

CONSTRUCTION PLANS

JACKIE ROBINSON TRAINING COMPLEX

EXECUTIVE BUILDING

LOCATED IN:

SECTION 3, TOWNSHIP 33 SOUTH, RANGE 39 EAST
INDIAN RIVER COUNTY, FLORIDA

PREPARED FOR:

MAJOR LEAGUE BASEBALL
3901 26TH STREET
VERO BEACH, FL 32960



GENERAL NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL COORDINATE AND PROVIDE UTILITY LOCATES SERVICES WITHIN THE AREA OF CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCKING OUT ALL ELECTRICAL POWER SERVICE PRIOR TO ANY CLEARING AND GRUBBING OPERATIONS.
3. THE CONTRACTOR SHALL REMOVE ALL EXCESSIVE SOIL AND EXISTING MATERIALS OFF-SITE IN A LEGAL MANNER AT NO ADDITIONAL COST TO THE COUNTY. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND CUT/FILL CALCULATIONS.
4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION ACTIVITY. ANY FIELD DEVIATIONS FOUND SHALL BE BROUGHT TO THE E.O.R. ATTENTION.
5. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL LAND SURVEYING LAYOUTS AND AS-BUILT SURVEYING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE AND CONSTRUCTION SAFETY MEASURES IN ACCORDANCE WITH THE MOST CURRENT O.S.H.A. STANDARDS.
7. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS FOR SHOP DRAWING REVIEW AND APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.
8. EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION OBTAINED BY CITY OF VERO BEACH UTILITIES DEPARTMENT AND DATA FROM DESIGN DOCUMENTS PREPARED CARTER ASSOCIATES, INC. JULY 14, 1989.

UNDERGROUND UTILITIES LOCATE NOTE:

THE CONTRACTOR SHALL HIRE A 3RD PARTY UNDERGROUND LOCATE UTILITY COMPANY TO LOCATE ALL UNDERGROUND EXISTING UTILITIES SUCH AS WATER, SEWER, DRAINAGE, AND LP GAS LINES PRIOR TO ANY SITE DEMOLITION ACTIVITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS WITH THE INTENDED DESIGN.

THE CONTRACTOR SHALL NOT REMOVE ANY UNDERGROUND UTILITIES UNLESS DIRECTED BY OWNER OR ENGINEER.

THE CONTRACTOR SHALL POTHOLE UTILITY LINES AND CONFIRM ACTUAL UTILITY TYPE, DEPTH, PIPE SIZE, AND MATERIALS.

PER FIELD/CITY COMMENTS	3.29.23 WJM	DATE	BY
1			

FTE Sports
DESIGN FOR PERFORMANCE

FTE Sports
8250 Pascal Drive
Punta Gorda, FL 33950
Office: 941.961.7560
CA00007924

Professional Land Surveying
Masteller, Moler & Taylor, Inc.
1655 27th Street, Suite 2
Vero Beach, FL 32960
Office: 772.564.8050

FAWLEY BRYANT
ARCHITECTURE

5391 Lakewood Ranch Blvd. N
Suite 300
Lakewood Ranch, FL 34240
Office: 941.343.4070

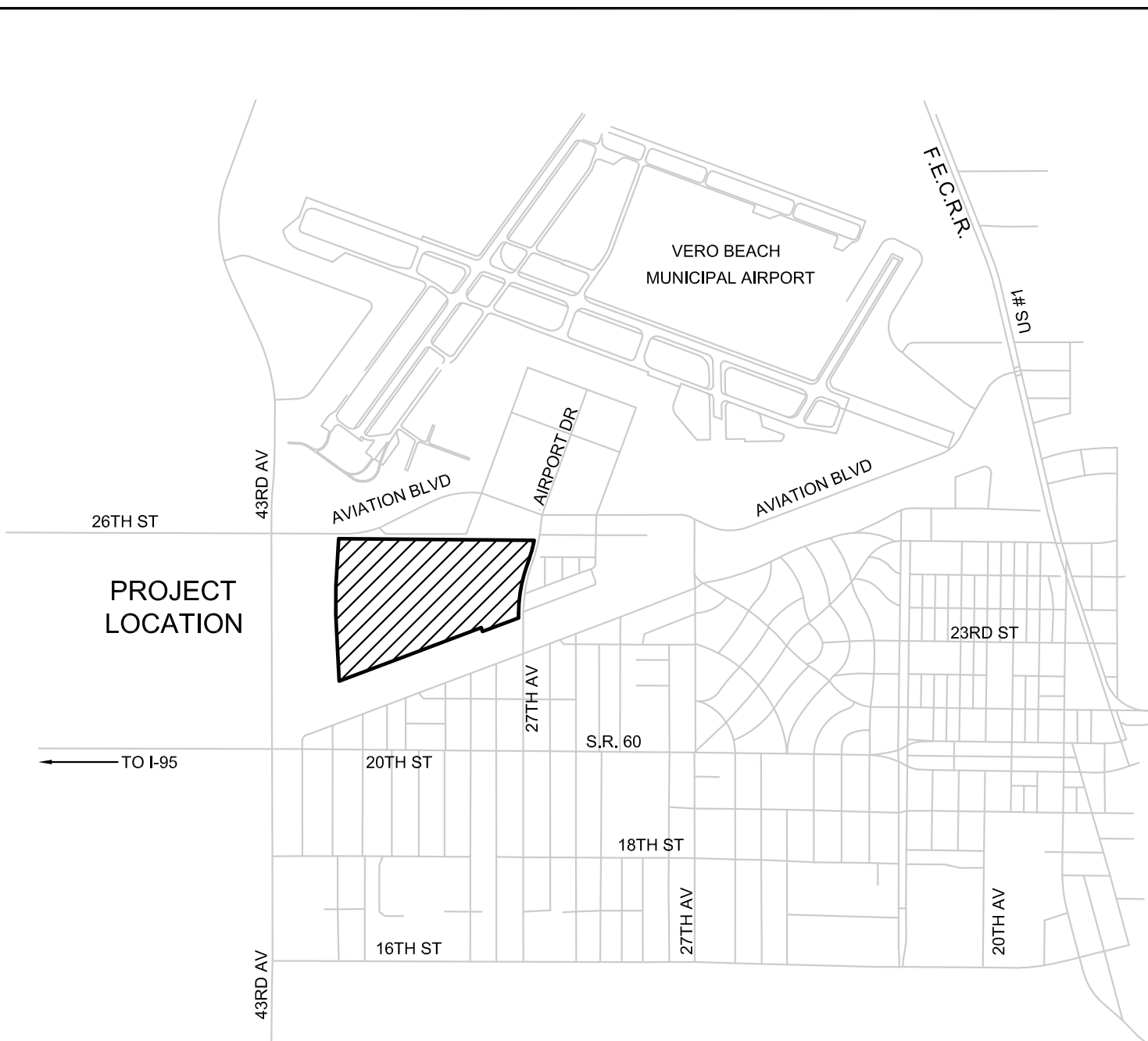
PERMIT DOCUMENTS

DESIGN PROFESSIONAL

RAVI DEVAGUPTAPU, PE
PE NUMBER 53150
STATE OF FLORIDA

FTE PROJECT	621005-00
DATE:	3.30.2023
SCALE:	N.T.S.
DESIGNED BY:	WJM
DRAWN BY:	WJM
CHECKED BY:	RD

LOCATION MAP



AERIAL MAP



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RAVI DEVAGUPTAPU, STATE OF FLORIDA
PROFESSIONAL ENGINEER, LICENSE NO. 53150

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RAVI DEVAGUPTAPU ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Ravi Devaguptapu
DN: cn=Ravi Devaguptapu, o=FTE, ou=6DCFC03B7633352720556E52F, email=rd@ftec.com, c=US
Date: 2023.03.30 11:50:28 -0400

COVER SHEET

JACKIE ROBINSON
TRAINING COMPLEX
EXECUTIVE BUILDING
MAJOR LEAGUE BASEBALL
3901 26TH STREET
VERO BEACH, FL 32960
INDIAN RIVER COUNTY FL

SHEET NUMBER
CC-1.00

PRE-BID SUBMITTAL
THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO FAMILIARIZE HIMSELF WITH THE CONDITIONS FOR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER A WRITTEN LIST OF ALL PERMITS AND PERMITS REQUIRED ON BEHALF OF THE OWNER. IN CASE OF ANY DISCREPANCY EITHER IN PERMIT DOCUMENTS, PLANS, DRAWINGS, OR SPECIFICATIONS, THE CONTRACTOR MUST PROMPTLY SUBMIT A "WRITTEN CLARIFICATION REQUEST" TO THE OWNER, WHO WILL PROMPTLY FORWARD SAME TO THE ENGINEER WHO WILL MAKE A DETERMINATION IN WRITING. THE CONTRACTOR MUST VERIFY EXISTING FACILITY INFORMATION AND DESIGN/PERMIT DATA REQUIRED FOR WORK THAT IS TO CONNECT WITH EXISTING FACILITIES. ANY DISCREPANCIES BETWEEN THE CONTRACT REQUIREMENTS AND THE EXISTING CONDITIONS MUST BE REFERRED TO THE OWNER, IN WRITING, FOR AN ENGINEERING DETERMINATION. ANY FURTHER ADJUSTMENT DUE TO FAILURE BY THE CONTRACTOR TO IDENTIFY THE RELATED DISCREPANCY, WILL BE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY LICENSES AND ADDITIONAL PERMITS, AND FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, AND REGULATIONS IN CONNECTION WITH THE PERFORMANCE OF THE WORK.

CONSTRUCTION SAFETY AND LIABILITY
A. THE CONTRACTOR MUST TAKE PROPER SAFETY AND HEALTH PRECAUTIONS TO PROTECT THE WORK, THE WORKERS, THE PUBLIC, AND THE PROPERTY OF OTHERS. METHODS USED TO MAINTAIN AND PROTECT THE WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
B. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS DELIVERED AND WORK PERFORMED UNTIL COMPLETION AND ALL ACCIDENTS THAT BEING OBTAINED.
C. THE CONTRACTOR SHALL MAINTAIN TRAFFIC DURING CONSTRUCTION IN ACCORDANCE WITH "THE STATE OF FLORIDA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
D. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO PERSONS OR PROPERTY THAT OCCURS AS A RESULT OF HIS NEGLIGENCE.
E. THE CONTRACTOR MUST TAKE HARMLESS AND INDEMNIFY THE OWNER AND FTE AND FTE SPORTS, ITS OFFICERS, REPRESENTATIVES, AND EMPLOYEES FROM ALL CLAIMS, LOSS, DAMAGE, ACTIONS, CAUSES OF ACTION, AND/OR EXPENSES RESULTING FROM, BROUGHT FOR, OR ON ACCOUNT OF ANY PERSONAL INJURY OR PROPERTY DAMAGE RECEIVED OR SUSTAINED BY ANY PERSONS OR PROPERTY GROWING OUT OF OCCURRING, OR ATTRIBUTABLE TO ANY WORK PERFORMED UNDER OR RELATED TO THIS CONTRACT, RESULTING IN WHOLE OR IN PART FROM THE NEGLIGENT ACTS OR OMISSIONS OF THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY EMPLOYEE, AGENT, OR REPRESENTATIVE OF THE CONTRACTOR OR ANY SUBCONTRACTOR.

