

# SHOPPES AT THE HEART OF TRADITION

## RETAIL 1 - SHELL

10400 SW DISCOVERY WAY  
PORT ST. LUCIE, FL - 34987

PROJECT #: 220088

**MASON**  
Development &  
Construction  
Bid Set

## ISSUE FOR PERMIT

05/31/2023

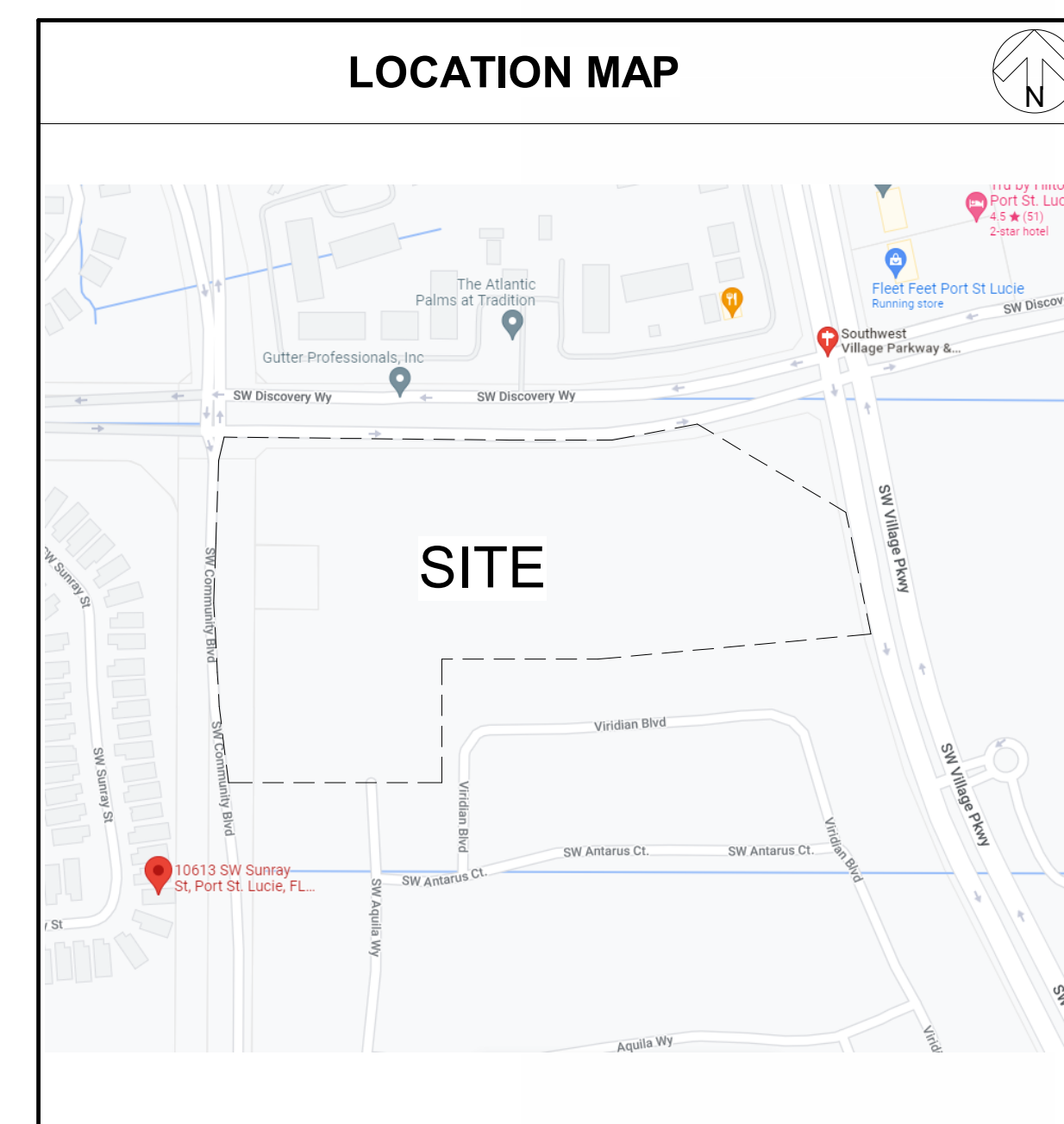


SCOPE OF WORK
THE PROJECT CONSISTS OF A 26,508 SF ONE STORY MULTI-TENANT MERCANTILE SHELL BUILDING WITH EXTERIOR CONCRETE TILT-UP PANELS, STOREFRONT AND DECORATIVE CANOPIES. THE ROOF IS A TPO ROOF ON METAL DECKING OVER STEEL JOISTS. BUILT-OUT BY TENANTS.
THE BUILDING IS LOCATED WITHIN THE SHOPPES AT THE HEART OF TRADITION IN PORT ST. LUCIE, FLORIDA

OWNER & CONSULTANTS			
<b>OWNER</b> PEBB TRADITION SG-3, LLC, BANYAN SG-3, LLC AND PEBB MANAGER, LLC 7900 GLADES ROAD, SUITE 600 BOCA RATON, FL 33434 ROBERT MERCER PHONE: (561) 353-5289 rmercerc@pebbent.com	<b>ARCHITECT</b> BDG ARCHITECTS 100 NORTH LAURA STREET, SUITE 801 JACKSONVILLE, FL 32202 HOLLY GRIMES PHONE: 904-640-1309 holly.grimes@bdgflp.com	<b>STRUCTURAL</b> LOWE STRUCTURES 11651 CENTRAL PKWY #106 JACKSONVILLE, FL 32224 MATT LOWE, P.E. PHONE: 904-992-0377 mlowe@lowestructures.com	<b>LAND PLANNER / LANDSCAPE</b> LUCIDO & ASSOCIATES 701 E OCEAN BOULEVARD STUART, FL 34994 (UNDER SEPARATE CONTRACT AND COVER)
<b>CIVIL ENGINEER</b> KIMLEY HORN 445 24TH STREET, SUITE 200 VERO BEACH, FL 32960 (UNDER SEPARATE CONTRACT AND COVER)	<b>MECHANICAL / PLUMBING</b> BLUESTREAK CONSULTING 25001 EMERY ROAD #400 CLEVELAND, OH 44128 BRIAN RICE, P.E. PHONE: 216-223-3200 brice@bluestreak-consulting.com	<b>ELECTRICAL</b> BLUESTREAK CONSULTING 25001 EMERY ROAD #400 CLEVELAND, OH 44128 RICHARD KNAPP, P.E. PHONE: 216-223-3200 rknapp@bluestreak-consulting.com	

FLORIDA PRODUCT APPROVALS				
(G.C. TO PROVIDE FLORIDA PRODUCT APPROVALS TO THE AHJ IF ALTERNATE PRODUCTS ARE PROPOSED AND APPROVED BY THE ARCHITECT)				
PRODUCT TYPE	MANUFACTURER	MODEL #/SERIES	FL PRODUCT APPR. NO.	MIAMI DADE NOA
<b>STOREFRONT AND EXTERIOR DOORS</b>				
STOREFRONT WALL	TRULITE	SERIES 3100 ALUMINUM WINDOW WALL	FL 25676.1 - R1	N/A
HM EXTERIOR DOORS	CECO DOOR PRODUCTS	FLUSH SINGLE COMMERCIAL STEEL DOOR	FL 16355.2 - R1	N/A
STOREFRONT DOOR	TRULITE	351 SERIES ALUMINUM DOOR	FL 18413.1 - R4	N/A
<b>WALL PANELS</b>				
<b>ROOFING PRODUCTS</b>				
SINGLE PLY ROOF ON STEEL	GAF	EVERGUARD TPO ROOF SYSTEMS FOR USE IN FBC NON-VHJ JURISDICTIONS	FL 5293.1	N/A
ROOF HATCH	BILCO	S-50	FL 15110.2 - R1	N/A

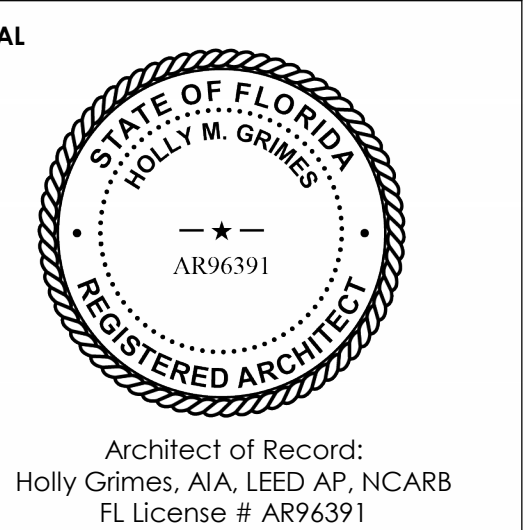
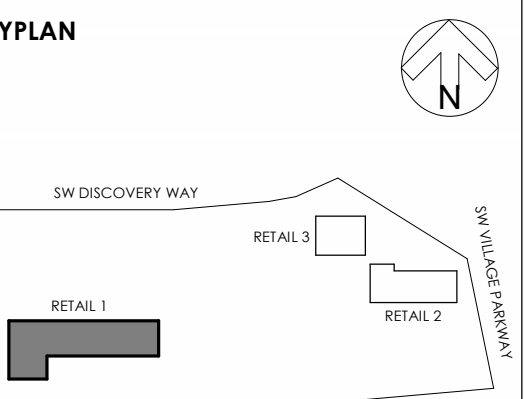
SYMBOL LEGEND	
	PARTITION TYPE INDICATOR REFER TO PARTITION SCHEDULE
	REVISION NUMBER
	FINISH TAG
	KEYNOTE
	ROOM TAG
	DOOR TAG
	STOREFRONT TAG
	ELEVATION DATUM TAG
	DETAIL TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	PLAN DETAIL TAG
	BUILDING SECTION TAG
	GRID BUBBLE & CENTER LINE



- | GENERAL NOTES |  |
|---------------|--|
| 1.            | THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.  |
| 2.            | ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OTHER HANDICAP ACCESSIBILITY CODES.   |
| 3.            | PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET UP AND COORDINATION OF ALL UTILITY SERVICES FOR THE PROJECT. |
| 4.            | GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING AND SEQUENCING OF THE WORK WITH OWNER'S REPRESENTATIVE. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.   |
| 5.            | GENERAL CONTRACTOR SHALL PROVIDE AN AS-BUILT SET OF DRAWINGS TO THE OWNER AT THE END OF THE PROJECT.   |
| 6.            | GENERAL CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.  |
| 7.            | THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY ERRORS OR INCONSISTENCIES TO THE ARCHITECT.  |
| 8.            | THE DRAWINGS ARE NOT TO BE SCALED. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.   |
| 9.            | THE CONTRACTOR, WITHOUT EXTRA CHARGE, SHALL MAKE SLIGHT ALTERATIONS - CUTTING, FITTING, OR PATCHING OF HIS WORK AS MAY BE NECESSARY TO MAKE ADJUSTABLE PARTS FIT TO FIXED PARTS, LEAVING ALL IN WORKING ORDER WHEN COMPLETED.  |
| 10.           | WHERE TRENCHING OR CORE DRILLING IS REQUIRED, SUBFLOORING AND/OR SUBSTRATE SHALL BE RETURNED TO A LEVEL CONDITION.   |
| 11.           | GENERAL CONTRACTOR SHALL PROVIDE TERMITE PROTECTION, TO COMPLY WITH FBC 1916.1, UNDER ALL NEW CONSTRUCTION.  |
| 12.           | GENERAL CONTRACTOR TO BE RESPONSIBLE FOR SITE CLEAN UP NIGHTLY AND SECUREMENT OF THE WORK SITE.  |
| 13.           | ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH THE LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES SHALL BE MEASURED WITH A 24" SMART LEVEL.  |
| 14.           | CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS TO EACH SUB-CONTRACTOR AND FOR INSURING THAT WORK OF EACH SUB-CONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUB-CONTRACTORS.  |
| 15.           | ACTUAL LOCATIONS OF LIGHT FIXTURES, PLUMBING FIXTURES, ETC. ARE TO BE AS INDICATED ON ARCHITECTURAL DRAWINGS. ANY CONFLICTS WITH MEP DRAWINGS ARE TO BE RESOLVED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.   |
| 16.           | TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBER SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED. IN EACH CASE ADD, BY INFERENCE, AFTER TRADE, PRODUCT OR MANUFACTURER'S NAME. THE PHRASE "OR, AS APPROVED BY THE ARCHITECT."  |

DRAWINGS		DRAWINGS ISSUED	
SHEET #	SHEET NAME	DATE	ISSUE FOR BID
<b>GENERAL</b>			
G000	COVER SHEET		
ES021	LIFE SAFETY PLAN		
<b>STRUCTURAL</b>			
S0.1	GENERAL NOTES & DESIGN CRITERIA		
S0.2	ISOMETRIC VIEWS		
S1.1	FOUNDATION PLAN		
S1.2	ROOF FRAMING PLAN		
S2.1	SECTION & DETAILS		
<b>ARCHITECTURAL</b>			
A100	ARCHITECTURAL SITE PLAN		
A121	FLOOR PLAN		
A140	ROOF PLAN & DETAILS		
A200	BUILDING ELEVATIONS		
A201	3D VIEWS		
A300	BUILDING SECTIONS		
A310	WALL SECTIONS & TILT-UP PANEL DETAILS		
A400	STOREFRONT & DOOR SCHEDULE & DETAILS		
<b>MECHANICAL/PLUMBING</b>			
MP100	MECHANICAL AND PLUMBING PLAN		
MP200	MECHANICAL AND PLUMBING SPECIFICATIONS		
<b>ELECTRICAL</b>			
E100	ELECTRICAL PLAN		
E200	ELECTRICAL ONE-LINE AND SPECIFICATIONS		
ES100	ELECTRICAL SITE PLAN		

THESE DRAWINGS AND PLANS ARE REPRODUCTIONS THEREOF, AND ANY REPRODUCTION OF THESE DRAWINGS AND PLANS WITHOUT THE WRITTEN PERMISSION OF BDG ARCHITECTS, AND ANY REPRODUCTION OF THESE DRAWINGS AND PLANS WITHOUT THE WRITTEN PERMISSION OF BDG ARCHITECTS, ARE THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS AND CONDITIONS HEREIN AND THE SAFETY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF BDG ARCHITECTS. WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, NO PART OF THESE PLANS SHALL BE USED FOR ANY OTHER PURPOSES WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECT AND SHALL BE THE PROPERTY OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECT AND SHALL BE THE PROPERTY OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECT AND SHALL BE THE PROPERTY OF BDG ARCHITECTS.



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1	01/31/2023	ISSUE FOR BID
2	05/31/2023	REVISION 1

PROJECT INFORMATION BLOCK	
JOB #	220088
DATE:	05/31/2023
DRAWN BY:	PS/GT/PJ
CHECKED BY:	HG/DM

SHEET TITLE  
COVER SHEET  
SHEET NUMBER  
G000

### CODE INFORMATION

JURISDICTION: CITY OF PORT ST. LUCIE, FLORIDA

APPLICABLE CODES - 2020 7TH EDITION (UNLESS SPECIFIED OTHERWISE)

- FLORIDA BUILDING CODE
- FLORIDA BUILDING CODE MECHANICAL
- FLORIDA BUILDING CODE PLUMBING
- FLORIDA BUILDING CODE FUEL GAS
- FLORIDA ACCESSIBILITY CODE
- NATIONAL ELECTRICAL CODE
- FLORIDA FIRE PREVENTION CODE
- NFPA, NATIONAL FIRE PREVENTION ASSOC.
- 2018 NFPA-1, FIRE CODE
- 2018 NFPA-101, LIFE SAFETY CODE
- 2020 NFPA-70, NATIONAL ELECTRICAL CODE
- 2017 NEC

### LIFE SAFETY GENERAL NOTES

- SMOKE DETECTORS SHALL BE CONTINUOUSLY POWERED BY BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA 101, 7-6.29 AND NFPA 74 AND CONNECTED TO EMERGENCY GENERATOR.
- PROVIDE FIRE EXTINGUISHERS PER NFPA 10 AS REQUIRED.
- ENTIRE PROJECT IS PROTECTED WITH A CLASS 1 AUTOMATIC FIRE PROTECTION SYSTEM, FINAL SPRINKLER DESIGN AND INSTALLATION BY FIRE SPRINKLER CONTRACTOR.

