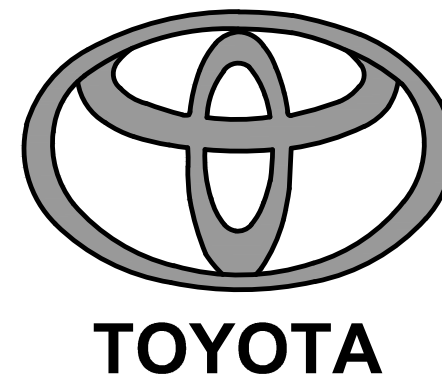
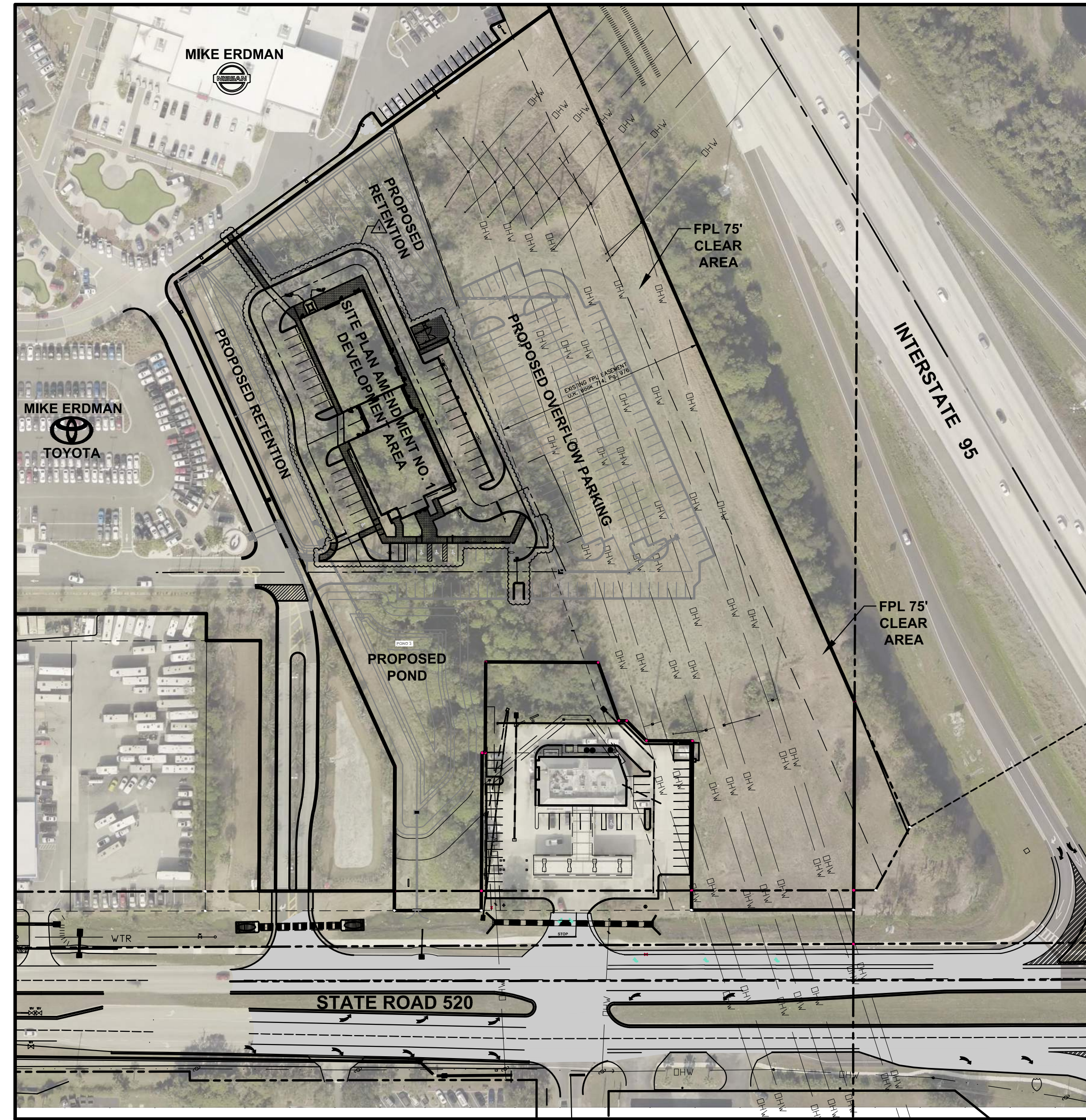


# SITE PLAN AMENDMENT NO. 1 PREPARED FOR: MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL SITE PLAN AMENDMENT NO. 1



**GENERAL NOTES**

1. Topographic information shown hereon provided by R. M. Packard and Associates.
2. Project Benchmark: See project survey. Elevations shown hereon are based on NAVD of 1988.
3. The contractor is responsible for obtaining and thoroughly reviewing a certified copy of the project survey prior to commencement of construction stakeout.
4. This drawing is valid only when signed by the project engineer and embossed with his seal. These plans, in whole or in part, shall not be reproduced without written consent from Bussen-Mayer Engineering Group, Inc.
5. All construction shown hereon shall comply with City of Cocoa, Brevard County (existing drainage along north side of S.R. 520), FDOT, Department of Environmental Protection, and St. Johns River Water Management District specifications. All required permits to be obtained prior to commencement of construction. Contractor shall have them at the job site at all times.
6. The contractor is to verify the location, vertical and horizontal, of all existing utilities, both underground and overhead, prior to start of construction or ordering materials. If any utility conflicts exist between proposed construction shown on plans and the existing utilities, the contractor is to contact the engineer of record.
7. Contractor is responsible for any damage within road rights-of-way as a direct result of new construction. Contractor is responsible for restoration of any existing pavement, curbing, utilities, landscaping, irrigation, drainage systems, survey monumentation, or other items damaged during construction. All damaged areas to be restored to original condition or better, or replaced, at the contractor's expense.
8. Contractor acknowledges that, included in the various items of the proposal and in the total bid price, are costs for complying with the Florida Trench Safety Act, in compliance with F.S. 553.60-553.64. These bid prices are to reflect actual costs for complying with the Trench Safety Act (and the requirements of OSHA). Contractor is to provide the owner with a list identifying the trench safety measure description, the units of measure, the unit quantity, unit costs, and total costs for each trench safety measure the contractor proposes to utilize during construction of any phase of this project. This list of trench safety measures and costs is to be supplied to the owner with the bid.
9. All muck or other deleterious materials encountered within the site shall be completely removed and replaced with clean fill materials. This project also requires overexcavation and replacement with highly permeable sand, within the proposed dry retention ponds as specified in these construction plans. Contractor is responsible for providing certified geotechnical testing reports for replacement soil to confirm compliance with plan requirements.
10. Combustible materials shall not be brought on site prior to adequate water for fire fighting purposes being available.
11. Access shall be provided by an unobstructed 20 foot wide, all-weather driving surface capable of supporting a 32-ton emergency vehicle. The driving surface shall be maintained during all phases of construction, and measures must be taken to conform to all FDOT requirements for temporary construction driveways. Refer to the irrigation plans (by others) for irrigation sleeving requirements.
12. Parking spaces shall be identified using the striping and visual contact criteria of the Manual of Uniform Traffic Control Devices - Federal Hwy. Administration.
13. All stop bars to be 24" wide white with 30" stop signs.
14. All parking space striping shall be 6" wide white stripes.
15. Curb tapers to be constructed at all curb ends (see detail).
16. Reference geotechnical engineering reports by Universal Engineering Sciences; Project No 0330.1900087.0000, dated August 2, 2019.
17. A landscape maintenance bond must be posted prior to receiving a certificate of occupancy.
18. Landscaping shall not be located within 3 feet of any fire hydrant or any fire department connection.
19. Contractor is responsible for obtaining all necessary dewatering and consumptive use permits prior to start of construction.
20. Contractor is to be responsible to protect and/or replace all survey monumentation within the project limits by a licensed surveyor in the State of Florida.
21. Sod all disturbed areas within FDOT right-of-way with Common Bermuda Sod.
22. Lighting shall be designed, installed, maintained, and directed so as to avoid glare on adjoining properties and rights-of-way through use of semi and full cutoff shields.
23. The City of Cocoa shall accept no responsibility for any on or off-site drainage, existing or proposed, related to the subject property.
24. A Demolition Permit is required for removal of existing structures per Florida Building Code, Section 105.
25. An Elevation Certificate will be required for buildings within flood zones. Contractor to coordinate with project surveyor for preparation submittal of the required certificate(s).
26. ~~All proposed chain link fencing must be black vinyl clad per City of Cocoa requirements.~~
27. All construction in the FDOT ROW shall conform to the latest editions of the FDOT Design Standards [Indexes], the FDOT Standard Specifications for Road and Bridge Construction, and the FDOT Utility Accommodation Manual.
28. Fire department access roads shall have an unobstructed width of not less than 20 ft. The driving surface shall be maintained during all phases of construction and (FFPC-1-18.2.3.5.2) must be an all-weather driving surface capable of supporting a (33,28) seventy thousand (70,000) pound emergency vehicles with maximum axle loads of thirty-five thousand (35,000) pounds.



**PROJECT SITE AERIAL**  
SCALE: 1" = 100'

**UTILITY COMPANY CONTACTS**

- |  |   |
|--|---|
| <b>FLORIDA POWER &amp; LIGHT</b><br>270 PIONEER ROAD<br>MERRITT ISLAND FL 32952<br>PHONE: (321) 455-6125                                 | <b>AT&amp;T</b><br>770 FLORIDA AVE<br>COCOA FL 32922<br>PHONE: (321) 723-8040                                 |
| <b>BREVARD COUNTY ROAD &amp; BRIDGE</b><br>CENTRAL AREA MAINTENANCE<br>555 CONE ROAD<br>MERRITT ISLAND FL 32953<br>PHONE: (321) 455-1389 | <b>CITY OF COCOA PUBLIC WORKS DEPT.</b><br>155 N. WILSON AVE<br>COCOA, FL 32922<br>PHONE: (321) 433-8770      |
| <b>CITY OF COCOA UTILITIES</b><br>351 SHEARER BLVD<br>COCOA FL 32922<br>PHONE: (321) 453-7999  | <b>BRIGHTHOUSE NETWORKS</b><br>1575 PALM BAY ROAD NE, STE. 110<br>PALM BAY, FL 32909<br>PHONE: (321) 432-4461 |
| <b>FLORIDA CITY GAS</b><br>OPERATIONS DEPT.<br>4180 S. U.S. HIGHWAY No.1<br>ROCKLEDGE FL 32955<br>PHONE: (321) 638-3419                  | <b>SUNSHINE 811</b><br>www.sunshine811.com<br>CALL 811 BEFORE YOU DIG<br>(800) 432-4770                       |

**PROJECT CONTACTS**

- |   |   |
|---|---|
| <b>OWNER/APPLICANT:</b><br>MIKE ERDMAN MOTORS, INC.<br>4640 HIGHWAY 520 COCOA FL 32928<br>PHONE: (321) 453-1313<br>FAX: (321) 452-7123<br>CONTACT: MICHAEL ERDMAN, PRESIDENT  | <b>ENGINEER:</b><br>DRMP, INC.<br>100 PARNELL STREET<br>MERRITT ISLAND, FLORIDA 32953<br>PHONE: (321) 453-0010<br>FAX: (321) 453-6885<br>CONTACT: SCOTT NICKLE, V.P.<br>EMAIL: SNICKLE@DRMP.COM |
| <b>SURVEYOR:</b><br>R.M. PACKARD AND ASSOCIATES, INC.<br>SURVEYING AND MAPPING<br>1015 ROCKLEDGE DRIVE<br>ROCKLEDGE, FLORIDA 32955<br>PHONE: (321) 432-6335<br>FAX: (321) 453-7392<br>CONTACT: BOB PACKARD, PSM<br>EMAIL: PACKARDSURVEY@CFLRR.COM |   |

**GENERAL STATEMENT:**  
THIS 9.19 ACRE (+/-) PROPERTY IS FOR THE PROPOSED OVERFLOW PARKING ASSOCIATED WITH THE ADJACENT MIKE ERDMAN TOYOTA AND NISSAN CAR DEALERSHIPS. CURRENTLY PARKING NEEDS WITHIN THE DEALERSHIP EXCEEDS THE AVAILABLE PARKING. THEREFORE OVERFLOW PARKING IS NEEDED. THE OVERFLOW PARKING WITHIN THE SUBJECT SITE IS MOSTLY PROPOSED TO BE WITHIN THE EXISTING FLORIDA POWER & LIGHT (FPL) EASEMENT LOCATED ALONG THE EASTERN HALF (+/-) OF THE PROPERTY, AS SHOWN ON THE PLAN. A SYSTEM OF DRAINAGE INLETS AND PIPING WILL CONVEY STORMWATER INTO THE INTERCONNECTED DRY RETENTION PONDS FOR THE PRE-TREATMENT THEN INTO A WET DETENTION POND. STORMWATER OUTFALL WILL BE FROM THE SOUTH DRY POND, INTO THE BREVARD COUNTY DRAINAGE DITCH. NO WATER OR SANITARY SEWER SYSTEMS WILL BE WITHIN THE FPL EASEMENT.

**GENERAL STATEMENT (SITE PLAN AMENDMENT NO. 1):**  
THIS PLAN IS FOR MINOR SITE PLAN AMENDMENT NO. 1 TO THE PREVIOUSLY APPROVED OVERFLOW PARKING PARCEL SITE PLAN. THE ADDITION OF A 18,734 S.F. CADILLAC SHOWROOM, SALES, AND SERVICE/PARTS DEPARTMENT BUILDING WITH ASSOCIATED PARKING AND DUMPSTER ENCLOSURE WERE ADDED TO THE PLANS. SITE PLAN AMENDMENT ADDITIONS AND CHANGES ARE DENOTED VIA CLOUDING ON THE PLANS AND THE REVISION BLOCK.

**WATER DISTRIBUTION STATEMENT (SITE PLAN AMENDMENT NO. 1):**  
WATER DISTRIBUTION IS PROPOSED TO EXTEND AN 8" WATER MAIN FROM THE EXISTING 10" CITY OF COCOA WATER MAIN LOCATED ALONGSIDE OF THE CENTER ENTRY DRIVE OF THE MIKE ERDMAN TOYOTA/NISSAN AUTOMOTIVE DEALERSHIP. A 1.5" POTABLE WATER METER AND A 2" SERVICE LINE TO THE PROPOSED BUILDING WILL BE PROVIDED. A 6" DDCV AND FIRELINE, WITH ON-SITE FIRE HYDRANT(S) WILL BE PROVIDED.

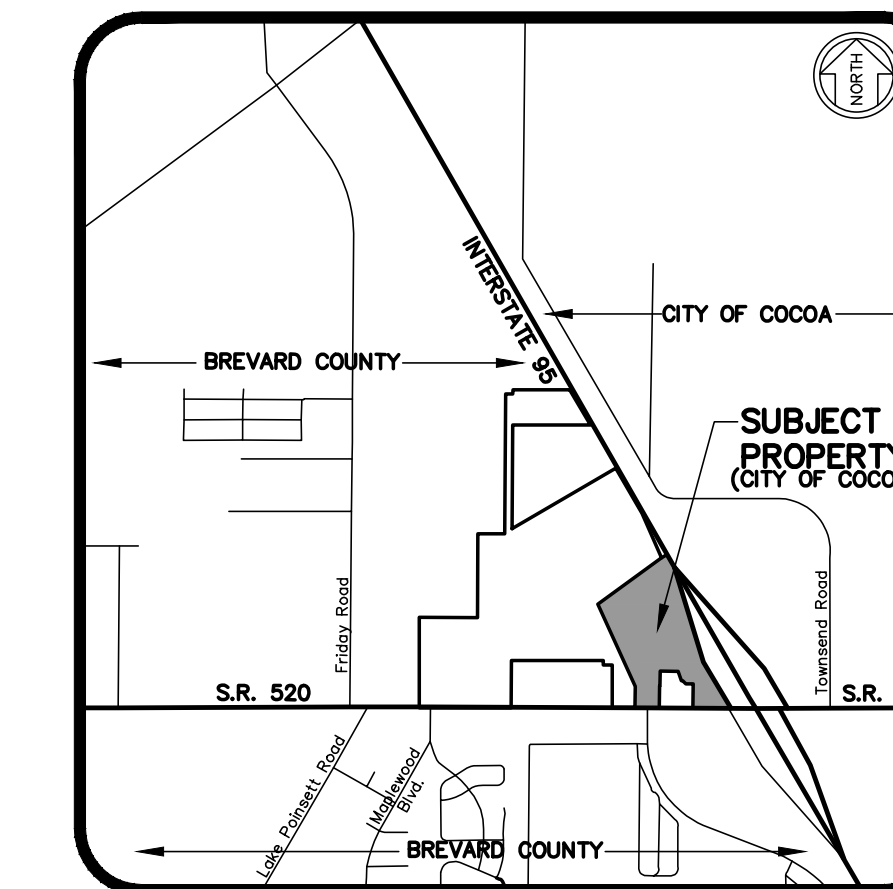
**SANITARY SEWER COLLECTION SYSTEM STATEMENT (SITE PLAN AMENDMENT NO. 1):**  
SANITARY SEWER COLLECTION WILL BE ACCOMPLISHED VIA GRAVITY FLOW FROM THE PROPOSED BUILDING, TO A PROPOSED PRIVATE LIFT STATION. SEWAGE WILL THEN BE PUMPED VIA A 1.25" PRIVATE FORCE MAIN, WESTERLY AND INTO AN EXISTING MANHOLE LOCATED NORTHWEST OF THE EXISTING MIKE ERDMAN TOYOTA/NISSAN CAR WASH BUILDING. THE RECEIVING MANHOLE WILL BE LINED.