PRE-CONSTRUCTION
THE OWNER SHALL SECURE PRIOR TO CONSTRUCTION A PROFESSIONAL LAND SURVEYOR TO PERFORM AN "AS-BUILT" SURVEY OF ALL CONSTRUCTION. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL SECURE PRIOR TO CONSTRUCTION A PROFESSIONAL ENGINEER TO PROVIDE THE APPROPRIATE SERVICES NEEDED IN ORDER TO CERTIFY TO ALL APPLICABLE REGULATORY AGENCIES THAT THE IMPROVEMENTS WERE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH ALL APPLICABLE PERMITS AND APPROVALS. THE OWNER SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, SURVEYOR, CONTRACTOR, TESTING LAB, UTILITY COMPANIES, AND APPROPRIATE REGULATORY AGENCIES. THE CONTRACTOR SHALL PROVIDE A SHOP DRAWING SUBMISSION SCHEDULE FOR ALL PROJECT MATERIALS AND COMPONENTS. THE CONTRACTOR SHALL NOT INITIATE CONSTRUCTION OF ANY PORTION OF THE IMPROVEMENTS UNTIL THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED FOR THAT PORTION BY THE ENGINEER, THE CONTRACTOR, ENGINEER AND UTILITY COMPANY SHALL ALSO DISCUSS AND DOCUMENTATION REQUIRED FOR CONTRIBUTED FACILITIES TRANSFER FROM THE OWNER/DEVELOPER TO THE UTILITY COMPANY UPON PROJECT COMPLETION. UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, THE FOLLOWING DOCUMENTS SHALL BE PROVIDED: DOCUMENTS REQUIRED FOR CONTRIBUTED FACILITIES FROM DEVELOPER TO UTILITY COMPANY:

- UTILITY EASEMENT(S); MUST BE RECORDED AT COUNTY CLERK OF COURT OFFICE BEFORE SUBMITTING TO UTILITY.
 - EASEMENT ACKNOWLEDGEMENT.
 - AFFIDAVIT.
 - RELEASE OF LIEN.
 - BILL OF SALE.
 - ASSIGNMENT OF RIGHTS UNDER UTILITY AGREEMENT; WHEN PROPERTY HAS BEEN TRANSFERRED TO A NEW OWNER.
 - DESCRIPTION OF FACILITIES; A SHORT EXPLANATION IDENTIFYING WHAT HAS BEEN CONSTRUCTED.
 - DETAILED COST OF CONSTRUCTION; MUST INCLUDE INDIVIDUAL ITEMS OR APPURTENANCES, UNIT COST AND TOTAL COST OF EACH; DO NOT INCLUDE WATER SERVICE LINES OR SEWER LATERALS.
 - RECORD DRAWINGS (AS-BUILT); MUST BE SIGNED AND SEALED BY ENGINEER OF RECORD. SUBMIT A REPRODUCIBLE TWO COPIES OF PRINTS.
 - PALM BEACH COUNTY HEALTH DEPARTMENT APPLICATION(S).
 - INSPECTION REPORT(S).
 - PRESSURE TEST REPORT(S).
 - INFLTRATION-EXFILTRATION TEST REPORT(S), INCLUDING VIDEO TAPES AND LAMPING REPORTS.
 - LIFT STATION INSPECTION (START-UP) REPORT(S) AND EQUIPMENT SHOP DRAWINGS.
 - BACTERIOLOGICAL TEST REPORT(S).
 - ENGINEER'S CERTIFICATE OF SUBSTANTIAL COMPLETION INDIAN RIVER COUNTY HEALTH DEPARTMENT.
 - SYSTEM(S) ACCEPTANCE LETTER(S) PALM BEACH COUNTY HEALTH DEPARTMENT.
- NOTES: ITEMS 1-9 TO BE SUPPLIED BY OWNER.
ITEMS 9-17 TO BE SUPPLIED BY ENGINEER OF RECORD.

UNLESS OTHERWISE SPECIFIED BY THE UTILITY, THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, GAS, SEWER, TELEPHONE, AND POWER COMPANIES, 10 DAYS IN ADVANCE, THAT HE INTENDS TO START WORK IN A SPECIFIC AREA. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER LINES, GAS LINES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY FEDERAL OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE, RIGHT-OF-WAY, OR EASEMENT.

RIGHT SIGN
THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A CONSTRUCTION PROJECT SIGN AT A LOCATION DIRECTED BY THE OWNER. CHARLOTTE ENGINEERING AND SURVEYING, INC. SHALL PROVIDE A SEPARATE SIGN FOR INSTALLATION BY THE CONTRACTOR AT THIS LOCATION. THESE SIGNS SHALL BE ERECTED WITHIN 15 DAYS AFTER RECEIVING A NOTICE TO BEGIN WORK FROM PROJECT COMPLETION. THE CONTRACTOR SHALL REMOVE THESE SIGNS AND RETURN TO FTE SPORTS THEIR SIGN.

ENVIRONMENTAL PROTECTION DURING CONSTRUCTION
PROTECTION OF LAND RESOURCES - EXCEPT IN AREAS IDENTIFIED ON THE PLANS TO BE CLEARED, THE CONTRACTOR MUST NOT DICE, INJURE, OR DESTROY TREES OR SHRUBS OR REMOVE OR CUT THEM WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. IN THE ABSENCE OF A CLEARING PLAN, AREAS SHOWN FOR IMPROVEMENTS SHALL BE CLEARED UNLESS NOTED OTHERWISE.

PROTECTION OF WATER RESOURCES - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INVESTIGATE AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, REGIONAL, COUNTY, AND MUNICIPAL LAWS CONCERNING POLLUTION OF WATER RESOURCES. ALL WORK MUST BE PERFORMED IN A MANNER THAT OBJECTIONABLE CONDITIONS WILL NOT BE CREATED IN PUBLIC WATERS RUNNING THROUGH, OR ADJACENT TO THE PROJECT AREA.
1. EROSION AND SEDIMENT CONTROL - ALL PRACTICABLE AND NECESSARY EFFORT SHOULD BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND THE TRANSPORT OF SEDIMENT TO SURFACE DRAINS, SURFACE WATER, OR ONTO OTHER PROPERTY BY ANY OR ALL OF THE FOLLOWING METHODS:
A. STORMWATER FACILITIES ARE TO BE BUILT AS EARLY IN THE CONSTRUCTION PHASE AS POSSIBLE TO ENSURE THE TREATMENT OF STORMWATER RUNOFF. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS BERRIES, SLOTTED BASINS, GRASSING, BODDING, SAND BAGGING, BALED HAY OR STRAW, FLOATING SILT BARRIERS, STACKED SILT BARRIERS, ETC. MUST BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT FACILITIES ARE COMPLETED AND OPERATIONAL.
B. RE-VEGETATION AND STABILIZATION OF DISTURBED GROUND SURFACES SHOULD BE ACCOMPLISHED AS SOON AS POSSIBLE.
C. FULL COMPACTION OF ANY FILL MATERIAL PLACED AROUND NEWLY INSTALLED STRUCTURES.
D. PROHIBIT THE USE OF ANY CONSTRUCTION EQUIPMENT THAT LEAKS EXCESSIVE AMOUNTS OF FUEL, OIL, OR HYDRAULIC FLUID.
2. ALL DISTURBED AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, EXCEPT RETENTION AREAS, AND SHALL BE STABILIZED BY SODDING, EXCEPT WHERE SEEDING AND MULCHING ARE CALLED FOR ON THE PLANS. THE LATEST VERSION OF THE F.D.O.T. ROAD AND BRIDGE SPECIFICATIONS SHALL BE USED, UNLESS MORE RESTRICTIVE LOCAL SPECIFICATIONS EXIST.

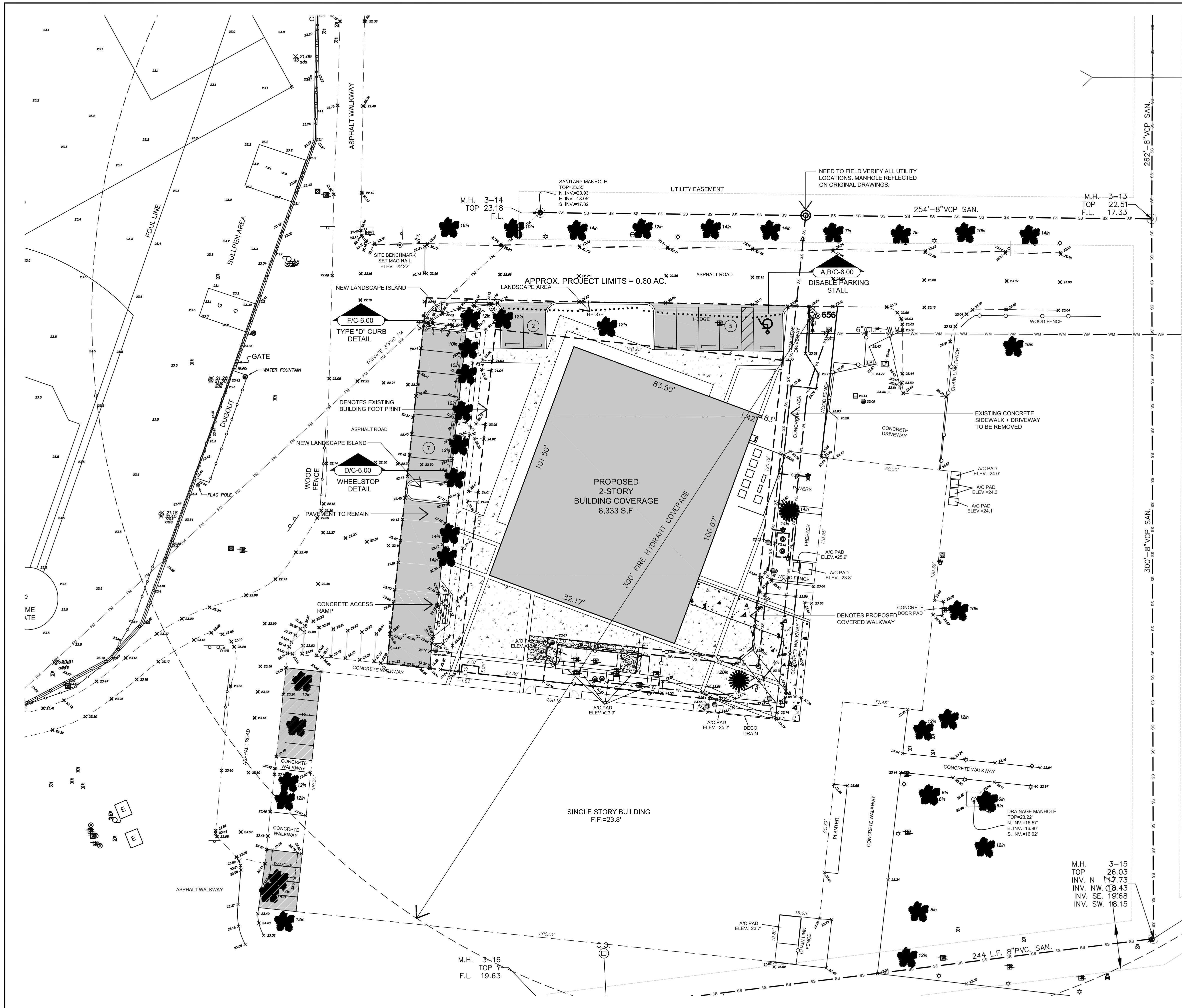
PROTECTION OF FISH AND WILDLIFE
THE CONTRACTOR MUST AT ALL TIMES PERFORM ALL WORK IN A WAY AND TAKE SUCH STEPS AS REQUIRED TO PREVENT ANY INTERFERENCE WITH OR OBSTRUCTION TO FISH AND WILDLIFE. THE CONTRACTOR SHALL NOT ALTER WATER FLOWS OR OTHERWISE DISTURB NATIVE HABITATS AND JURISDICTIONAL WETLANDS LOCATED WITHIN AND/OR ADJACENT TO THE PROJECT AREA.

RECORDING AND PRESERVING HISTORICAL AND ARCHEOLOGICAL FINDS
ALL ITEMS HAVING ANY APPARENT HISTORICAL OR ARCHEOLOGICAL INTEREST THAT ARE DISCOVERED IN THE COURSE OF ANY CONSTRUCTION ACTIVITIES MUST BE CAREFULLY PRESERVED. THE CONTRACTOR MUST LEAVE THE ARCHEOLOGICAL FIND UNDISTURBED AND MUST IMMEDIATELY REPORT THE FIND TO THE OWNER SO THAT THE PROPER AUTHORITY MAY BE NOTIFIED.