### LIFE SAFETY LEGEND:

- HATCHED AREA INDICATES AREA TO REMAIN. NO WORK THIS AREA. NOTE THAT EXISTING FINISHES INDICATED TO REMAIN ARE TO BE PROTECTED THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 1 HOUR FIRE RATED SEPARATION
- 2 HOUR FIRE RATED SEPARATION
- 3 HOUR FIRE RATED SEPARATION
- INDICATES NEW PARTITION
- INDICATES EXISTING CONSTRUCTION TO REMAIN
- EXIT SIGNAGE (REFER TO ELECTRICAL)
- EXIT
- EXIT ACCESS

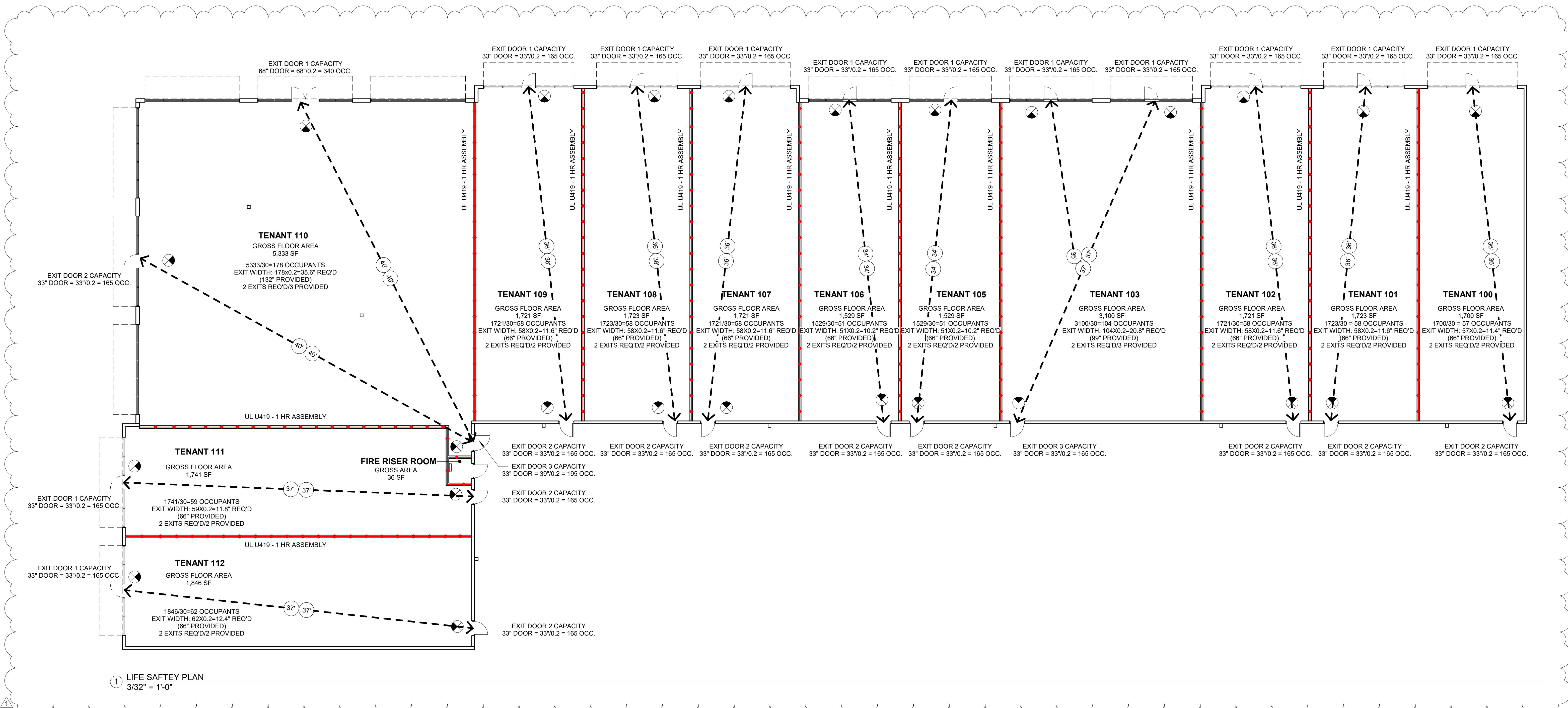
### PROJECT DATA

	FBC	NFPA	PROVIDED
BUILDING OCCUPANCY	GROUP M MERCANTILE	CLASS B MERCANTILE	--
CONSTRUCTION TYPE PROVIDED	IIB SPRINKLERED	II(000) SPRINKLERED	--
<b>FIRE RESISTANCE REQUIREMENTS</b>			
STRUCTURAL FRAMING	0 HOUR	0 HOUR	0 HOUR
EXTERIOR & INTERIOR BEARING WALLS	0 HOUR	0 HOUR	0 HOUR
EXTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR	0 HOUR
INTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR	0 HOUR	0 HOUR
ROOF CONSTRUCTION	0 HOUR	0 HOUR	0 HOUR

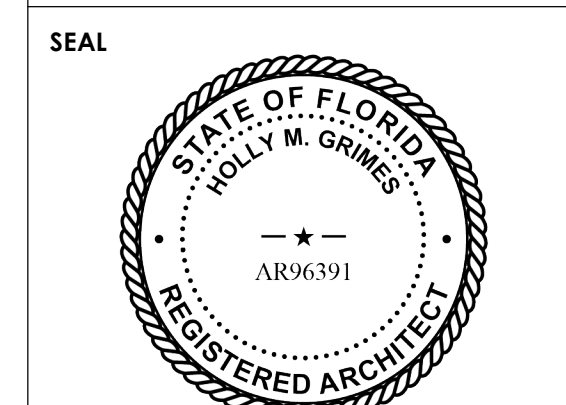
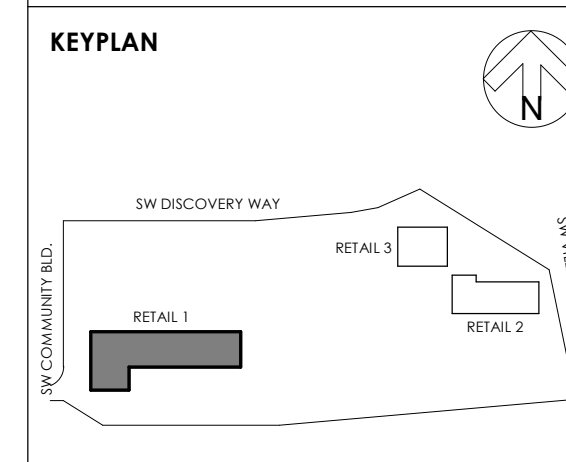
ALLOWABLE BUILDING HEIGHTS & AREA	FBC	NFPA	PROVIDED
	CHAPTER 5	--	--
ALLOWABLE AREA (FOOTNOTE S1)	FBC TABLE 506.2	50,000 GSF	26,508 GSF
ALLOWABLE HEIGHTS (FOOTNOTE S)	FBC TABLE 504.3	75'-0"	24'-0"
ALLOWABLE STORIES (FOOTNOTE S)	FBC TABLE 504.4	3 STORIES	1 STORY
<b>EXIT REQUIREMENTS</b>			
MINIMUM REQUIRED	1006.3.2	CHAPTER 9	
MINIMUM REQUIRED	3 EXITS	3 EXITS	26 EXITS
<b>INTERIOR FINISHES</b>			
EXIT ENCLOSURES, EXIT PASSAGEWAYS, & CORRIDORS (SPRINKLERED)			NA
<b>ROOMS AND ENCLOSED SPACES (SPRINKLERED)</b>			
	CLASS C	CLASS C	CLASS C
<b>FIRE PROTECTION SYSTEM</b>			
SPRINKLER SYSTEM	903.3.1.1	1238.3.5	1015.21.1
	REQ'D	REQ'D	PROVIDED
<b>ARRANGEMENT OF MEANS OF EGRESS</b>			
SPRINKLERED (1007.1.1 EXCEPTION 2)	1/3 DIAG. DIM	1/3 DIAG. DIM	PROVIDED

OCCUPANCY LOAD	FBC	NFPA	GROSS FLOOR AREA	TOTAL
	(TBL 1004.1.2/ SEC. 1004.7)	(TBL 7.3.1.2)		
MERCANTILE SALES AREA	60 GROSS	30 GROSS	25,907 SF	432/864 OCCUPANTS
STORAGE, STOCK, SHIPPING AREA	300 GROSS	300 GROSS	--	--
TOTAL				864 OCCUPANTS
*SEE LIFE SAFETY PLAN FOR EGRESS OF EACH PROPOSED TENANT SPACE				
<b>MEANS OF EGRESS</b>				
EXIT TRAVEL DISTANCE (1017.2 & 1029.7)(SPRINKLERED)	250' MAX	250'	1'-0" MAX	
COMMON PATH OF TRAVEL (1006.2.1)	75' MAX	100' SPRINK.	N/A	
DEAD END CORRIDOR (1020.4)	50' MAX	50' SPRINK.	N/A	
CORRIDOR WIDTH (1020.2)	44" MIN	44" MIN	44"	
EXIT WIDTH (1005.1)				
DOOR WIDTH	864 OCC X0.2 172.8" REQ'D.	864 OCC X0.2 172.8" REQ'D.		858"

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Construction  
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Architect of Record:  
Holly Grimes, AIA, LEED AP, NCARB  
FL License # AR96391

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### PROJECT INFORMATION BLOCK

JOB #	220088
DATE	05/31/2023
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SHEET TITLE  
**LIFE SAFETY PLAN**

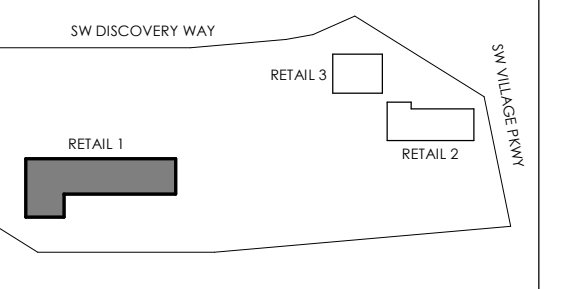
SHEET NUMBER  
**G021**



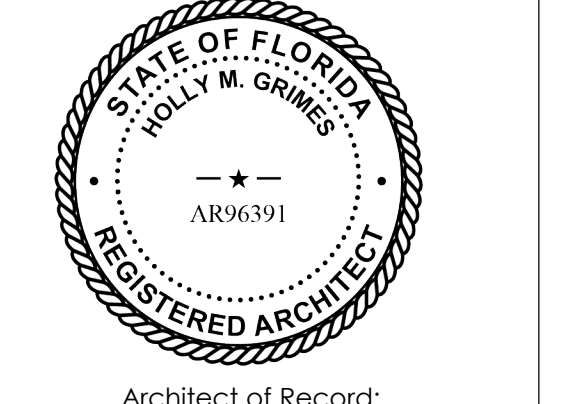
PROPOSED SHELL BUILDING  
1 STORY, MERCANTILE  
TYPE IIB CONSTRUCTION,  
FULLY SPRINKLERED  
(REFER TO CIVIL DWGS FOR  
BUILDING POSITION AND ALL  
CIVIL/HARDSCAPE, INCLUDING  
FFE AND FINISH GRADES)

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**KEYPLAN**



**SEAL**



Architect of Record:  
Holly Grimes, AIA, LEED AP, NCARB  
FL License # AR96391

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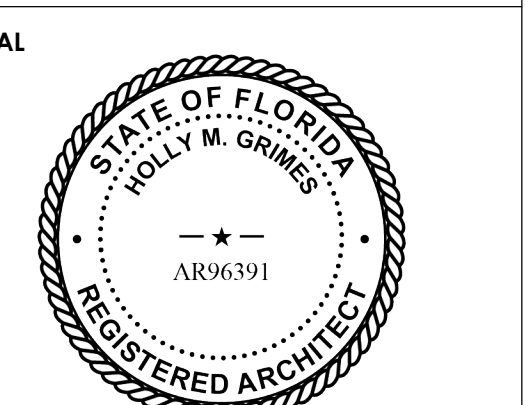
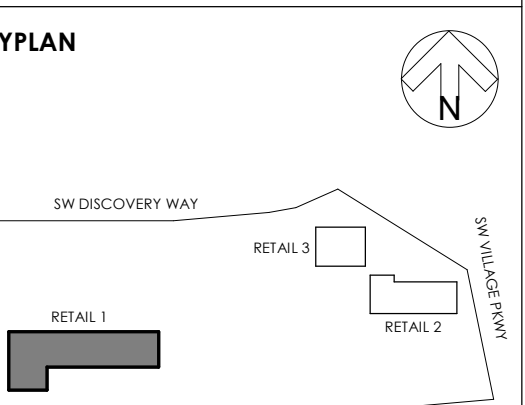
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**SHEET TITLE**  
ARCHITECTURAL SITE PLAN

**SHEET NUMBER**

**A100**

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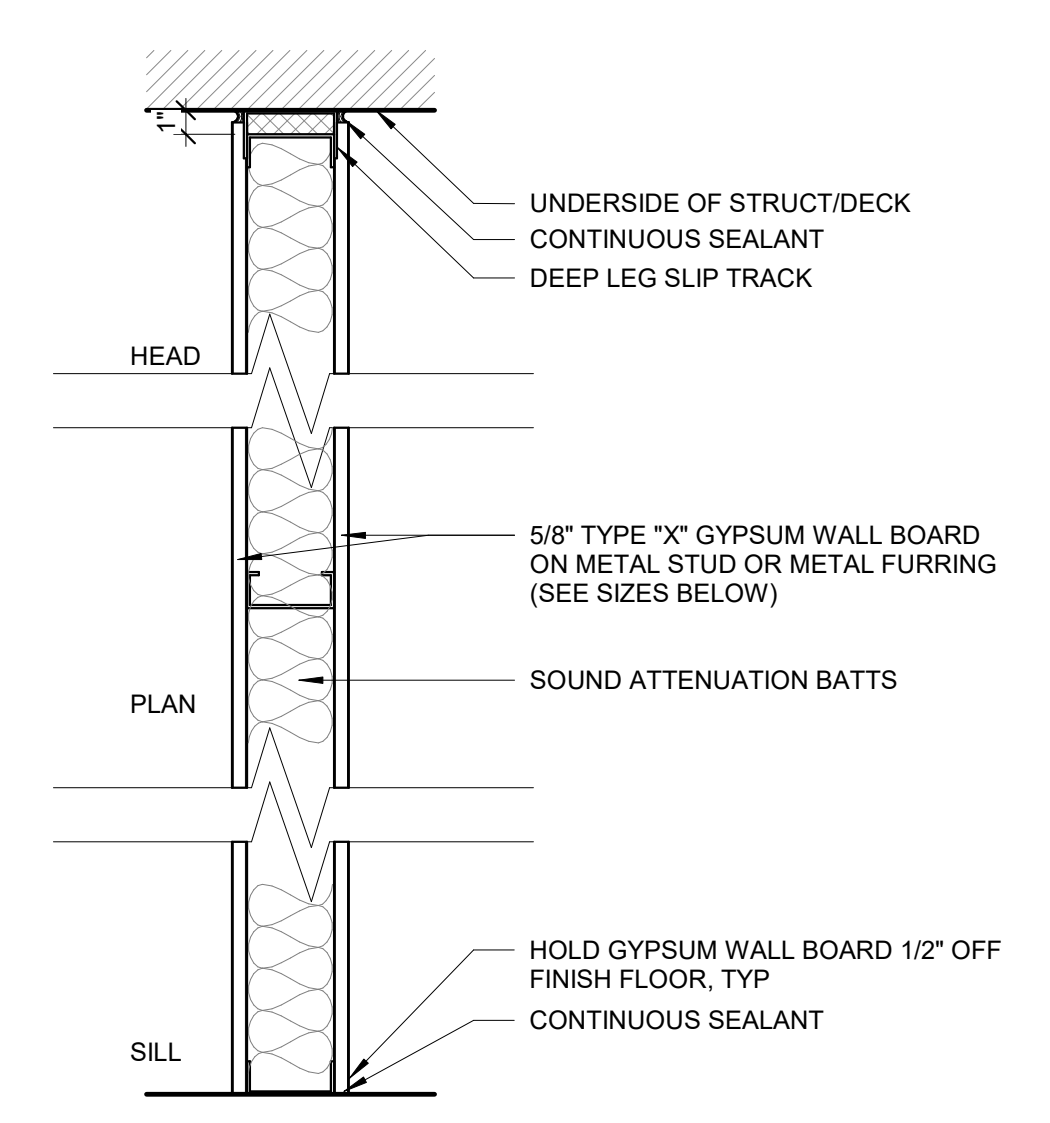
SHEET TITLE  
FLOOR PLAN

SHEET NUMBER  
A121

KEYNOTES - FLOOR PLAN & RCP	
NUMBER	DESCRIPTION
1	CONCRETE SLAB EDGE, TYP. (REFER TO STRUCTURE DRAWINGS)
2	FIXED STRUCTURAL REINFORCING IN THE BACK HALF OF THIS DEMISING WALL. (REFER TO STRUCTURE DRAWINGS)
3	PROVIDE KNOCK-OUT PANEL FOR FUTURE REAR DOOR
4	ADJACENT CONCRETE SIDEWALK BY OTHERS (REFER TO CIVIL HARDSCAPE DRAWINGS)
5	APPROXIMATE LINE OF AWNING ABOVE
6	6X6 STRUCTURAL STEEL COLUMN (REFER TO STRUCTURE DRAWINGS)
7	DUMPSTER ENCLOSURES (REFER TO CIVIL DRAWINGS)
8	ROOF ACCESS LADDER
9	PRIMARY SCUPPER AND DOWNSPOUT

- GENERAL NOTES**
- ALL DIMENSIONS ARE FROM EXTERIOR FACE OF CONCRETE COLUMN LINE, OR CENTERLINE OF INTERIOR STUD U.N.C.
  - REFER TO CIVIL PLAN FOR TRUE NORTH ORIENTATION
  - EDGE OF DOOR JAMB SHALL BE MINIMUM 4" FROM INTERSECTING WALL UNLESS OTHERWISE NOTED OR AS REQUIRED FOR HARDWARE INSTALLATION.
  - LOCATION AND NUMBER OF FIRE EXTINGUISHERS ARE TO BE INSTALLED PER THE DIRECTION OF THE LOCAL AUTHORITIES AND NFPA 10.
  - ALL INTERIOR FINISHES ARE TO COMPLY WITH THE REQUIREMENTS AS SET FORTH IN THE CURRENT STANDARD EDITION OF ALL GOVERNING CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION OVER THE SCOPE OF WORK.
  - GENERAL CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT.
  - GENERAL CONTRACTOR SHALL COORDINATE ALL WOOD BLOCKING, STEEL SUPPORTS AND ANY OTHER ITEMS WHICH ARE IMBEDDED IN DRYWALL PARTITIONS OR ENCLOSURES WHICH RELATE TO HIS WORK OR THE WORK OF ANY SEPARATE CONTRACTORS.
  - ALL WOOD BLOCKING, BRIDGING, BRACING, FRAMING, ETC., SHALL BE FIRE RETARDANT TREATED AS CALLED FOR BY THE GOVERNING BUILDING CODE AND THE CONTRACTOR MUST SUBMIT AFFIDAVITS OF SUCH FIRE TREATMENT TO THE OWNERSHIP.
  - REFER TO EXTERIOR ELEVATIONS AND WINDOW / DOOR SCHEDULE FOR ADDITIONAL STOREFRONT INFORMATION
  - REFERENCE ENGINEERING PLANS FOR PLUMBING AND ELECTRICAL EQUIPMENT AND SYSTEMS. CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER.

