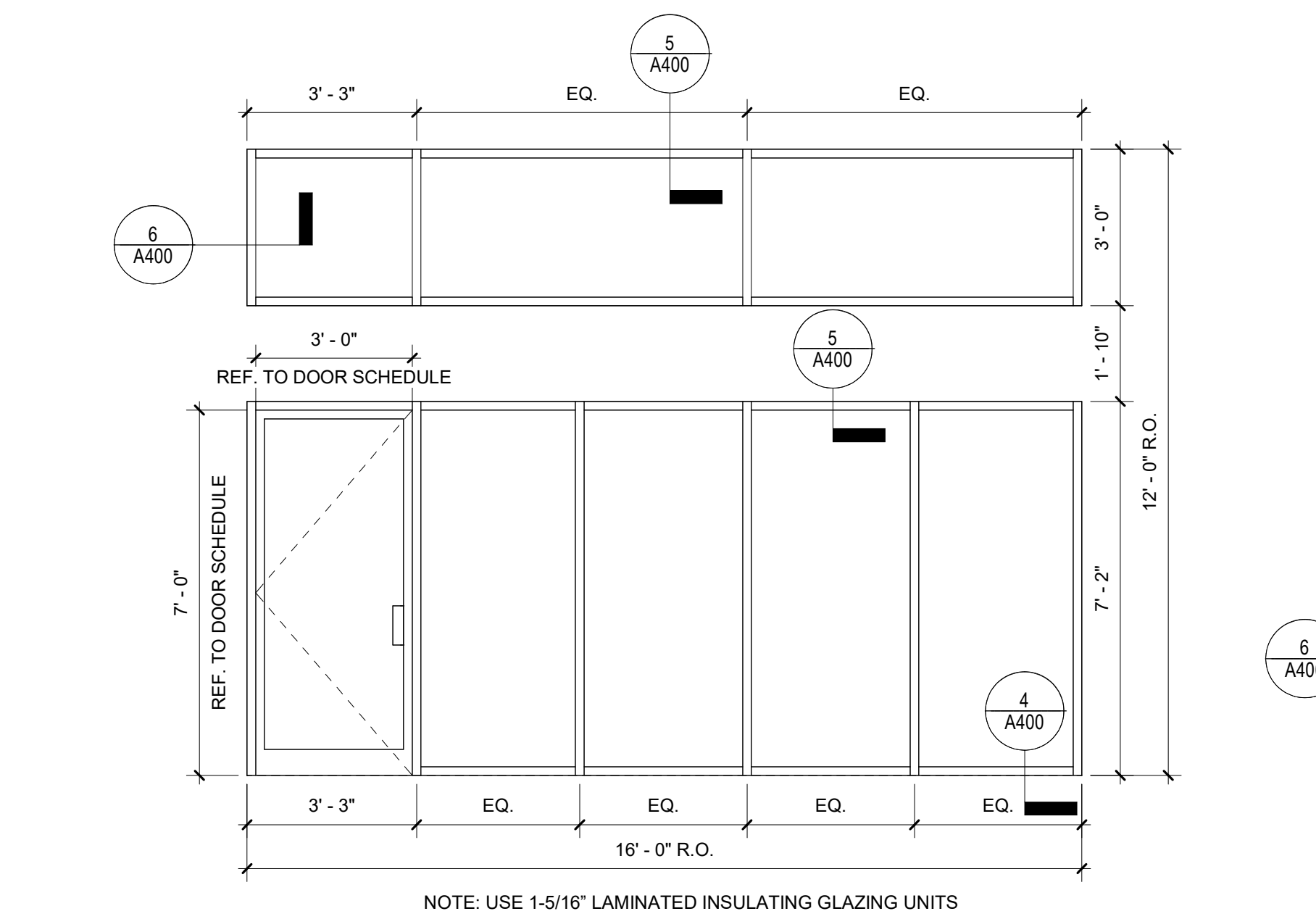
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**STOREFRONT TYPE D**