**FUTURE LAND USE DESIGNATION, COMMERCIAL**

**SHEET INDEX**

SHT.	DESCRIPTION
C01	COVER SHEET
S01	BOUNDARY SURVEY (BY OTHERS)
S02-S03	TOPOGRAPHIC SURVEY (BY OTHERS)
C02-C03	EXISTING CONDITIONS/DEMOLITION PLAN
C04	OVERALL MASTER BOUNDARY SHEET
C04A	MASTER LAYOUT
C05-C06	DIMENSION PLAN
C07-C08	GRADING, PAVING, AND DRAINAGE PLAN
C08A	OVERFLOW PARKING GRADING, PAVING, AND DRAINAGE PLAN
C09-C10	UTILITIES PLAN
C11	CROSS SECTIONS
C11A	SEWER PROFILE
C12-C15	SITE DETAILS
C16	STORMWATER POLLUTION PREVENTION PLAN
C17	EROSION AND SEDIMENT CONTROL DETAILS & NOTES
C18	FIRE TRUCK TURN ANALYSIS PLAN
C19	BREVARD COUNTY STANDARD DEVELOPMENT NOTES
C20-C22	STANDARD WATER DETAILS
C23-C24	STANDARD SEWER DETAILS
L-300 - L-302	LANDSCAPE PLANS (BY OTHERS)
E002	PHOTOMETRIC SITE PLAN
E003	FIXTURE INFORMATION
E004	FIXTURE INFORMATION

**VICINITY MAP**



**NOTE:**  
RIGHT-OF-WAY REVIEW AND APPROVAL DOES NOT CONSTITUTE COUNTY APPROVAL OR REVIEW OF ANY PRIVATE PARTY DEED RESTRICTIONS, COVENANTS, PRIVATE EASEMENTS, OR OTHER PRIVATE AGREEMENTS. ANY CHANGES TO THE APPROVED PLAN MUST BE COORDINATED THROUGH THE PUBLIC WORKS ENGINEERING PROGRAM. THE APPLICANT ASSUMES THE RISK THAT THE RIGHT-OF-WAY PERMIT MAY REQUIRE ADDITIONAL COUNTY REVIEWS INCLUDING ENGINEERING REVISIONS OR OTHER APPLICABLE COUNTY REVIEW PROCESSES SHOULD ANY ACTION TO ENFORCE ANY SUCH RESTRICTIONS REQUIRE REDESIGN OF THE PROJECT.

NO.	DATE	DESCRIPTION	BY
1A	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
	01/30/24	Add Roof Drain Pipes	MRD
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/Add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/Add waterline est.	MRD
	11/08/22	Per Site Plan Amendment No. 1	MRD
	09/13/22	Per review agency comments	MRD
	10/10/21	Per review agency comments	MRD

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
MRD	MRD	MRD	MRD

**COVER SHEET**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

**DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE**

**DRMP, Inc.**

ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Parnell Street Suite A, Merritt Island, FL 32953  
Phone: 321-453-0010 Fax: 321-454-6885 WWW.DRMP.COM

**DRMP, Inc.**

Professional Engineer License  
No. 84538  
STATE OF FLORIDA  
Professional Engineer  
State of Florida # 84538

PROJECT NO.: 21-0509.001

SCALE: 1" = 100'

DATE: NOVEMBER, 2020

DRAWING: **C01**

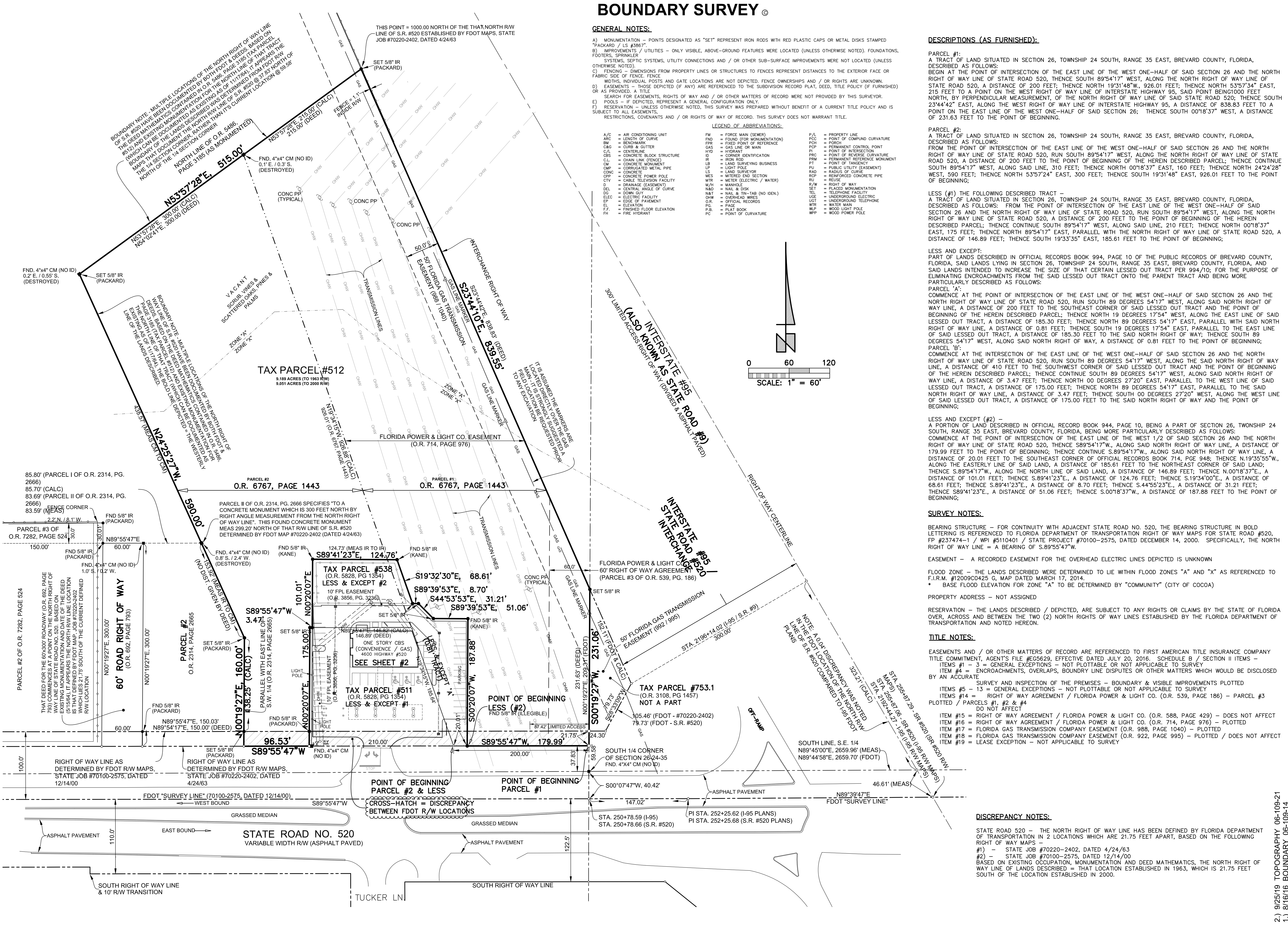
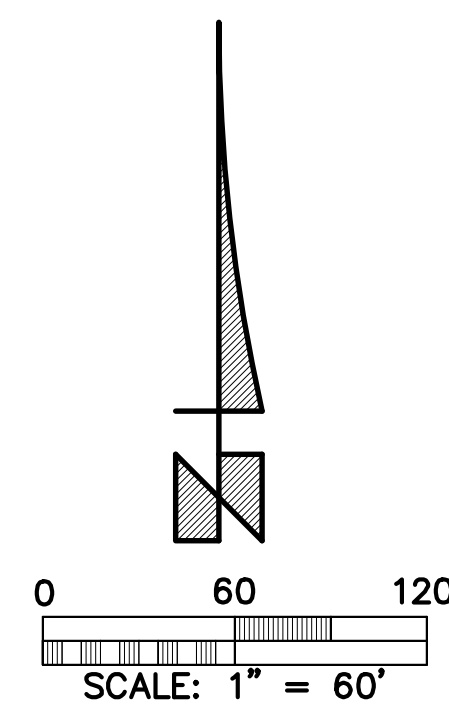
# BOUNDARY SURVEY

## GENERAL NOTES:

- A) MONUMENTATION - POINTS DESIGNATED AS "SET" REPRESENT IRON RODS WITH RED PLASTIC CAPS OR METAL DISKS STAMPED "PACKARD / LS #3867".
- B) IMPROVEMENTS / UTILITIES - ONLY VISIBLE, ABOVE-GROUND FEATURES WERE LOCATED (UNLESS OTHERWISE NOTED). FOUNDATIONS, FOOTERS, SPRINKLER SYSTEMS, SEPTIC SYSTEMS, UTILITY CONNECTIONS AND / OR OTHER SUB-SURFACE IMPROVEMENTS WERE NOT LOCATED (UNLESS OTHERWISE NOTED).
- C) FENCING - DIMENSIONS FROM PROPERTY LINES OR STRUCTURES TO FENCES REPRESENT DISTANCES TO THE EXTERIOR FACE OR FABRIC SIDE OF FENCE. FENCE WIDTHS, INDIVIDUAL POSTS AND GATE LOCATIONS ARE NOT DEPICTED. FENCE OWNERSHIP AND / OR RIGHTS ARE UNKNOWN.
- D) EASEMENTS - THOSE DEPICTED (IF ANY) ARE REFERENCED TO THE SUBDIVISION RECORD PLAT, DEED, TITLE POLICY (IF FURNISHED) OR AS PROVIDED, A TITLE SEARCH FOR EASEMENTS, RIGHTS OF WAY AND / OR OTHER MATTERS OF RECORD WERE NOT PROVIDED BY THIS SURVEYOR.
- E) POOLS - IF DEPICTED, REPRESENT A GENERAL CONFIGURATION ONLY.
- F) RESERVATION - UNLESS OTHERWISE NOTED, THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A CURRENT TITLE POLICY AND IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, COVENANTS AND / OR RIGHTS OF WAY OF RECORD. THIS SURVEY DOES NOT WARRANT TITLE.

## LEGEND OF ABBREVIATIONS:

- |                   |                             |     |                             |     |                                |
|-------------------|-----------------------------|-----|-----------------------------|-----|--------------------------------|
| A/C               | = AIR CONDITIONING UNIT     | FM  | = FORCE MAIN (SEWER)        | P/L | = PROPERTY LINE                |
| ARC               | = LENGTH OF CURVE           | FR  | = FIXED POINT OF REFERENCE  | PCC | = POINT OF COMPOUND CURVATURE  |
| BM                | = BENCHMARK                 | GAG | = GAS LINE OR MAIN          | POB | = POINT OF BEGINNING           |
| C&G               | = CURB & GUTTER             | HYD | = HYDRANT                   | PCP | = PERMANENT CONTROL POINT      |
| CBL               | = CONCRETE BLOCK STRUCTURE  | ID  | = CORNER IDENTIFICATION     | PI  | = POINT OF INTERSECTION        |
| CL                | = CHAIN LINK (FENCE)        | IR  | = IRON ROD                  | PRC | = POINT OF REVERSE CURVATURE   |
| CM                | = CONCRETE MONUMENT         | LS  | = LAND SURVEYING BUSINESS   | PRM | = PERMANENT REFERENCE MONUMENT |
| CM                | = CORRUGATED METAL PIPE     | LP  | = LAND SURVEYOR             | PT  | = POINT OF TANGENCY            |
| CONC              | = CONCRETE                  | LS  | = LIGHT POLE                | PU  | = PUBLIC UTILITY (EASEMENT)    |
| CONC PP           | = CONCRETE POWER POLE       | ME  | = METER (ELECTRIC / WATER)  | RAD | = RADIUS OF CURVE              |
| CONC PP (TYPICAL) | = CONCRETE POWER POLE       | M/S | = MITERED END SECTION       | RC  | = REINFORCED CONCRETE PIPE     |
| CP                | = CABLE TELEVISION FACILITY | MTR | = METER (ELECTRIC / WATER)  | RU  | = REUSE                        |
| CSP               | = CONCRETE POWER POLE       | M/H | = MANHOLE                   | R/W | = RIGHT OF WAY                 |
| CTV               | = CABLE TELEVISION FACILITY | M&D | = METER (ELECTRIC / WATER)  | SET | = PLACED MONUMENTATION         |
| DEL               | = DRAINAGE (EASEMENT)       | N&T | = NAIL & TIN-TAB (NO IDEN.) | TEL | = TELEPHONE FACILITY           |
| DL                | = DOWN GUY                  | OH  | = OVERHEAD WIRE             | USE | = UNDERGROUND ELECTRIC         |
| ELEC              | = ELECTRIC FACILITY         | OR  | = OFFICIAL RECORDS          | UGT | = UNDERGROUND TELEPHONE        |
| EP                | = EDGE OF PAVEMENT          | PA  | = PLAT BOOK                 | WTR | = WATER MAIN                   |
| FL                | = FINISHED FLOOR ELEVATION  | PC  | = PLAT BOOK                 | WP  | = WOOD POWER POLE              |
| FR                | = FINISHED FLOOR ELEVATION  | PC  | = PLAT BOOK                 |     |                                |



## DESCRIPTIONS (AS FURNISHED):

**PARCEL #1:**  
A TRACT OF LAND SITUATED IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
BEGIN AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, THENCE SOUTH 89°54'17" WEST, ALONG THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 200 FEET; THENCE NORTH 19°31'48" WEST, 926.01 FEET; THENCE NORTH 53°57'34" EAST, 215 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 95, SAID POINT BEING 1000 FEET NORTH, BY PERPENDICULAR MEASUREMENT, OF THE NORTH RIGHT OF WAY LINE OF SAID STATE ROAD 520; THENCE SOUTH 23°44'42" EAST, ALONG THE WEST RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 95, A DISTANCE OF 836.83 FEET TO A POINT ON THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26; THENCE SOUTH 00°18'37" WEST, A DISTANCE OF 231.63 FEET TO THE POINT OF BEGINNING.

**PARCEL #2:**  
A TRACT OF LAND SITUATED IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
FROM THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, RUN SOUTH 89°54'17" WEST, ALONG THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE CONTINUE SOUTH 89°54'17" WEST, ALONG SAID LINE, 310 FEET; THENCE NORTH 00°18'37" EAST, 160 FEET; THENCE NORTH 24°24'28" WEST, 590 FEET; THENCE NORTH 53°57'24" EAST, 300 FEET; THENCE SOUTH 19°31'48" EAST, 926.01 FEET TO THE POINT OF BEGINNING;

**LESS (#1) THE FOLLOWING DESCRIBED TRACT -**  
A TRACT OF LAND SITUATED IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
FROM THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, RUN SOUTH 89°54'17" WEST, ALONG THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE CONTINUE SOUTH 89°54'17" WEST, ALONG SAID LINE, 210 FEET; THENCE NORTH 00°18'37" EAST, 175 FEET; THENCE NORTH 89°54'17" EAST, PARALLEL WITH THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 146.89 FEET; THENCE SOUTH 19°33'35" EAST, 185.61 FEET TO THE POINT OF BEGINNING;

**LESS AND EXCEPT:**  
PART OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 994, PAGE 10 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, SAID LANDS LYING IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, AND SAID LANDS INTENDED TO INCREASE THE SIZE OF THAT CERTAIN LESSED OUT TRACT PER 994/10; FOR THE PURPOSE OF ELIMINATING ENCROACHMENTS FROM THE SAID LESSED OUT TRACT ONTO THE PARENT TRACT AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**PARCEL #A:**  
COMMENCE AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, RUN SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 200 FEET TO THE SOUTHWEST CORNER OF SAID LESSED OUT TRACT AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE NORTH 19 DEGREES 17'54" WEST, ALONG THE EAST LINE OF SAID LESSED OUT TRACT, A DISTANCE OF 185.30 FEET; THENCE NORTH 89 DEGREES 54'17" EAST, PARALLEL WITH SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 0.81 FEET; THENCE SOUTH 19 DEGREES 17'54" EAST, PARALLEL TO THE EAST LINE OF SAID LESSED OUT TRACT, A DISTANCE OF 185.30 FEET TO THE SAID NORTH RIGHT OF WAY; THENCE SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY, A DISTANCE OF 0.81 FEET TO THE POINT OF BEGINNING;

**PARCEL #B:**  
COMMENCE AT THE INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, RUN SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 410 FEET TO THE SOUTHWEST CORNER OF SAID LESSED OUT TRACT AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE CONTINUE SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 3.47 FEET; THENCE NORTH 00 DEGREES 27'20" EAST, PARALLEL TO THE WEST LINE OF SAID LESSED OUT TRACT, A DISTANCE OF 175.00 FEET; THENCE NORTH 89 DEGREES 54'17" EAST, PARALLEL TO THE SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 3.47 FEET; THENCE SOUTH 00 DEGREES 27'20" WEST, ALONG THE WEST LINE OF SAID LESSED OUT TRACT, A DISTANCE OF 175.00 FEET TO THE SAID NORTH RIGHT OF WAY AND THE POINT OF BEGINNING;

**LESS AND EXCEPT (#2) -**  
A PORTION OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 944, PAGE 10, BEING A PART OF SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST 1/2 OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, THENCE SOUTH 89°54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 179.99 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.89°54'17" W., ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 20.01 FEET TO THE SOUTHEAST CORNER OF OFFICIAL RECORDS BOOK 714, PAGE 948; THENCE N.19°35'55" W., ALONG THE EASTERLY LINE OF SAID LAND, A DISTANCE OF 185.61 FEET TO THE NORTHEAST CORNER OF SAID LAND; THENCE S.89°54'17" W., ALONG THE NORTH LINE OF SAID LAND, A DISTANCE OF 146.89 FEET; THENCE N.00°18'37" E., A DISTANCE OF 101.01 FEET; THENCE S.89°41'23" E., A DISTANCE OF 124.76 FEET; THENCE S.19°34'00" E., A DISTANCE OF 68.61 FEET; THENCE S.89°54'17" W., A DISTANCE OF 31.70 FEET; THENCE S.44°53'23" E., A DISTANCE OF 31.21 FEET; THENCE S.89°41'23" E., A DISTANCE OF 51.06 FEET; THENCE S.00°18'37" W., A DISTANCE OF 187.88 FEET TO THE POINT OF BEGINNING;

## SURVEY NOTES:

- BEARING STRUCTURE** - FOR CONTINUITY WITH ADJACENT STATE ROAD NO. 520, THE BEARING STRUCTURE IN BOLD LETTERING IS REFERENCED TO FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS FOR STATE ROAD #520, FP #237474-1 / WPI #S110401 / STATE PROJECT #70100-2575, DATED DECEMBER 14, 2000. SPECIFICALLY, THE NORTH RIGHT OF WAY LINE = A BEARING OF S.89°55'47" W.
- EASEMENT** - A RECORDED EASEMENT FOR THE OVERHEAD ELECTRIC LINES DEPICTED IS UNKNOWN
- FLOOD ZONE** - THE LANDS DESCRIBED WERE DETERMINED TO LIE WITHIN FLOOD ZONES "A" AND "X" AS REFERENCED TO F.I.R.M. #12009C0425 G, MAP DATED MARCH 17, 2014.  
\* BASE FLOOD ELEVATION FOR ZONE "A" TO BE DETERMINED BY "COMMUNITY" (CITY OF COCOA)
- PROPERTY ADDRESS** - NOT ASSIGNED
- RESERVATION** - THE LANDS DESCRIBED / DEPICTED, ARE SUBJECT TO ANY RIGHTS OR CLAIMS BY THE STATE OF FLORIDA OVER, ACROSS AND BETWEEN THE TWO (2) NORTH RIGHTS OF WAY LINES ESTABLISHED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION AND NOTED HEREON.