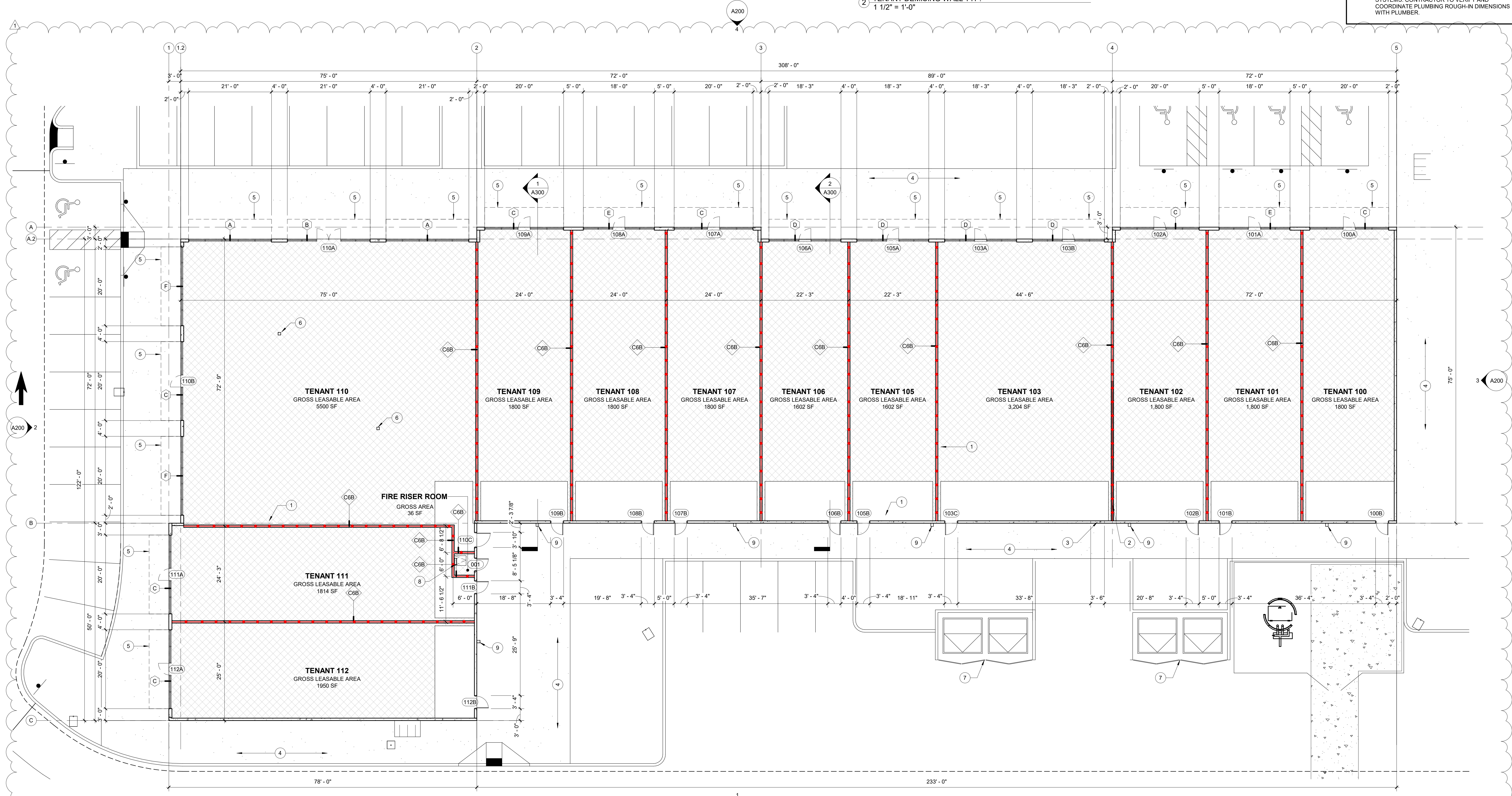
**MASON**  
Development &  
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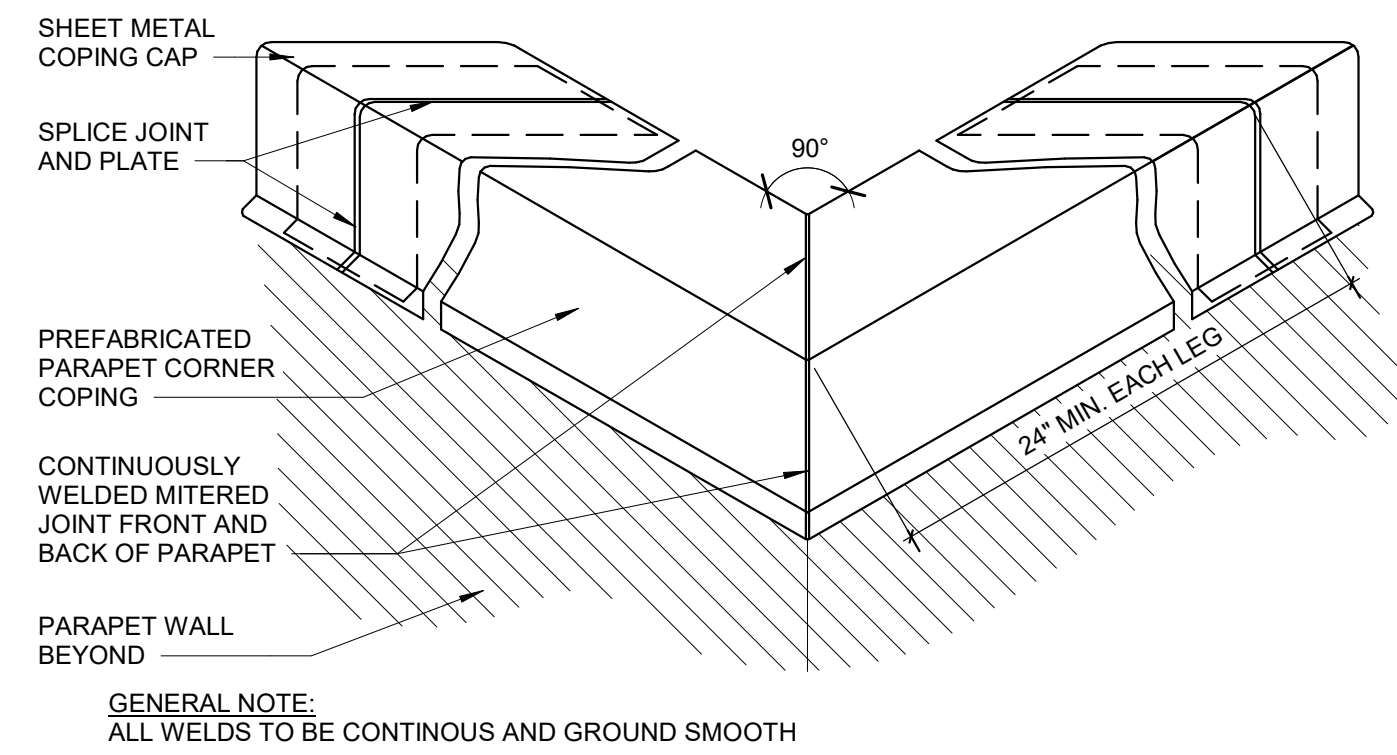
CONSTRUCT IN ACCORDANCE WITH UL U419

TAG SYMB.	STUD SIZE	PART. WIDTH	FIRE RATING	UL LISTING	STC NO SOUND/ WITH SOUND	REMARKS
C6B	6"	7 1/4"	1HR	U419	WITH SOUND BATT	20 GAUGE AT 16" O.C.

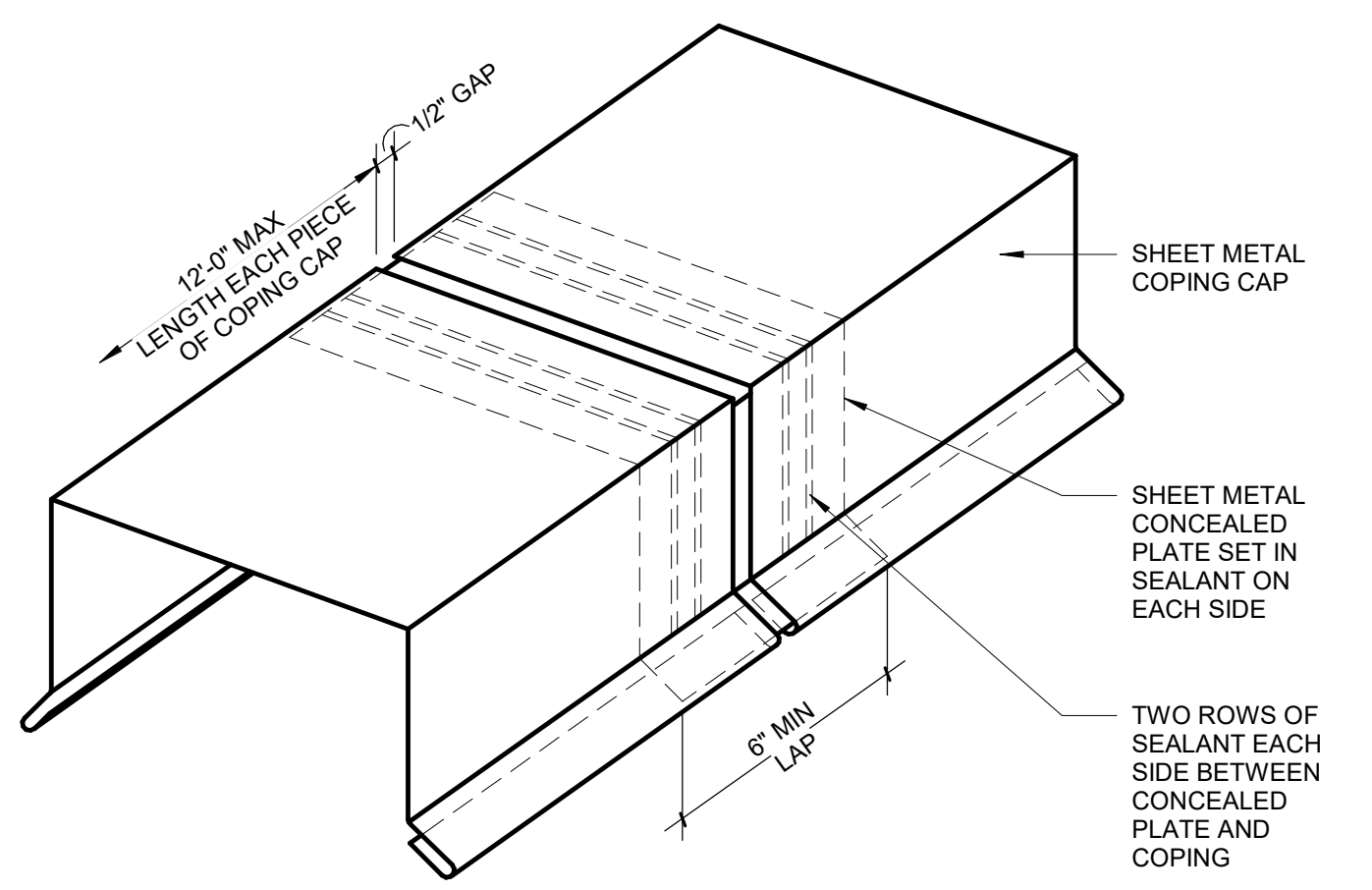
2 TENANT DEMISING WALL TYP.  
1 1/2" = 1'-0"



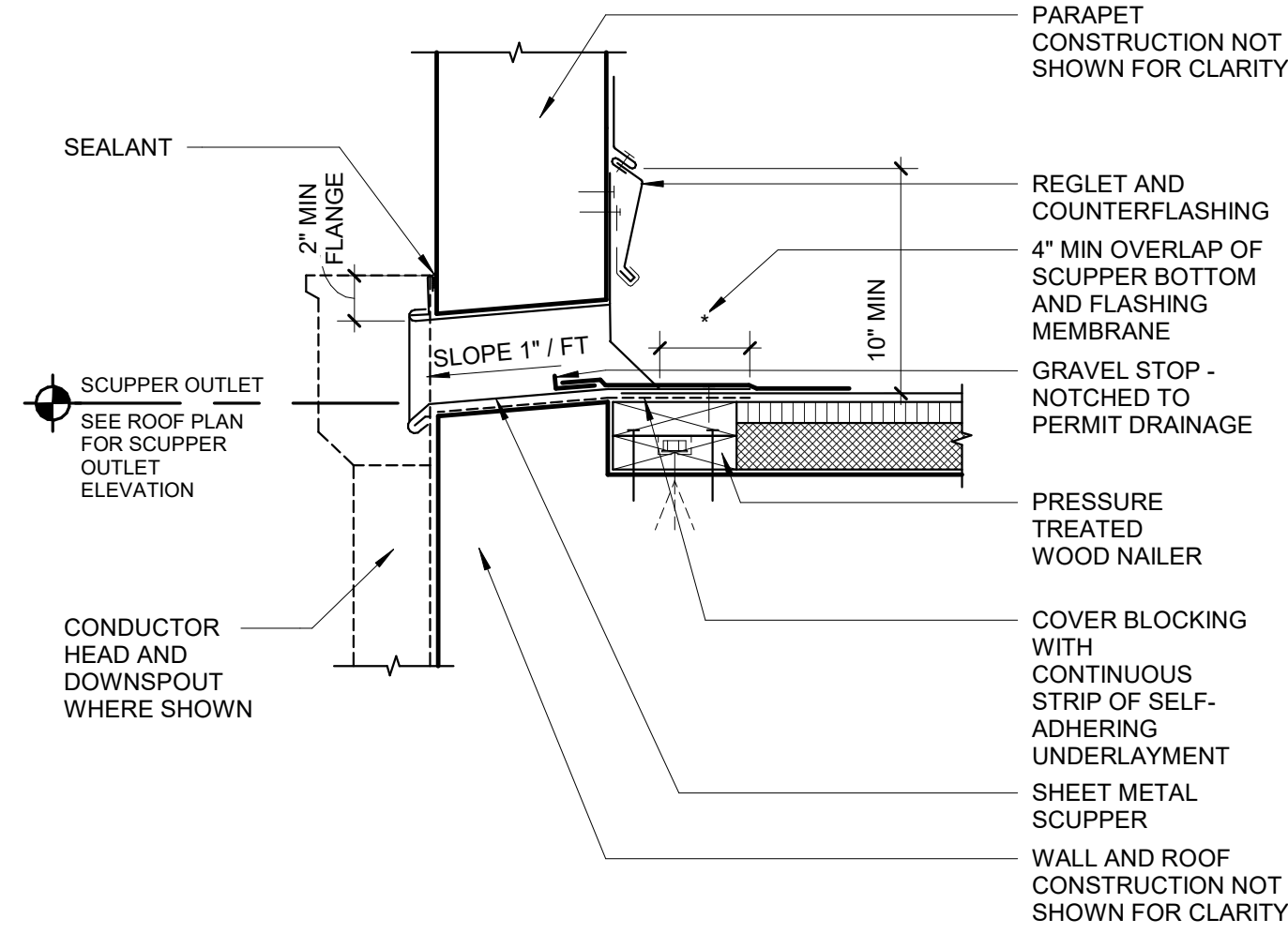
1 FLOOR PLAN  
3/32" = 1'-0"



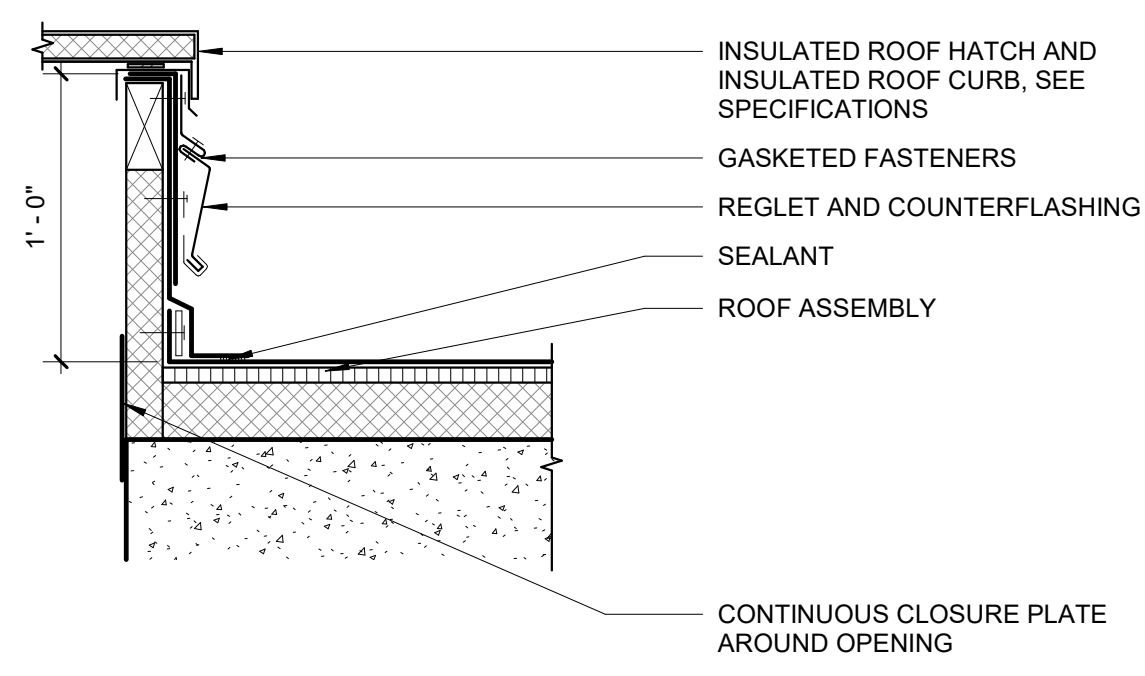
3 COPING CORNER DETAIL  
3" = 1'-0"