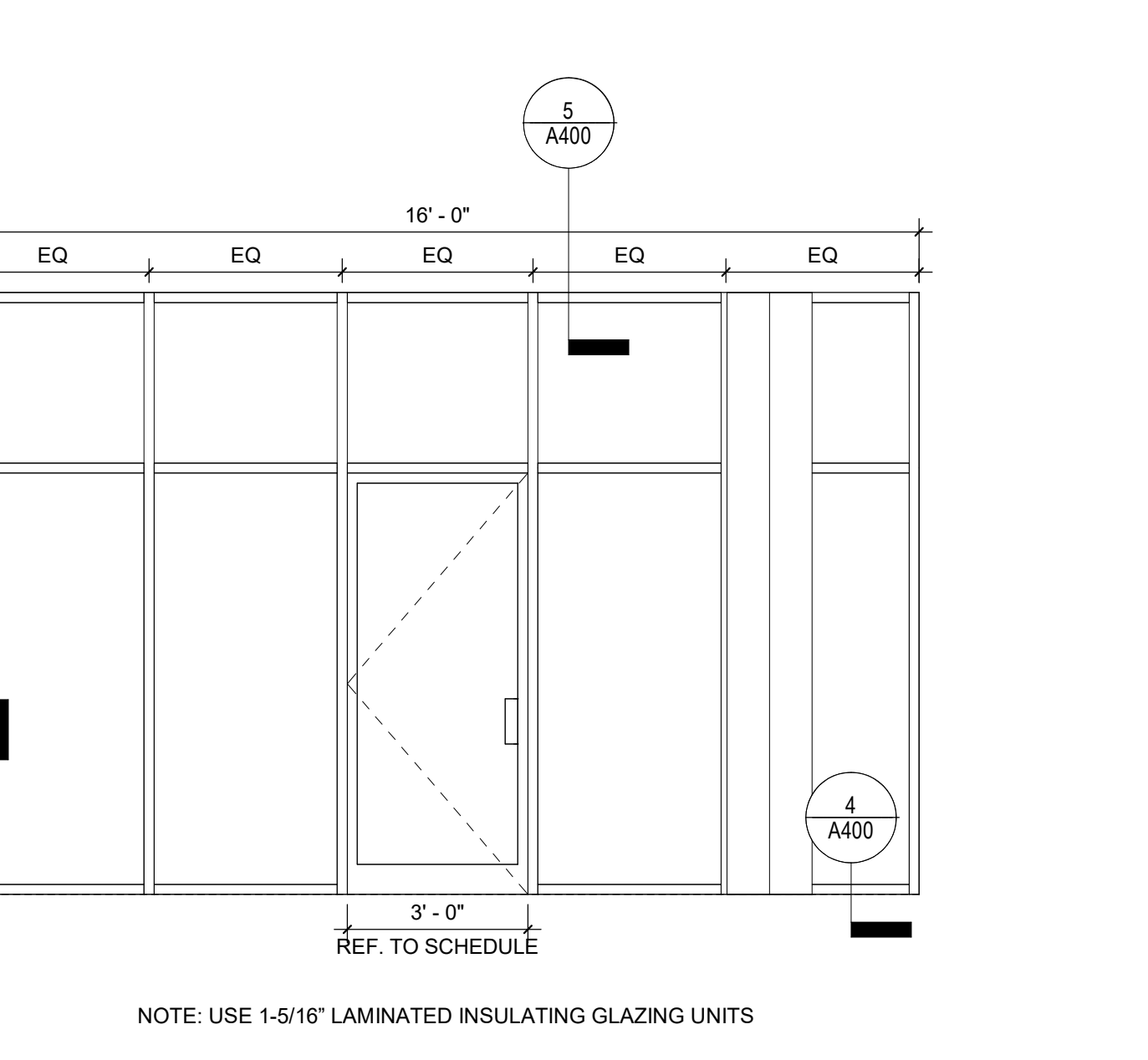
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**STOREFRONT TYPE C**