EARROWK
I. GENERAL
1-01 SUBMITTALS
A. EROSION AND CONTROL MEASURES
B. COMPACTION TESTS
C. SOLS CLASSIFICATION TESTS
D. PRESERVATION PLANS
2-02 SITE EXAMINATION
A. BEFORE SUBMITTING BIDS, CONTRACTORS SHALL INFORM THEMSELVES AS TO LOCATION AND NATURE OF THE WORK, CHARACTER OF EQUIPMENT AND FACILITIES NEEDED FOR PERFORMANCE OF THE WORK, GENERAL AND LOCAL CONDITIONS PREVAILING AT THE SITE, AND OTHER MATTERS WHICH MAY, IN ANY WAY, AFFECT THE WORK UNDER CONTRACT.
B. EXAMINE SOURCES OF INFORMATION CONCERNING GROUND WATER LEVEL, WHETHER SURFACE OR SUBSURFACE. EACH BIDDER TO DRAW HIS OWN CONCLUSION CONCERNING GROUND WATER LEVELS AND HOW WATER AFFECTS HIS WORK.
1-03 SUBSURFACE INVESTIGATION
A. SUBSURFACE DATA, INCLUDING GROUND WATER ELEVATIONS OR CONDITIONS, IF SHOWN ON THE DRAWINGS OR ATTACHED TO THESE SPECIFICATIONS, ARE PRESENTED ONLY AS INFORMATION THAT IS AVAILABLE, WHICH INDICATED CERTAIN LOCATIONS AND LIMITED TO THE EXACT LOCATIONS. SUCH DATA SHALL NOT BE INTERPRETED AS AN INDICATION OF CONDITIONS THAT MAY ACTUALLY BE DEVELOPED THROUGH THE PERIOD OF CONSTRUCTION. BIDDERS SHALL EXAMINE THE SITE OF THE WORK AND MAKE THEIR OWN DETERMINATION OF THE CHARACTER OF MATERIALS AND THE CONDITIONS TO BE ENCOUNTERED ON THE WORK, AND THEIR PROPOSAL SHALL BE BASED UPON THEIR OWN INVESTIGATIONS. THE OWNER AND ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR VARIATIONS FOUND TO EXIST BETWEEN THE ATTACHED DATA ABOVE REFERRED TO AND ACTUAL FIELD CONDITIONS THAT DEVELOP THROUGH THE PERIOD OF CONSTRUCTION.
B. WHERE EXISTING UTILITY LINES AND SUBSTRUCTURES ARE SHOWN ON THE DRAWINGS, THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY FOR CORRECTNESS OF EXISTING CONDITIONS INDICATED. THE CONTRACTOR SHALL ASCERTAIN EXACT LOCATIONS OF UTILITIES AND SUBSTRUCTURES THAT MAY BE AFFECTED BY THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY THAT MAY RESULT FROM WORKING ON OR NEAR THOSE UTILITIES, SUBSTRUCTURES WHICH ARE NOT TO BE REMOVED OR DISBURSED.
C. THE CONTRACTOR SHALL MAKE HIS OWN DEDUCTIONS OF THE SUBSURFACE CONDITIONS WHICH MAY AFFECT METHODS OR COST OF CONSTRUCTION AND HE AGREES THAT HE WILL MAKE NO CLAIM FOR DAMAGES OR OTHER COMPENSATION, EXCEPT SUCH AS ARE PROVIDED FOR IN THE CONTRACT, FOR INCREASED COSTS DURING THE PROGRESS OF THE WORK DIFFERENT FROM THOSE AS CALCULATED OR ANTICIPATED BY HIM.
1-04 BENCH MARKS AND MONUMENTS
A. MAINTAIN CAREFULLY EXISTING BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS. IF DISTURBED OR DESTROYED, REPLACE AS DIRECTED.

1-05-01 JOB CONDITIONS
A. CONDITION OF PREMISES: ACCEPT SITE AS FOUND AND EXCAVATE, FILL, COMPACT, AND BACKFILL SITE AS HEREAFTER SPECIFIED.
B. EXISTING STRUCTURES AND PROPERTY: TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES AND FACILITIES; PROVIDE AND PLACE BRACING OR SHORING AS NECESSARY OR PROPER IN CONNECTION WITH EXCAVATION OR CONSTRUCTION OF SUCH STRUCTURES; BE LIABLE FOR ANY MOVEMENT OR SETTLEMENT, ANY DAMAGE OR INJURY CAUSED THEREBY OR RESULTING THEREFROM. IF AT ANY TIME SAFETY OR ANY ADJACENT STRUCTURES APPEARS TO BE ENDANGERED, CEASE OPERATION, TAKE PRECAUTIONS TO SUPPORT SUCH STRUCTURES AND NOTIFY THE OWNER. RESUME OPERATIONS ONLY AFTER APPROVAL BY THE ENGINEER.
2. SIDEWALKS AND STREETS: TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT, SETTLEMENT OR COLLAPSE OF ANY SIDEWALKS, CURBS OR STREET PASSAGES ON ADJOINING SITE; BE LIABLE FOR ANY SUCH MOVEMENT, SETTLEMENT OR COLLAPSE; REPAIR PROMPTLY SUCH DAMAGE WHEN SO ORDERED; INSTALL SUCH SHORING, INCLUDING SHEET PILING, AS MAY BE REQUIRED DURING EXCAVATION, TO PROTECT BANKS, ADJACENT PAVING, STRUCTURES AND UTILITIES.
3. RESPONSIBILITY: BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES OR TO EQUIPMENT AND FURNISHINGS HOUSED THEREIN WHICH ARE DUE DIRECTLY OR INDIRECTLY TO CONSTRUCTION OPERATIONS, EXCEPT WHERE REMOVAL IS NECESSITATED BY SITE GRADING OR LOCATION OF NEW BUILDING, USE EVERY POSSIBLE PRECAUTION TO PREVENT INJURIES TO LANDSCAPING, DRIVES, CURBS, AND WALKS ON OR ADJACENT TO SITE OF THE WORK AND REPLACE, AT NO EXPENSE TO OWNER, ANY OF SUCH THAT ARE DESTROYED.

II. EXCAVATION
2-01 GENERAL
A. ACCOMPLISH IN A MANNER THAT PROVIDES FOR THE SAFETY OF THE PUBLIC AND WORKMEN AND PROVIDE FOR THE PROTECTION OF ALL PROPERTY.
B. CONSTRUCTION: DO NOT CLOSE, OBSTRUCT OR STORE MATERIAL OR EQUIPMENT IN STREETS, SIDEWALKS, ALLEYS OR PASSAGEWAYS WITHOUT A PERMIT IN ACCORDANCE WITH LOCAL ORDINANCES, REGULATIONS, AND CODES.
C. INTERFERENCE: CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE WITH ROADS, STREETS, DRIVEWAYS, ALLEYS, SIDEWALKS AND OTHER FACILITIES.
D. PNEUMATIC TOOLS: WORK WITH PNEUMATIC OR VIBRATORY TOOLS WILL BE PERMITTED ONLY IN A MANNER WHICH CAUSES NO RELATED DAMAGES.
E. REMOVAL: UNLESS OTHERWISE NOTED OR SPECIFIED TO BE RELOCATED OR STORED, ALL MATERIALS REMOVED BECOME THE PROPERTY OF THE CONTRACTOR AND ARE TO BE REMOVED COMPLETELY AWAY FROM THE SITE BY HIM. DO NOT STORE OR PERMIT DEPOSIT TO ACCUMULATE ON THE SITE.
F. TEMPORARY STRUCTURES: REMOVE ALL TEMPORARY STRUCTURES WHEN THEY ARE NO LONGER REQUIRED.
G. REPAIR: CLEAN UP, REPAIR OR REPLACE AT NO COST TO OWNER ALL PROPERTY DAMAGED BY REASON OF REQUIRED WORK. ALL PATCH WORK SHALL MATCH EXISTING AND BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER BY CRAFTSMEN SKILLED IN THE TRADE INVOLVED. IN NEWLY GRADED AREAS TAKE EVERY PRECAUTION AND TEMPORARY MEASURE NECESSARY TO PREVENT DAMAGE FROM EROSION OF FRESHLY GRADED AREAS, WHERE ANY SETTLEMENT OR WASHING MAY OCCUR PRIOR TO ACCEPTANCE OF THE WORK, REPAIR AND RE-ESTABLISH GRADES TO THE REQUIRED ELEVATIONS AND SLOPES HAS NO ADDITIONAL COST TO THE OWNER. THIS APPLIES TO DAMAGE TO THE NEWLY GRADED AREAS WITHIN THE CONSTRUCTION LIMITS AND DAMAGE TO ADJACENT PROPERTIES BY ERODED MATERIAL.
2-02 LOCATIONS AND ELEVATIONS
A. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEYS, MEASUREMENTS AND LAYOUTS REQUIRED FOR PROPER EXECUTION OF THE WORK. LAY OUT LINES AND GRADES FROM EXISTING SURVEY CONTROL SYSTEM AND AS SHOWN ON DRAWINGS.
2-02 CLEARING AND GRUBBING
A. WITHIN LIMITS OF AREAS DESIGNATED FOR GRADING AND SITE CONSTRUCTION WORK, REMOVE TREES, BRUSH, STUMPS, WOOD DEBRIS AND OTHER DELETERIOUS MATERIALS NOT REQUIRED TO REMAIN AS PART OF THE FINISHED WORK.
B. REMOVE ALL GRASS, PLANTS, VEGETATION AND ORGANIC MATERIAL FROM OVER AREA.
2-04 STRIPPING
A. STRIP ALL TOPSOIL, ORGANIC MATERIAL, SURFACE LITER, RUBBLE, AND OVERBURDEN FOR ENTIRE DEPTH OF ROOT SYSTEM OF GRASS OR OTHER VEGETATION.
B. STOCKPILE TOPSOIL ON SITE WHERE DIRECTED. LITER THE LIMITS OF CONSTRUCTION.
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GENERAL NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL COORDINATE AND PROVIDE UTILITY LOCATES SERVICES WITHIN THE AREA OF CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCKING OUT ALL ELECTRICAL POWER SERVICE PRIOR TO ANY CLEARING AND GRUBBING OPERATIONS.
3. THE CONTRACTOR SHALL REMOVE ALL EXCESSIVE SOIL AND EXISTING MATERIALS OFF-SITE IN A LEGAL MANNER AT NO ADDITIONAL COST TO THE COUNTY. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND CUT/FILL CALCULATIONS.
4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION ACTIVITY. ANY FIELD DEVIATIONS FOUND SHALL BE BROUGHT TO THE E.O.R. ATTENTION.
5. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL LAND SURVEYING LAYOUTS AND AS-BUILT SURVEYING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE AND CONSTRUCTION SAFETY MEASURES IN ACCORDANCE WITH THE MOST CURRENT O.S.H.A. STANDARDS.
7. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS FOR SHOP DRAWING REVIEW AND APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.
8. EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION OBTAINED BY CITY OF VERO BEACH UTILITIES DEPARTMENT AND DATA FROM DESIGN DOCUMENTS PREPARED CARTER ASSOCIATES, INC. JULY 14, 1989.