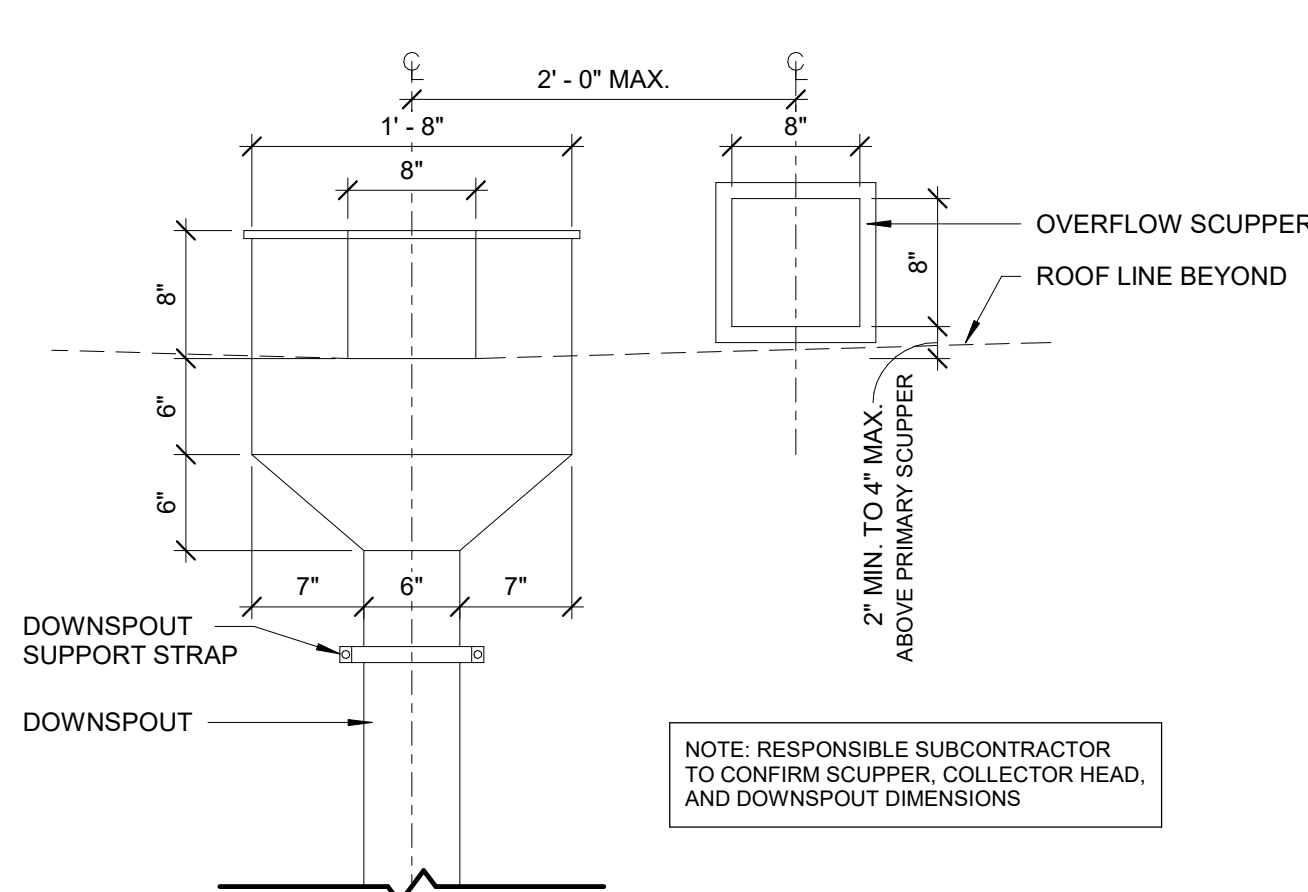
2 DETAIL @ COPING CAP WITH SPLICE PLATE  
3" = 1'-0"



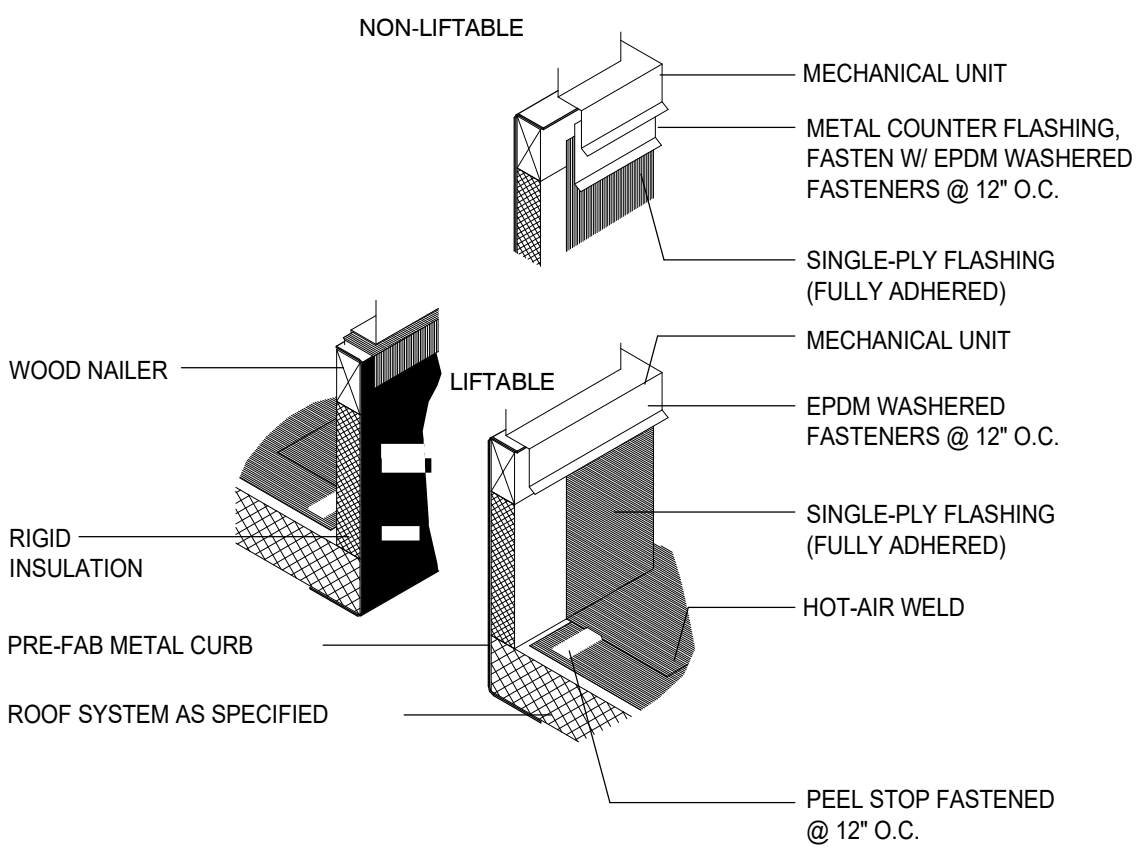
5 DETAIL @ PARAPET SCUPPER THRU WALL  
1 1/2" = 1'-0"



4 DETAIL @ ROOF HATCH  
1 1/2" = 1'-0"



7 DETAIL @ PRIMARY AND OVERFLOW SCUPPER  
1" = 1'-0"



6 DETAIL @ PRE-FAB PANEL CURB  
1 1/2" = 1'-0"

**MASON**  
Development &  
Construction  
Bid Set

ROOF PLAN GENERAL NOTES

- 80 MIL TPO MEMBRANE OVER 1/2" COVER BOARD OVER 4" RIGID POLYISO INSULATION OVER METAL DECKING ON SLOPING STEEL JOISTS. (R-25 MIN. ASSEMBLY)
- ROOF CRICKETS TO BE 1/4" PER FOOT MINIMUM FULLY TAPERED POLYISO.
- INSTALL ALL ROOF SYSTEMS AND RELATED COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. PROVIDE SHOP DRAWINGS FOR APPROVAL AS REQUIRED BY SPECIFICATIONS.
- VERIFY AND COORDINATE LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING.
- ALL ROOF PENETRATIONS REQUIRE PRESSURE TREATED 2 X 6 BLOCKING AT INSULATION AROUND ENTIRE PERIMETER FOR FLASHING ATTACHMENT.
- OMISSION OF ANY ACCESSORY FROM THE ROOF PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES FOR SUCH ITEMS.
- RTU CURB SIZES AND LOCATIONS TO BE CONFIRMED WITH ARCHITECT AND OWNER PRIOR TO ORDER AND INSTALL.

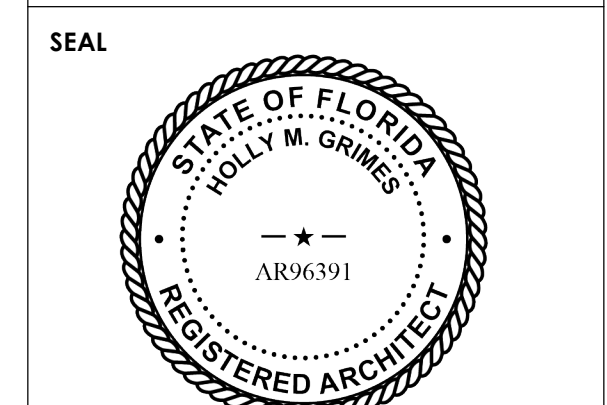
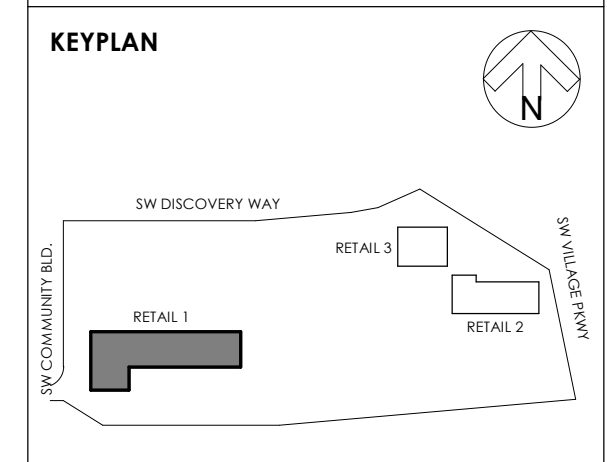
**bdg**  
architects

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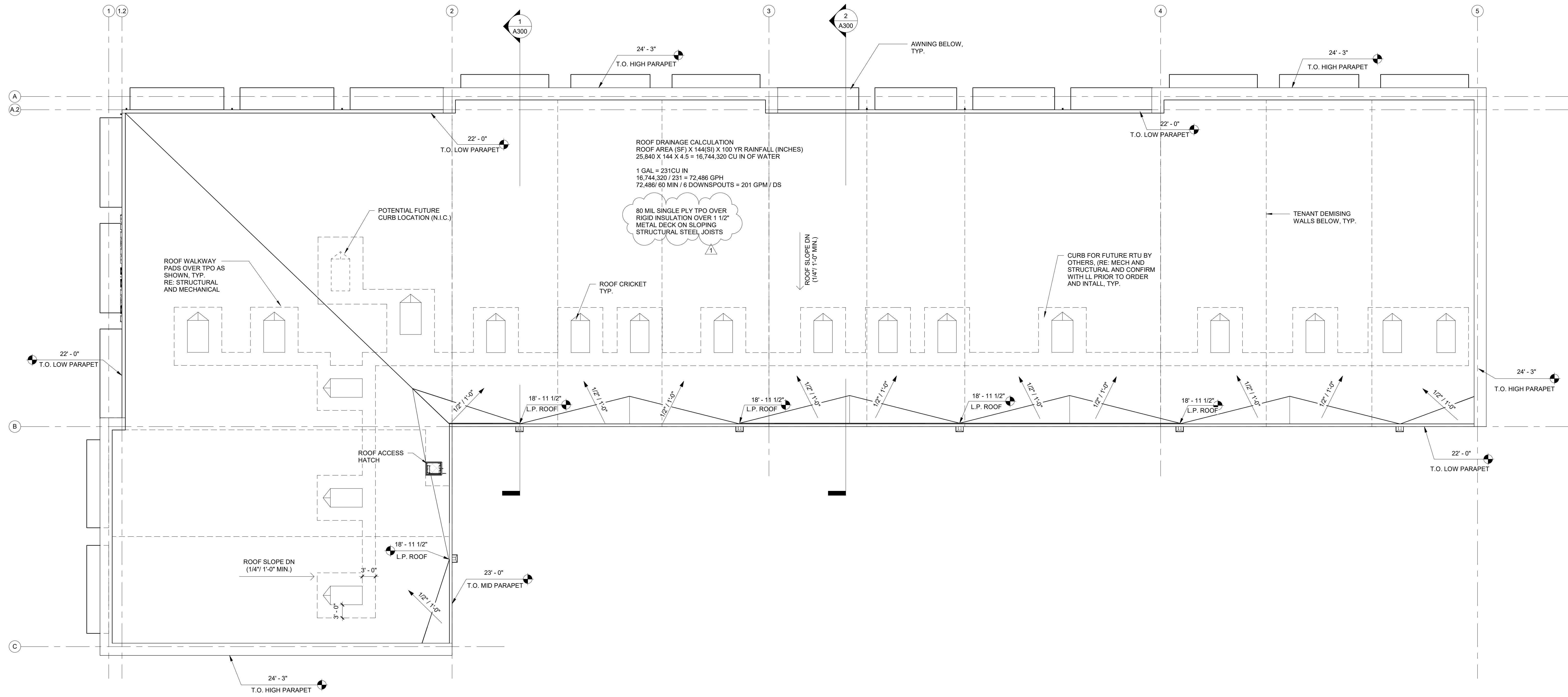
Architect of Record:  
Holly Grimes, AIA, LEED AP, NCARB  
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1	01/31/2023	ISSUE FOR BID
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JOB #	220088
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SHEET TITLE  
**ROOF PLAN & DETAILS**

SHEET NUMBER  
**A140**



1 ROOF PLAN  
3/32" = 1'-0"

ROOF DRAINAGE CALCULATION  
ROOF AREA (SF) X 144(SI) X 100 YR RAINFALL (INCHES)  
25,840 X 144 X 4.5 = 16,744,320 CU IN OF WATER  
1 GAL = 231CU IN  
16,744,320 / 231 = 72,488 GPH  
72,488 / 60 MIN / 6 DOWNSPOUTS = 201 GPM / DS

80 MIL SINGLE PLY TPO OVER  
RIGID INSULATION OVER 1 1/2"  
METAL DECK ON SLOPING  
STRUCTURAL STEEL JOISTS

CURB FOR FUTURE RTU BY  
OTHERS. (RE: MECH AND  
STRUCTURAL AND CONFIRM  
WITH LL PRIOR TO ORDER  
AND INTALL. TYP.

ROOF WALKWAY  
PADS OVER TPO AS  
SHOWN. TYP.  
RE: STRUCTURAL  
AND MECHANICAL

POTENTIAL FUTURE  
CURB LOCATION (N.I.C.)

ROOF CRICKET  
TYP.

ROOF SLOPE DN  
(1/4" / 1'-0" MIN.)

TENANT DEMISING  
WALLS BELOW. TYP.

AWNING BELOW,  
TYP.

# MASON Development & Construction Bid Set

## GENERAL NOTES

1. REFER TO SHEET A400 FOR ALL STOREFRONT TYPES, ELEVATIONS AND DETAILS.
2. ALL TENANT SIGN REFERENCES ARE GRAPHIC IN NATURE. ALL SIGNAGE TO BE SEPARATELY SUBMITTED BY OTHERS FOR PERMIT.