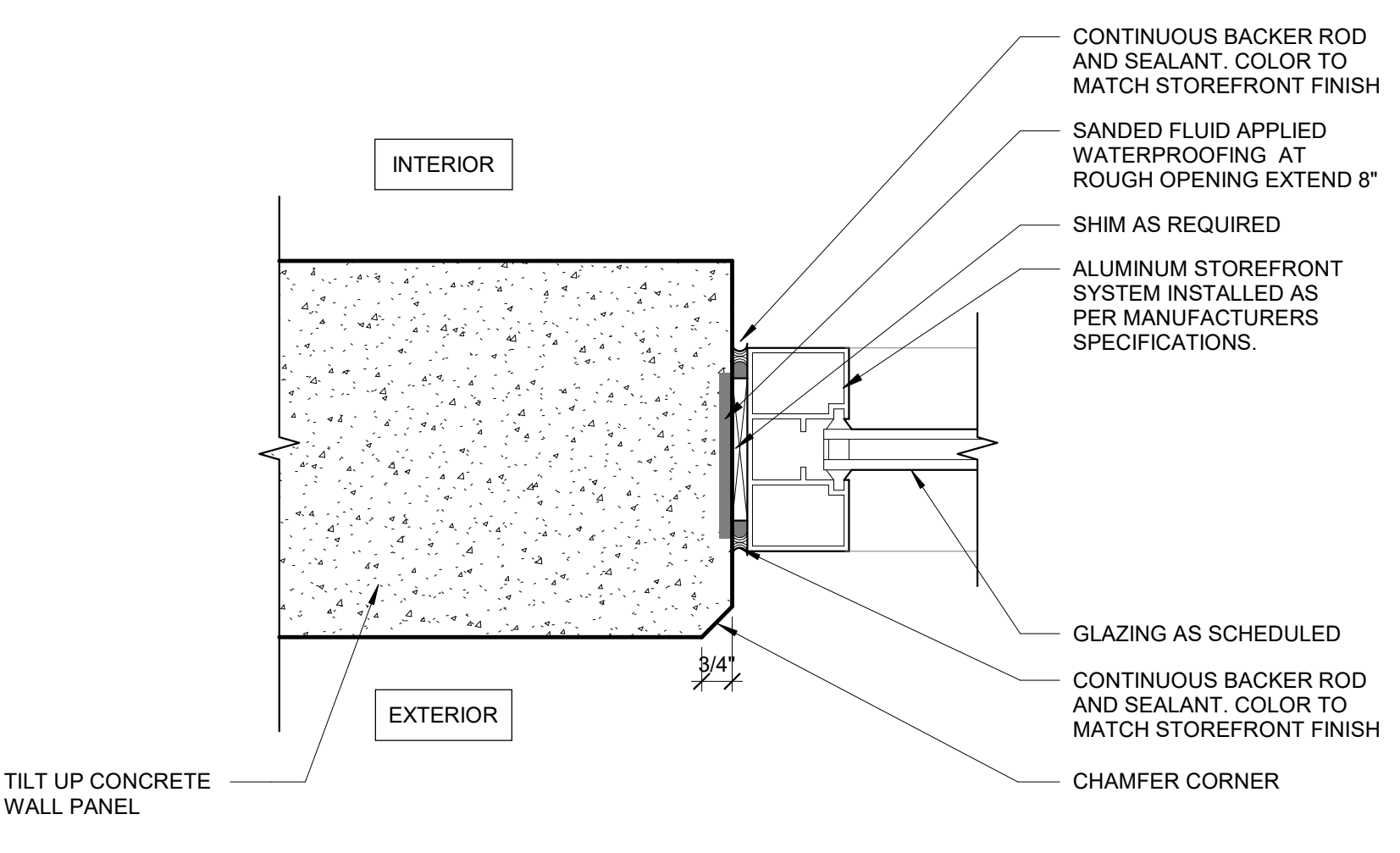
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**STOREFRONT TYPE B**