SITE SUMMARY TABLE

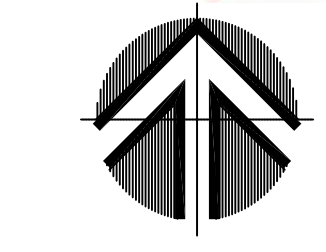
PROJECT LIMITS:	26,136.00 S.F./0.60 AC.
EXISTING BUILDING CONDITIONED AREA:	
One Story Structure:	7,480.00 S.F.
BATTING CAGE (4-EA.) AREA:	7,480.00 S.F.
BUILDING FLOOR AREA:	8,202.39 S.F.
TOTAL BUILDING COVERAGE:	15,682.39 S.F.
EXISTING SUMMARY COVERAGE:	
BUILDING COVERAGE:	15,682.39 S.F./0.36 AC.
PAVEMENT COVERAGE:	2,644.89 S.F./0.06 AC.
CONCRETE COVERAGE:	2,201.38 S.F./0.05 AC.
TOTAL IMPERVIOUS COVERAGE :	20,528.66 S.F./0.47 AC.
TOTAL PERVIOUS COVERAGE :	5,607.34 S.F./0.13 AC.
TOTAL PROJECT COVERAGE :	26,136.00 S.F./0.60 AC.
PROPOSED BUILDING SUMMARY TABLE:	
Two-Story Structure:	
1st BATTING CAGE AREA: (>50% OPEN AREA)	(-)5,924 S.F.
1st FLOOR ENCLOSED AREA:	2,409 S.F.
2ND FLOOR ENCLOSED AREA:	6,952 S.F.
TOTAL TWO-STORY BUILDING AREA :	9,361 S.F.
TOTAL BUILDING IMPERVIOUS COVERAGE:	8,333 S.F.
PROPOSED SUMMARY COVERAGE:	
BUILDING COVERAGE:	8,333.00 S.F./0.19 AC.
PAVEMENT COVERAGE:	3,802.35 S.F./0.09 AC.
CONCRETE COVERAGE:	7,635.47 S.F./0.18 AC.
TOTAL IMPERVIOUS COVERAGE :	19,770.82 S.F./0.45 AC.
TOTAL PERVIOUS COVERAGE :	6,365.18 S.F./0.15 AC.
TOTAL PROJECT COVERAGE :	26,136.00 S.F./0.60 AC.
TOTAL OF 14 PARKING SPACES PROVIDED	

LEGEND:

- DENOTES LIMITS OF PROPOSED BUILDING
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING DOMESTIC WATER
- DENOTES EXISTING DOMESTIC WATER
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION

RAVI DEVAGUPTAPU, STATE OF FLORIDA
 PROFESSIONAL ENGINEER LICENSE NO. 53150
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RAVI DEVAGUPTAPU ON THE DATE INDICATED HERE.
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Digitally signed by Ravi Devaguptapu
 DN: cn=Ravi Devaguptapu, o=FTE, ou=6DCFC0387633352720556E52F, email=Ravi@fiteinc.net, c=US
 Date: 2023.03.30 11:50:28 -04'00'



SCALE: 1" = 20'



NO.	REVISIONS	DATE	BY

FTE Sports
 DESIGN FOR PERFORMANCE

FTE Sports
 8250 Pascal Drive
 Punta Gorda, FL 33950
 Office: 941.961.7560
 CA00007924

Professional Land Surveying
 Masteller, Moler & Taylor, Inc.
 1655 27th Street, Suite 2
 Vero Beach, FL 32960
 Office: 772.564.8050

FAWLEY BRYANT
 ARCHITECTURE

5391 Lakewood Ranch Blvd. N
 Suite 300
 Lakewood Ranch, FL 34240
 Office: 941.343.4070

PERMIT DOCUMENTS

DESIGN PROFESSIONAL

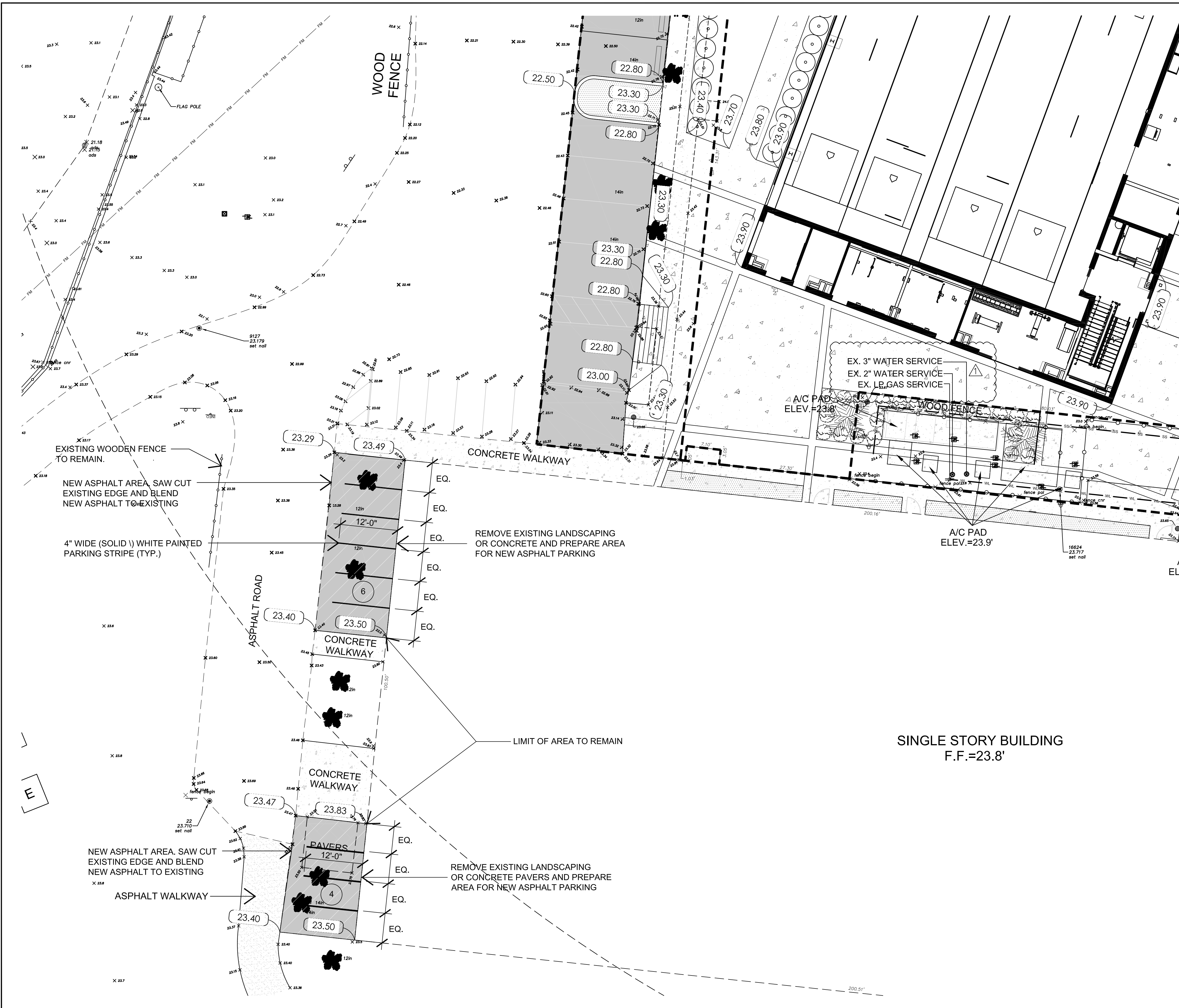
RAVI DEVAGUPTAPU, PE
 PE NUMBER 53150
 STATE OF FLORIDA

FTE PROJECT	621005-00
DATE:	3.30.2023
SCALE:	1" = 20'
DESIGNED BY:	WJM
DRAWN BY:	WJM
CHECKED BY:	RD

SITE PLAN

JACKIE ROBINSON
 TRAINING COMPLEX
 EXECUTIVE BUILDING
 MAJOR LEAGUE BASEBALL
 3901 26TH STREET
 VERO BEACH, FL 32960
 INDIAN RIVER COUNTY FL

SHEET NUMBER
C-3.00



GENERAL NOTES:

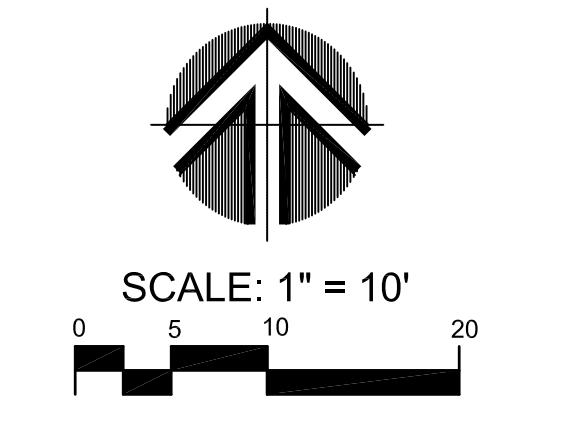
1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL COORDINATE AND PROVIDE UTILITY LOCATES SERVICES WITHIN THE AREA OF CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCKING OUT ALL ELECTRICAL POWER SERVICE PRIOR TO ANY CLEARING AND GRUBBING OPERATIONS.
3. THE CONTRACTOR SHALL REMOVE ALL EXCESSIVE SOIL AND EXISTING MATERIALS OFF-SITE IN A LEGAL MANNER AT NO ADDITIONAL COST TO THE COUNTY. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND CUT/FILL CALCULATIONS.
4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION ACTIVITY. ANY FIELD DEVIATIONS FOUND SHALL BE BROUGHT TO THE E.O.R. ATTENTION.
5. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL LAND SURVEYING LAYOUTS AND AS-BUILT SURVEYING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE AND CONSTRUCTION SAFETY MEASURES IN ACCORDANCE WITH THE MOST CURRENT O.S.H.A. STANDARDS.
7. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS FOR SHOP DRAWING REVIEW AND APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.
8. EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION OBTAINED BY CITY OF VERO BEACH UTILITIES DEPARTMENT AND DATA FROM DESIGN DOCUMENTS PREPARED CARTER ASSOCIATES, INC. JULY 14, 1989.
9. ALL NEW CURBING TO BE F.D.O.T. TYPE "D" CURB.
10. FIELD ADJUST ALL EXISTING ROOF DOWN SPOUTS GRATE AND PIPING TO SURROUNDING FINISHED GRADE THAT SERVICES THE EXISTING BUILDING TO THE SOUTH.
11. REFER TO ARCHITECTURAL PLANS FOR ELECTRICAL POWER SOURCE FOR SERVICE CART CHARGING.

LEGEND:

- DENOTES LIMITS OF PROPOSED ASPHALT
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING DOMESTIC WATER
- DENOTES EXISTING DOMESTIC WATER
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION

RAVI DEVAGUPTAPU, STATE OF FLORIDA
 PROFESSIONAL ENGINEER, LICENSE NO. 53150
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RAVI DEVAGUPTAPU ON THE DATE INDICATED HERE.
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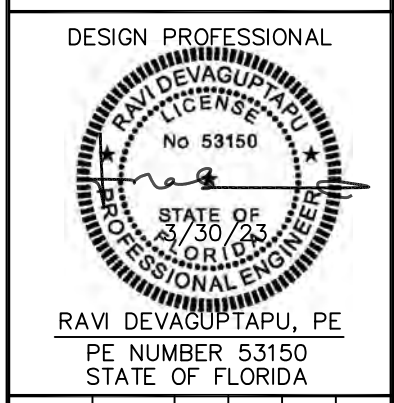
Ravi Devaguptapu
 Digitally signed by Ravi Devaguptapu
 DN: cn=Ravi Devaguptapu, o=FTE, ou=6DCF03B7633352720556652F, email=Ravi@ftrnc.net, c=US
 Date: 2023.03.30 11:50:28 -04'00'



PER FIELD/CITY COMMENTS	DATE	BY
1		

FTE Sports
 DESIGN FOR PERFORMANCE
 FTE Sports
 8250 Pascal Drive
 Punta Gorda, FL 33950
 Office: 941.961.7560
 CA00007924
 Professional Land Surveying
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PERMIT DOCUMENTS