## TITLE NOTES:

- EASEMENTS AND / OR OTHER MATTERS OF RECORD ARE REFERENCED TO FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT, AGENT'S FILE #65629, EFFECTIVE DATED JULY 20, 2016. SCHEDULE B / SECTION II ITEMS -  
ITEMS #1 - 3 = GENERAL EXCEPTIONS - NOT PLOTTABLE OR NOT APPLICABLE TO SURVEY  
ITEM #4 = ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE  
DO NOT AFFECT
- ITEMS #5 - 13 = GENERAL EXCEPTIONS - NOT PLOTTABLE OR NOT APPLICABLE TO SURVEY  
ITEMS #14 = RIGHT OF WAY AGREEMENT / FLORIDA POWER & LIGHT CO. (O.R. 539, PAGE 186) - PARCEL #3 PLOTTED / PARCELS #1, #2 & #4 DO NOT AFFECT
- ITEM #15 = RIGHT OF WAY AGREEMENT / FLORIDA POWER & LIGHT CO. (O.R. 588, PAGE 429) - DOES NOT AFFECT
- ITEM #16 = RIGHT OF WAY AGREEMENT / FLORIDA POWER & LIGHT CO. (O.R. 714, PAGE 976) - PLOTTED
- ITEM #17 = FLORIDA GAS TRANSMISSION COMPANY EASEMENT (O.R. 988, PAGE 1040) - PLOTTED
- ITEM #18 = FLORIDA GAS TRANSMISSION COMPANY EASEMENT (O.R. 922, PAGE 995) - PLOTTED / DOES NOT AFFECT
- ITEM #19 = LEASE EXCEPTION - NOT APPLICABLE TO SURVEY

## DISCREPANCY NOTES:

- STATE ROAD 520 - THE NORTH RIGHT OF WAY LINE HAS BEEN DEFINED BY FLORIDA DEPARTMENT OF TRANSPORTATION IN 2 LOCATIONS WHICH ARE 21.75 FEET APART, BASED ON THE FOLLOWING RIGHT OF WAY MAPS -  
#1) - STATE JOB #70220-2402, DATED 4/24/63  
#2) - STATE JOB #70100-2575, DATED 12/14/00  
BASED ON EXISTING OCCUPATION, MONUMENTATION AND DEED MATHEMATICS, THE NORTH RIGHT OF WAY LINE OF LANDS DESCRIBED = THAT LOCATION ESTABLISHED IN 1963, WHICH IS 21.75 FEET SOUTH OF THE LOCATION ESTABLISHED IN 2000.

NOT VALID WITHOUT ORIGINAL SIGNATURE AND EMBOSSED WITH SURVEYOR'S SEAL

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, THAT IT IS TRUE AND CORRECT TO THE STANDARDS AND PRACTICES SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS CHAPTER 5417, F.A.C. PURSUANT TO SECTION #417.027, FLORIDA STATUTES (SUBJECT TO NOTES HEREON).

**r.m. packard & assoc., inc.**  
surveying & mapping  
1193 U.S. HIGHWAY 1 / UNIT 3  
ROCKLEDGE, FLORIDA 32955  
TEL (321) 632-6335 packardsurveying@cfri.com  
FLORIDA CORPORATE CERTIFICATE #6864

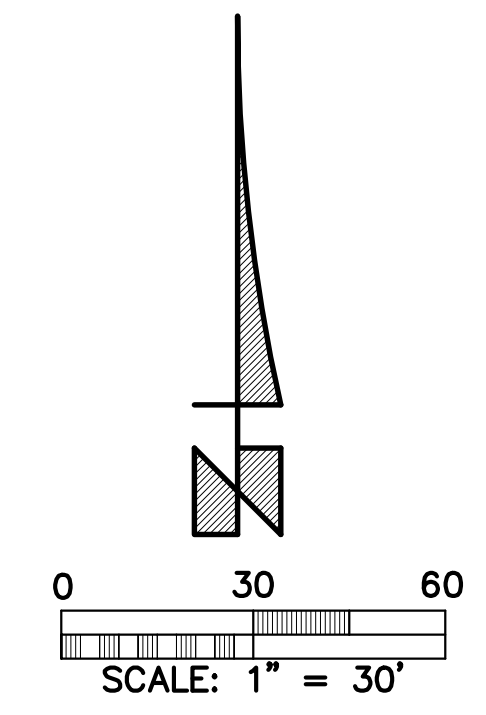
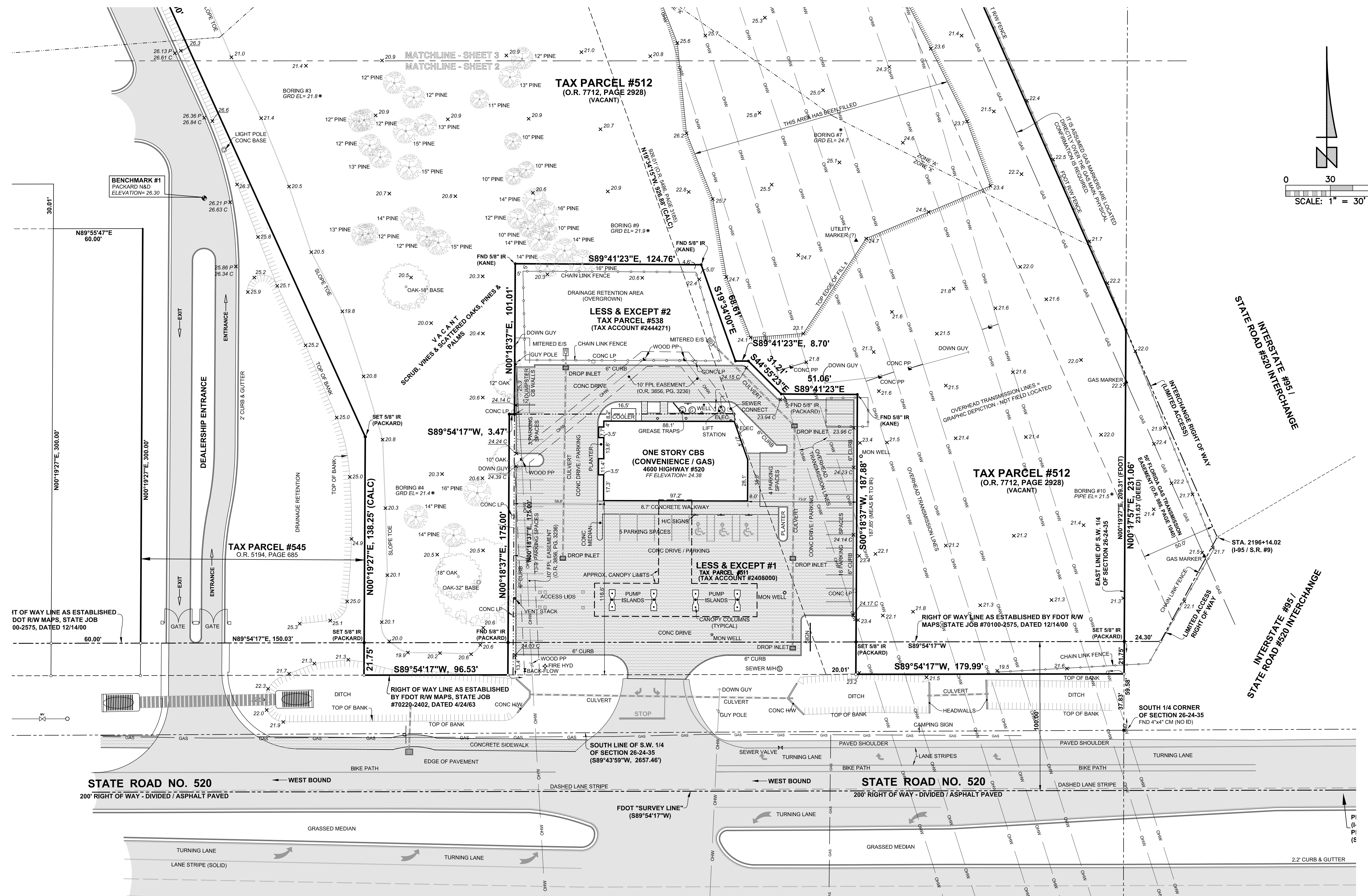
**ERDMAN PROPERTIES, LLC**  
TITLE ESCROW & RESERVOR OF CENTRAL FLORIDA, INC.  
FIRST AMERICAN TITLE INSURANCE COMPANY

9/25/19 TOPOGRAPHY 06-109-21  
1. 8/16/16 BOUNDARY 06-109-14

DRAWN BY: RMP  
CHK'D BY:  
DATE: 8/16/16  
DWG #: D-06-109  
NOTES: FILES  
JOB #: 06-109-14

SHEET 1 OF 3

# TOPOGRAPHIC SURVEY



**ELEVATION NOTE:**  
 ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD OF '88) AS REFERENCED TO BREVARD COUNTY BENCHMARK #700211, ELEVATION=20.21.

NOT VALID WITHOUT ORIGINAL SIGNATURE AND EMBOSSED WITH SURVEYOR'S SEAL

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT I AM A LICENSED SURVEYOR AND MAPPER IN ACCORDANCE WITH CHAPTER 5417, F.A.C., PURSUANT TO SECTION 7412.027, FLORIDA STATUTES (SUBJECT TO NOTES HEREON).

ROBERT M. PACKARD, PSM  
 REG. FLORIDA SURVEYOR & MAPPER #9887

**r.m. packard & assoc., inc.**  
 surveying & mapping  
 1193 U.S. HIGHWAY 1 / UNIT 3  
 ROCKLEDGE, FLORIDA 32955  
 TEL (321) 632-6335 • packardsurveying@cfri.fl.com  
 FLORIDA CORPORATE CERTIFICATE #6656

PREPARED FOR & CERTIFIED TO THE EXCLUSIVE USE OF THE PARTIES LISTED BELOW AND FOR THOSE SERVICES EMPLOYED BY THEM. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. THOSE EXPRESSED WILL BE AT THE SOLE RISK OF THAT PARTY WITHOUT LIABILITY OF ANY KIND TO THIS SURVEYOR.

**ERDMAN PROPERTIES, LLC**  
 TITLE SECURITY & ESCROW OF CENTRAL FLORIDA, INC.  
 FIRST AMERICAN TITLE INSURANCE COMPANY

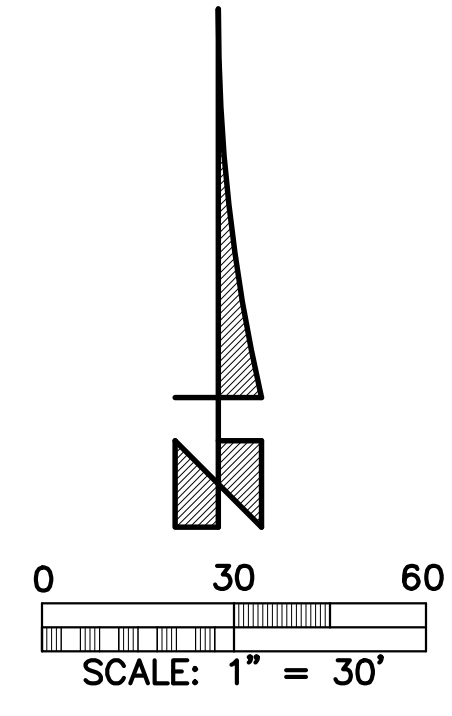
**S02**

DRAWN BY: RMP  
 CHK'D BY:  
 DATE: 9/25/19  
 DWG #: D-06-109  
 NOTES: FILES  
 JOB #: 06-109-21

SHEET 2 OF 3

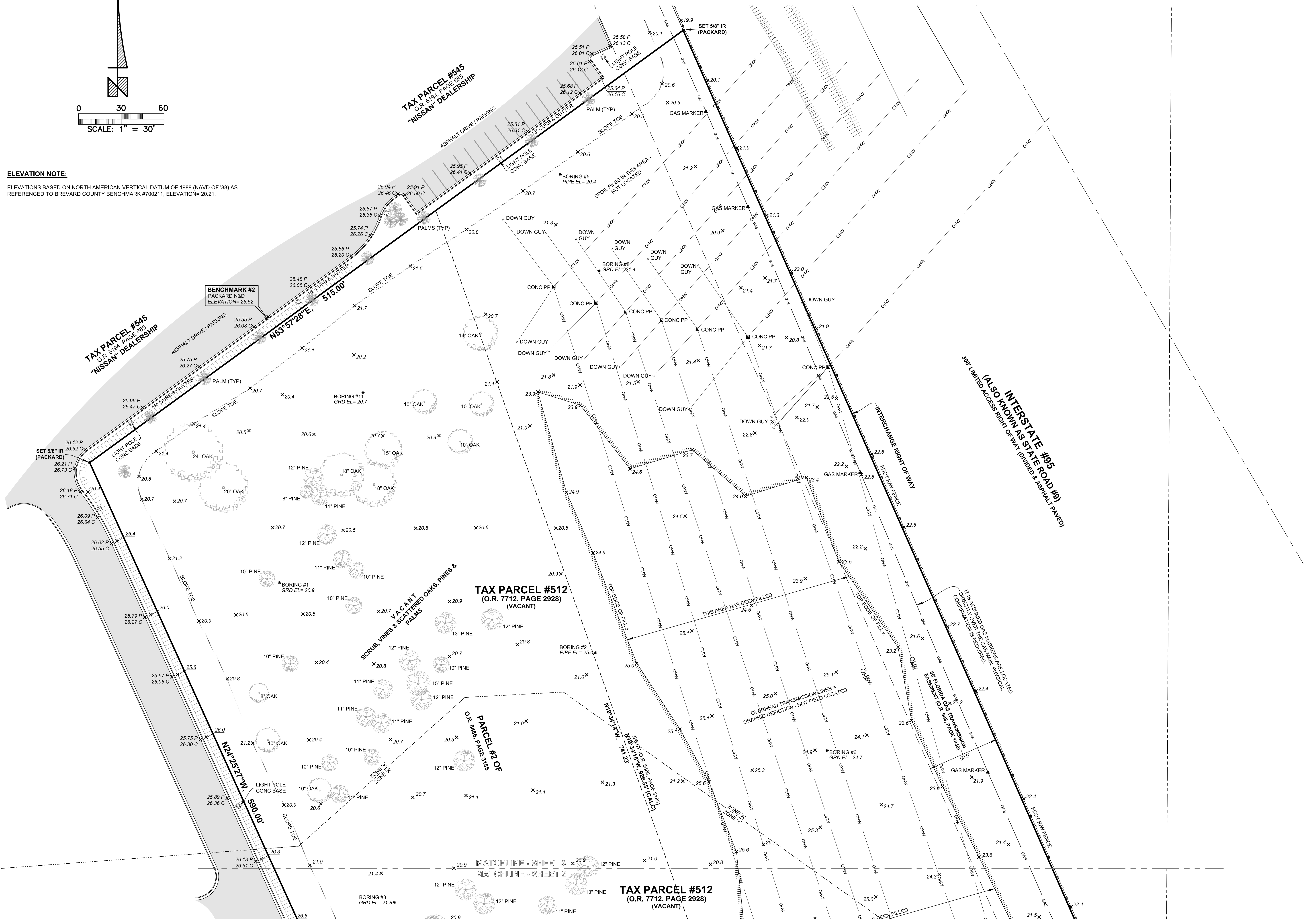
2.) 9/25/19 TOPOGRAPHY 06-109-21  
 1.) 8/16/16 BOUNDARY 06-109-14

# TOPOGRAPHIC SURVEY



**ELEVATION NOTE:**

ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD OF '88) AS REFERENCED TO BREVARD COUNTY BENCHMARK #700211, ELEVATION= 20.21.



NOT VALID WITHOUT ORIGINAL SIGNATURE AND EMBOSSED WITH SURVEYOR'S SEAL

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT I AM A LICENSED SURVEYOR AND MAPPER IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5417, F.A.C., PURSUANT TO SECTION 147.027, FLORIDA STATUTES (SUBJECT TO NOTES HEREON).

ROBERT M. PACKARD, PSM  
REG. FLORIDA SURVEYOR & MAPPER #9887

**r.m. packard & assoc., inc.**  
surveying & mapping

1193 U.S. HIGHWAY 1 / UNIT 3  
ROCKLEDGE, FLORIDA 32955  
TEL (321) 632-9335 • packardsurveying@cfri.fl.com  
FLORIDA CORPORATE CERTIFICATE #665

PREPARED FOR & CERTIFIED TO THE EXCLUSIVE USE OF THE PARTIES LISTED BELOW AND FOR THOSE SERVICES EMPLOYED BY THEM. NO OTHER PARTIES OR INTERESTS SHALL BE AFFECTED BY THIS SURVEY. THOSE EXPRESSED WILL BE AT THE SOLE RISK OF THAT PARTY WITHOUT LIABILITY OF ANY KIND TO THIS SURVEYOR.