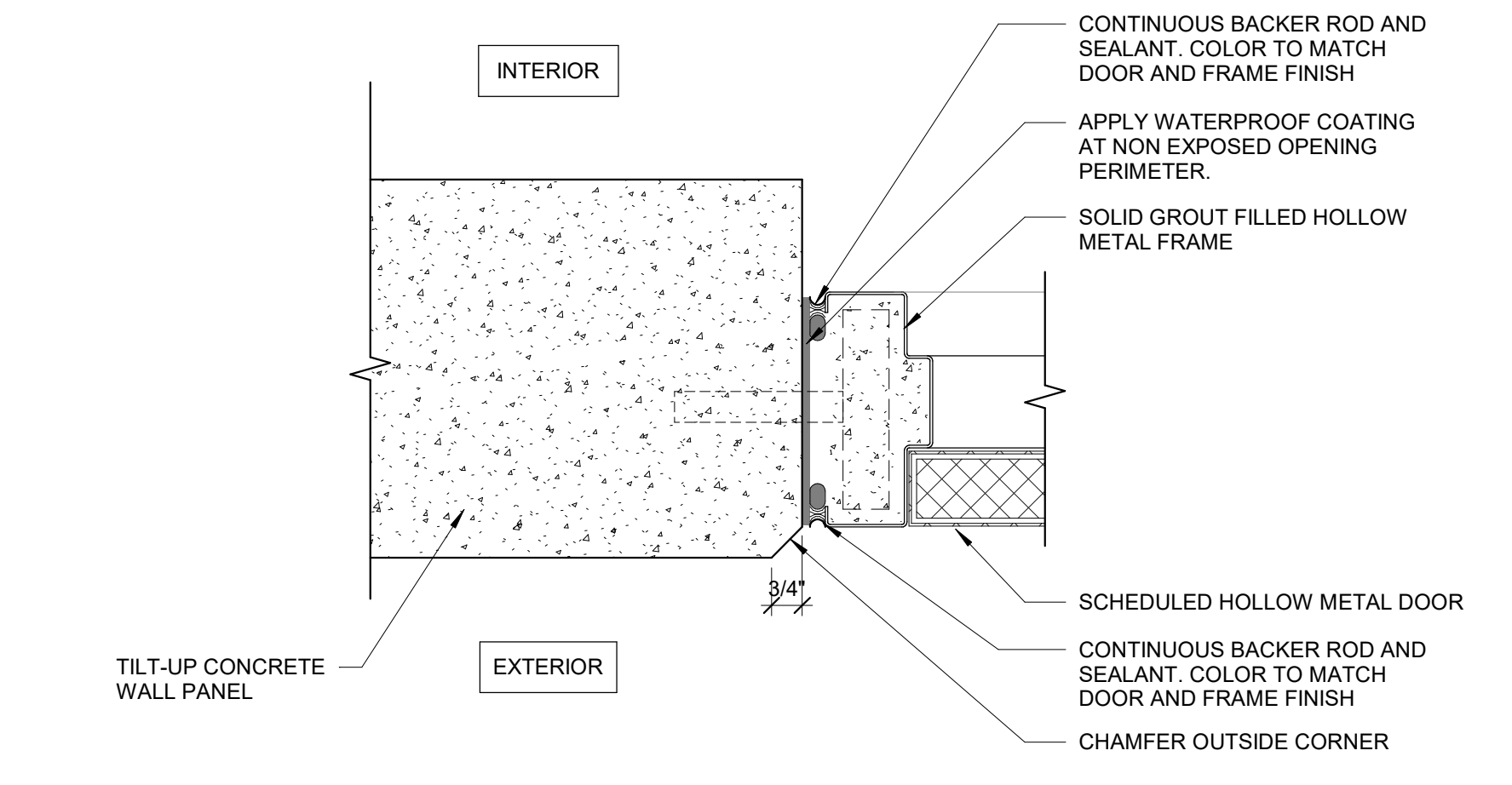


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