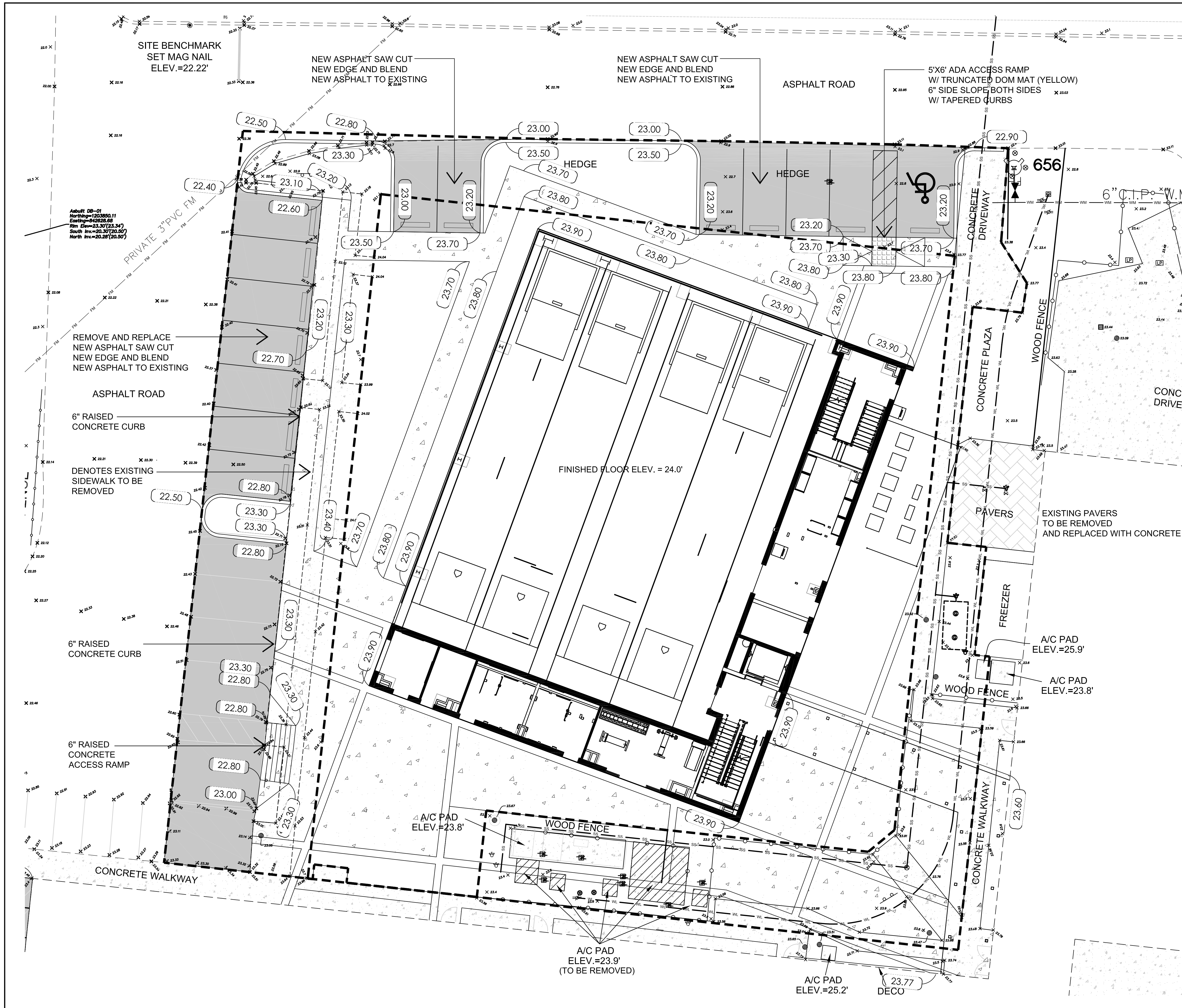


FTE PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
621005-00	3.30.2023	1"=10'	WJM	WJM	RD

SERVICE CART PARKING IMPROVEMENT PLAN

JACKIE ROBINSON
 TRAINING COMPLEX
 EXECUTIVE BUILDING
 MAJOR LEAGUE BASEBALL
 3901 26TH STREET
 VERO BEACH, FL 32960
 INDIAN RIVER COUNTY

SHEET NUMBER
C-3.01



GENERAL NOTES:

- ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL COORDINATE AND PROVIDE UTILITY LOCATES SERVICES WITHIN THE AREA OF CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCKING OUT ALL ELECTRICAL POWER SERVICE PRIOR TO ANY CLEARING AND GRUBBING OPERATIONS.
- THE CONTRACTOR SHALL REMOVE ALL EXCESSIVE SOIL AND EXISTING MATERIALS OFF-SITE IN A LEGAL MANNER AT NO ADDITIONAL COST TO THE COUNTY. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND CUT/FILL CALCULATIONS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION ACTIVITY. ANY FIELD DEVIATIONS FOUND SHALL BE BROUGHT TO THE E.O.R. ATTENTION.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL LAND SURVEYING LAYOUTS AND AS-BUILT SURVEYING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE AND CONSTRUCTION SAFETY MEASURES IN ACCORDANCE WITH THE MOST CURRENT O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL SUBMIT ALL MATERIALS FOR SHOP DRAWING REVIEW AND APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION OBTAINED BY CITY OF VERO BEACH UTILITIES DEPARTMENT AND DATA FROM DESIGN DOCUMENTS PREPARED CARTER ASSOCIATES, INC. JULY 14, 1989.
- ALL NEW CURBING TO BE F.D.O.T. TYPE "D" CURB.
- FIELD ADJUST ALL EXISTING ROOF DOWN SPOUTS GRATE AND PIPING TO SURROUNDING FINISHED GRADE THAT SERVES THE EXISTING BUILDING TO THE SOUTH.
- REMOVE ALL EXISTING WOODEN FENCE WITHIN THE AREA OF DEVELOPMENT ACTIVITY.
- FIELD ADJUST ALL SANITARY SEWER CLEAN OUT COVERS TO SURROUND FINISHED GRADE. RE-PAINT COVERS TO LOCAL UTILITY COMPANY REQUIREMENTS.

LEGEND:

- DENOTES LIMITS OF PROPOSED ASPHALT
- SS— DENOTES EXISTING SANITARY SEWER
- WL— DENOTES EXISTING DOMESTIC WATER
- FM— DENOTES EXISTING DOMESTIC WATER
- x 00.00 DENOTES EXISTING SPOT ELEVATION
- 10.90 DENOTES PROPOSED SPOT ELEVATION

PERMIT DOCUMENTS

DESIGN PROFESSIONAL

RAVI DEVAГУPTAPU, PE
PE NUMBER 53150
STATE OF FLORIDA

PAVING + DRAINAGE PLAN

JACKIE ROBINSON
TRAINING COMPLEX
EXECUTIVE BUILDING
MAJOR LEAGUE BASEBALL
3901 26TH STREET
VERO BEACH, FL 32960
INDIAN RIVER COUNTY

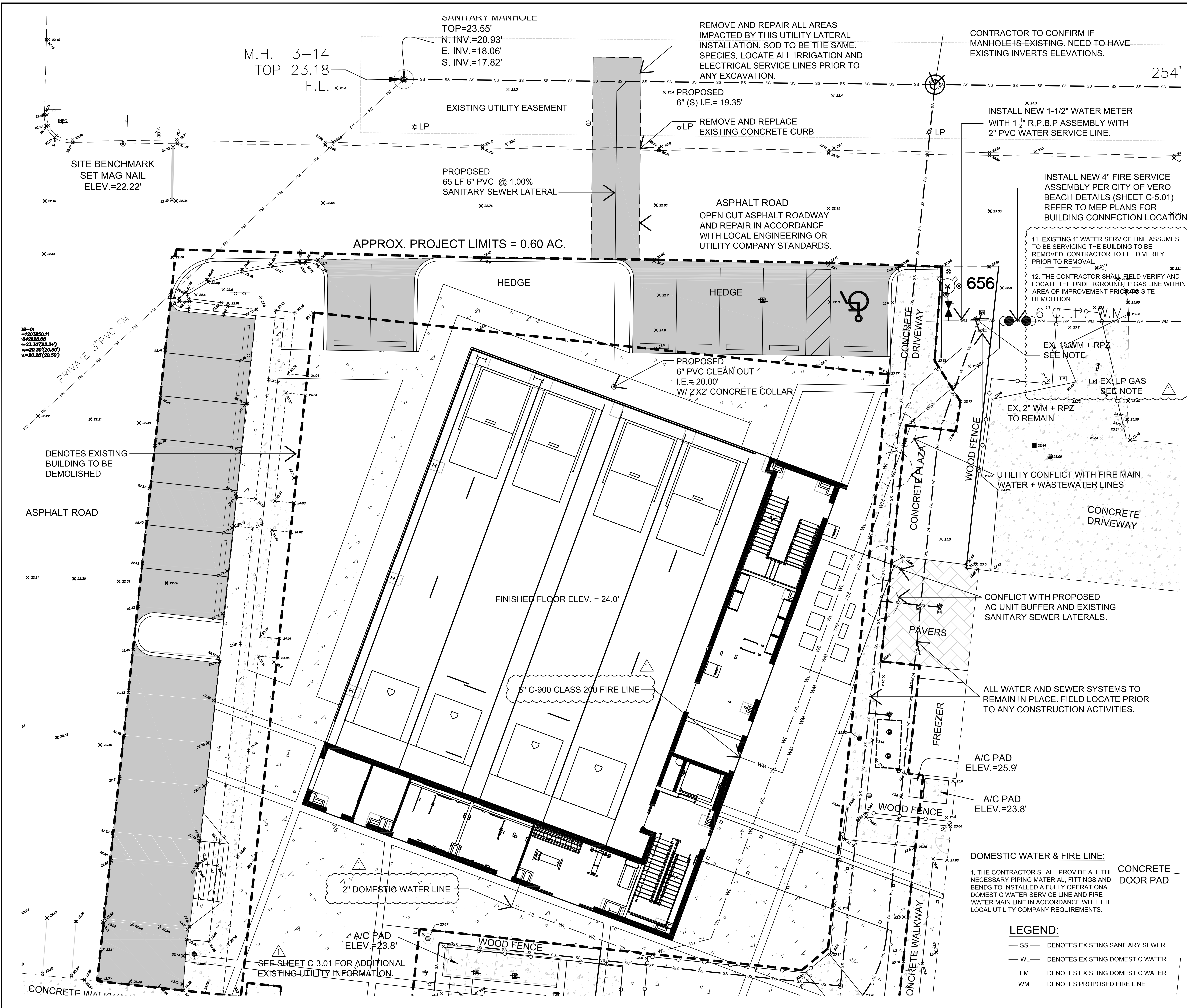
SHEET NUMBER
C-4.00

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NO.	REVISIONS	DATE	BY
1			

PER FIELD/CITY COMMENTS	3.29.23 WJM

FTE PROJECT	621005-00	RD
DATE:	3.30.2023	WJM
SCALE:	1" = 10'	WJM
DESIGNED BY:	WJM	WJM
DRAWN BY:	WJM	WJM
CHECKED BY:		



- GENERAL NOTES:**
1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL COORDINATE AND PROVIDE UTILITY LOCATES SERVICES WITHIN THE AREA OF CONSTRUCTION ACTIVITY.
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 7. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS FOR SHOP DRAWING REVIEW AND APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.
 8. EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION OBTAINED BY CITY OF VERO BEACH UTILITIES DEPARTMENT AND DATA FROM DESIGN DOCUMENTS PREPARED CARTER ASSOCIATES, INC. JULY 14, 1989.
 9. ALL UTILITY CONSTRUCTION ACTIVITIES MUST BE IN ACCORDANCE WITH THE CITY OF VERO BEACH UTILITIES AND OR PUBLIC WORK STANDARDS.
 10. THE CONTRACTOR MUST COORDINATE WITH THE DESIGN TEAM ON THE FINAL SIZE OF THE FIRE SYSTEM SERVICE PRIOR TO ORDERING OR INSTALLING ANY MATERIALS. SHOP DRAWING REVIEW AND APPROVAL IS REQUIRED BY THE E.O.R AND THE CITY VERO BEACH UTILITIES.

Vero Beach Utility: REVIEW / APPROVAL ON 2.21.2023

- Pre-Construction**
1. Vero Beach will need to review shop drawings for the proposed utilities prior to construction starting.
 2. Pre-construction meeting with inspector Fitzroy Foote. 772-473-6868 or Todd Young at 772-978-5209.

- During Construction**
1. City of Vero Beach requests that all access to all water and sewer valves, sanitary sewer manholes, and other mechanisms be maintained throughout construction in the event of an emergency to ensure the public health and safety. Covering valve boxes and manholes can be considered unauthorized obstruction of and tampering with Department Utilities. All city valves are to be operated on by City personnel.
 2. Contractor to perform locates and coordinate with the city if any conflicts are encountered during construction.
 3. Vero Beach will need to be notified 48 hours prior to construction start of these utilities.
 4. Vero Beach utility inspector will need to be present during any connections to their existing system, new construction, and any required testing.