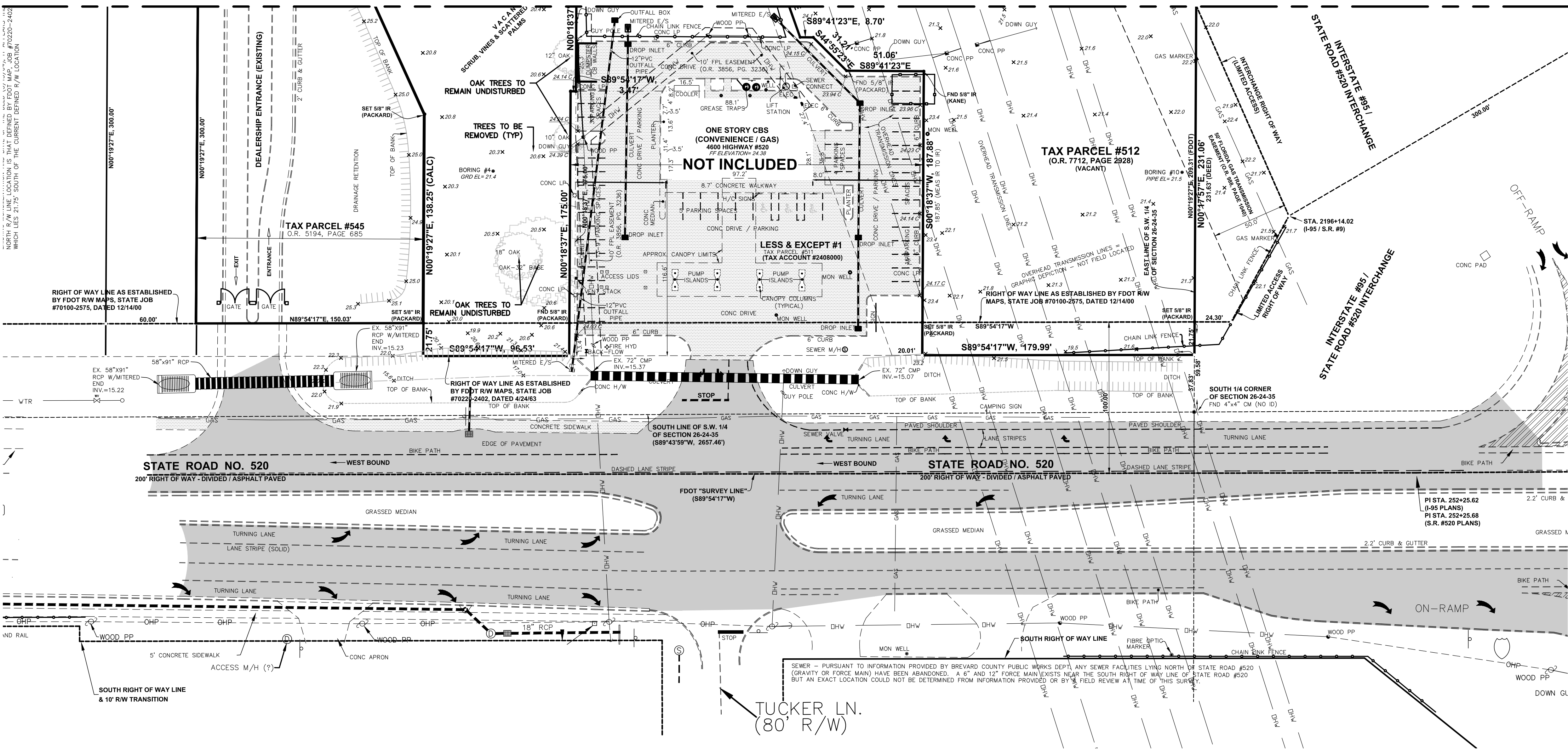
**ERDMAN PROPERTIES, LLC**  
TITLE SECURITY & ESCROW OF CENTRAL FLORIDA, INC.  
FIRST AMERICAN TITLE INSURANCE COMPANY

**S03**

DRAWN BY: RMP  
CHK'D BY:  
DATE: 9/25/19  
DWG #: D-06-109  
NOTES: FILES  
JOB #: 06-109-21  
SHEET 3 OF 3

2.) 9/25/19 TOPOGRAPHY 06-109-21  
1.) 8/16/16 BOUNDARY 06-109-14

C:\Users\mduchaine\AppData\Local\Temp\AspPublic\19108\21-0509.003-C02-C03\_Exist\_Conditions.dwg Plotted: Sep 06, 2023 - 1:25pm by mduchaine



MATCH LINE SEE SHEET C03

NOT INCLUDED

TAX PARCEL #512  
(O.R. 7712, PAGE 2928)

TAX PARCEL #545  
(O.R. 5194, PAGE 685)

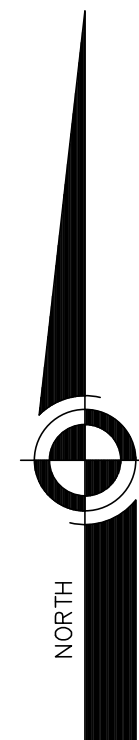
STATE ROAD NO. 520  
200' RIGHT OF WAY - DIVIDED / ASPHALT PAVED

STATE ROAD NO. 520  
200' RIGHT OF WAY - DIVIDED / ASPHALT PAVED

TUCKER LN.  
(80' R/W)

LEGEND:  
 - - - - - EXISTING GROUND ELEVATION  
 --- GAS --- EXISTING GAS MAIN  
 --- DHW --- EXISTING OVERHEAD WIRE

DEMOLITION LEGEND:  
 [Hatched Box] DENOTES ITEM(S) TO BE REMOVED



NO.	DATE	DESCRIPTION	BY
1	06/14/23	Per City Site Plan comments	MRD
2	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
3	04/17/23	Per Cocoa Utilities comments/add waterline esmt.	MRD
4	11/08/22	Per Site Plan Amendment No. 1	MRD
5	05/13/22	Per review agency comments	MRD
6	10/29/21	Per City comments	MRD

DESIGNED BY	SAV/WRD
DRAWN BY	MRD
CHECKED BY	SAV
APPROVED BY	SAV

EXISTING CONDITIONS/  
DEMOLITION PLAN

CONSTRUCTION PLANS FOR  
MIKE ERDMAN MOTORS,  
INC. OVERFLOW  
PARKING PARCEL  
CITY OF COCOA, FLORIDA

**DRMP**  
 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
 100 Palm Street Suite A, Merritt Island, FL 32953  
 Phone: 321.453.0010 Fax: 321.454.0685 WWW.DRMP.COM

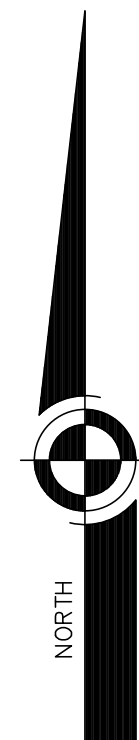
**DRMP, Inc.**

Professional Engineer  
 No. 84538  
 STATE OF FLORIDA  
 JUDITH A. WILSON, P.E.  
 State of Florida # 84538

PROJECT NO.: 21-0509.001  
 SCALE: 1" = 40'  
 DATE: NOVEMBER, 2020  
 DRAWING: C02

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

C:\Users\mduchaine\AppData\Local\Temp\AspPublish\_19108\21-0509.003-C02-C03\_Exist\_Conditions.dwg Plotted: Sep 06, 2023 - 1:25pm by mduchaine



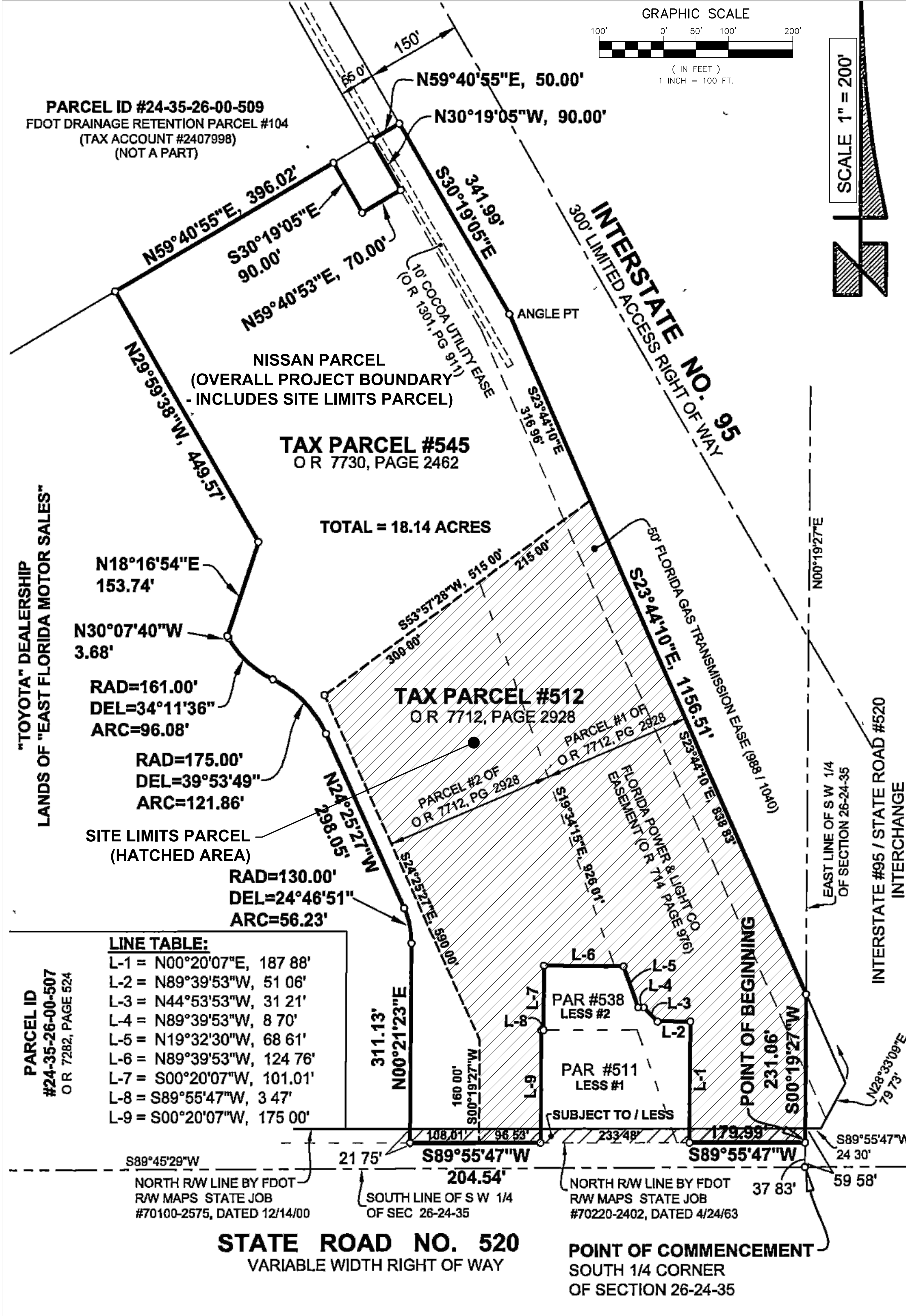
**LEGEND:**  
 20.0 x EXISTING GROUND ELEVATION  
 GAS EXISTING GAS MAIN  
 OHW EXISTING OVERHEAD WIRE

**DEMOLITION LEGEND:**  
 [Hatched box symbol] DENOTES ITEM(S) TO BE REMOVED

MATCH LINE SEE SHEET C02

<b>REVISIONS</b> NO. DATE DESCRIPTION 1 06/14/23 Per City Site Plan comments 2 05/02/23 Per Cocoa Utilities comments/add Master Meter 3 04/17/23 Per Cocoa Utilities comments/add waterline esm'l. 4 11/08/22 Per Site Plan Amendment No. 1 5 05/13/22 Per review agency comments 6 10/29/21 Per City comments	
DESIGNED BY	SM/WRD
DRAWN BY	MRD
CHECKED BY	SM
APPROVED BY	SM
<b>EXISTING CONDITIONS/          DEMOLITION PLAN</b>	
<b>CONSTRUCTION PLANS FOR          MIKE ERDMAN MOTORS,          INC. OVERFLOW          PARKING PARCEL</b> CITY OF COCOA, FLORIDA	
<b>DRMP, Inc.</b> ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS Certificate of Authorization No. 2648 100 Palmel Street Suite A, Merritt Island, FL 32953 Phone: 321.453.0010 Fax: 321.454.0883 WWW.DRMP.COM	
DRMP, Inc. STATE OF FLORIDA PROFESSIONAL ENGINEER License No. 84538 State of Florida # 84538	
PROJECT NO.: 21-0509.001	
SCALE: 1" = 40'	
DATE: NOVEMBER, 2020	
DRAWING: C03	

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE



**SITE LIMITS BOUNDARY DESCRIPTION - OVERFLOW PARKING PARCEL**

**INDIVIDUALLY DESCRIBED - TAX PARCEL #512 AND TAX PARCEL #545, VIA THEIR RESPECTIVE DEEDS, AS FOLLOWS:**

**TAX PARCEL #512-DESCRIPTION (O R 7712, PAGE 2928):**

**PARCEL #1**  
A TRACT OF LAND SITUATED IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS FROM THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520 RUN SOUTH 89°54'17" WEST, ALONG THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE SOUTH 89°54'17" WEST, ALONG SAID LINE, 310 FEET, THENCE NORTH 00°18'37" EAST, 160 FEET, THENCE NORTH 24°24'28" WEST, 590 FEET, THENCE NORTH 53°57'24" EAST, 300 FEET, THENCE SOUTH 19°31'48" EAST, 926.01 FEET TO THE POINT OF BEGINNING

**PARCEL #2**  
A TRACT OF LAND SITUATED IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS FROM THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520 RUN SOUTH 89°54'17" WEST, ALONG THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE SOUTH 89°54'17" WEST, ALONG SAID LINE, 210 FEET, THENCE NORTH 00°18'37" EAST, 175 FEET, THENCE NORTH 89°54'17" EAST, PARALLEL WITH THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520, A DISTANCE OF 148.89 FEET, THENCE SOUTH 19°33'36" EAST, 185.61 FEET TO THE POINT OF BEGINNING

**LESS AND EXCEPT**  
A TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 994, PAGE 10 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, SAID LANDS LYING IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

**PARCEL #1**  
COMMENCE AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520 RUN SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 200 FEET TO THE SOUTHEAST CORNER OF SAID LESSEED OUT TRACT AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 185.30 FEET, THENCE NORTH 89 DEGREES 54'17" EAST, PARALLEL WITH SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 0.81 FEET, THENCE SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 0.81 FEET TO THE POINT OF BEGINNING

**PARCEL #2**  
COMMENCE AT THE INTERSECTION OF THE EAST LINE OF THE WEST ONE-HALF OF SAID SECTION 26 AND THE NORTH RIGHT OF WAY LINE OF STATE ROAD 520 RUN SOUTH 89 DEGREES 54'17" WEST, ALONG THE SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 410 FEET TO THE SOUTHWEST CORNER OF SAID LESSEED OUT TRACT AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE SOUTH 89 DEGREES 54'17" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 3.47 FEET, THENCE NORTH 00 DEGREES 27'20" EAST, PARALLEL TO THE WEST LINE OF SAID LESSEED OUT TRACT, A DISTANCE OF 175.00 FEET, THENCE NORTH 89 DEGREES 54'17" EAST, PARALLEL TO THE SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 3.47 FEET, THENCE SOUTH 00 DEGREES 27'20" WEST, ALONG THE WEST LINE OF SAID LESSEED OUT TRACT, A DISTANCE OF 175.00 FEET TO THE SAID NORTH RIGHT OF WAY AND THE POINT OF BEGINNING

**LESS AND EXCEPT #2**  
A PORTION OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 944, PAGE 10, BEING A PART OF SECTION 26 TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

**TAX PARCEL #545 DESCRIPTION (O R 7730, 2462)**

A PARCEL OF LAND LYING IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS

SUBJECT TO ALL EASEMENTS OF RECORD

**OVERALL PROJECT BOUNDARY DESCRIPTION - NISSAN PARCEL**

(INCLUDES OVERFLOW PARKING PARCEL)

**COMBINED DESCRIPTION - THE BELOW BEING ONE & THE SAME AS TAX PARCEL #512 AND TAX PARCEL #545, DESCRIBED AS FOLLOWS:**

**DESCRIBED - COMBINED:**

A PARCEL OF LAND LYING IN SECTION 26, TOWNSHIP 24 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA, BEING ONE AND THE SAME AS THOSE LANDS DESCRIBED IN O R 7712, PAGE 2928 AND O R 7730, PAGE 2462, BOTH OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 26, AND RUN N 00°19'27"E, ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 37.83 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF STATE ROAD NO. 520, AS ESTABLISHED BY FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS FOR STATE ROAD NO. 520 (SECTION #70220-240, DATED APRIL 24, 1963), THE POINT OF BEGINNING, THENCE S 89°55'47"W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 179.99 FEET, THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE, RUN N 00°20'07"E, A DISTANCE OF 167.88 FEET, THENCE N 89°39'53"W, A DISTANCE OF 51.06 FEET, THENCE N 44°53'53"W, A DISTANCE OF 31.21 FEET, THENCE N 89°39'53"W, A DISTANCE OF 8.70 FEET, THENCE N 19°32'30"W, A DISTANCE OF 68.61 FEET, THENCE N 89°39'53"W, A DISTANCE OF 124.76 FEET, THENCE S 00°20'07"W, A DISTANCE OF 101.01 FEET, THENCE S 89°55'47"W, A DISTANCE OF 3.47 FEET, THENCE S 00°20'07"W, A DISTANCE OF 175.00 FEET TO A POINT ON THE AFORESAID NORTH RIGHT OF WAY LINE OF STATE ROAD NO. 520, THENCE S 89°55'47"W, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 204.54 FEET, THENCE DEPARTING SAID RIGHT OF WAY LINE, RUN N 00°21'23"E, A DISTANCE OF 311.13 FEET TO THE POINT OF CURVATURE OF A 130.00 FOOT RADIUS CURVE TO THE LEFT, THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE, THRU A CENTRAL ANGLE OF 24°46'51", A DISTANCE OF 56.23 FEET TO A POINT OF TANGENCY, THENCE N 24°25'27"W, A DISTANCE OF 298.05 FEET TO THE POINT OF CURVATURE OF A 175.00 FOOT RADIUS CURVE TO THE LEFT, THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE, THRU A CENTRAL ANGLE OF 39°53'49", A DISTANCE OF 121.86 FEET TO A POINT OF REVERSE CURVATURE OF A 161.00 FOOT RADIUS CURVE TO THE RIGHT, THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE, THRU A CENTRAL ANGLE OF 34°11'36", A DISTANCE OF 96.08 FEET TO A POINT OF TANGENCY, THENCE N 30°07'40"W, A DISTANCE OF 3.88 FEET, THENCE N 18°16'54"E, A DISTANCE OF 153.74 FEET, THENCE N 29°59'38"W, A DISTANCE OF 449.57 FEET TO A POINT ON THE SOUTH LINE OF THAT WATER RETENTION AREA LABELED AS PARCEL #104 ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS FOR STATE ROAD NO. 9/1 INTERSTATE NO. 95 (SECTION #70220, DATED MAY 20, 2005), THENCE N 59°40'55"E, ALONG SAID SOUTH LINE, A DISTANCE OF 396.02 FEET, THENCE DEPARTING SAID SOUTH LINE, RUN S 30°19'05"E, A DISTANCE OF 90.00 FEET, THENCE N 59°40'55"E, A DISTANCE OF 50.00 FEET TO A POINT ON THE WEST LINE OF STATE ROAD NO. 520, AS ESTABLISHED BY RIGHT OF WAY MAPS SECTION #70220-2402, DATED APRIL 24, 1963 AND SECTION #70100-2575, DATED DECEMBER 14, 2000,