EXTERIOR FINISH LEGEND		
NUMBER	FINISH	COMMENTS
1	PRE-FINISHED ALUMINUM STOREFRONT	IMPACT RESISTANT STOREFRONT AND GLAZING; STOREFRONT COLOR: DARK BRONZE. REFER TO STOREFRONT SCHEDULE AND DETAILS AND DIVISION 8 OF THE PROJECT SPECIFICATIONS.
2	PAINTED CONCRETE TILT-UP PANEL	2 COATS ACRYLIC PAINT OVER PRIMER OVER TILT-UP CONCRETE; COLOR: WHITE; REFER TO DIVISION 9 OF THE PROJECT SPECIFICATIONS.
3	EXPOSED CONCRETE TILT-UP PANEL	WATER REPELLANT TILT-UP CONCRETE WALL PANELS. REFER TO DIVISION 7 OF THE PROJECT SPECIFICATIONS.
4	MURAL	(BY OTHERS) OVER PAINTED CONCRETE TILT-UP PANEL.
5	TENANT SIGN AREA	SIGNS BY OTHERS UNDER SEPARATE PERMIT (RE: ELEC) COORD WITH TILT PANEL FORMS.
6	HM DOOR AND FRAME	TWO COATS PAINT OVER PRIMER; COLOR: DARK GRAY (TO BE SELECTED BY ARCHITECT)
7	PRIMARY SCUPPER AND DOWNSPOUT	4" H X 8" W (MIN.) SCUPPER & 4.5" X 4.5" (MIN.) DOWNSPOUT. GC TO CONFIRM COMPLIANCE WITH GPM PER SCUPPER/DOWNSPOUT. SEE ROOF PLAN. PRE-FINISHED ALUMINUM. COLOR TO MATCH EXPOSED CONCRETE COLOR OF WALL.
8	OVERFLOW SCUPPER	SIZE TO MATCH PRIMARY SCUPPER AND LOCATE 2" MIN. ABOVE PRIMARY SCUPPER. MUST BE LESS THAN 4" ABOVE PRIMARY SCUPPER.
9	TRIM BAND	COLOR: DARK BRONZE; RE: WALL SECTION
10	ALUMINUM AWNING	PRE-FABRICATED PRE-FINISHED ALUMINUM AWNING; COLOR: DARK BRONZE; SIZE: 4"x4"x8". REFER TO DIVISION 10 OF THE PROJECT SPECIFICATIONS
11A	EXTERIOR LIGHT FIXTURE (SMALL)	REFER TO ELECTRICAL DWGS. COORD. ELECTRICAL BOX/SLEEVE IN TILT AS REQUIRED
11B	EXTERIOR LIGHT FIXTURE (LARGE)	REFER TO ELECTRICAL DWGS. COORD. ELECTRICAL BOX/SLEEVE IN TILT AS REQUIRED

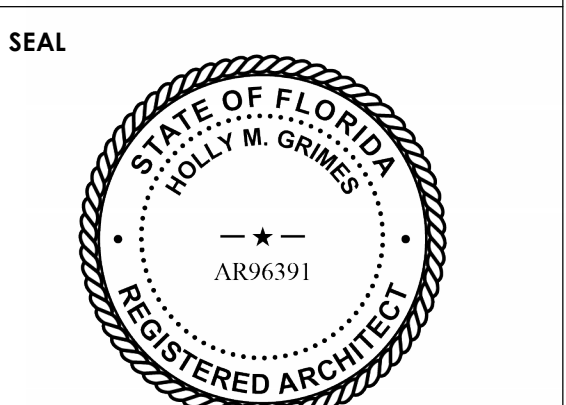
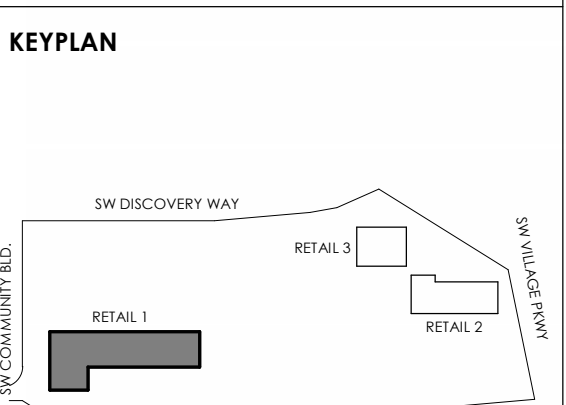


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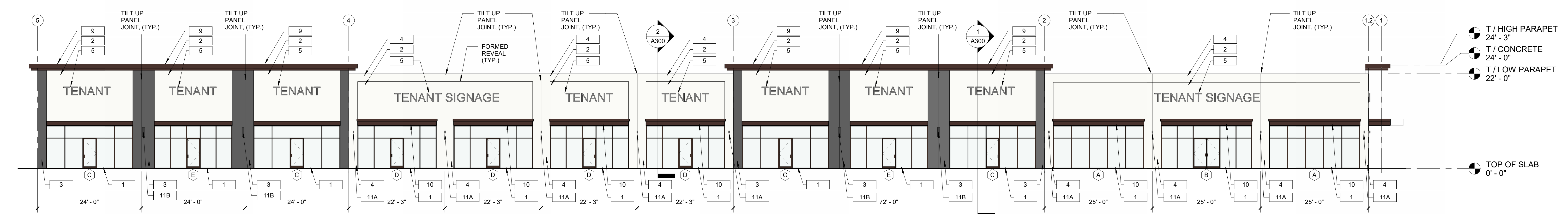
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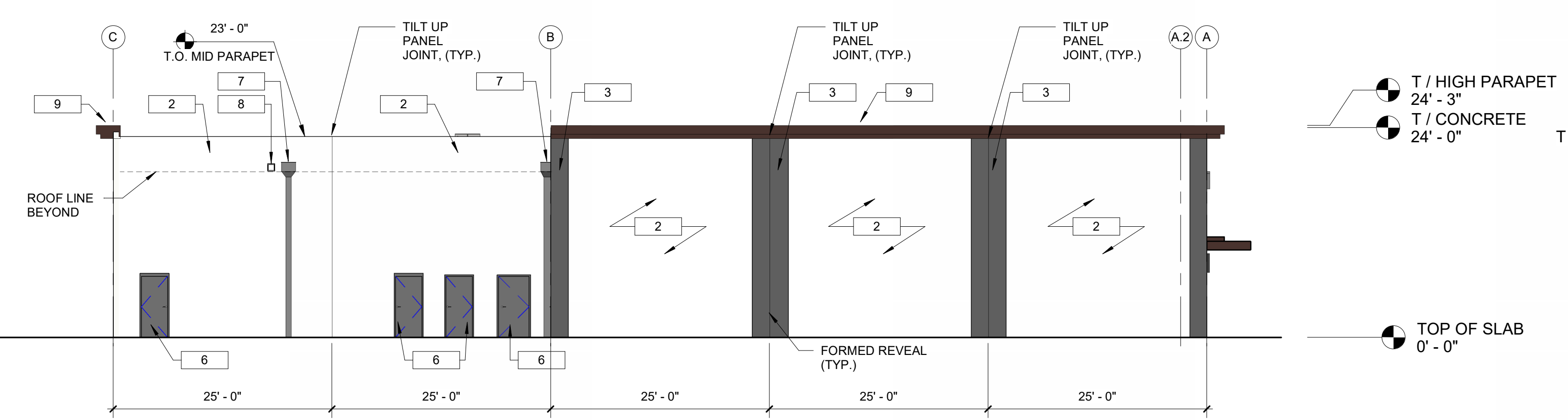
PROJECT INFORMATION BLOCK	
JOB #	220088
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SHEET TITLE  
BUILDING ELEVATIONS  
SHEET NUMBER

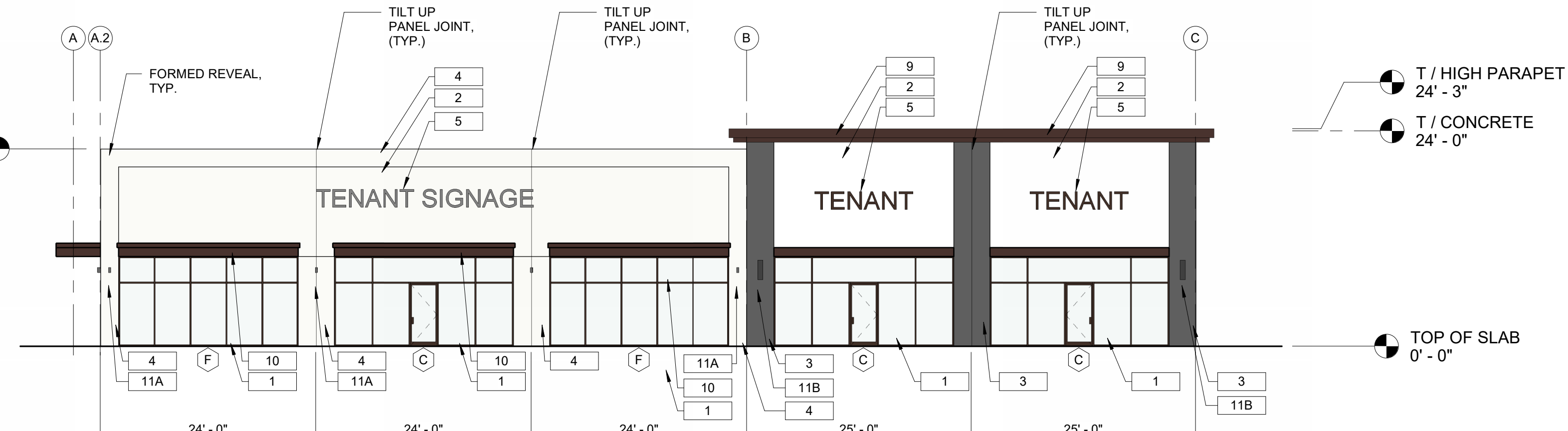
A200



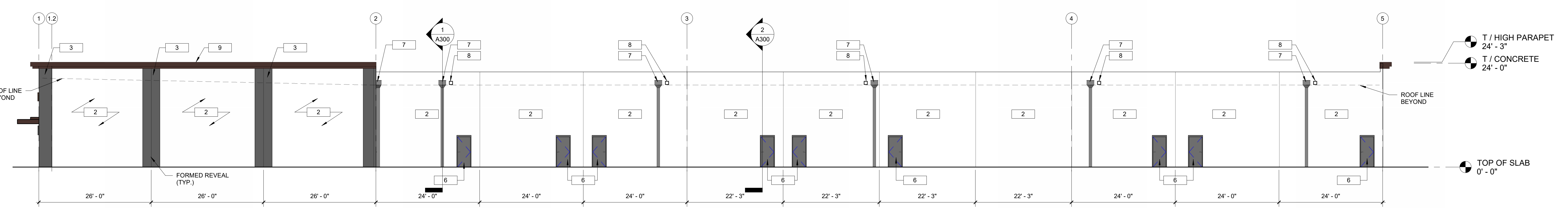
4 EXTERIOR ELEVATION NORTH  
3/32" = 1'-0"



3 EXTERIOR ELEVATION EAST  
3/32" = 1'-0"



2 EXTERIOR ELEVATION WEST  
3/32" = 1'-0"



1 EXTERIOR ELEVATION SOUTH  
3/32" = 1'-0"

**GENERAL NOTES**

1. REFER TO SHEET A400 FOR ALL STOREFRONT TYPES, ELEVATIONS AND DETAILS.  
 2. ALL TENANT SIGN REFERENCES ARE GRAPHIC IN NATURE. ALL SIGNAGE TO BE SEPARATELY SUBMITTED BY OTHERS FOR PERMIT.

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2 VIEW FROM NORTHWEST CORNER



1 VIEW FROM NORTHEAST CORNER

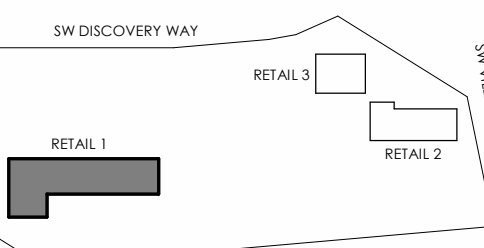


3 VIEW FROM SOUTHWEST CORNER

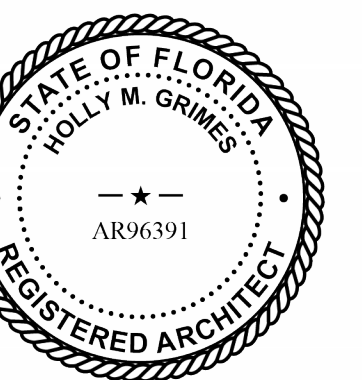
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**KEYPLAN**



**SEAL**



Architect of Record:  
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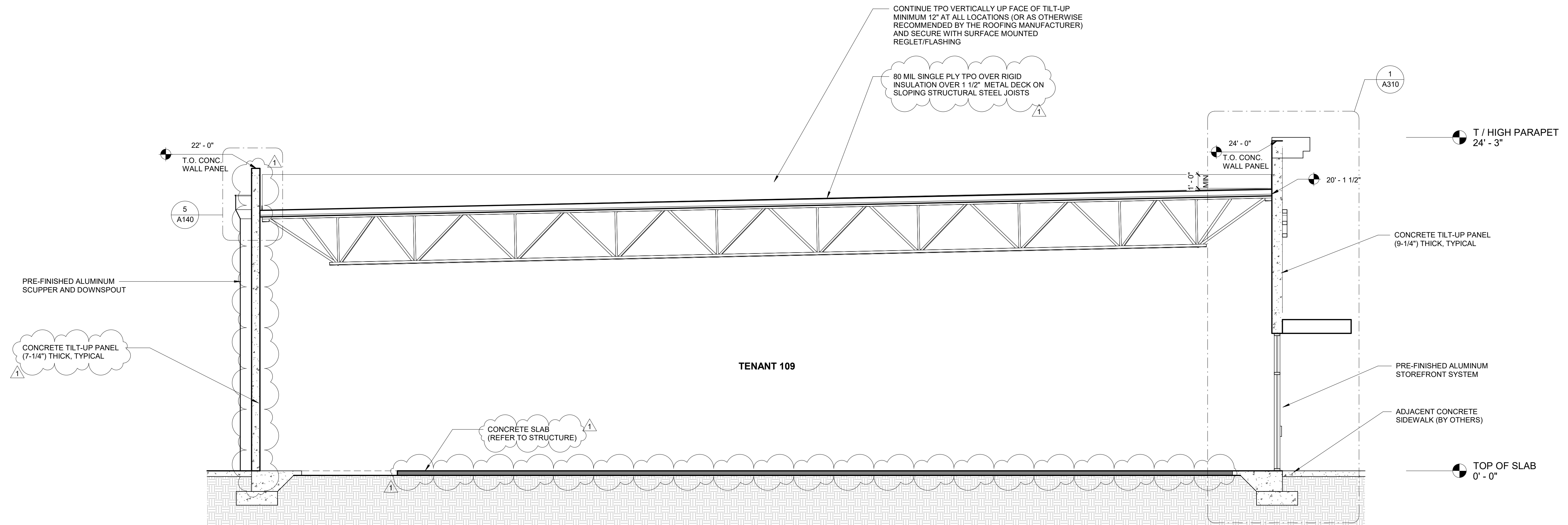
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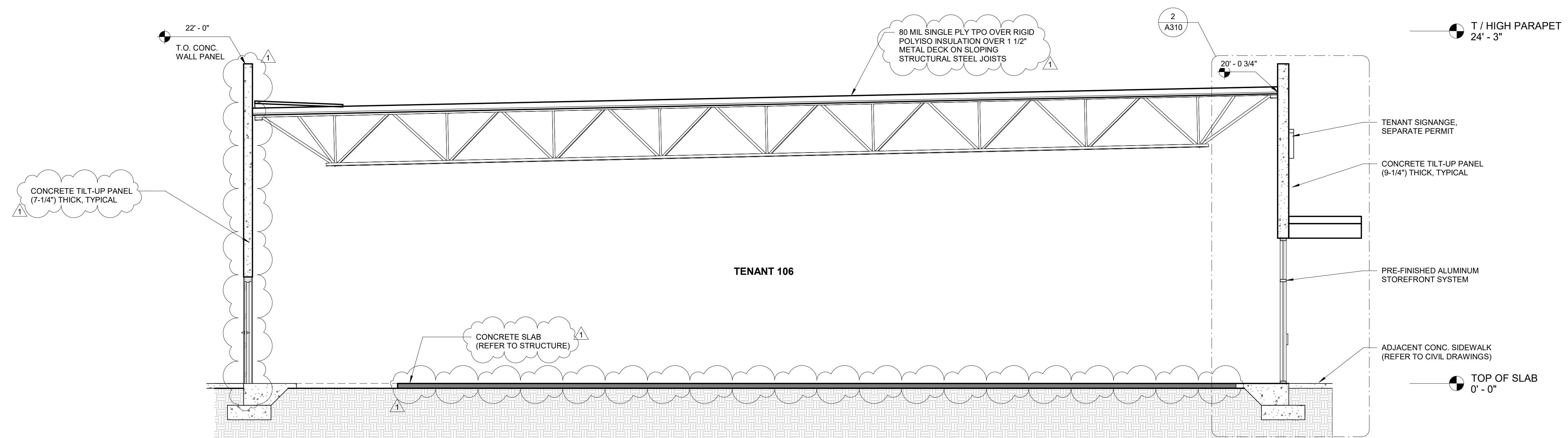
3D VIEWS

**SHEET NUMBER**

A201



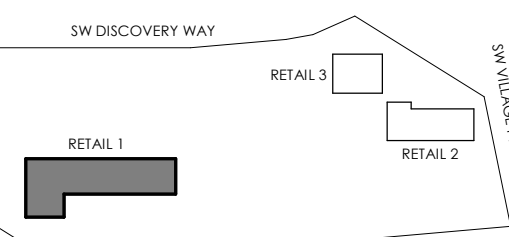
1 BUILDING SECTION - HIGH PARAPET  
1/4" = 1'-0"



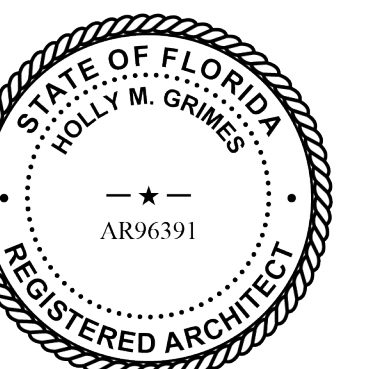
2 BUILDING SECTION - LOW PARAPET  
1/4" = 1'-0"

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REVISED TO REFLECT SUCH CHANGES. THE ARCHITECT SHALL NOT  
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PLANS, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING  
ALL DIMENSIONS AND CONDITIONS OF THE PROJECT BEFORE  
CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR  
ANY DAMAGES ASSOCIATED WITH THE CONSTRUCTION OF THE  
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SHALL BE RESPONSIBLE FOR THE COORDINATION, SCHEDULING,  
AND PERFORMANCE OF ITS WORK AND ALL WORK PERFORMED IN  
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KEYPLAN