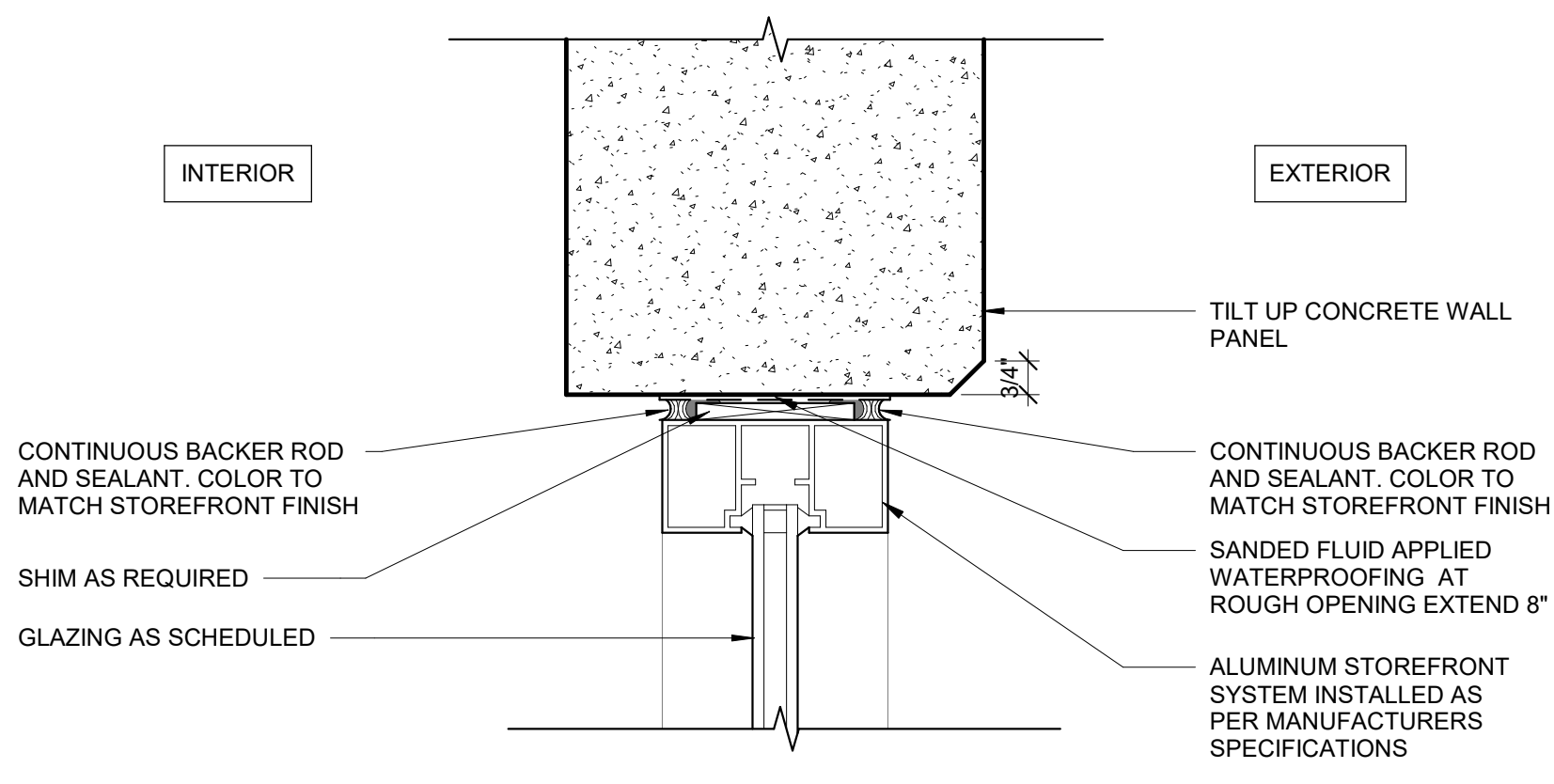
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