CONTAINING 18.14 ACRES

REVISIONS	
NO.	DATE
1	06/14/23
2	05/02/23
3	04/17/23
4	11/09/22
5	09/13/22
6	10/29/21

DESIGNED BY	SAV/MRD
DRWN BY	MRD
CHECKED BY	SAV
APPROVED BY	SAV

**OVERALL MASTER BOUNDARY SHEET**

**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

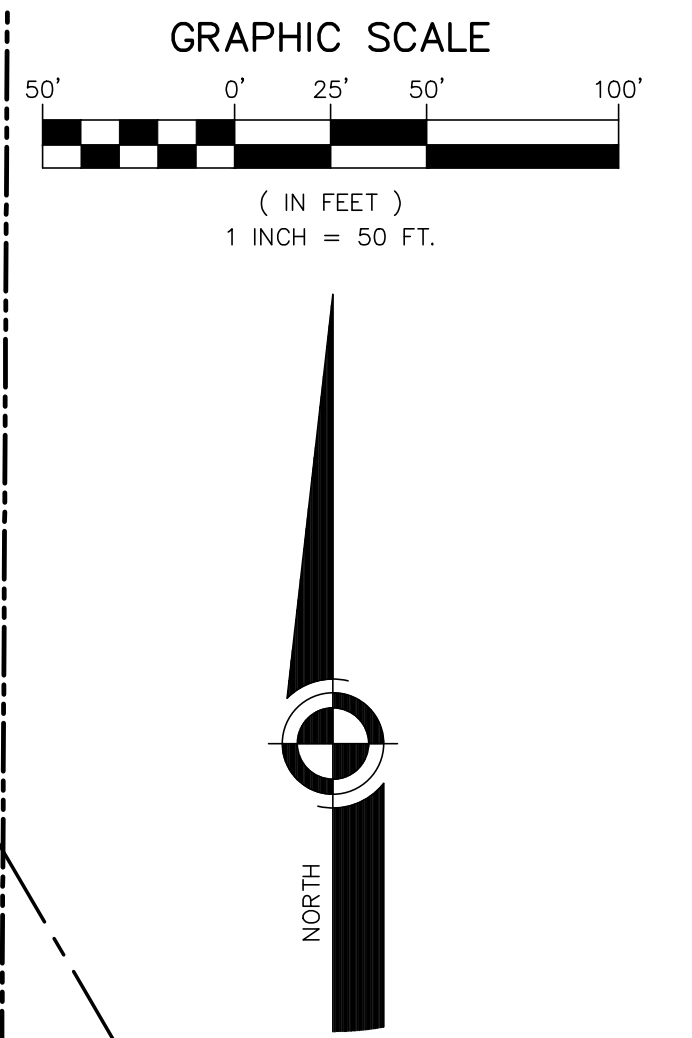
**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street, Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.0685 WWW.DRMP.COM

**DRMP, Inc.**

PROJECT NO:	21-0509.001
SCALE:	1" = 100'
DATE:	NOVEMBER, 2020
DRAWING:	C04

**NOTE:**  
PROJECT BOUNDARY/DESCRIPTION AND SITE LIMITS BOUNDARY/DESCRIPTION PREPARED BY R.M. PACKARD SURVEYING & MAPPING, JOB #06-109-26, DATED 2/3/20.



**OWNER DEVELOPER:**  
MIKE ERDMAN MOTORS, INC.  
4640 HWY. 520  
COCOA, FL. 32926

**PROJECT DATA:**

SITE AREA:	9.19 ACRES = 400,273 S.F. = 100%
IMPERVIOUS AREA (OVERFLOW PARKING SITE PLAN):	1.80 ACRES = 78,464 S.F. = 20%
PERVIOUS AREA (OVERFLOW PARKING SITE PLAN):	7.39 ACRES = 321,809 S.F. = 80%
IMPERVIOUS AREA REMOVAL FOR SITE PLAN AMENDMENT NO. 1:	0.09 ACRES = 3,705 S.F. = 1%
BUILDING AREA ADDED FOR SITE PLAN AMENDMENT NO. 1:	0.43 ACRES = 18,776 S.F. = 5%
PAVEMENT/SIDEWALK ADDED FOR SITE PLAN AMENDMENT NO. 1:	0.86 ACRES = 37,325 S.F. = 9%
TOTAL IMPERVIOUS AREA ADDED FOR SITE PLAN AMENDMENT NO. 1:	1.20 ACRES = 52,396 S.F. = 13%
TOTAL IMPERVIOUS AREA INCLUDING SITE PLAN AMENDMENT NO. 1:	3.00 ACRES = 130,860 S.F. = 33%
TOTAL PERVIOUS AREA INCLUDING SITE PLAN AMENDMENT NO. 1:	6.19 ACRES = 269,413 S.F. = 67%

**PARKING DATA:**

SPACES PROVIDED (OVERFLOW PARKING SITE PLAN): 191 SPACES (10' WIDE STANDARD)

TOTAL SPACES PROVIDED INCLUDING SITE PLAN AMENDMENT NO. 1: **225 SPACES**

**PARKING REQUIRED (FOR SITE PLAN AMENDMENT NO. 1):**  
1 SPACE PER 500 S.F. OF ENCLOSED FLOOR SPACE\*\*, PLUS 1 SPACE PER 2,000 S.F. OF VEHICLE DISPLAY AREA, PLUS 1 1/2 SPACES PER EMPLOYEE, PLUS 1 1/2 SPACES PER SERVICE BAY.

\*\*DOES NOT INCLUDE THE SERVICE AREAS, EMPLOYEE ONLY AREAS, CANOPIES, CUSTOMER SERVICE RECEPTION AREA.

DOES INCLUDE CUSTOMER LOUNGE, ADMINISTRATIVE SUPPORT AND VEHICLE SALES BUILDING.

ENCLOSED FLOOR SPACE: (8,152 S.F. FLOOR SPACE)(1 SPACE/500 S.F.) = 16 SPACES

VEHICLE DISPLAY AREA: (64,204 S.F. DISPLAY AREA)(1 SPACE/2000 S.F.) = 32 SPACES

EMPLOYEES: (16 EMPLOYEES)(1-1/2 SPACE PER EMPLOYEE) = 24 SPACES  
(ALL REQUIRED EMPLOYEE PARKING SPACES MUST BE IDENTIFIED AS "EMPLOYEE PARKING ONLY")

SERVICE BAYS: (11 SERVICE BAYS)(1 1/2 SPACES/SERVICE BAY) = 17 SPACES

TOTAL SPACES REQUIRED FOR SITE PLAN AMENDMENT NO. 1: **89 SPACES**

NEWLY CREATED SPACES FOR SITE PLAN AMENDMENT NO. 1: 35 SPACES  
SPACES NEEDED FROM OVERFLOW PARKING SITE PLAN: 55 SPACES  
SPACES DELETED FOR ISLAND CREATION FROM OVERFLOW PARKING SITE PLAN: -1 SPACE

TOTAL SPACES PROVIDED FOR SITE PLAN AMENDMENT NO. 1: **89 SPACES (INCLUDES 4 HANDICAP SPACES)**

**GENERAL STATEMENT (OVERFLOW SITE PLAN):**  
THIS 9.19 ACRE (+/-) PROPERTY IS FOR THE PROPOSED OVERFLOW PARKING ASSOCIATED WITH THE ADJACENT MIKE ERDMAN TOYOTA AND NISSAN CAR DEALERSHIPS. CURRENTLY PARKING NEEDS WITHIN THE DEALERSHIP EXCEEDS THE AVAILABLE PARKING, THEREFORE OVERFLOW PARKING IS NEEDED. THE OVERFLOW PARKING WITHIN THE SUBJECT SITE IS MOSTLY PROPOSED TO BE WITHIN THE EXISTING FLORIDA POWER & LIGHT (FPL) EASEMENT LOCATED ALONG THE EASTERN HALF (+/-) OF THE PROPERTY, AS SHOWN ON THE PLAN. A SYSTEM OF DRAINAGE INLETS AND PIPING WILL CONVEY STORMWATER INTO THE INTERCONNECTED DRY RETENTION PONDS. STORMWATER OUTFALL WILL BE FROM THE SOUTH DRY POND, INTO THE BREVARD COUNTY DRAINAGE DITCH. NO WATER OR SANITARY SEWER SYSTEMS WILL BE WITHIN THE FPL EASEMENT.

**GENERAL STATEMENT (SITE PLAN AMENDMENT NO. 1):**  
THIS PLAN IS FOR MINOR SITE PLAN AMENDMENT NO. 1 TO THE PREVIOUSLY APPROVED OVERFLOW PARKING PARCEL SITE PLAN. THE ADDITION OF A 18,586 S.F. CADILLAC SHOWROOM SALES AND SERVICE DEPARTMENT BUILDING WITH ASSOCIATED PARKING AND DUMPSTER ENCLOSURE WERE ADDED TO THE PLANS. SITE PLAN AMENDMENT ADDITIONS AND CHANGES ARE DENOTED VIA CLOUDING ON THE PLANS AND THE REVISION BLOCK.

**WATER DISTRIBUTION STATEMENT (SITE PLAN AMENDMENT NO. 1):**  
WATER DISTRIBUTION IS PROPOSED TO EXTEND AN 8" WATER MAIN FROM THE EXISTING 10" CITY OF COCOA WATER MAIN LOCATED ALONGSIDE OF THE CENTER ENTRY DRIVE OF THE MIKE ERDMAN TOYOTA/NISSAN AUTOMOTIVE DEALERSHIP. A 1.5" POTABLE WATER METER AND A 2" SERVICE LINE TO THE PROPOSED BUILDING WILL BE PROVIDED. A 6" DDCV AND FIRELINE, WITH ON-SITE FIRE HYDRANT(S) WILL BE PROVIDED.

**SANITARY SEWER COLLECTION SYSTEM STATEMENT (SITE PLAN AMENDMENT NO. 1):**  
SANITARY SEWER COLLECTION WILL BE ACCOMPLISHED VIA GRAVITY FLOW FROM THE PROPOSED BUILDING, TO A PROPOSED PRIVATE LIFT STATION. SEWAGE WILL THEN BE PUMPED VIA A 1.25" PRIVATE FORCE MAIN, WESTERLY AND INTO AN EXISTING MANHOLE LOCATED NORTHWEST OF THE EXISTING MIKE ERDMAN TOYOTA/NISSAN CAR WASH BUILDING. THE RECEIVING MANHOLE WILL BE LINED.

- NOTES:**
1. PARKING LOT LIGHTING MUST CONFORM TO FLORIDA POWER & LIGHT (FPL) REQUIREMENTS AND IS SUBJECT TO FPL APPROVAL. OVERALL POLE HEIGHTS SHALL NOT EXCEED 14 FEET.
  2. ALL LANDSCAPING & IRRIGATION MUST MEET FPL REQUIREMENTS AND IS SUBJECT TO FPL APPROVAL. MATURE TREE HEIGHTS SHALL NOT EXCEED 14 FEET.
  3. THE PARKING LOT WILL NOT BE FENCED.

**NOTE:**  
ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL

**NOTE:**  
ALL CONDITIONS CONTAINED IN THE FPL CONSENT AGREEMENT ARE TO BE ADHERED TO BY THE CONTRACTOR DURING CONSTRUCTION, AND THE OWNER AFTER CONSTRUCTION IS COMPLETE.

REVISIONS	
NO.	DATE
1	06/14/23
2	05/02/23
3	04/17/23
4	11/08/22
5	05/13/22
6	10/29/21
BY	DESCRIPTION
MRD	Per City Site Plan comments
MRD	Per Cocoa Utilities comments/add Master Meter
MRD	Per Cocoa Utilities comments/add waterline esmt.
MRD	Per Site Plan Amendment No. 1
MRD	Per review agency comments
MRD	Per City comments

DESIGNED BY: SAJ/MRD  
DRAWN BY: MRD  
CHECKED BY: SAN  
APPROVED BY: SAN

**MASTER LAYOUT**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.0885 WWW.DRMP.COM

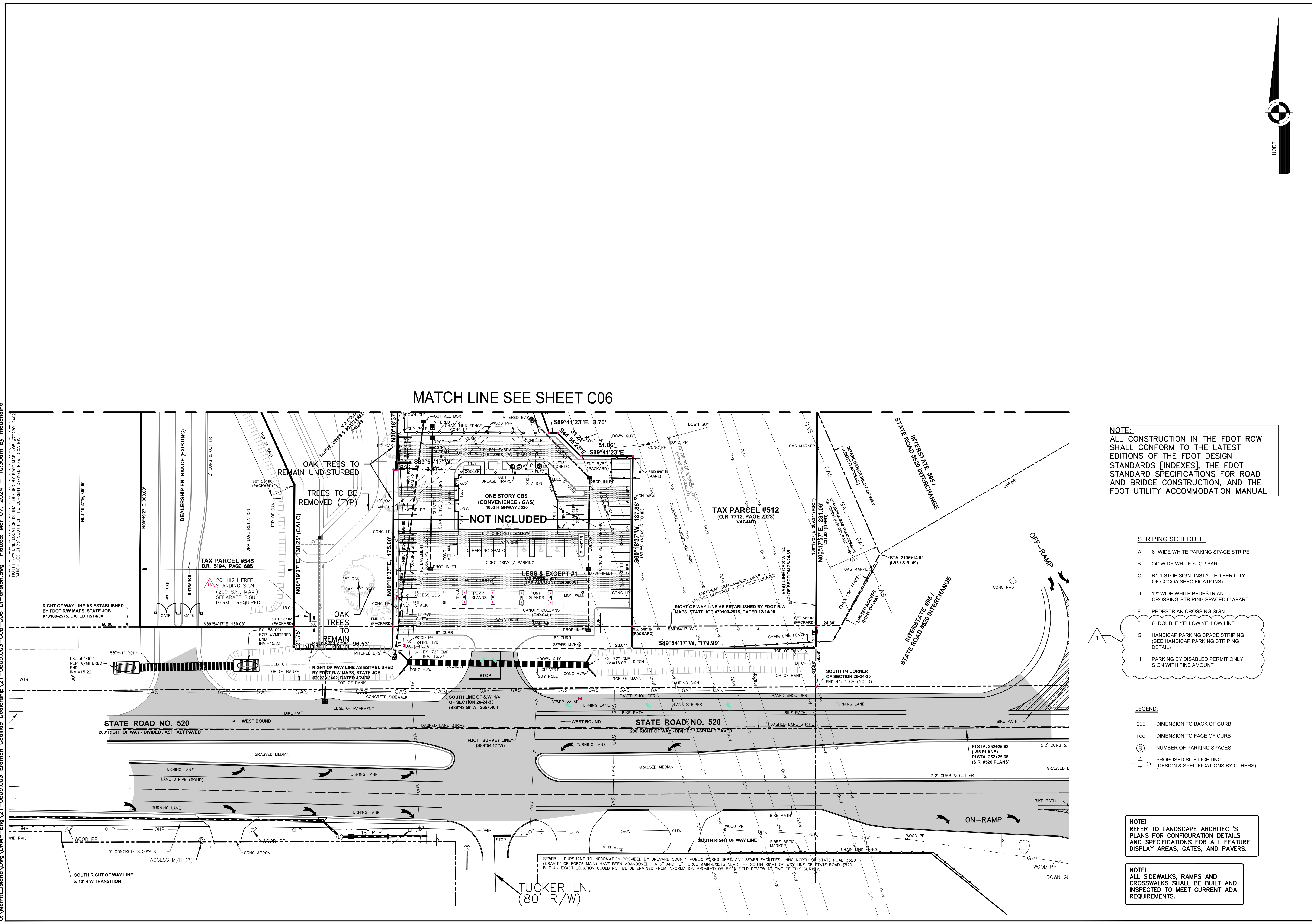
**DRMP, Inc.**  
STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

PROJECT NO.: 21-0509.001  
SCALE: 1" = 50'  
DATE: NOVEMBER, 2020  
DRAWING: C04A

O:\Merritt\_Island\DRMP-Eng 21-0509.003 Erdman Cadillac DealerShip 21-0509.003-C04A Site Limits Master Layout.dwg Plotted: Sep 11, 2023 -- 11:36am by mduchaine



O:\Merritt\_Island\Draw\DRMP-Eng 21-0509.003-Edman-Cadillac-DealerShip 21-0509.003-C05-C06 Dimension.dwg Plotted: Mar 07, 2024 - 10:30am by mduchaine



MATCH LINE SEE SHEET C06

**NOTE:**  
ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS [INDEXES], THE FDOT STANDARDS [INDEXES] FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL

- STRIPING SCHEDULE:**
- A 6" WIDE WHITE PARKING SPACE STRIPE
  - B 24" WIDE WHITE STOP BAR
  - C R-1 STOP SIGN (INSTALLED PER CITY OF COCOA SPECIFICATIONS)
  - D 12" WIDE WHITE PEDESTRIAN CROSSING STRIPING SPACED 6' APART
  - E PEDESTRIAN CROSSING SIGN
  - F 6" DOUBLE YELLOW YELLOW LINE
  - G HANDICAP PARKING SPACE STRIPING (SEE HANDICAP PARKING STRIPING DETAIL)
  - H PARKING BY DISABLED PERMIT ONLY SIGN WITH FINE AMOUNT

- LEGEND:**
- BOC DIMENSION TO BACK OF CURB
  - FOC DIMENSION TO FACE OF CURB
  - (9) NUMBER OF PARKING SPACES
  - ⊕ PROPOSED SITE LIGHTING (DESIGN & SPECIFICATIONS BY OTHERS)

**NOTE!**  
REFER TO LANDSCAPE ARCHITECT'S PLANS FOR CONFIGURATION DETAILS AND SPECIFICATIONS FOR ALL FEATURE DISPLAY AREAS, GATES, AND PAVERS.