SEAL



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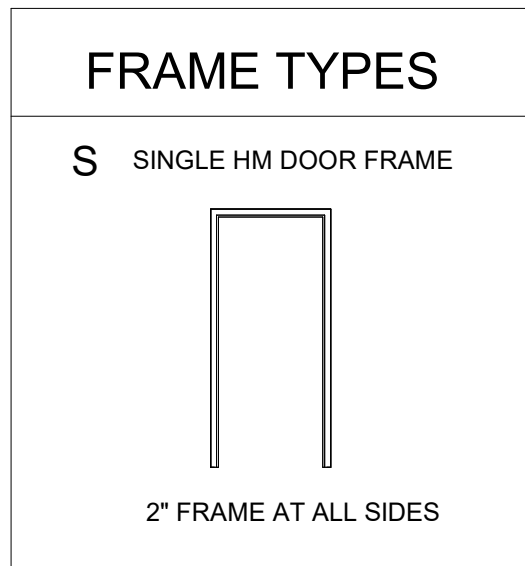
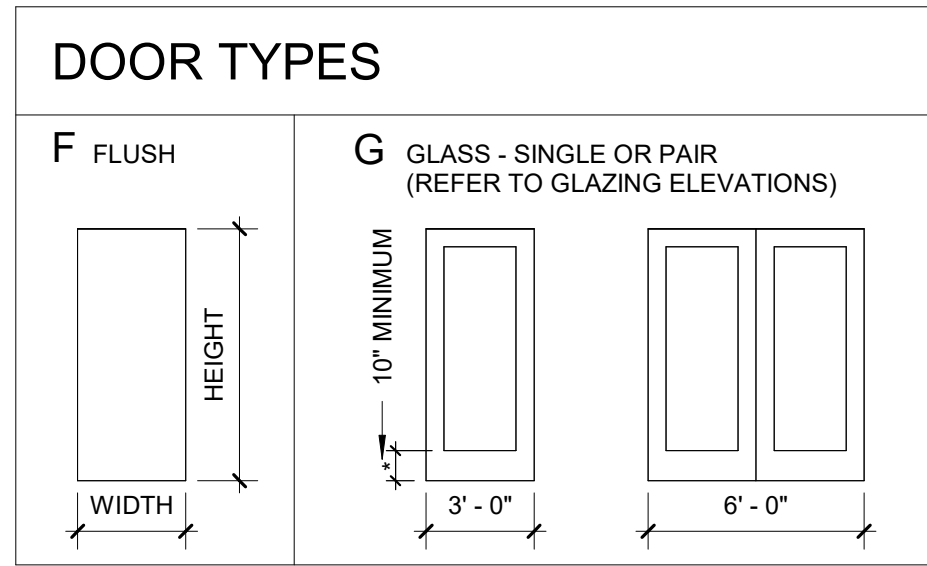
BUILDING SECTIONS

SHEET NUMBER

A300







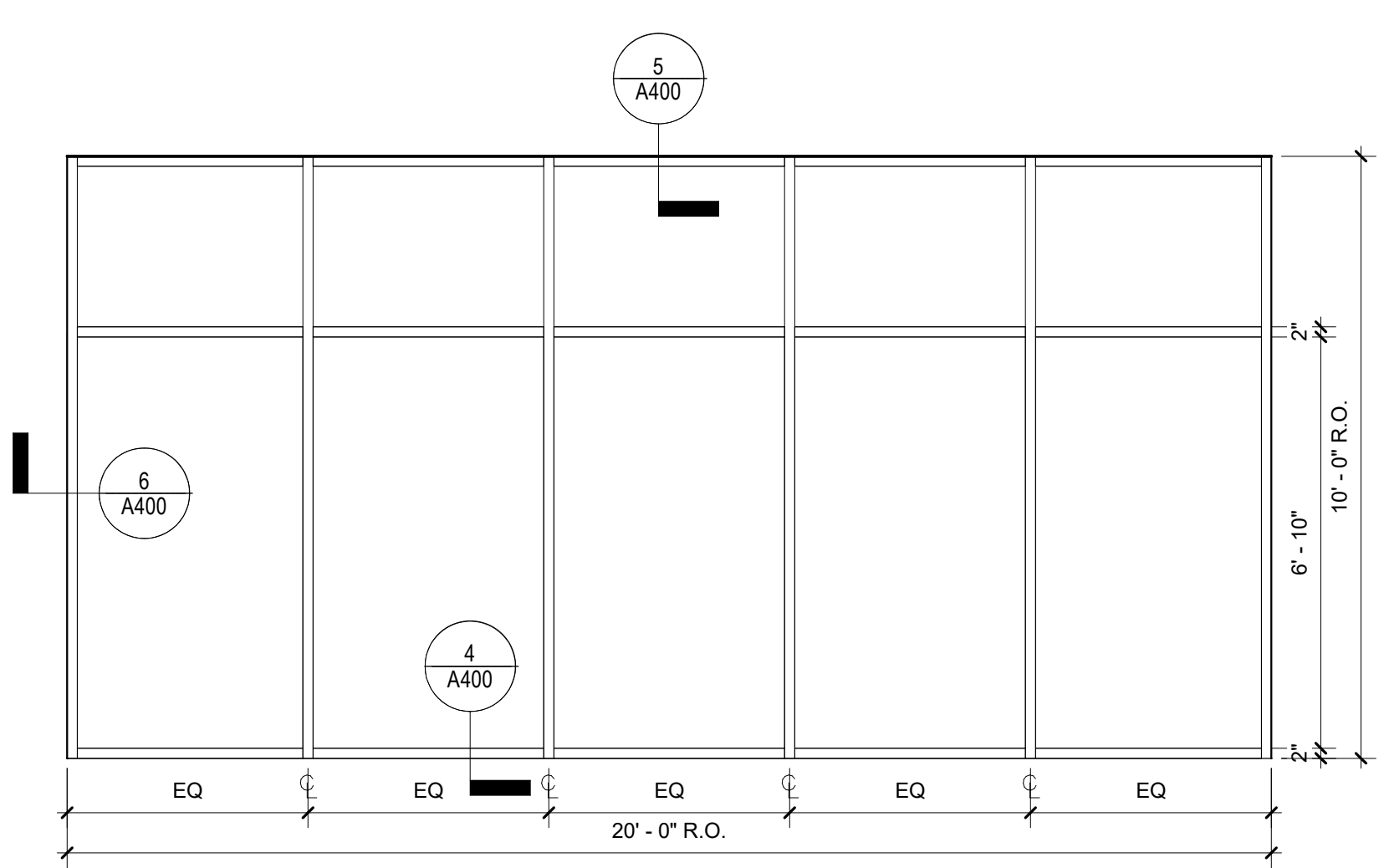
### DOOR SCHEDULE

DR NO	DOOR SIZES			TYPE	MATL	FINISH	FRAME		DETAILS			HRDW SET	COMMENTS
	WIDTH	HEIGHT	THICKNESS				MATL	FINISH	SILL	HEAD	JAMB		
001	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 1.0	
100A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
100B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
101A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
101B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
102A	3'-0"	6'-10"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
102B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
103A	3'-0"	6'-10"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
103B	3'-0"	6'-10"	0'-1 3/4"	F	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
103C	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
105A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
105B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
106A	3'-0"	6'-10"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
106B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
107A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
107B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
108A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
108B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
109A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
109B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
110A	6'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 5.0	REFER TO STOREFRONT ELEVATIONS
110B	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
110C	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 2.0	
111A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
111B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	
112A	3'-0"	7'-0"	0'-1 3/4"	G	ALUM	ANOD	ALUM	ANOD	1/A400	5/A400	6/A400	SET 4.0	REFER TO STOREFRONT ELEVATIONS
112B	3'-0"	7'-0"	0'-1 3/4"	F	HM	PAINT	HM	PAINT	1/A400	2/A400	3/A400	SET 3.0	

- ### STOREFRONT AND DOOR NOTES:
- REFER TO SPECIFICATIONS FOR DOOR HARDWARE. ALL HARDWARE SETS TO COMPLY WITH FLORIDA ACCESSIBILITY CODE.
  - STOREFRONTS AND DOORS SHALL MEET ALL LOCAL WIND SPEED AND IMPACT REQUIREMENTS.
  - OVERALL STOREFRONT DIMENSIONS ARE GIVEN AS ROUGH OPENINGS.
  - GENERAL CONTRACTOR TO VERIFY COUNT OF ALL STOREFRONT TYPES. SOME TYPES OCCUR AT MULTIPLE LOCATIONS.
  - ALL ALUMINUM STOREFRONT SYSTEMS SHALL BE DARK BROWN ANODIZED FINISH.
  - GLAZING BASIS OF DESIGN IS VITRO LAMINATED INSULATING WITH CLEAR GLASS THROUGHOUT AND SOLARBAN 60 ON SURFACE 4 OF THE LAMINATED SECTION WHICH PROVIDES A VLT OF 68%, AN EXT. REFLECTANCE OF 10%, A SHGC OF 0.37 AND A WINTER U-VALUE OF 0.28. REFER TO SPECIFICATIONS.
  - THE STOREFRONT SYSTEM BASIS OF DESIGN IS THE TRULITE RESISTOR IMPACT 3100 SERIES WITH THE TRULITE 351 DOOR. REFER TO SPECIFICATIONS.
  - FLOOR VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
  - PRIOR TO INSTALLING SEALANT AND CLOSED CELL BACKER RODS, ENSURE THAT ALL JOINTS ARE DRY AND FREE FROM DEBRIS.
  - AT ALL STOREFRONT DOORS, SET ACCESSIBLE THRESHOLD IN FULL BED OF SEALANT.

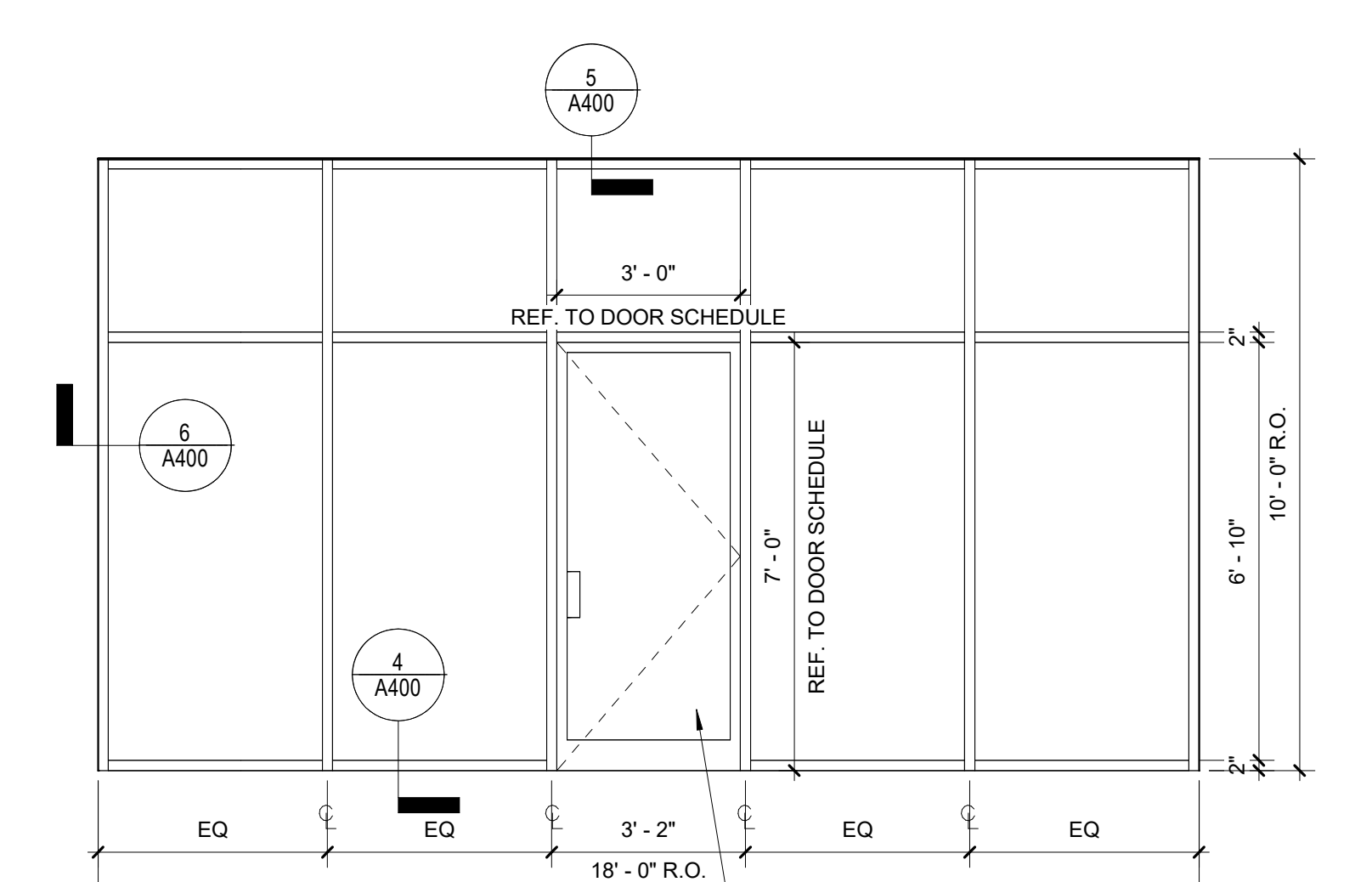
- ### DOOR TRANSITION NOTES:
- FLOOR LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED OR TAPERED 1:2 PER ADA.
  - FLOOR LEVEL CHANGES BETWEEN 1/4" AND 1/2" SHALL BE TAPERED AT A MAX 1:2 RATIO. MAX VERTICAL SHALL BE 1/4".
  - FLOOR LEVEL CHANGES GREATER THAN 1/2" SHALL BE SLOPED AT A MIN 1:12 RATIO OR PROVIDE ADA THRESHOLD.