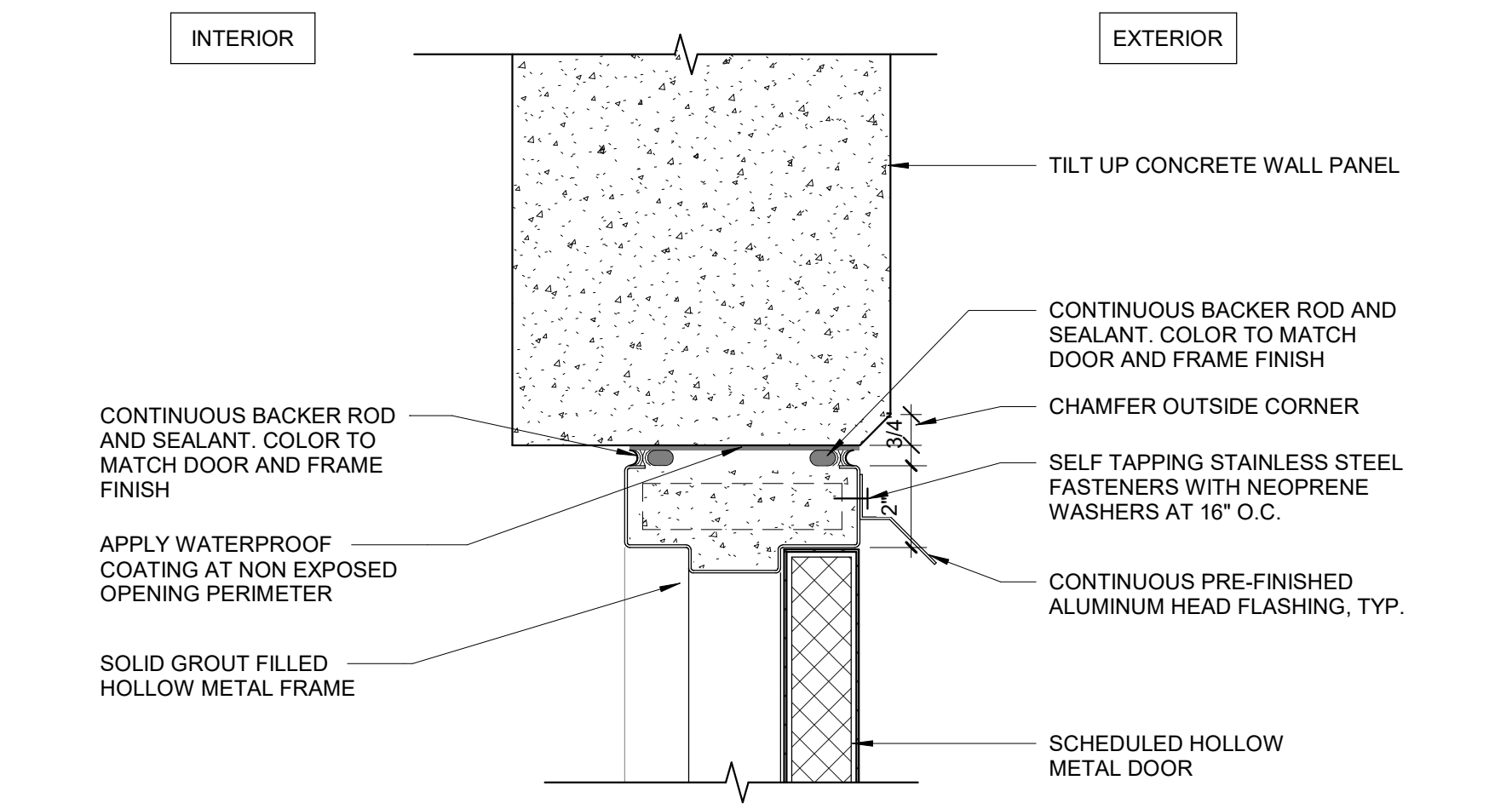
6 STOREFRONT - JAMB DETAIL  
3\"/>