**NOTE!**  
ALL SIDEWALKS, RAMPS AND CROSSWALKS SHALL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.

NO.	DATE	DESCRIPTION	BY
1A	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
	01/30/24	Add Roof Drain Pipes	MRD
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/add waterline est. L	MRD

DESIGNED BY	SAV/WRD	DIMENSION PLAN
DRAWN BY	MRD	
CHECKED BY	SAV	
APPROVED BY	SAV	

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.6885 WWW.DRMP.COM

**DRMP, Inc.**

PROFESSIONAL ENGINEER  
No. 84538  
STATE OF FLORIDA  
Justus M. Dwyer  
State of Florida # 84538

PROJECT NO.: 21-0509.001

SCALE: 1" = 40'

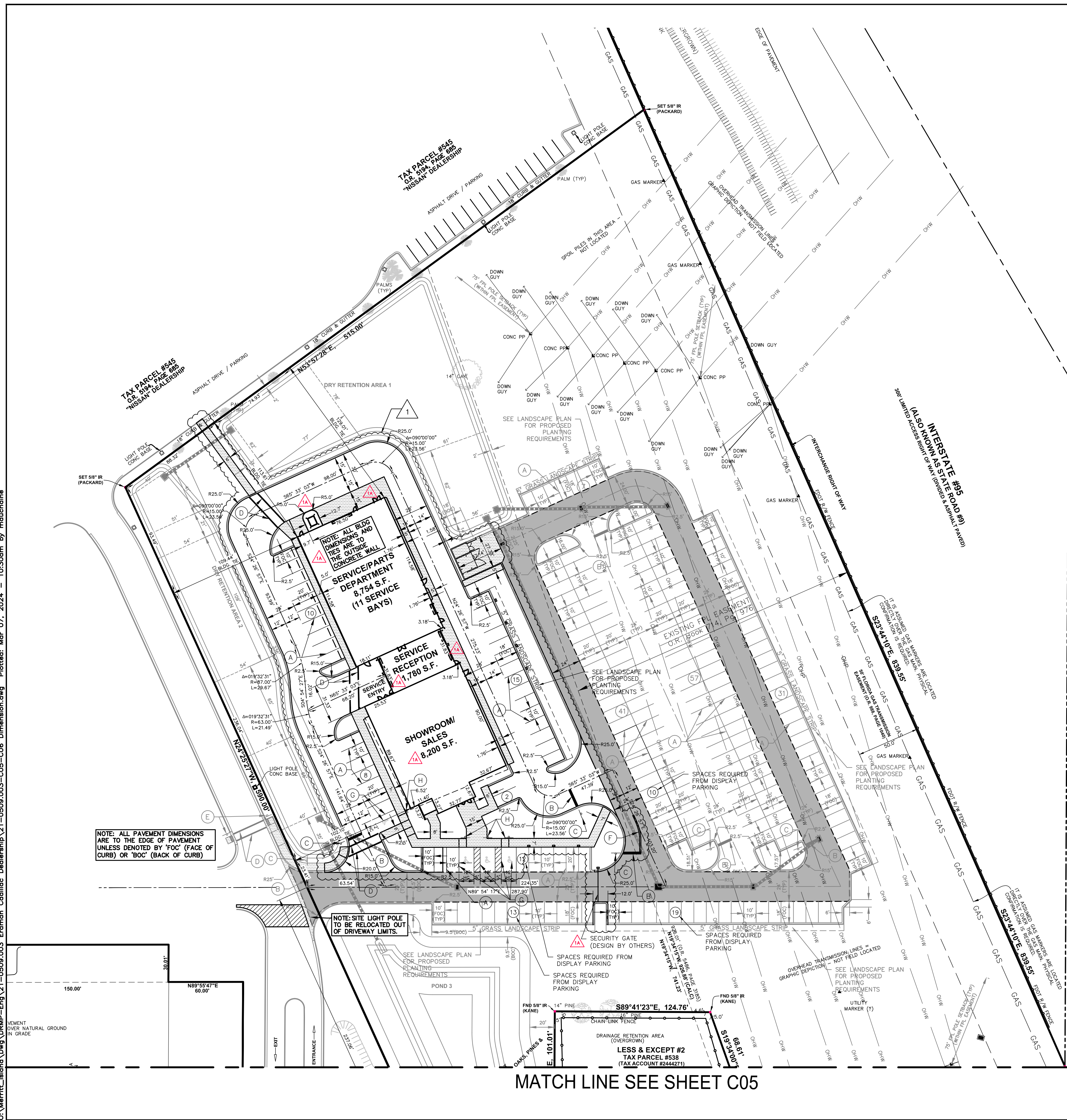
DATE: NOVEMBER, 2020

DRAWING: **C05**



11/08/22 Per Site Plan Amendment No. 1  
09/13/22 Per review agency comments  
10/29/21 Per City comments

C:\Merritt\_Island\DRMP-Eng 21-0509.003 Erdrman Cadillac Dealership 21-0509.003-C05-C06 Dimension.dwg Plotted: Mar 07, 2024 - 10:30am by mduchaine



OWNER DEVELOPER:  
MIKE ERDRMAN MOTORS, INC.  
4640 HWY. 520  
COCOA, FL. 32926

PROJECT DATA:

SITE AREA:	9.19 ACRES = 400,273 S.F. = 100%
IMPERVIOUS AREA (OVERFLOW PARKING SITE PLAN):	1.80 ACRES = 78,464 S.F. = 20%
PERVIOUS AREA (OVERFLOW PARKING SITE PLAN):	7.39 ACRES = 321,809 S.F. = 80%

IMPERVIOUS AREA REMOVAL FOR SITE PLAN AMENDMENT NO. 1:	0.09 ACRES = 3,705 S.F. = 1%
BUILDING AREA ADDED FOR SITE PLAN AMENDMENT NO. 1:	0.43 ACRES = 18,776 S.F. = 5%
PAVEMENT/SIDEWALK ADDED FOR SITE PLAN AMENDMENT NO. 1:	0.86 ACRES = 37,325 S.F. = 9%
TOTAL IMPERVIOUS AREA ADDED FOR SITE PLAN AMENDMENT NO. 1:	1.20 ACRES = 52,396 S.F. = 13%
TOTAL IMPERVIOUS AREA INCLUDING SITE PLAN AMENDMENT NO. 1:	3.00 ACRES = 130,860 S.F. = 33%
TOTAL PERVIOUS AREA INCLUDING SITE PLAN AMENDMENT NO. 1:	6.19 ACRES = 269,413 S.F. = 67%

PARKING DATA:  
SPACES PROVIDED (OVERFLOW PARKING SITE PLAN): 191 SPACES (10' WIDE STANDARD)  
TOTAL SPACES PROVIDED INCLUDING SITE PLAN AMENDMENT NO. 1: 225 SPACES

PARKING REQUIRED (FOR SITE PLAN AMENDMENT NO. 1):  
1 SPACE PER 500 S.F. OF ENCLOSED FLOOR SPACE, PLUS 1 SPACE PER 2,000 S.F. OF VEHICLE DISPLAY AREA, PLUS 1 1/2 SPACES PER EMPLOYEE, PLUS 1 1/2 SPACES PER SERVICE BAY.

\*\*DOES NOT INCLUDE THE SERVICE AREAS, EMPLOYEE ONLY AREAS, CANOPIES, CUSTOMER SERVICE RECEPTION AREA.  
DOES INCLUDE CUSTOMER LOUNGE, ADMINISTRATIVE SUPPORT AND VEHICLE SALES BUILDING.

ENCLOSED FLOOR SPACE: (8,152 S.F. FLOOR SPACE)(1 SPACE/500 S.F.) = 16 SPACES  
VEHICLE DISPLAY AREA: (64,204 S.F. DISPLAY AREA)(1 SPACE/2000 S.F.) = 32 SPACES

EMPLOYEES: (16 EMPLOYEES)(1-1/2 SPACE PER EMPLOYEE) = 24 SPACES  
(ALL REQUIRED EMPLOYEE PARKING SPACES MUST BE IDENTIFIED AS "EMPLOYEE PARKING ONLY")  
SERVICE BAYS: (11 SERVICE BAYS)(1 1/2 SPACES/SERVICE BAY) = 17 SPACES

TOTAL SPACES REQUIRED FOR SITE PLAN AMENDMENT NO. 1: 89 SPACES

NEWLY CREATED SPACES FOR SITE PLAN AMENDMENT NO. 1: 35 SPACES  
SPACES NEEDED FROM OVERFLOW PARKING SITE PLAN: 56 SPACES  
SPACES DELETED FOR ISLAND CREATION FROM OVERFLOW PARKING SITE PLAN: -1 SPACE

TOTAL SPACES PROVIDED FOR SITE PLAN AMENDMENT NO. 1: 89 SPACES (INCLUDES 4 HANDICAP SPACES)

GENERAL STATEMENT (OVERFLOW SITE PLAN):  
THIS 9.19 ACRE(±) PROPERTY IS FOR THE PROPOSED OVERFLOW PARKING ASSOCIATED WITH THE ADJACENT MIKE ERDRMAN TOYOTA AND NISSAN CAR DEALERSHIPS. CURRENTLY PARKING NEEDS WITHIN THE DEALERSHIP EXCEEDS THE AVAILABLE PARKING. THEREFORE OVERFLOW PARKING IS NEEDED. THE OVERFLOW PARKING WITHIN THE SUBJECT SITE IS MOSTLY PROPOSED TO BE WITHIN THE EXISTING FLORIDA POWER & LIGHT (FPL) EASEMENT LOCATED ALONG THE EASTERN HALF (1/2) OF THE PROPERTY, AS SHOWN ON THE PLAN. A SYSTEM OF DRAINAGE INLETS AND PIPING WILL CONVEY STORMWATER INTO THE INTERCONNECTED DRY RETENTION PONDS. STORMWATER OUTFALL WILL BE FROM THE SOUTH DRY POND, INTO THE BREVARD COUNTY DRAINAGE DITCH. NO WATER OR SANITARY SEWER SYSTEMS WILL BE WITHIN THE FPL EASEMENT.

GENERAL STATEMENT (SITE PLAN AMENDMENT NO. 1):  
THIS PLAN IS FOR MINOR SITE PLAN AMENDMENT NO. 1 TO THE PREVIOUSLY APPROVED OVERFLOW PARKING PARCEL SITE PLAN. THE ADDITION OF A 18,586 S.F. CADILLAC SHOWROOM SALES AND SERVICE DEPARTMENT BUILDING WITH ASSOCIATED PARKING AND DUMPSTER ENCLOSURE WERE ADDED TO THE PLANS. SITE PLAN AMENDMENT ADDITIONS AND CHANGES ARE DENOTED VIA CLOUDING ON THE PLANS AND THE REVISION BLOCK.

STRIPING SCHEDULE:

- A 6" WIDE WHITE PARKING SPACE STRIPE
- B 24" WIDE WHITE STOP BAR
- C R1-1 STOP SIGN (INSTALLED PER CITY OF COCOA SPECIFICATIONS)
- D 12" WIDE WHITE PEDESTRIAN CROSSING STRIPING SPACED 6' APART
- E PEDESTRIAN CROSSING SIGN
- F 6" DOUBLE YELLOW YELLOW LINE
- G HANDICAP PARKING SPACE STRIPING (SEE HANDICAP PARKING STRIPING DETAIL)
- H PARKING BY DISABLED PERMIT ONLY SIGN WITH FINE AMOUNT

LEGEND:

- BOC DIMENSION TO BACK OF CURB
- FOC DIMENSION TO FACE OF CURB
- ⊙ NUMBER OF PARKING SPACES
- ⊙ PROPOSED SITE LIGHTING (DESIGN & SPECIFICATIONS BY OTHERS)

NOTE!  
REFER TO LANDSCAPE ARCHITECT'S PLANS FOR CONFIGURATION DETAILS AND SPECIFICATIONS FOR ALL FEATURE DISPLAY AREAS, GATES, AND PAVERS.

NOTE!  
ALL SIDEWALKS, RAMPS AND CROSSWALKS MEET BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.

REVISIONS

NO.	DATE	DESCRIPTION	BY
1A	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
	01/30/24	Add Roof Drain Pipes	MRD
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/Add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/Add waterline est.	MRD
	11/08/22	Per Site Plan Amendment No. 1	MRD
	09/13/22	Per review agency comments	MRD
	10/29/21	Per City comments	MRD

DESIGNED BY: SAN/WRD  
DRAWN BY: MRD  
CHECKED BY: SAN  
APPROVED BY: SAN

CONSTRUCTION PLANS FOR  
**MIKE ERDRMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

**DIMENSION PLAN**

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

**DRMP**  
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Certificate of Authorization No. 2648  
100 Palmel Street Suite A, Merritt Island, FL 32953  
Phone: 321.453.0010 Fax: 321.454.6663 WWW.DRMP.COM

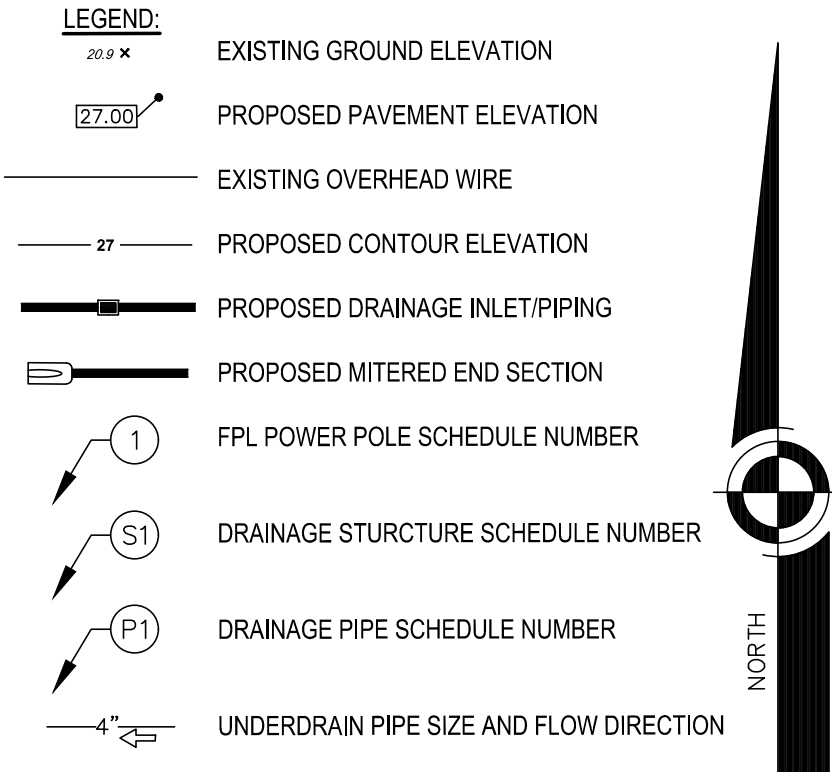
**DRMP, Inc.**

Professional Seal: J. M. JOSE, GONZALEZ, No. 84538, STATE OF FLORIDA, PROFESSIONAL ENGINEER

PROJECT NO.: 21-0509.001  
SCALE: 1" = 40'  
DATE: NOVEMBER, 2020  
DRAWING: C06

**FPL POWER POLE NUMBERS:**

- 1 A126W7B
- 2 A126W7A
- 3 NO NUMBER
- 4 NO NUMBER
- 5 126W7
- 6 NO NUMBER
- 7 ABC165E8
- 8 A126W6
- 9 126W6
- 10 NO NUMBER
- 11 NO NUMBER



**STRUCTURE LOCATION**

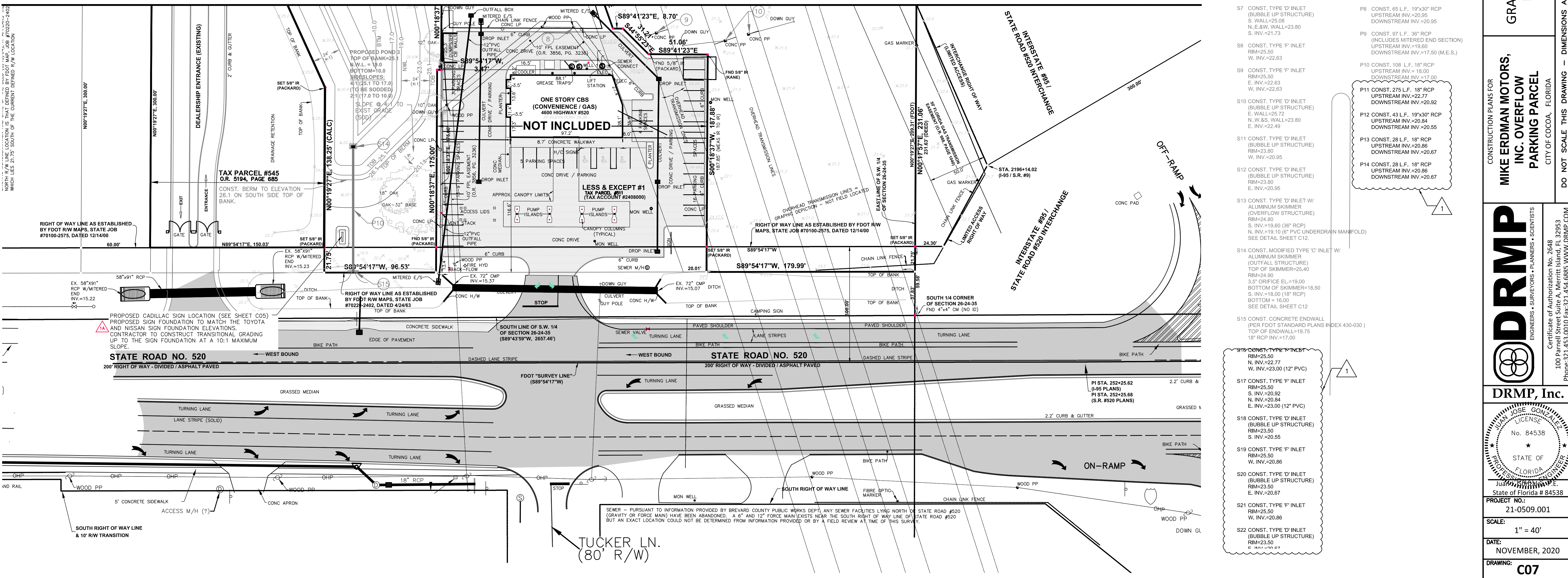
STR. NO.	NORTH	EAST
S1	10412.98	9513.38
S2	10468.16	9402.73
S3	10451.60	9803.99
S4	10413.37	9751.07
S5	10413.25	9674.78
S6	10688.63	9549.57
S7	10709.23	9536.97
S8	10719.31	9682.28
S9	10717.40	9612.84
S10	10716.12	9544.85
S11	10780.03	9331.59
S12	10742.49	9278.25
S13	10445.74	9408.98
M.E. (P9)	10360.48	9454.71
S14	10145.67	9515.17
S15 (P10)	10037.39	9515.17