## MASON Development & Construction Bid Set



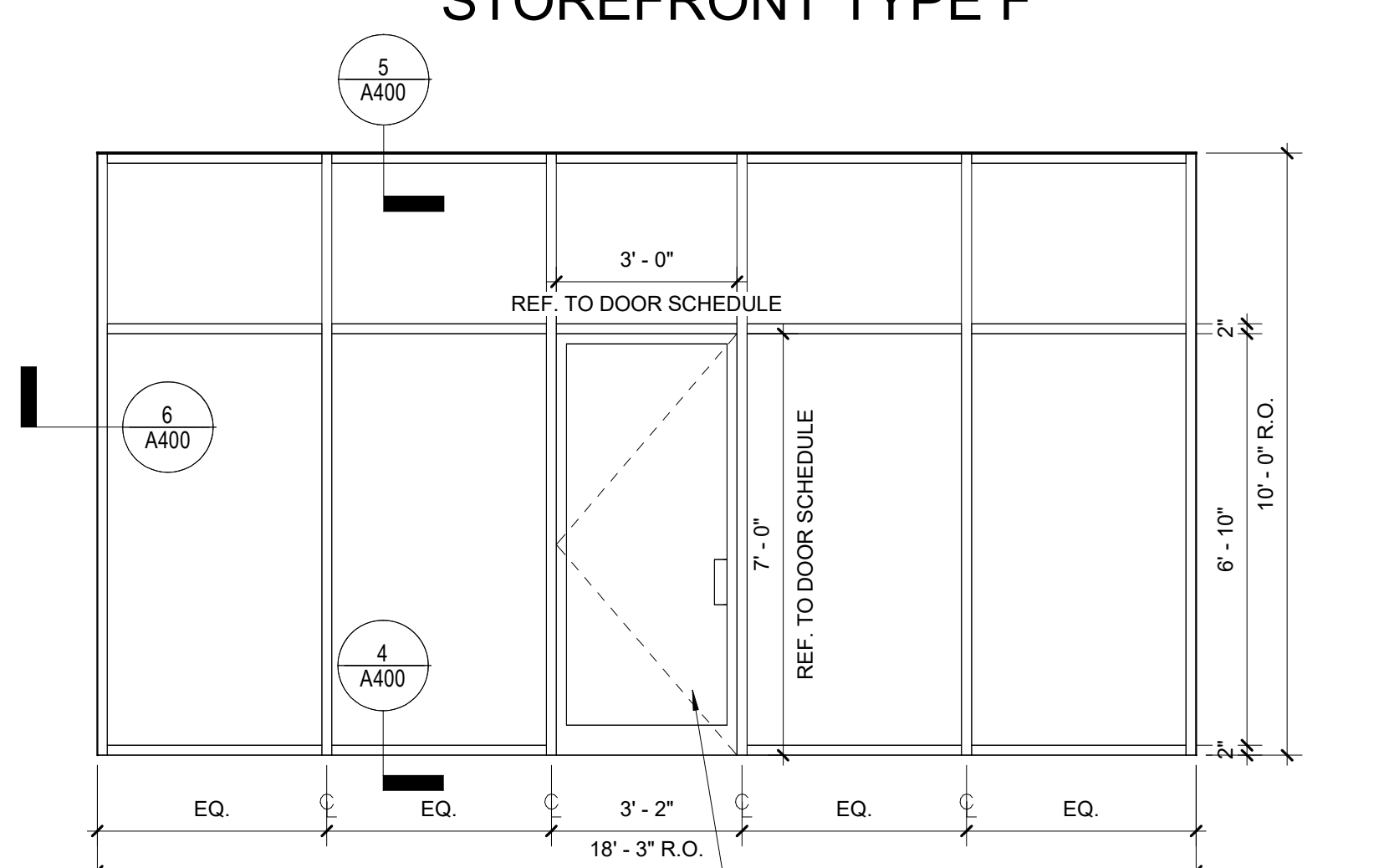
NOTE: USE 1-5/16" LAMINATED INSULATING GLAZING UNITS

### STOREFRONT TYPE F



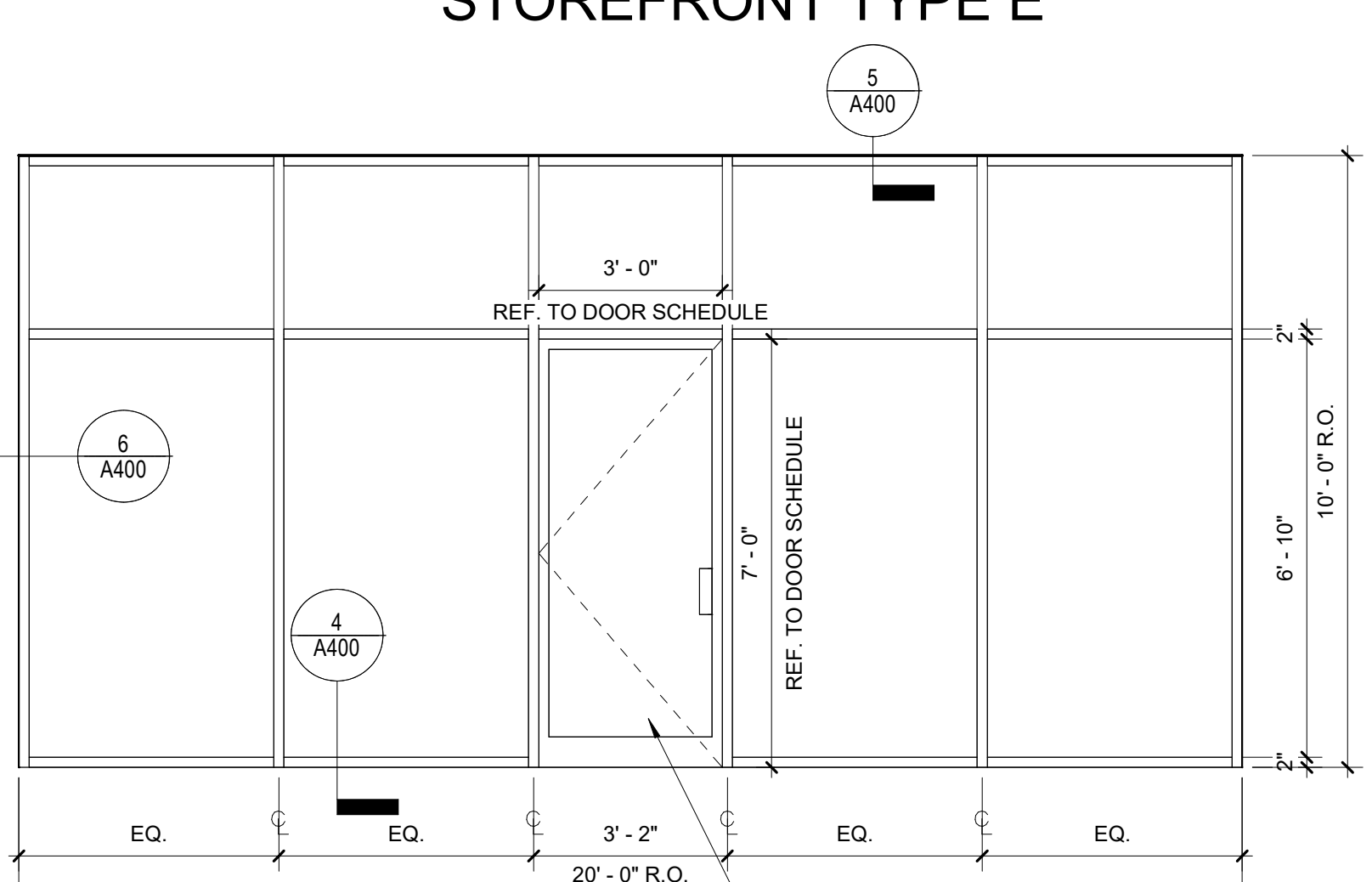
NOTE: USE 1-5/16" LAMINATED INSULATING GLAZING UNITS

### STOREFRONT TYPE E



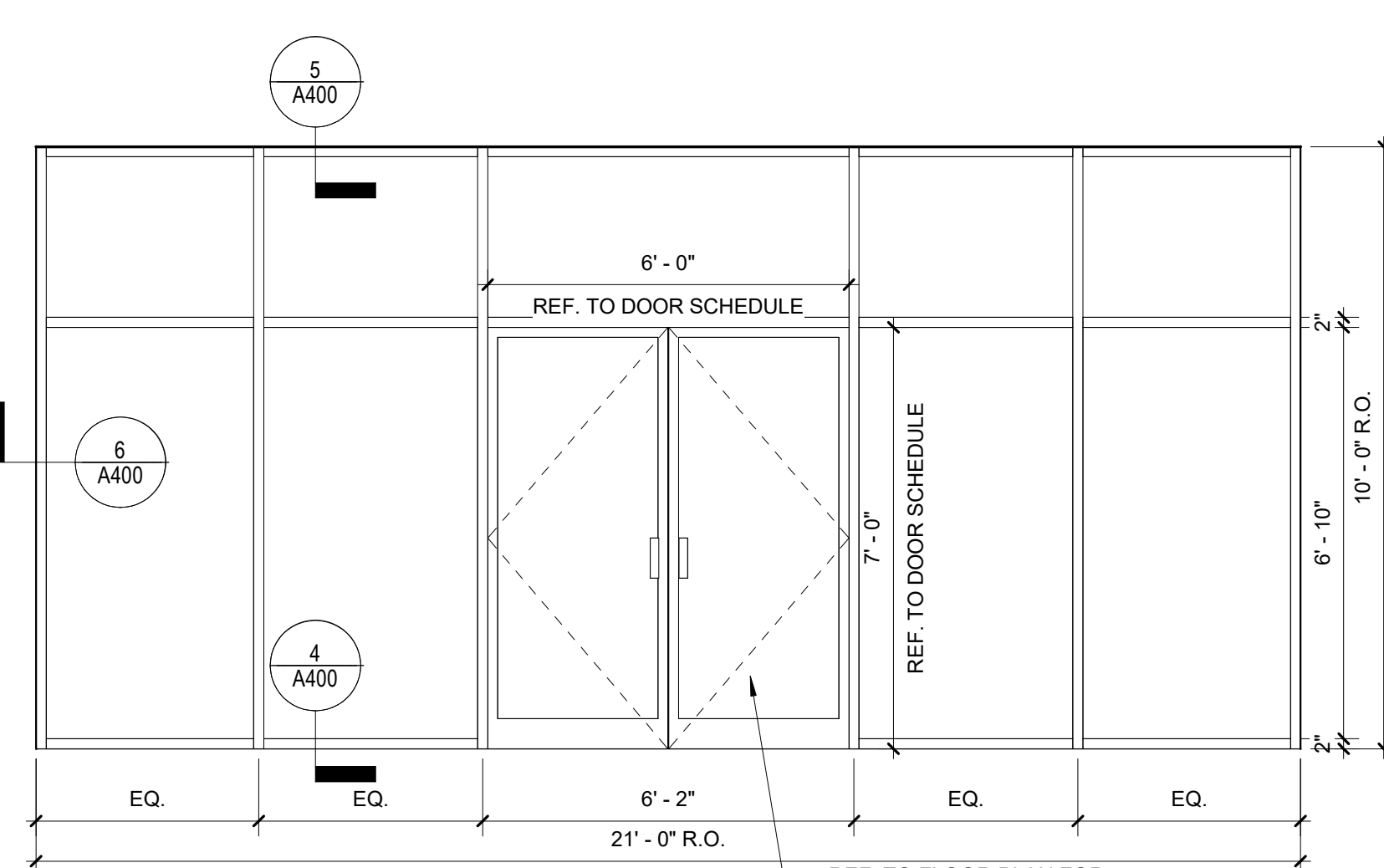
NOTE: USE 1-5/16" LAMINATED INSULATING GLAZING UNITS

### STOREFRONT TYPE D



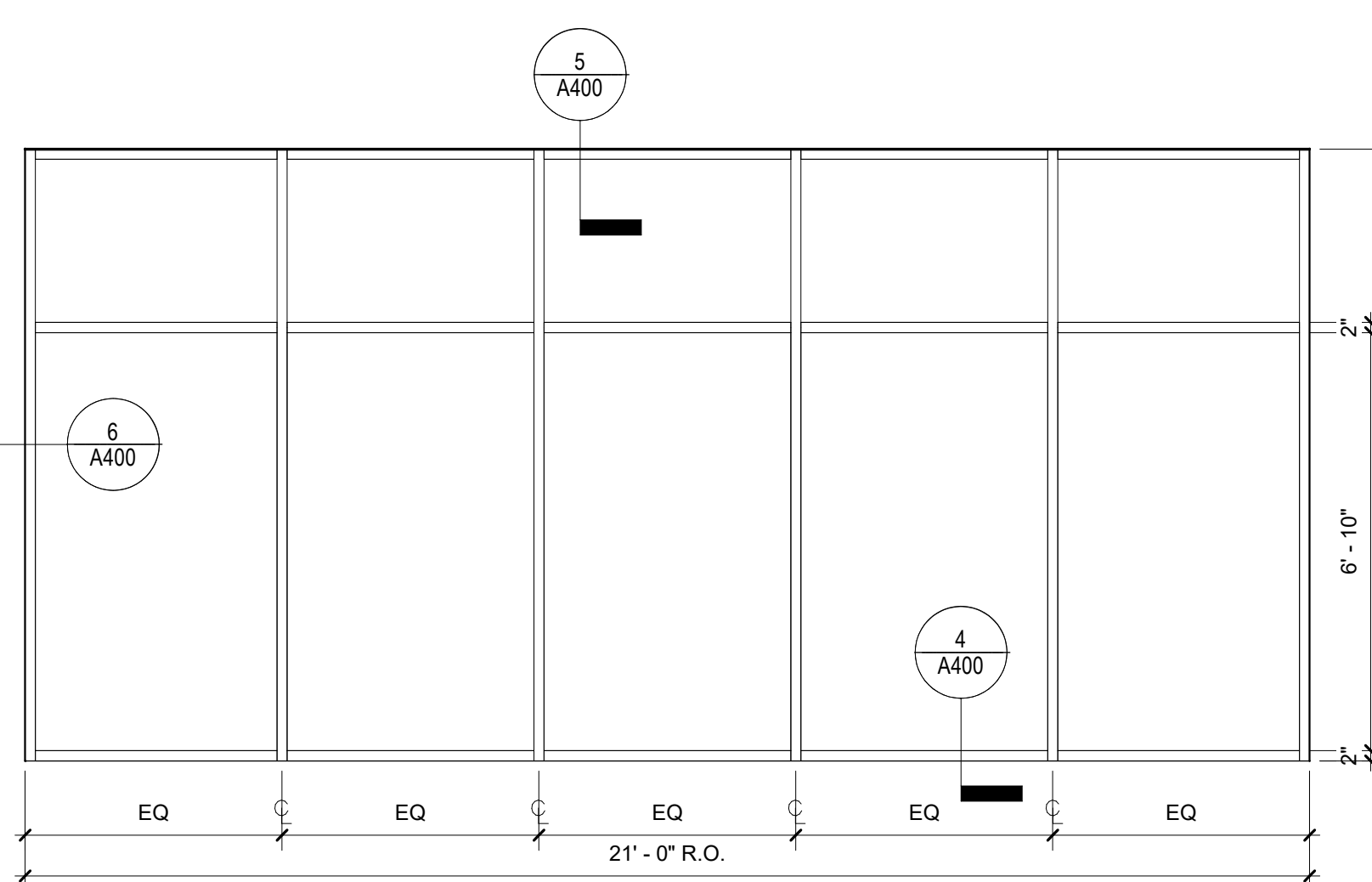
NOTE: USE 1-5/16" LAMINATED INSULATING GLAZING UNITS

### STOREFRONT TYPE C



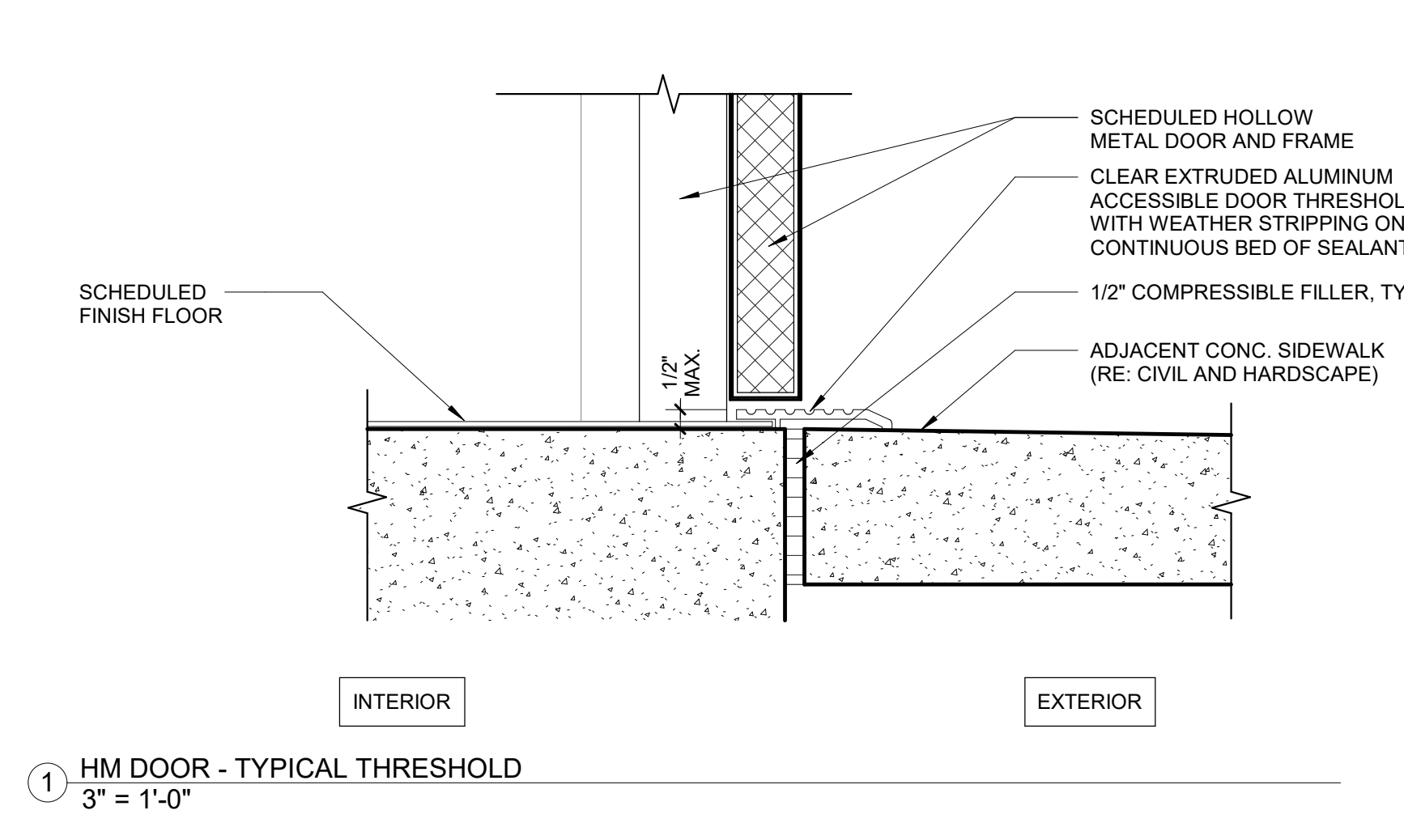
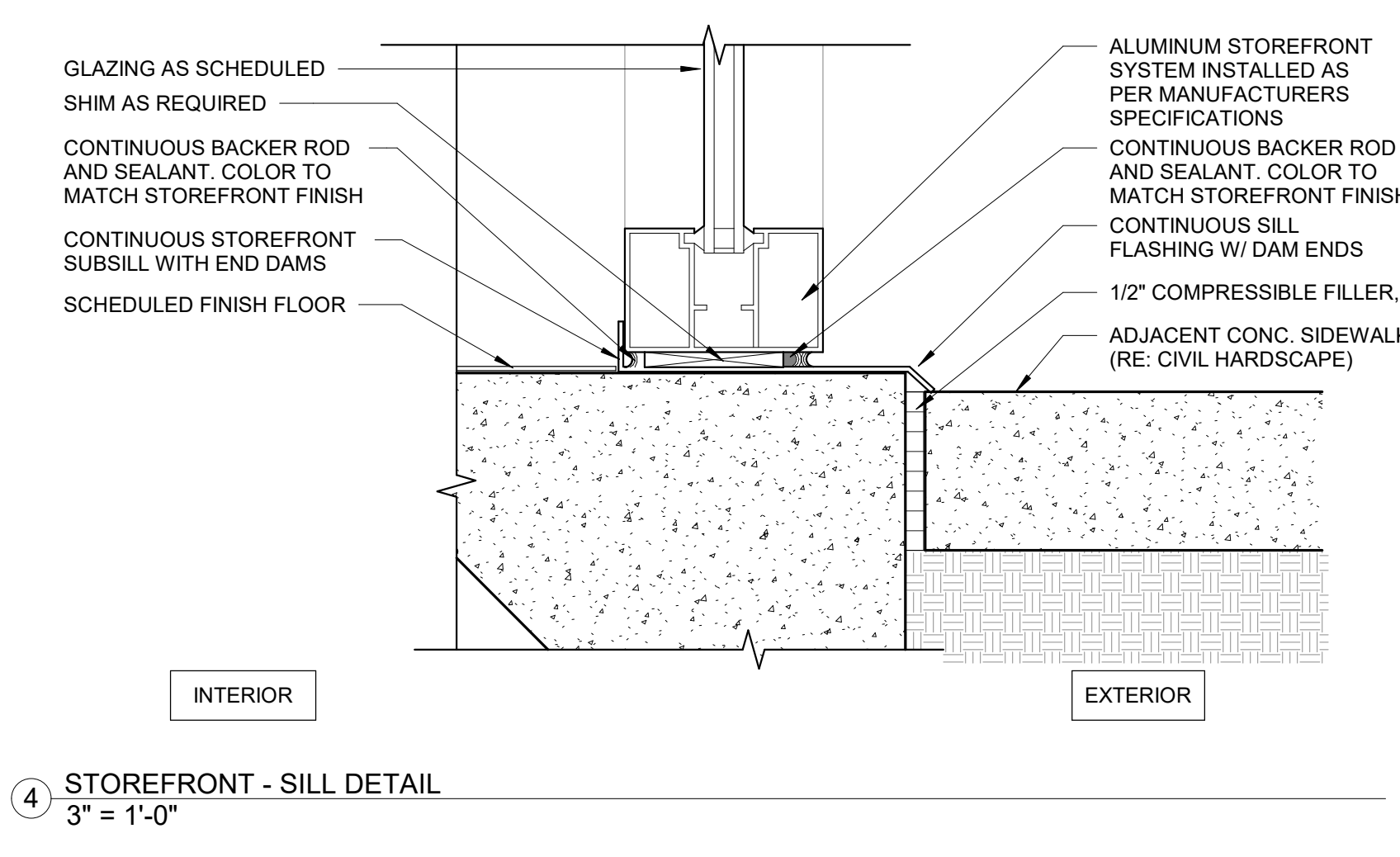
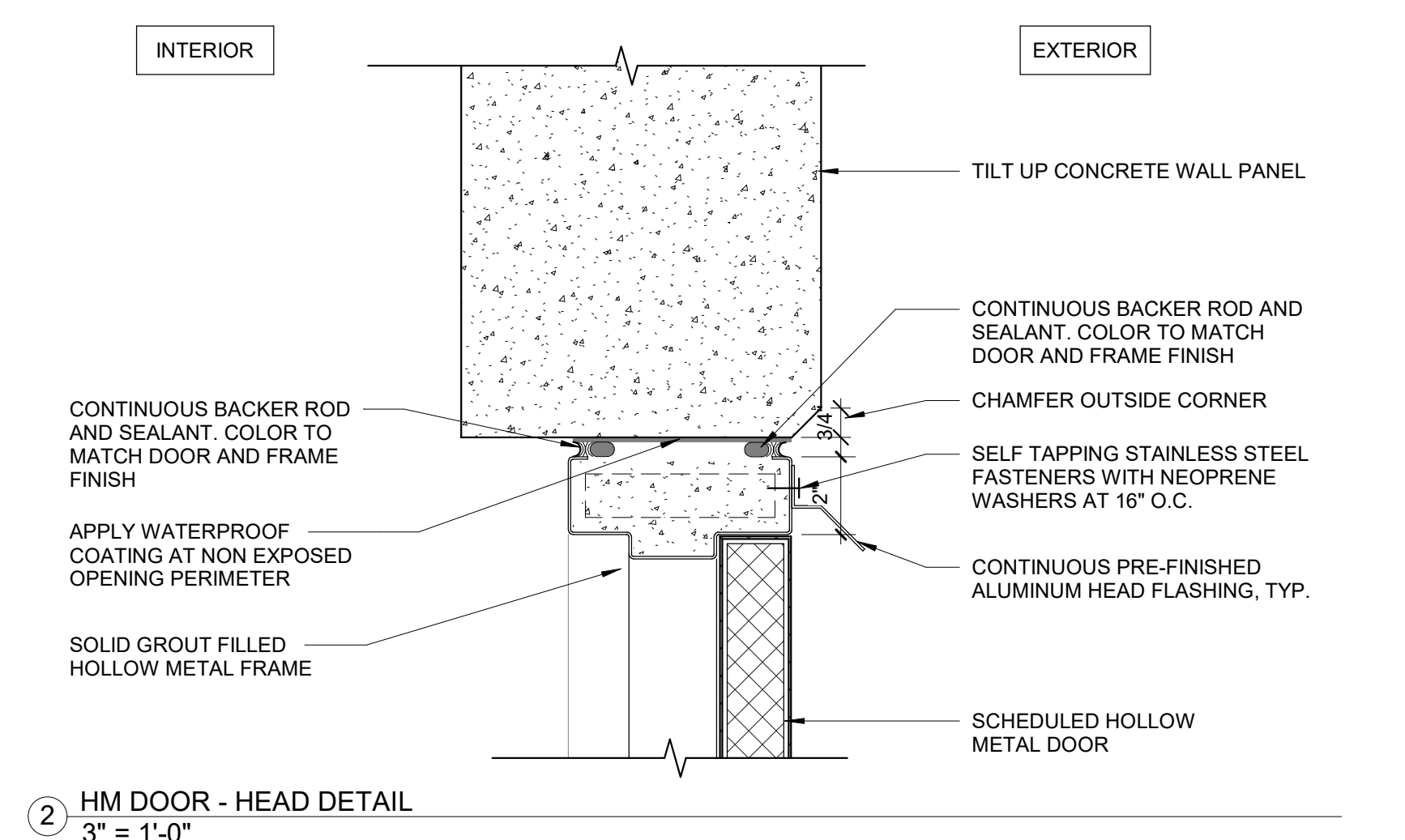
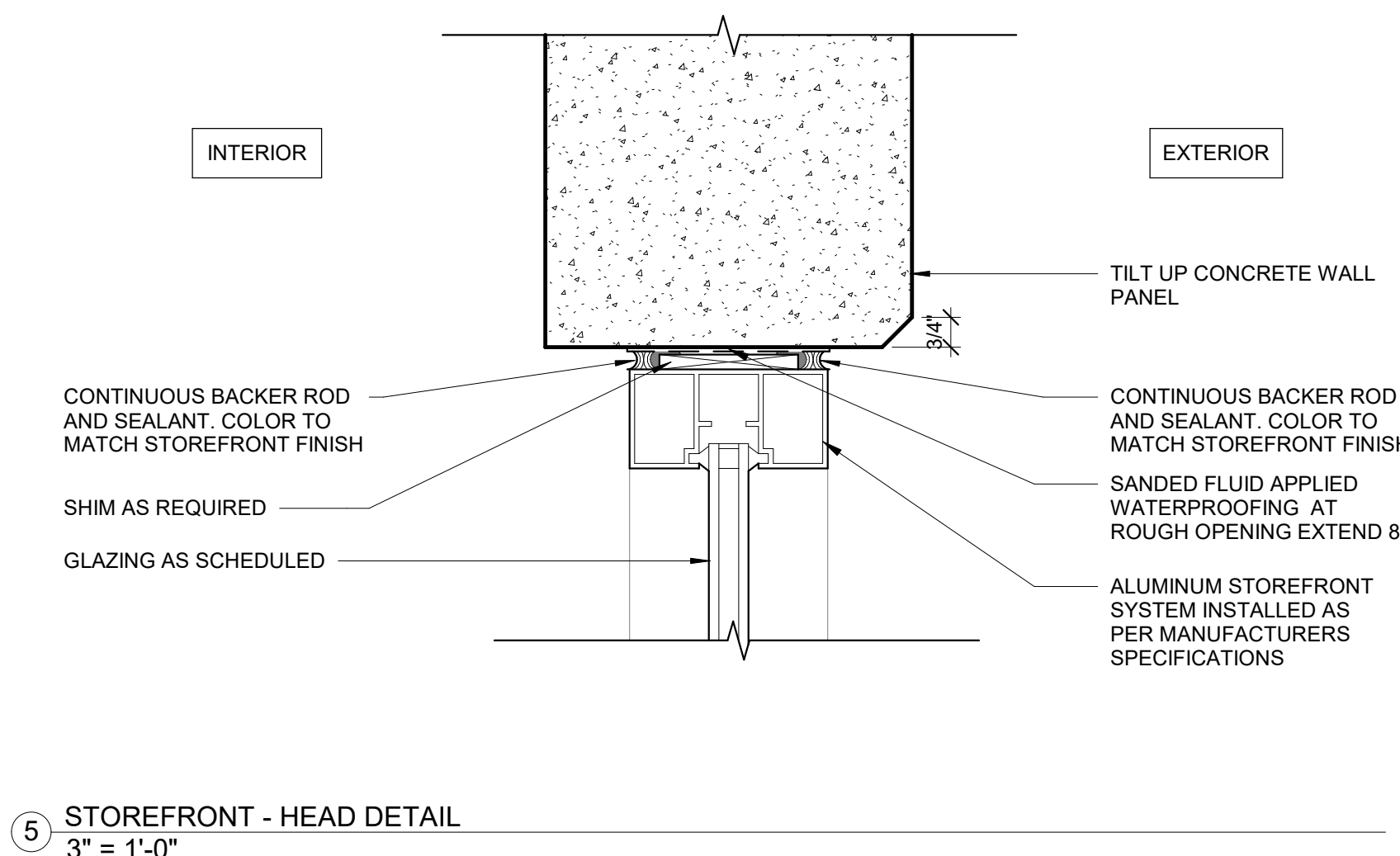