Before the project is completed and accepted, Vero Beach will need the following items for "new fire service backflow", lift station completion, and irrigation meter:

1. The water services and fire service backflow preventer will need to be tested and certified, the certification documentation submitted to the water + sewer dept.
2. Final releases of liens from Contractor, Subcontractors and suppliers.
3. Certification of Engineer of Record as to compliance of the work with the approved plans.
4. A one-year Warranty of materials and labor.
5. One (1) copy of signed and sealed Record Drawings, one (1) PDF of same, and an AutoCAD drawing sent by email. To: T.young@covb.org. See Record Drawing Requirements.
6. Utility easements are required for all water + sewer utilities if they are not in the existing utility easement or in existing road Rights-of Ways.
7. Executed Bill of Sale of Utility Facilities to the City of Vero Beach, Florida - See attached Requirements for Bill of Sale Execution for specific details.

RAVI DEVAГУPTAPU, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 53150
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RAVI DEVAГУPTAPU ON THE DATE INDICATED HERE:
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Digitally signed by Ravi Devaguptapu
 DN: cn=Ravi Devaguptapu, o=FTE, ou=621005-00, email=Ravi@ftec.com, c=US
 Date: 2023.03.30 11:50:26 -0400

Ravi Devaguptapu

SCALE: 1" = 10'

- LEGEND:**
- SS — DENOTES EXISTING SANITARY SEWER
 - WL — DENOTES EXISTING DOMESTIC WATER
 - FM — DENOTES EXISTING DOMESTIC WATER
 - WM — DENOTES PROPOSED FIRE LINE

NO.	REVISIONS	DATE	BY
1			

FTE Sports
 DESIGN FOR PERFORMANCE

FTE Sports
 8250 Pascal Drive
 Punta Gorda, FL 33950
 Office: 941.961.7560
 CA00007924

Professional Land Surveying
 Masteller, Moler & Taylor, Inc.
 1655 27th Street, Suite 2
 Vero Beach, FL 32960
 Office: 772.564.8050

FAWLEY BRYANT
 ARCHITECTURE

5391 Lakewood Ranch Blvd. N
 Suite 300
 Lakewood Ranch, FL 34240
 Office: 941.343.4070

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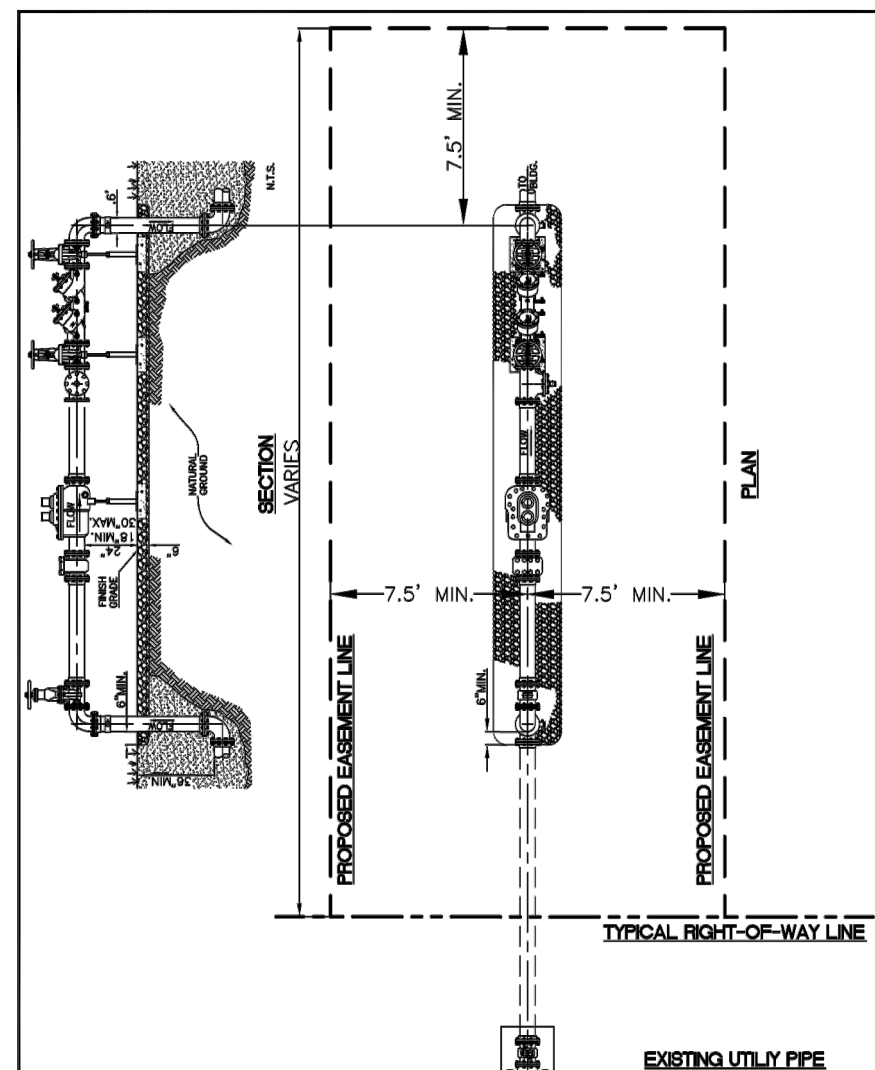
DESIGN PROFESSIONAL
 RAVI DEVAГУPTAPU, PE
 LICENSE NO. 53150
 STATE OF FLORIDA

FTE PROJECT	621005-00
DATE:	3.30.2023
SCALE:	1" = 10'
DESIGNED BY:	WM
DRAWN BY:	WM
CHECKED BY:	RD

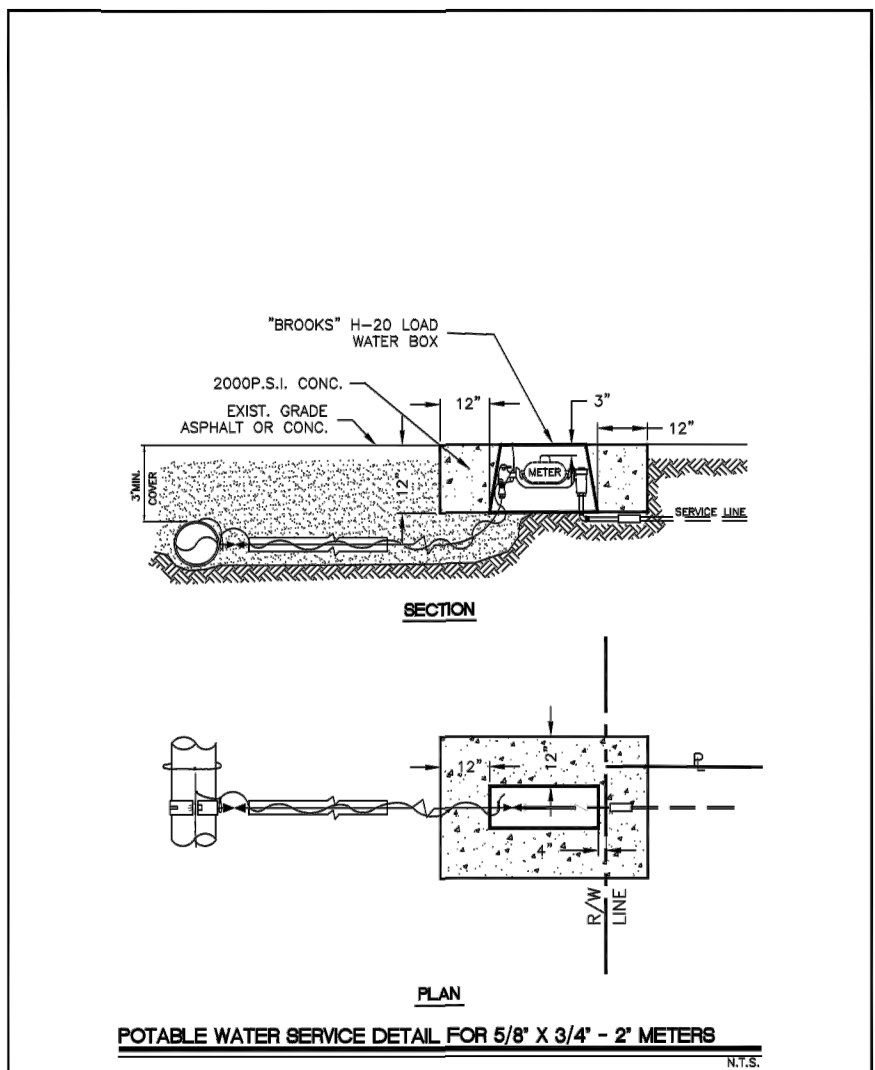
WATER + WASTEWATER PLAN

JACKIE ROBINSON
 TRAINING COMPLEX
 EXECUTIVE BUILDING
 MAJOR LEAGUE BASEBALL
 3901 26TH STREET
 VERO BEACH, FL 32960
 INDIAN RIVER COUNTY FL