**Note:**  
Base Point is South 1/4 corner of section 26-24-35 fnd 4"x4" conc. Monument. (N10000;E10000). See Sheet C07.  
M.E. denotes Mitered End  
S15 is a Concrete Endwall

**NOTE:**  
ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL

**NOTE:**  
ALL FILL MATERIAL MUST BE CLEAN, INSTALLED IN MAXIMUM 12" LIFTS, AND COMPACTED TO 95% MAXIMUM DENSITY.

MATCH LINE SEE SHEET C08



**DRAINAGE STRUCTURE SCHEDULE:**

S1 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.77	P1 CONST. 124 L.F. 18" RCP UPSTREAM INV.=22.77 DOWNSTREAM INV.=22.52
S2 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=25.50 W. INV.=22.80 S. INV.=22.82	P2 CONST. 65 L.F. 18" RCP UPSTREAM INV.=22.77 DOWNSTREAM INV.=22.64
S3 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.77	P3 CONST. 76 L.F. 18" RCP UPSTREAM INV.=22.64 DOWNSTREAM INV.=22.48
S4 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.64 W. INV.=22.64	P4 CONST. 303 L.F. 19"x30" RCP UPSTREAM INV.=22.48 DOWNSTREAM INV.=21.83
S5 CONST. TYPE 'G' INLET RIM=25.50 E. INV.=22.48 N. INV.=22.48	P5 CONST. 24 L.F. 19"x30" RCP UPSTREAM INV.=21.83 DOWNSTREAM INV.=21.73
S6 CONST. TYPE 'F' INLET RIM=25.50 S. INV.=21.83 N. INV.=21.83	P6 CONST. 69 L.F. 18" RCP UPSTREAM INV.=22.77 DOWNSTREAM INV.=22.63
S7 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=25.50 W. INV.=22.80 S. INV.=21.73	P7 CONST. 68 L.F. 18" RCP UPSTREAM INV.=22.63 DOWNSTREAM INV.=22.49
S8 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.63 W. INV.=22.63	P8 CONST. 65 L.F. 19"x30" RCP UPSTREAM INV.=20.95 DOWNSTREAM INV.=20.95
S9 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.63 W. INV.=22.63	P9 CONST. 97 L.F. 36" RCP (INCLUDES MITERED END SECTION) UPSTREAM INV.=19.50 DOWNSTREAM INV.=17.50 (M.E.S.)
S10 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.80 W. INV.=20.95	P10 CONST. 108 L.F. 18" RCP UPSTREAM INV.=18.00 DOWNSTREAM INV.=17.00
S11 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.80 W. INV.=20.95	P11 CONST. 275 L.F. 18" RCP UPSTREAM INV.=22.77 DOWNSTREAM INV.=20.92
S12 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.80 W. INV.=20.95	P12 CONST. 43 L.F. 19"x30" RCP UPSTREAM INV.=20.84 DOWNSTREAM INV.=20.55
S13 CONST. TYPE 'D' INLET W/ ALUMINUM SKIMMER (OVERFLOW STRUCTURE) RIM=24.80 S. INV.=19.80 (8" RCP) N. INV.=19.10 (6" PVC UNDERDRN MANFOLD) SEE DETAIL SHEET C12.	P13 CONST. 28 L.F. 18" RCP UPSTREAM INV.=20.86 DOWNSTREAM INV.=20.67
S14 CONST. MODIFIED TYPE 'C' INLET W/ ALUMINUM SKIMMER (OUTFALL STRUCTURE) TOP OF SKIMMER=25.40 RIM=24.80 3.5" ORIFICE EL.=19.00 BOTTOM OF SKIMMER=18.50 S. INV.=18.00 (18" RCP) BOTTOM = 16.00 SEE DETAIL SHEET C12	P14 CONST. 28 L.F. 18" RCP UPSTREAM INV.=20.86 DOWNSTREAM INV.=20.67
S15 CONST. CONCRETE ENDWALL (PER FDOT STANDARD PLANS INDEX 430-030) TOP OF ENDWALL=19.75 18" RCP INV.=17.00	

REVISIONS

NO.	DATE	DESCRIPTION	BY
1A	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
	01/30/24	Add Roof Drain Pipes	MRD
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/add waterline est. L	MRD
	11/08/22	Per Site Plan Amendment No. 1	MRD
	09/13/22	Per review agency comments	MRD
	10/29/21	Per City comments	MRD

DESIGNED BY: SAN/WRD  
DRAWN BY: MRD  
CHECKED BY: SAN  
APPROVED BY: SAN

**GRADING, PAVING, AND DRAINAGE PLAN**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

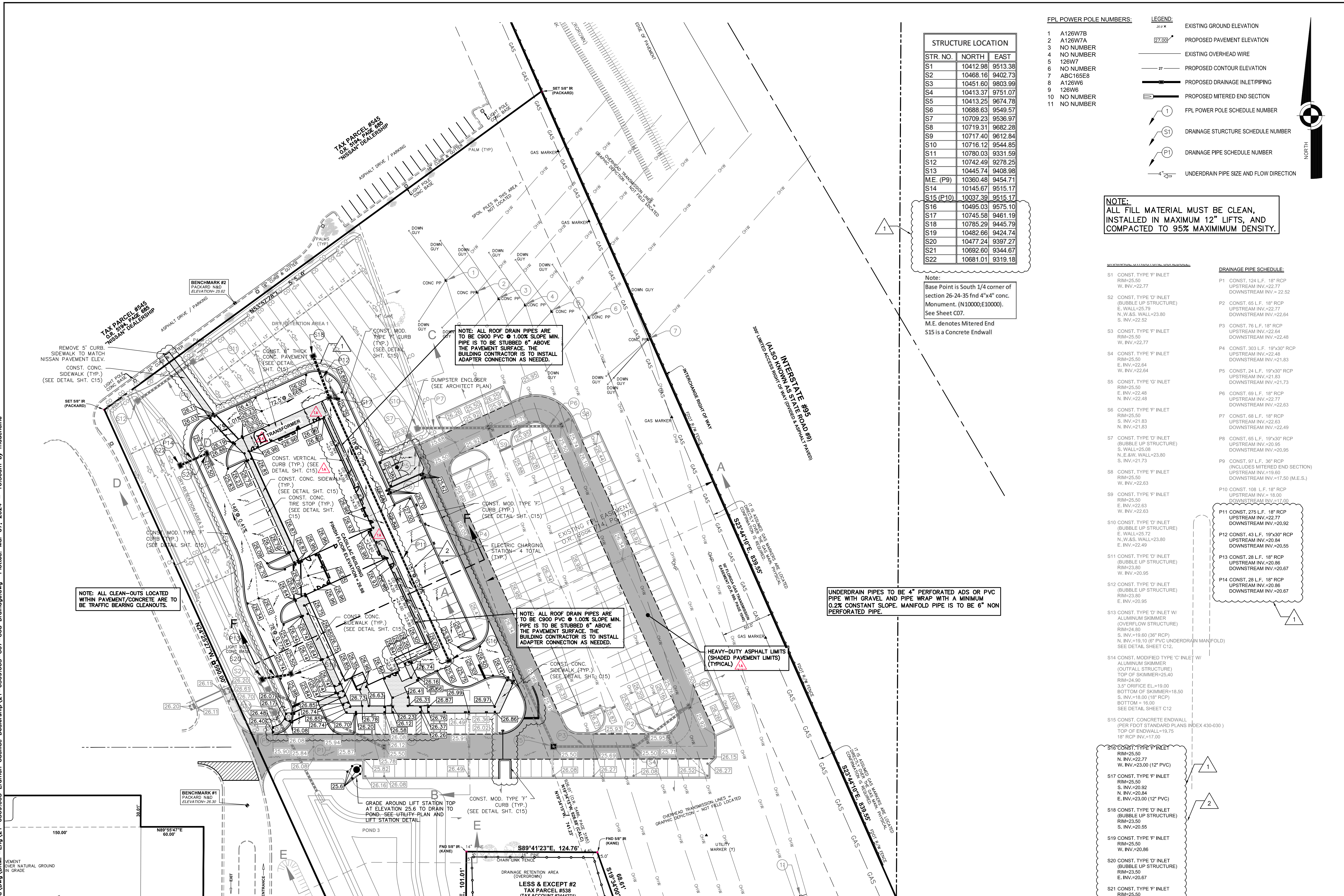
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**DRMP, Inc.**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.6885 WWW.DRMP.COM

STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

PROJECT NO.: 21-0509.001  
SCALE: 1" = 40'  
DATE: NOVEMBER, 2020  
DRAWING: C07



STRUCTURE LOCATION		
STR. NO.	NORTH	EAST
S1	10412.98	9513.38
S2	10468.16	9402.73
S3	10451.60	9803.99
S4	10413.37	9751.07
S5	10413.25	9674.78
S6	10688.63	9549.57
S7	10709.23	9536.97
S8	10719.31	9682.28
S9	10717.40	9612.84
S10	10716.12	9544.85
S11	10780.03	9331.59
S12	10742.49	9278.25
S13	10445.74	9408.98
M.E. (P9)	10360.48	9454.71
S14	10145.67	9515.17
S15 (P10)	10037.39	9515.17
S16	10495.03	9575.10
S17	10745.58	9461.19
S18	10785.29	9445.79
S19	10482.66	9424.74
S20	10477.24	9397.27
S21	10692.60	9344.67
S22	10681.01	9319.18

Note:  
Base Point is South 1/4 corner of section 26-24-35 fnd 4"x4" conc. Monument. (N10000;E10000). See Sheet C07.  
M.E. denotes Mitered End  
S15 is a Concrete Endwall

- FPL POWER POLE NUMBERS:**
- A126W7B
  - A126W7A
  - NO NUMBER
  - NO NUMBER
  - 126W7
  - NO NUMBER
  - ABC165E8
  - A126W6
  - 126W6
  - NO NUMBER
  - NO NUMBER
- LEGEND:**
- EXISTING GROUND ELEVATION
  - PROPOSED PAVEMENT ELEVATION
  - EXISTING OVERHEAD WIRE
  - PROPOSED CONTOUR ELEVATION
  - PROPOSED DRAINAGE INLET/PIPING
  - PROPOSED MITERED END SECTION
  - FPL POWER POLE SCHEDULE NUMBER
  - DRAINAGE STRUCTURE SCHEDULE NUMBER
  - DRAINAGE PIPE SCHEDULE NUMBER
  - UNDERDRAIN PIPE SIZE AND FLOW DIRECTION

**NOTE:**  
ALL FILL MATERIAL MUST BE CLEAN, INSTALLED IN MAXIMUM 12" LIFTS, AND COMPACTED TO 95% MAXIMUM DENSITY.

- DRAINAGE PIPE SCHEDULE:**
- S1 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.77
  - S2 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) E. WALL=25.79 N.W.S. WALL=23.80 S. INV.=22.52
  - S3 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.77
  - S4 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.64 N. INV.=22.64 W. INV.=22.64
  - S5 CONST. TYPE 'G' INLET RIM=25.50 E. INV.=22.48 N. INV.=22.48
  - S6 CONST. TYPE 'F' INLET RIM=25.50 S. INV.=21.83 N. INV.=21.83
  - S7 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) S. WALL=25.98 N.E. & W. WALL=23.80 S. INV.=21.73
  - S8 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.63
  - S9 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.63 W. INV.=22.63
  - S10 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) E. WALL=25.72 N.W.S. WALL=23.80 E. INV.=22.49
  - S11 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.80 W. INV.=20.95
  - S12 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.80 E. INV.=20.95
  - S13 CONST. TYPE 'D' INLET W/ ALUMINUM SKIMMER (OUTFLOW STRUCTURE) RIM=24.90 S. INV.=19.60 (36" RCP) N. INV.=19.10 (6" PVC UNDERDRAIN MANFOLD) SEE DETAIL SHEET C12.
  - S14 CONST. MODIFIED TYPE 'C' INLET W/ ALUMINUM SKIMMER (OUTFALL STRUCTURE) TOP OF SKIMMER=25.40 RIM=24.90 3.5" ORIFICE EL.=19.00 BOTTOM OF SKIMMER=18.50 S. INV.=18.00 (18" RCP) BOTTOM = 16.00 SEE DETAIL SHEET C12
  - S15 CONST. CONCRETE ENDWALL (PER FDOT STANDARD PLANS INDEX 430-030) TOP OF ENDWALL=15.75 18" RCP INV.=17.00
  - S16 CONST. TYPE 'F' INLET RIM=25.50 N. INV.=22.77 W. INV.=23.00 (12" PVC)
  - S17 CONST. TYPE 'F' INLET RIM=25.50 S. INV.=20.92 E. INV.=20.84 N. INV.=23.00 (12" PVC)
  - S18 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.50 S. INV.=20.55
  - S19 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=20.86
  - S20 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.50 E. INV.=20.67
  - S21 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=20.86
  - S22 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.50 E. INV.=20.67
- P11 CONST. 275 L.F. 18" RCP UPSTREAM INV.=22.77 DOWNSTREAM INV.=20.92**
- P12 CONST. 43 L.F. 19"x30" RCP UPSTREAM INV.=20.84 DOWNSTREAM INV.=20.55**
- P13 CONST. 28 L.F. 18" RCP UPSTREAM INV.=20.86 DOWNSTREAM INV.=20.67**
- P14 CONST. 28 L.F. 18" RCP UPSTREAM INV.=20.86 DOWNSTREAM INV.=20.67**
- P16 CONST. 168 L.F. 18" RCP UPSTREAM INV.=18.00 DOWNSTREAM INV.=17.00**
- P17 CONST. 65 L.F. 18" RCP UPSTREAM INV.=22.64 DOWNSTREAM INV.=21.83**
- P18 CONST. 303 L.F. 19"x30" RCP UPSTREAM INV.=21.83 DOWNSTREAM INV.=21.83**
- P19 CONST. 24 L.F. 19"x30" RCP UPSTREAM INV.=21.83 DOWNSTREAM INV.=21.73**
- P20 CONST. 69 L.F. 18" RCP UPSTREAM INV.=22.77 DOWNSTREAM INV.=22.63**
- P21 CONST. 65 L.F. 19"x30" RCP UPSTREAM INV.=20.95 DOWNSTREAM INV.=20.95**
- P22 CONST. 97 L.F. 36" RCP (INCLUDES MITERED END SECTION) UPSTREAM INV.=19.60 DOWNSTREAM INV.=17.50 (M.E.S.)**

UNDERDRAIN PIPES TO BE 4" PERFORATED ADS OR PVC PIPE WITH GRAVEL AND PIPE WRAP WITH A MINIMUM 0.2% CONSTANT SLOPE. MANIFOLD PIPE IS TO BE 6" NON PERFORATED PIPE.

NOTE: ALL ROOF DRAIN PIPES ARE TO BE C900 PVC @ 1.00% SLOPE MIN. PIPE IS TO BE STUBBED 6" ABOVE THE PAVEMENT SURFACE. THE BUILDING CONTRACTOR IS TO INSTALL ADAPTER CONNECTION AS NEEDED.

NOTE: ALL ROOF DRAIN PIPES ARE TO BE C900 PVC @ 1.00% SLOPE MIN. PIPE IS TO BE STUBBED 6" ABOVE THE PAVEMENT SURFACE. THE BUILDING CONTRACTOR IS TO INSTALL ADAPTER CONNECTION AS NEEDED.

HEAVY-DUTY ASPHALT LIMITS (SHADED PAVEMENT LIMITS) (TYPICAL)

NOTE: ALL CLEAN-OUTS LOCATED WITHIN PAVEMENT/CONCRETE ARE TO BE TRAFFIC BEARING CLEANOUTS.