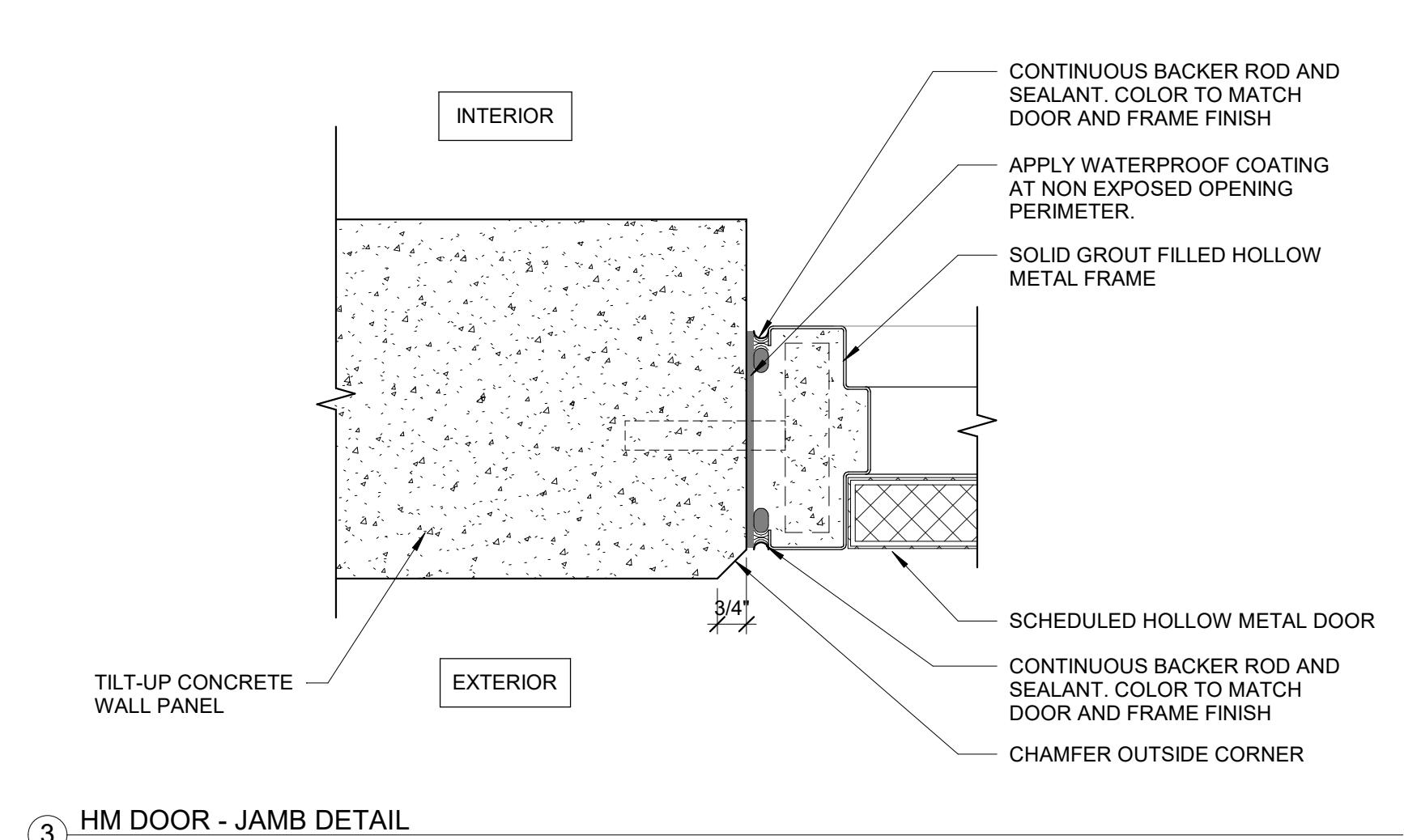
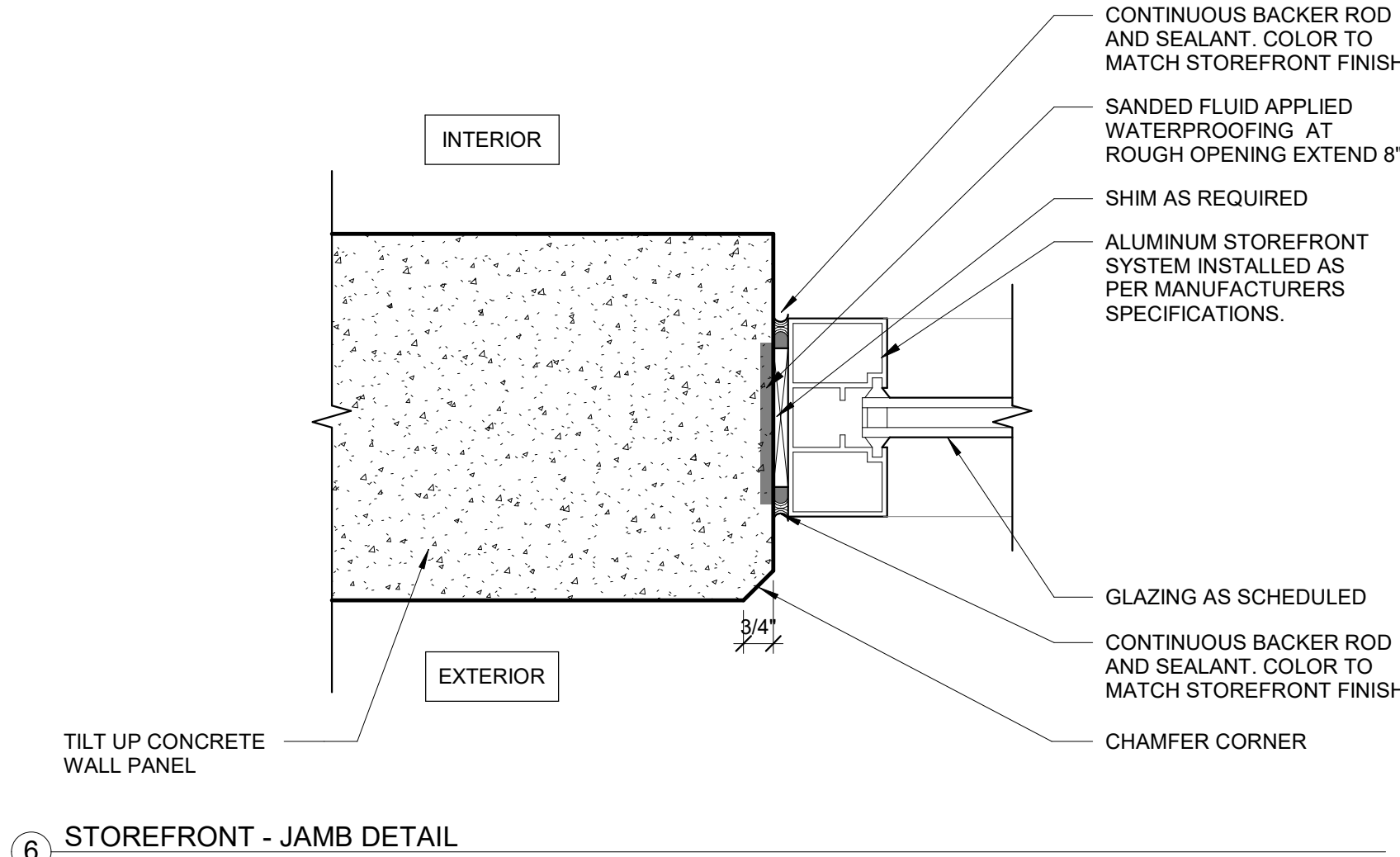
NOTE: USE 1-5/16" LAMINATED INSULATING GLAZING UNITS

### STOREFRONT TYPE B



NOTE: USE 1-5/16" LAMINATED INSULATING GLAZING UNITS

### STOREFRONT TYPE A

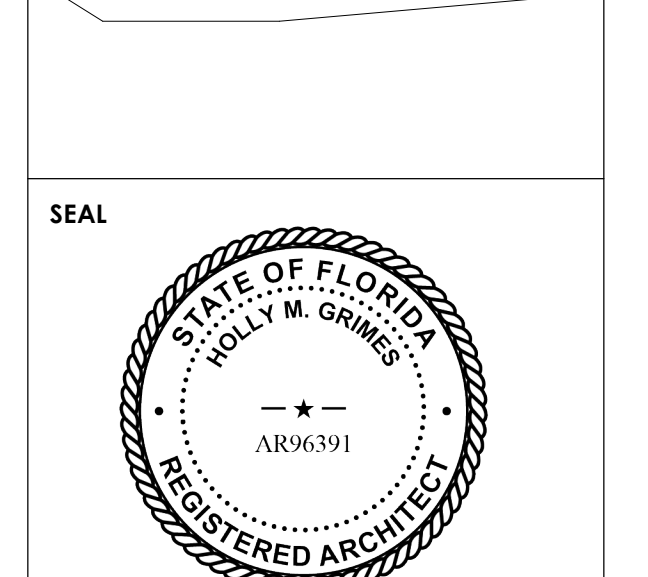
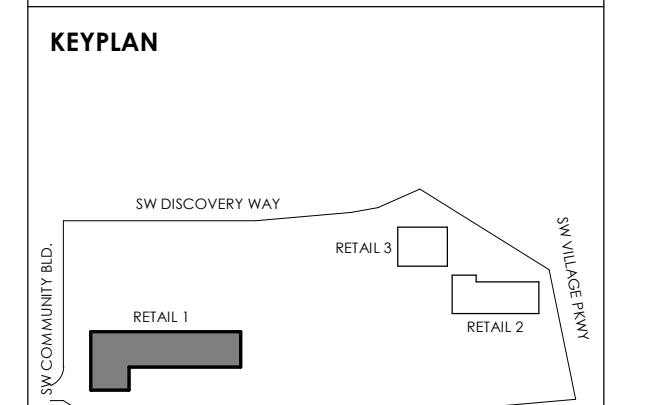


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Architect of Record:  
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ISSUE BY	DATE	DESCRIPTION
1	01/31/2023	ISSUE FOR BID

PROJECT INFORMATION BLOCK  
JOB # 220088  
DATE 05/31/2023  
DRAWN BY: PS/GT/PJ  
CHECKED BY: HG/DM

SHEET TITLE  
STOREFRONT & DOOR SCHEDULE & DETAILS

SHEET NUMBER  
A400