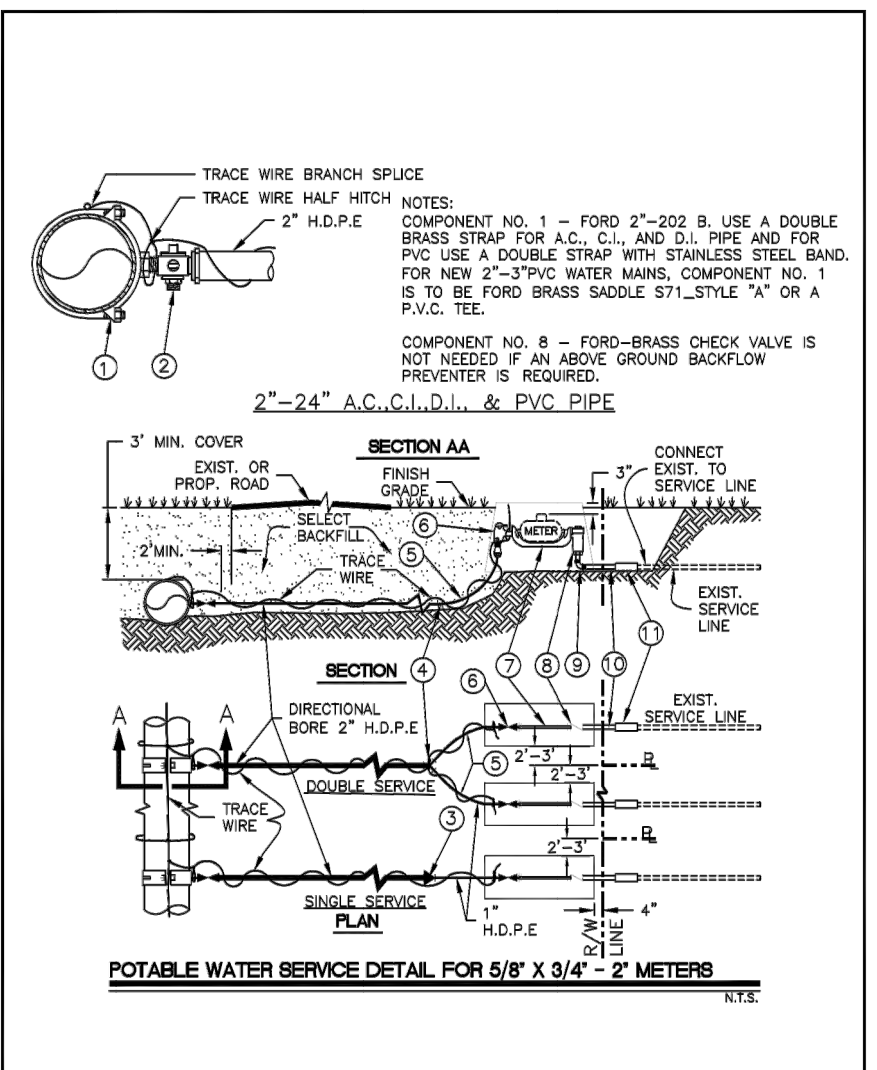
SHEET NUMBER
C-5.00



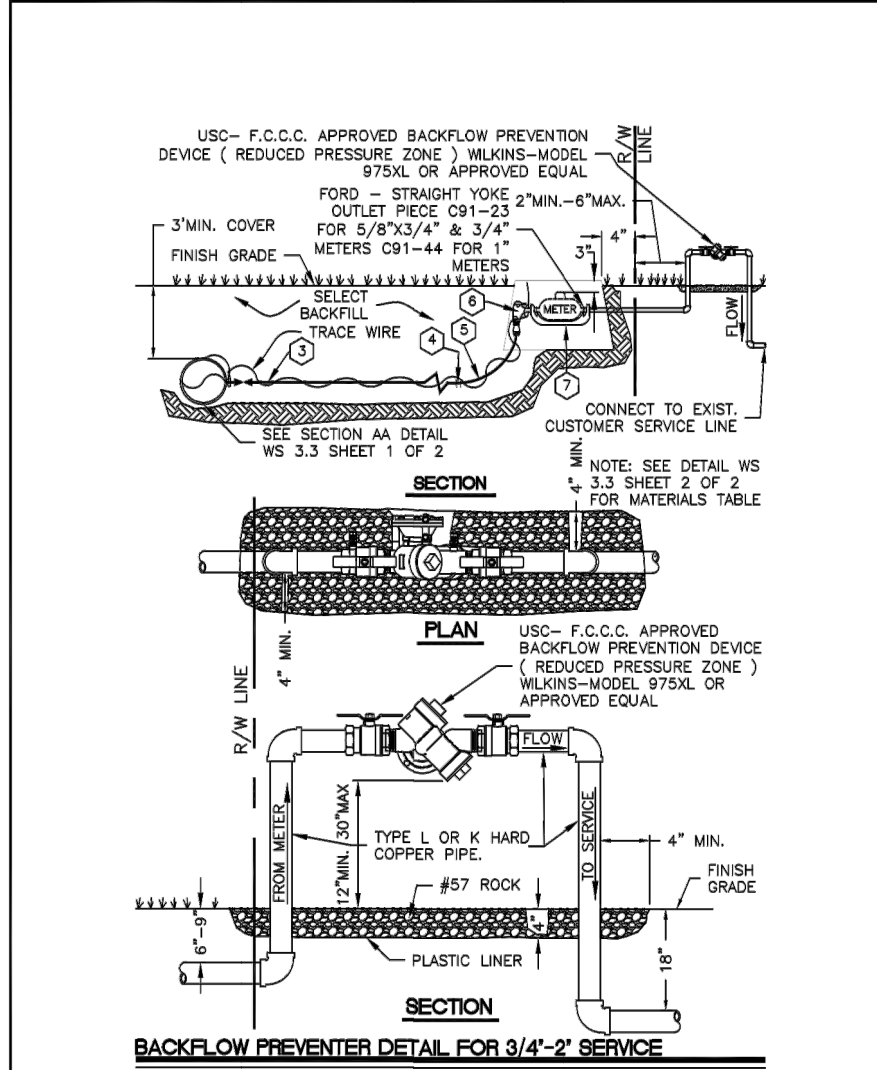
CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
TYPICAL EASEMENT SKETCH FOR WATER AND FIRE SERVICES OF ALL SIZES
 DATE: 11/25/2019 DRAWN BY: J.S.V.
 APPR: R.J.B. DATE: 11/25/2019
 REV: 11/25/2019 WS 111 PAGE 1 OF 1



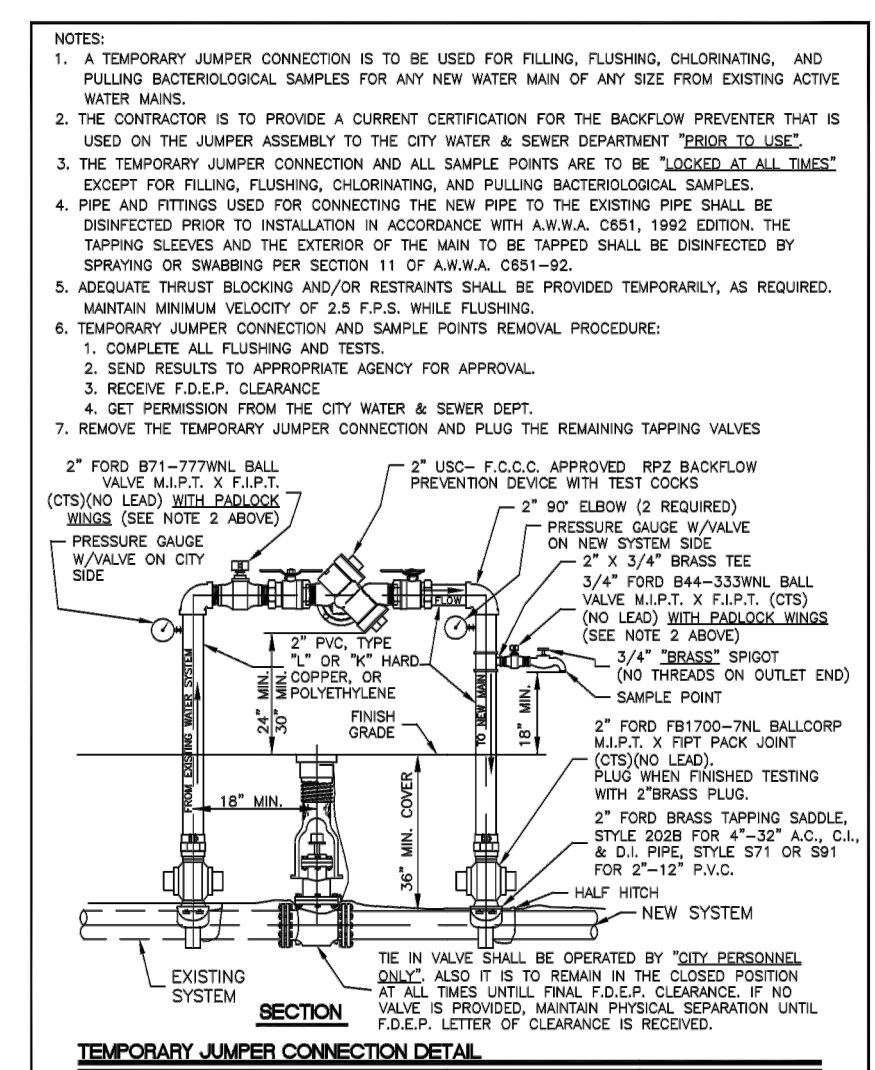
CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
POTABLE WATER SERVICE DETAIL FOR 5/8\"/>



CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
POTABLE WATER SERVICE DETAIL FOR 5/8\"/>



CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
BACKFLOW PREVENTER DETAIL FOR 3/4\"/>



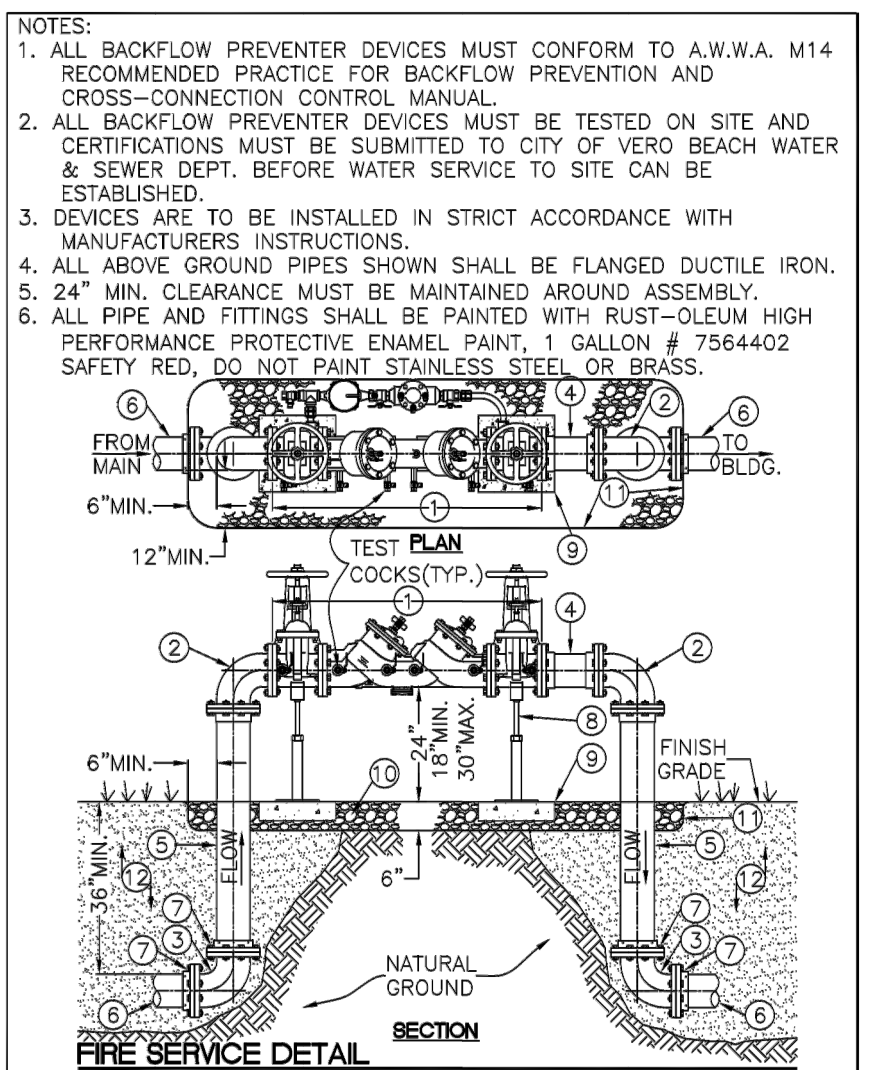
CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
TEMPORARY JUMPER CONNECTION DETAIL FOR 2\"/>

NOTES:

1. A TEMPORARY JUMPER CONNECTION IS TO BE USED FOR FILLING, FLUSHING, CHLORINATING, AND PULLING BACTERIOLOGICAL SAMPLES FOR ANY NEW WATER MAIN OF ANY SIZE FROM EXISTING ACTIVE WATER MAINS.
2. THE CONTRACTOR IS TO PROVIDE A CURRENT CERTIFICATION FOR THE BACKFLOW PREVENTER THAT IS USED ON THE JUMPER ASSEMBLY TO THE CITY WATER & SEWER DEPARTMENT "BEFORE TO USE".
3. THE TEMPORARY JUMPER CONNECTION AND ALL SAMPLE POINTS ARE TO BE "LOCKED AT ALL TIMES" EXCEPT FOR FILLING, FLUSHING, CHLORINATING, AND PULLING BACTERIOLOGICAL SAMPLES.
4. PIPE AND FITTINGS USED FOR CONNECTING THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH A.W.W.A. C851, 1992 EDITION. THE TAPPING SLEEVES AND THE EXTERIOR OF THE MAIN TO BE TAPPED SHALL BE DISINFECTED BY SPRAYING OR SHABING PER SECTION 11 OF A.W.W.A. C851-92.
5. ADEQUATE THRUST BLOKING AND/OR RESTRAINTS SHALL BE PROVIDED TEMPORARILY, AS REQUIRED. MAINTAIN MINIMUM VELOCITY OF 2.5 F.P.S. WHILE FLUSHING.
6. TEMPORARY JUMPER CONNECTION AND SAMPLE POINTS REMOVAL PROCEDURE:
 1. COMPLETE ALL FLUSHING AND TESTS.
 2. SEND RESULTS TO APPROPRIATE AGENCY FOR APPROVAL.
 3. RECEIVE F.D.E.P. CLEARANCE.
 4. GET PERMISSION FROM THE CITY WATER & SEWER DEPT.
 5. REMOVE THE TEMPORARY JUMPER CONNECTION AND PLUG THE REMAINING TAPPING VALVES.