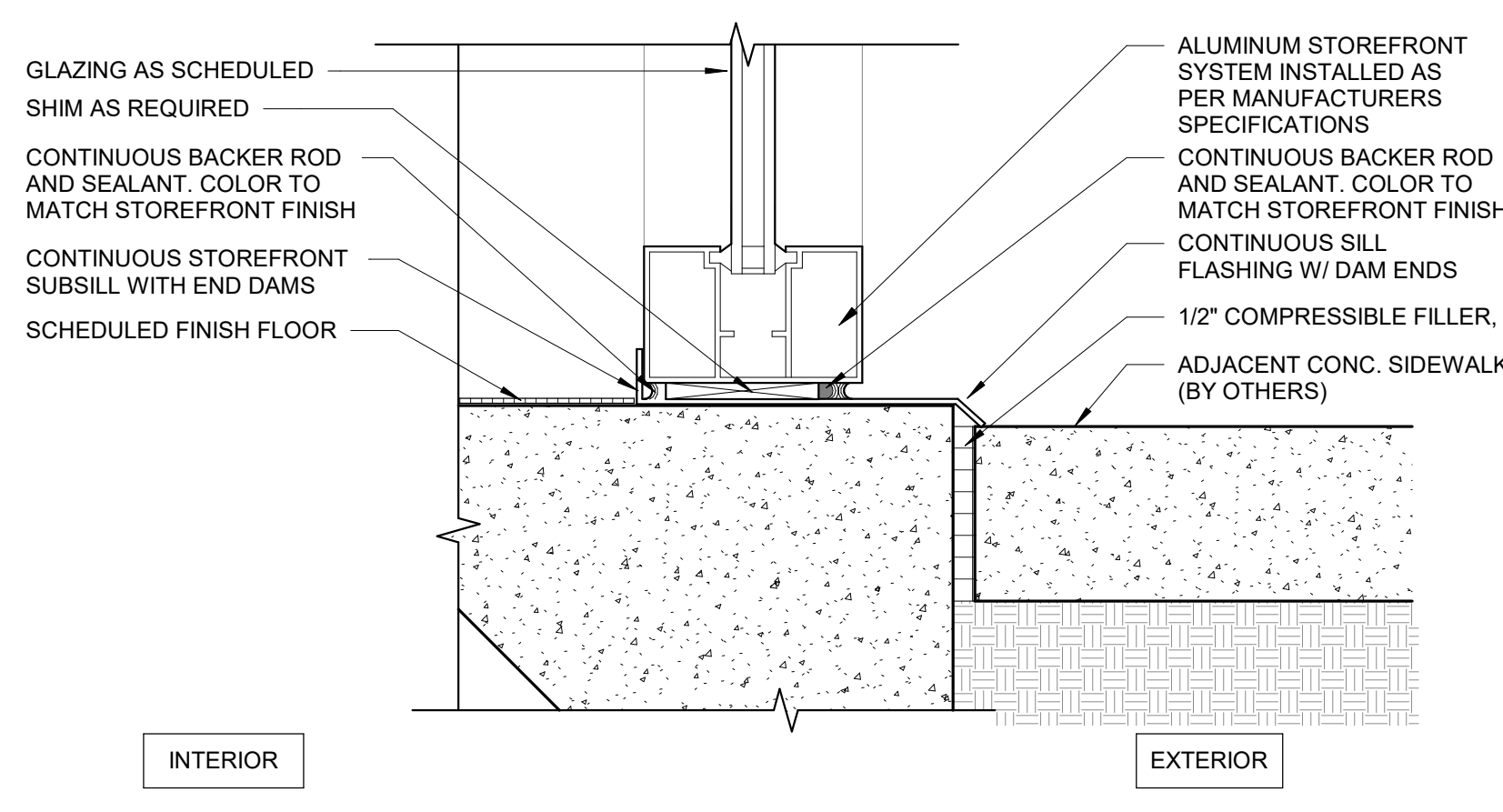
3 HM DOOR - JAMB DETAIL  
3\"/>



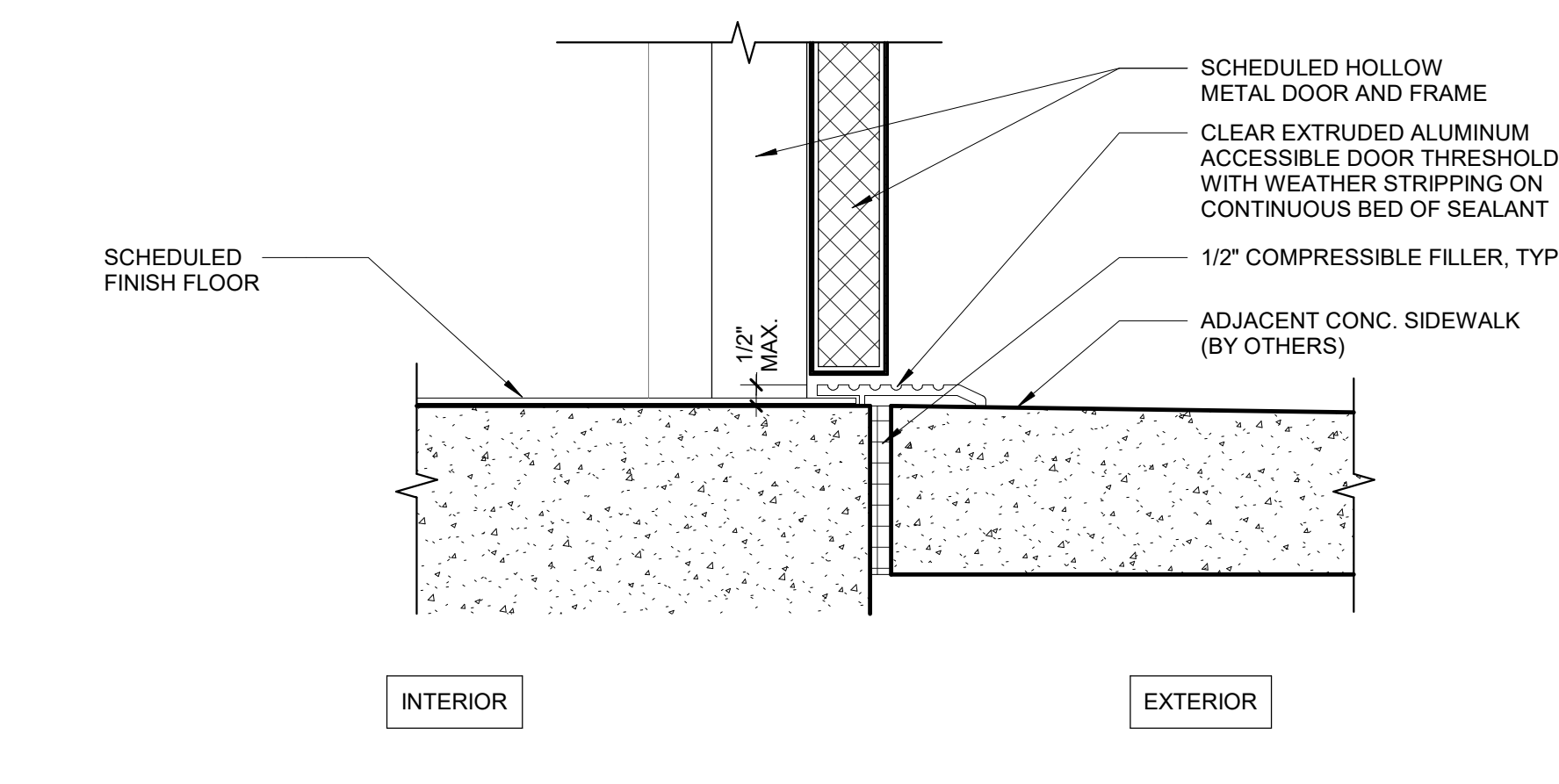
5 STOREFRONT - HEAD DETAIL  
3\"/>



2 HM DOOR - HEAD DETAIL  
3\"/>



4 STOREFRONT - SILL DETAIL  
3\"/>



1 HM DOOR - TYPICAL THRESHOLD  
3\"/>

SHOPPES AT THE HEART OF TRADITION  
RETAIL 2 - SHELL  
10100 SW DISCOVERY WAY  
PORT ST. LUCIE, FL - 34987

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**KEYPLAN**

**SEAL**

Architect of Record:  
Holly Grimes, AIA, LEED AP, NCARB  
FL License # AR96391

ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

**PROJECT INFORMATION BLOCK**

**JOB #** 220088  
**DATE:** 05/31/2023  
**DRAWN BY:** PS/GT/PJ  
**CHECKED BY:** HG/DM

**SHEET TITLE**

**STOREFRONT & DOOR SCHEDULES & DETAILS**

**SHEET NUMBER**

A400