2\"/>

CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
POTABLE WATER SERVICE DETAIL FOR 5/8\"/>



CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
FIRE SERVICE DETAIL
 DATE: 8/30/07 DRAWN BY: J.S.V.
 APPR: DATE: 8/30/07 WS 36
 REV: 11/21/2022 PAGE 1 OF 1

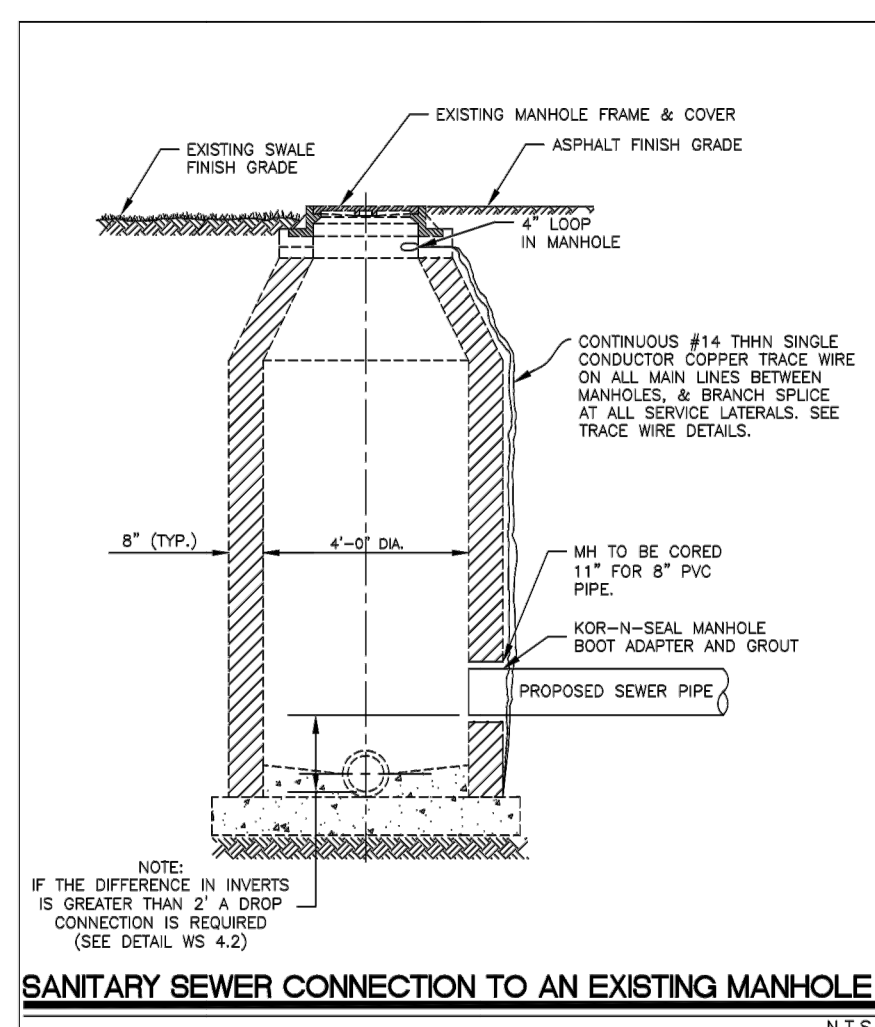
NOTES:

1. ALL BACKFLOW PREVENTER DEVICES MUST CONFORM TO A.W.W.A. M14 RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL MANUAL.
2. ALL BACKFLOW PREVENTER DEVICES MUST BE TESTED ON SITE AND CERTIFICATIONS MUST BE SUBMITTED TO CITY OF VERO BEACH WATER & SEWER DEPT. BEFORE WATER SERVICE TO SITE CAN BE ESTABLISHED.
3. DEVICES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
4. ALL ABOVE GROUND PIPES SHOWN SHALL BE FLANGED DUCTILE IRON.
5. 24\"/>

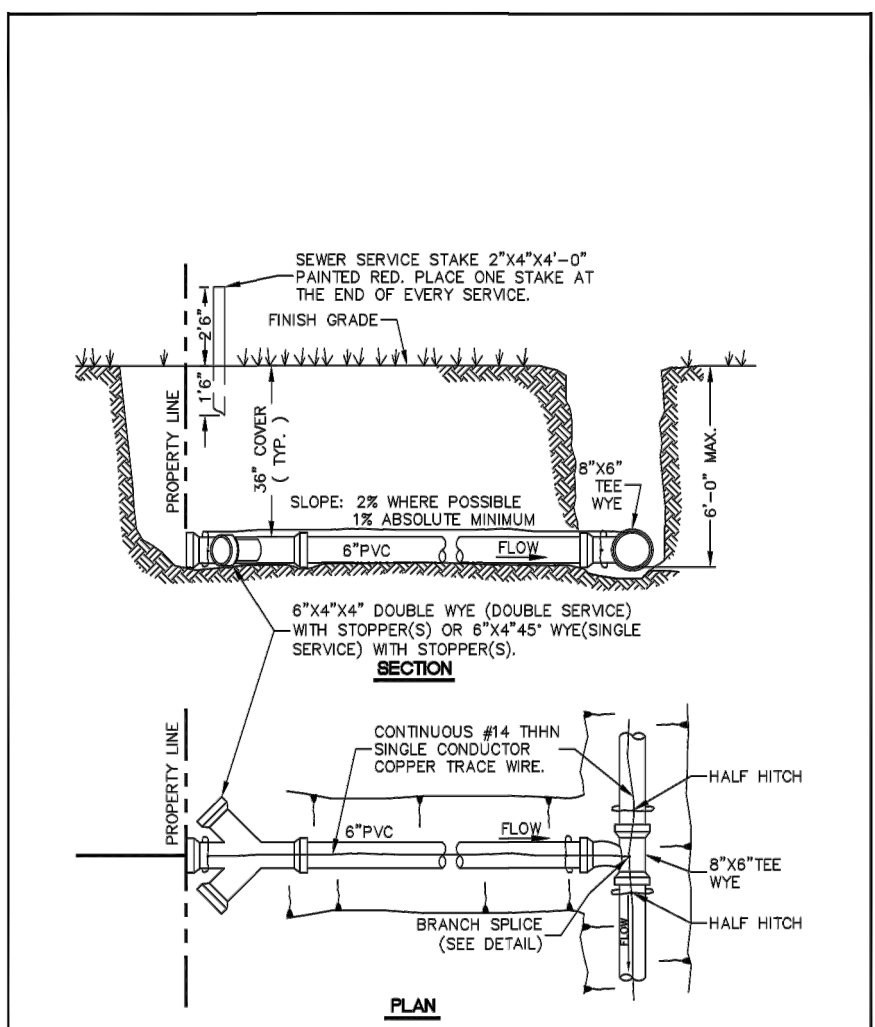
MATERIALS TABLE - FIRE SERVICE DETAIL

ITEM	QTY	UNIT	DESCRIPTION
1	1	EA	DOUBLE CHECK BACK FLOW PREVENTER ASSEMBLY WITH TESTCOCKS AND 2 RESILIENT SEAT O.S.& Y. GATE VALVES WITH HANDWHEELS-FLANGED (AMES COLT C3000CDA, C500RPA SERIES, OR EQUAL)
2	2	EA	90° BENDS F-F (OR 45° BENDS)
3	2	EA	90° BENDS M.J. (OR 45° BENDS) BELOW GROUND
4	1	EA	D.I.P. (12\"/>

CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
FIRE SERVICE DETAIL
 DATE: 8/30/07 DRAWN BY: J.S.V.
 APPR: DATE: 8/30/07 WS 36
 REV: 11/21/2022 PAGE 1 OF 1



CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
SANITARY SEWER CONNECTION TO AN EXISTING MANHOLE
 DATE: 9/9/05 DRAWN BY: J.S.V.
 APPR: DATE: 9/9/05 WS 41E
 REV: 8/8/07 PAGE 1 OF 1



CITY OF VERO BEACH WATER AND SEWER DEPARTMENT ENGINEERING DIVISION
GRAVITY SEWER HOUSE SERVICE CONNECTION DETAIL
 DATE: 6/4/87 DRAWN BY: J.S.V.
 APPR: DATE: 6/4/87 WS 32
 REV: 8/19/2013 PAGE 1 OF 3

GENERAL NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL COORDINATE AND PROVIDE UTILITY LOCATES SERVICES WITHIN THE AREA OF CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCKING OUT ALL ELECTRICAL POWER SERVICE PRIOR TO ANY CLEARING AND GRUBBING OPERATIONS.
3. THE CONTRACTOR SHALL REMOVE ALL EXCESSIVE SOIL AND EXISTING MATERIALS OFF-SITE IN A LEGAL MANNER AT NO ADDITIONAL COST TO THE COUNTY. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND CUT/FILL CALCULATIONS.
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5. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL LAND SURVEYING LAYOUTS AND AS-BUILT SURVEYING IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE AND CONSTRUCTION SAFETY MEASURES IN ACCORDANCE WITH THE MOST CURRENT O.S.H.A. STANDARDS.
7. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS FOR SHOP DRAWING REVIEW AND APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.
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9. ALL UTILITY CONSTRUCTION ACTIVITIES MUST BE IN ACCORDANCE WITH THE CITY OF VERO BEACH UTILITIES AND OR PUBLIC WORK STANDARDS.

Vero Beach Utility:

Pre-Construction

1. Vero Beach will need to review shop drawings for the proposed utilities prior to construction starting.
2. Also have a pre-construction meeting.

During Construction

1. City of Vero Beach requests that all access to all water and sewer valves, sanitary sewer manholes, and other mechanisms be maintained throughout construction in the event of and emergency to ensure the public health and safety. Covering valve boxes and manholes can be considered unauthorized obstruction of and tampering with Department Utilities. All city valves are to be operated on by City personnel.
2. Contractor to perform locates and coordinate with the city if any conflicts are encountered during construction.
3. Vero Beach will need to be notify 48 hours prior to construction start of these utilities.
4. Vero Beach utility inspector will need to be present during any connections to there existing system, new construction, and any required testing.

Before the project is completed and accepted, Vero Beach will need the following items for new fire service, lift station completion, and irrigation meter:

1. The water services and fire service backflow preventor will need to be tested and certified, the certification documentation submitted to the water + sewer dept.
2. Final releases of liens from Contractor, Subcontractors and suppliers.
3. Certification of Engineer of Record as to compliance of the work with the approved plans.
4. A one-year Warranty of materials and labor.
5. One (1) copy of signed and sealed Record Drawings, one (1) PDF of same, and an AutoCAD drawing sent by email. To: Tyoun@covb.org. See Record Drawing Requirements.
6. Utility easements are required for all water & sewer utilities if they are not in the existing utility easement or in existing road Rights-of-Ways.
7. Executed Bill of Sale of Utility Facilities to the City of Vero Beach, Florida - See attached Requirements for Bill of Sale Execution for specific details.

RAVI DEVAAGUPTA, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 53150
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RAVI DEVAAGUPTA ON THE DATE INDICATED HERE:
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Ravi Devagupta
 DN: cn=Ravi Devagupta, o=FTI, ou=CDR03876333372056532P, email=Ravi@ftinc.net, c=US
 Date: 2023.10.20 11:50:28 -0400



SCALE: 1" = 10'
 0 5 10 20

NO.	REVISIONS	DATE	BY

FTE Sports
 DESIGN FOR PERFORMANCE

FTE Sports
 8250 Pascal Drive
 Punta Gorda, FL 33950
 Office: 941.961.7560
 CA00007924

Professional Land Surveying

Masteller, Moler & Taylor, Inc.
 1655 27th Street, Suite 2
 Vero Beach, FL 32960
 Office: 772.564.8050

FAWLEY BRYANT
 ARCHITECTURE

5391 Lakewood Ranch Blvd. N
 Suite 300
 Lakewood Ranch, FL 34240
 Office: 941.343.4070

PERMIT DOCUMENTS

DESIGN PROFESSIONAL
 RAVI DEVAAGUPTA, PE
 PE NUMBER 53150
 STATE OF FLORIDA

FTE PROJECT: 621005-00
 DATE: 2.2.0.2023
 SCALE: N.T.S.
 DESIGNED BY: WJM
 DRAWN BY: WJM
 CHECKED BY: RD

**WATER + WASTEWATER
 DETAILS
 CITY OF VERO BEACH**

JACKIE ROBINSON
 TRAINING COMPLEX
 EXECUTIVE BUILDING
 MAJOR LEAGUE BASEBALL
 3901 26TH STREET
 VERO BEACH, FL 32960
 INDIAN RIVER COUNTY FL

SHEET NUMBER
C-5.01