MATCH LINE SEE SHEET C07

**REVISIONS**

NO.	DATE	DESCRIPTION
1A	03/06/24	Per Addendum No. 1
2	01/30/24	Per owner/architect changes
	06/14/23	Per City Site Plan comments
	05/02/23	Per Cocos Utilities comments/old Master Meter
	04/17/23	Per Cocos Utilities comments/old waterline est. L
	11/08/22	Per Site Plan Amendment No. 1
	09/13/22	Per review agency comments
	10/29/21	Per City comments

DESIGNED BY: **SM/WRD**  
DRAWN BY: **MRD**  
CHECKED BY: **SM**  
APPROVED BY: **SM**

**GRADING, PAVING, AND DRAINAGE PLAN**

**CONSTRUCTION PLANS FOR MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL CITY OF COCOA, FLORIDA**

**DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE**

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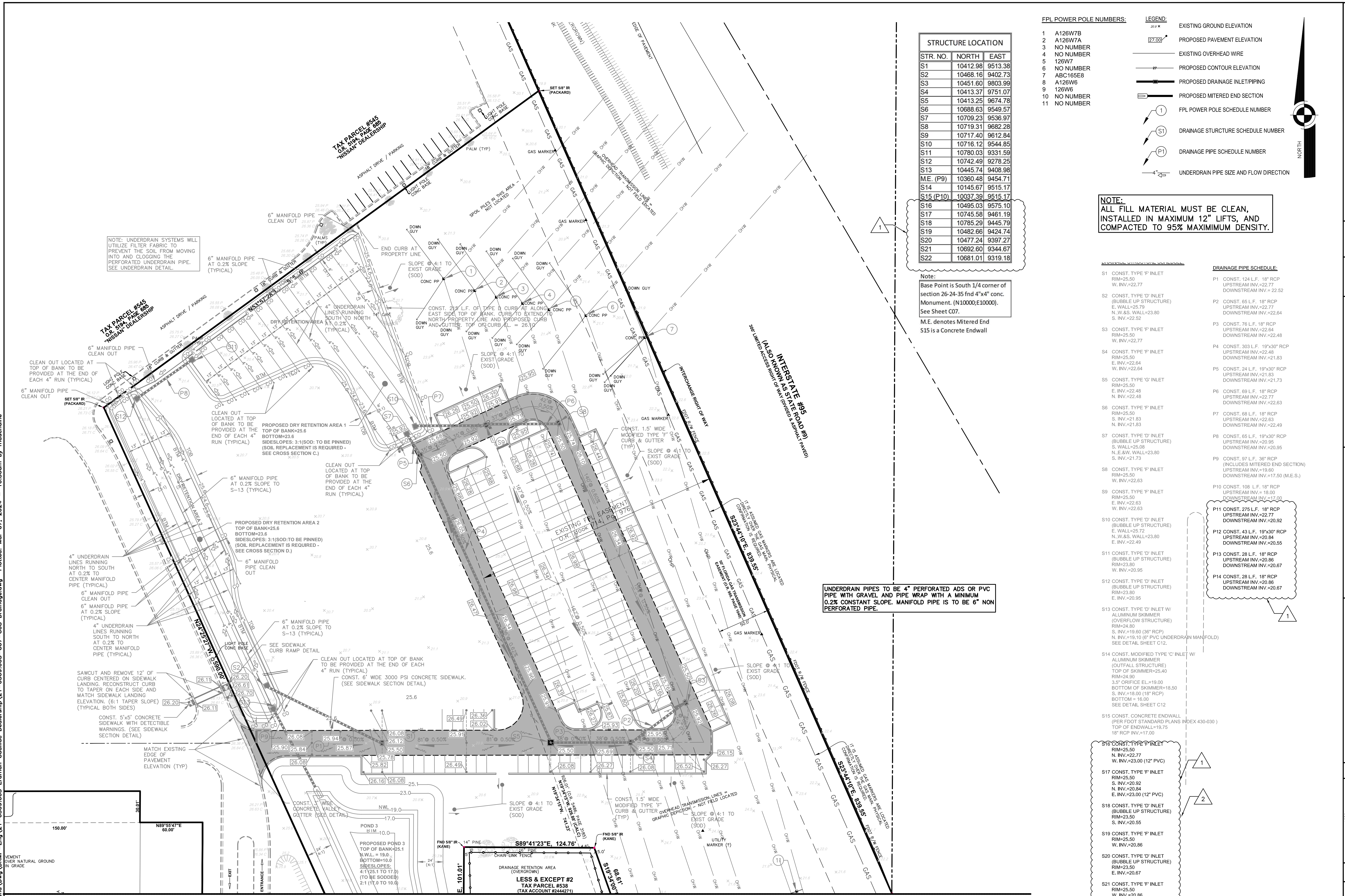
Professional Seal: **JOSE GONZALEZ**, No. 84538, STATE OF FLORIDA, Professional Engineer, State of Florida # 84538

PROJECT NO: **21-0509.001**

SCALE: **1" = 40'**

DATE: **NOVEMBER, 2020**

DRAWING: **C08**



STRUCTURE LOCATION		
STR. NO.	NORTH	EAST
S1	10412.98	9513.38
S2	10468.16	9402.73
S3	10451.60	9803.99
S4	10413.37	9751.07
S5	10413.25	9674.78
S6	10688.63	9549.57
S7	10709.23	9536.97
S8	10719.31	9682.28
S9	10717.40	9612.84
S10	10716.12	9544.85
S11	10780.03	9331.59
S12	10742.49	9278.25
S13	10445.74	9408.98
M.E. (P9)	10360.48	9454.71
S14	10145.67	9515.17
S15 (P10)	10037.39	9515.17
S16	10495.03	9575.10
S17	10745.58	9461.19
S18	10785.29	9445.79
S19	10482.66	9424.74
S20	10477.24	9397.27
S21	10692.60	9344.67
S22	10681.01	9319.18

- FPL POWER POLE NUMBERS:**
- A126W7B
  - A126W7A
  - NO NUMBER
  - NO NUMBER
  - 126W7
  - NO NUMBER
  - ABC165E8
  - A126W6
  - 126W6
  - NO NUMBER
  - NO NUMBER
- LEGEND:**
- EXISTING GROUND ELEVATION
  - PROPOSED PAVEMENT ELEVATION
  - EXISTING OVERHEAD WIRE
  - PROPOSED CONTOUR ELEVATION
  - PROPOSED DRAINAGE INLET/PIPING
  - PROPOSED MITERED END SECTION
  - FPL POWER POLE SCHEDULE NUMBER
  - DRAINAGE STRUCTURE SCHEDULE NUMBER
  - DRAINAGE PIPE SCHEDULE NUMBER
  - UNDERDRAIN PIPE SIZE AND FLOW DIRECTION

**NOTE:**  
ALL FILL MATERIAL MUST BE CLEAN,  
INSTALLED IN MAXIMUM 12" LIFTS, AND  
COMPACTED TO 95% MAXIMUM DENSITY.

**Note:**  
Base Point is South 1/4 corner of  
section 26-24-35 fnd 4"x4" conc.  
Monument. (N10000;E10000).  
See Sheet C07.  
M.E. denotes Mitered End  
S15 is a Concrete Endwall

UNDERDRAIN PIPES TO BE 4" PERFORATED ADS OR PVC  
PIPE WITH GRAVEL AND PIPE WRAP WITH A MINIMUM  
0.2% CONSTANT SLOPE. MANHOLE PIPE IS TO BE 6" NON  
PERFORATED PIPE.

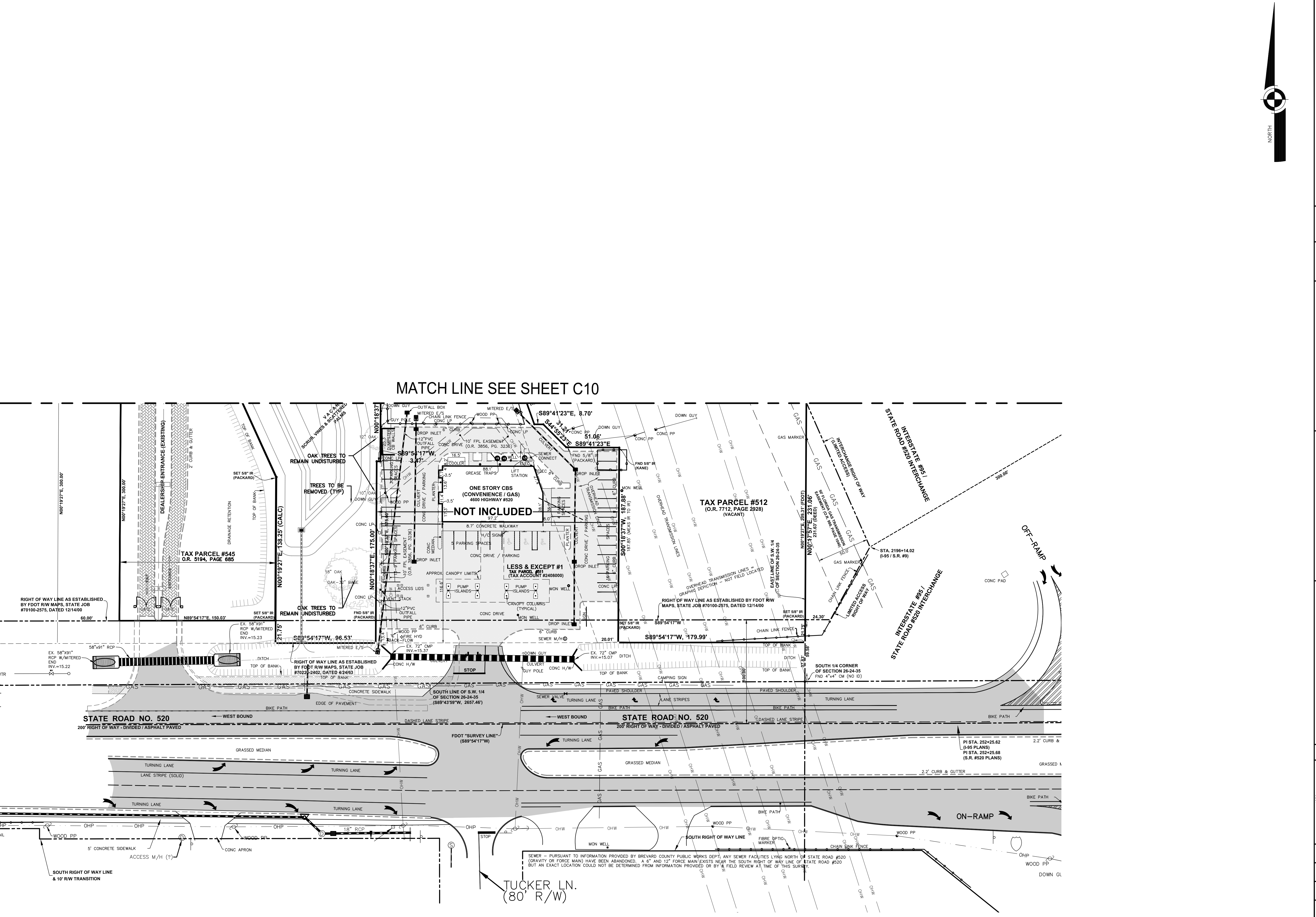
- CONSTRUCTION PLANS FOR  
MIKE ERDMAN MOTORS,  
INC. OVERFLOW  
PARKING PARCEL  
CITY OF COCOA, FLORIDA**
- DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE**
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- DRMP, Inc.**  
Professional Seal: JOSE GONZALEZ, License No. 84538, State of Florida, Professional Engineer
- PROJECT NO: 21-0509.001  
SCALE: 1" = 40'  
DATE: NOVEMBER, 2020  
DRAWING: C08
- DRAINAGE PIPE SCHEDULE:**
- S1 CONST. TYPE 'F' INLET (BUBBLE UP STRUCTURE) RIM=25.50 W. INV.=22.77
  - S2 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) E. WALL=25.79 N.W.S. WALL=23.80 S. INV.=22.52
  - S3 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.77
  - S4 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.64 N. INV.=22.64
  - S5 CONST. TYPE 'G' INLET RIM=25.50 E. INV.=22.48 N. INV.=22.48
  - S6 CONST. TYPE 'F' INLET RIM=25.50 S. INV.=21.83 N. INV.=21.83
  - S7 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) S. WALL=25.98 N.E. & W. WALL=23.80 S. INV.=21.73
  - S8 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=22.63
  - S9 CONST. TYPE 'F' INLET RIM=25.50 E. INV.=22.63 W. INV.=22.63
  - S10 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.80 E. INV.=20.95
  - S13 CONST. TYPE 'D' INLET W/ ALUMINUM SKIMMER (OUTFALL STRUCTURE) RIM=24.80 S. INV.=19.60 (36" RCP) N. INV.=19.10 (6" PVC UNDERDRAIN MANHOLE) SEE DETAIL SHEET C12.
  - S14 CONST. MODIFIED TYPE 'C' INLET W/ ALUMINUM SKIMMER (OUTFALL STRUCTURE) TOP OF SKIMMER=25.40 RIM=24.90 3.5" ORIFICE EL.=19.00 BOTTOM OF SKIMMER=18.50 S. INV.=18.00 (18" RCP) BOTTOM = 16.00 SEE DETAIL SHEET C12
  - S15 CONST. CONCRETE ENDWALL (PER FDOT STANDARD PLANS INDEX 430-030) TOP OF ENDWALL=17.75 18" RCP INV.=17.00
  - S16 CONST. TYPE 'F' INLET RIM=25.50 N. INV.=22.77 W. INV.=23.00 (12" PVC)
  - S17 CONST. TYPE 'F' INLET RIM=25.50 S. INV.=20.92 N. INV.=20.84 E. INV.=23.00 (12" PVC)
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  - S19 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=20.86
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  - S21 CONST. TYPE 'F' INLET RIM=25.50 W. INV.=20.86
  - S22 CONST. TYPE 'D' INLET (BUBBLE UP STRUCTURE) RIM=23.50 E. INV.=20.67
- P11 CONST. 27.5 L.F. 18" RCP UPSTREAM INV.=20.92 DOWNSTREAM INV.=20.86**
- P12 CONST. 43 L.F. 19"x30" RCP UPSTREAM INV.=20.84 DOWNSTREAM INV.=20.55**
- P13 CONST. 28 L.F. 18" RCP UPSTREAM INV.=20.86 DOWNSTREAM INV.=20.67**
- P14 CONST. 28 L.F. 18" RCP UPSTREAM INV.=20.86 DOWNSTREAM INV.=20.67**

NO.	DATE	DESCRIPTION	BY
1A	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
	01/30/24	Add Roof Drain Pipes	MRD
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/add waterline est. L	MRD

DESIGNED BY: SM/WRD  
DRAWN BY: MRD  
CHECKED BY: SAN  
APPROVED BY: SAN

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NORTH 1/4 LINE LOCATION IS THAT DEFINED BY FDOT MAP JOB #70220-2402 WHICH LIES SOUTH OF THE CURRENT DEFINED P/W LOCATION



NO.	DATE	DESCRIPTION	BY
1	06/14/23	Per City Site Plan comments	MRD
2	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
3	04/17/23	Per Cocoa Utilities comments/add waterline esm'l.	MRD
4	11/08/22	Per Site Plan Amendment No. 1	MRD
5	05/13/22	Per review agency comments	MRD
6	10/29/21	Per City comments	MRD

DESIGNED BY	SAV/WRD
MRD	MRD
CHECKED BY	SAV
SAV	SAV
APPROVED BY	SAV
SAV	SAV

**UTILITIES PLAN**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS,  
 INC. OVERFLOW  
 PARKING PARCEL**  
 CITY OF COCOA, FLORIDA

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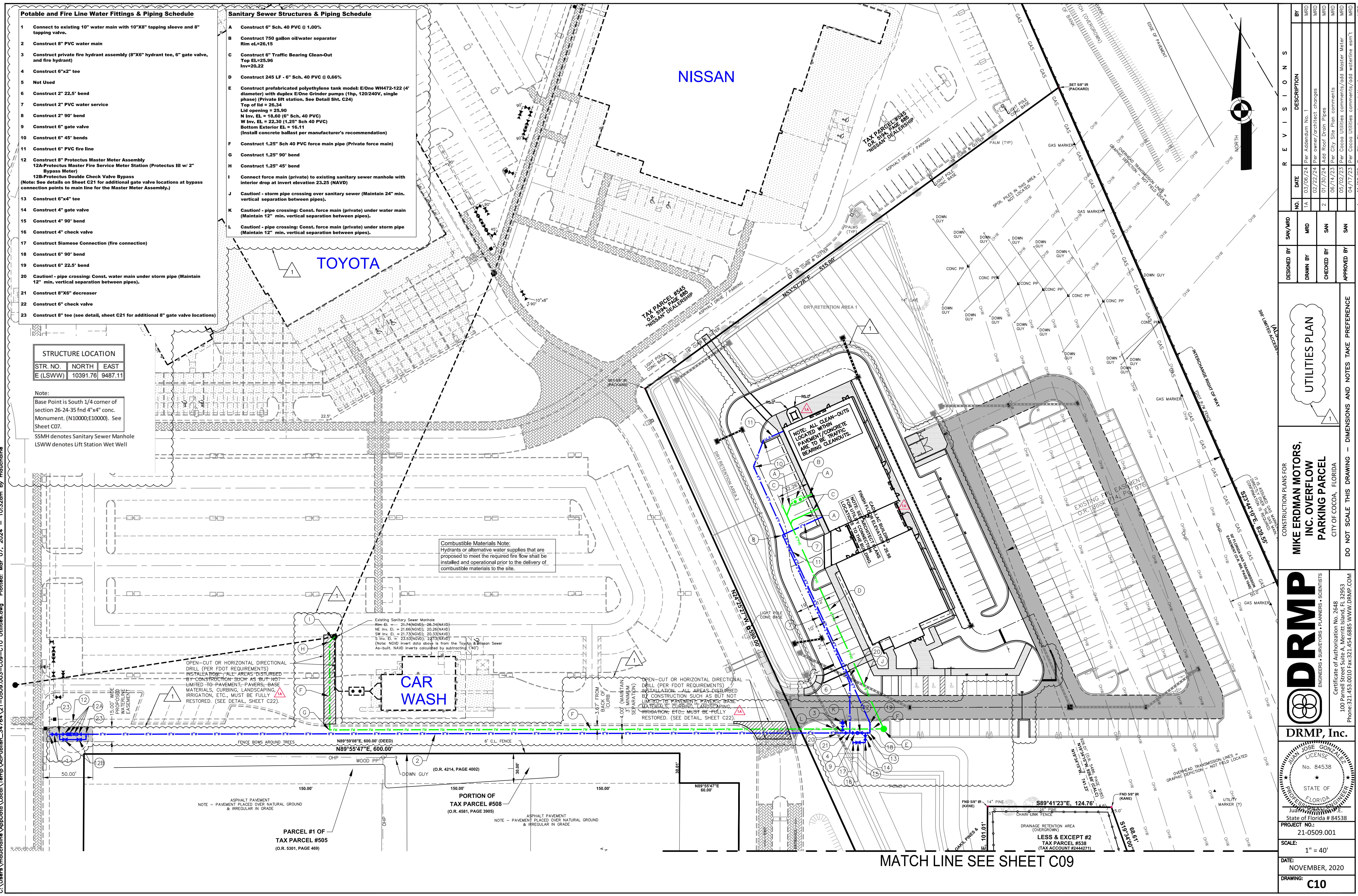
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 100 Palm Street Suite A, Merritt Island, FL 32953  
 Phone: 321.453.0010 Fax: 321.454.0885 WWW.DRMP.COM

**DRMP, Inc.**

Professional Seal: JUAN JOSE GONZALEZ, No. 84538, STATE OF FLORIDA, PROFESSIONAL ENGINEER

State of Florida # 84538  
 State of Florida # 84538  
 PROJECT NO.: 21-0509.001  
 SCALE: 1" = 40'  
 DATE: NOVEMBER, 2020  
 DRAWING: **C09**

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE



**Potable and Fire Line Water Fittings & Piping Schedule**

- 1 Connect to existing 10" water main with 10"x8" tapping sleeve and 8" tapping valve.
- 2 Construct 8" PVC water main
- 3 Construct private fire hydrant assembly (8"x6" hydrant tee, 6" gate valve, and fire hydrant)
- 4 Construct 6"x2" tee
- 5 Not Used
- 6 Construct 2" 22.5' bend
- 7 Construct 2" PVC water service
- 8 Construct 2" 90' bend
- 9 Construct 6" gate valve
- 10 Construct 6" 45' bends
- 11 Construct 6" PVC fire line
- 12 Construct 8" Protectus Master Meter Assembly  
12A-Protectus Master Fire Service Meter Station (Protectus III w/ 2" Bypass Meter)  
12B-Protectus Double Check Valve Bypass  
(Note: See details on Sheet C21 for additional gate valve locations at bypass connection points to main line for the Master Meter Assembly.)
- 13 Construct 6"x4" tee
- 14 Construct 4" gate valve
- 15 Construct 4" 90' bend
- 16 Construct 4" check valve
- 17 Construct Siamese Connection (fire connection)
- 18 Construct 6" 90' bend
- 19 Construct 6" 22.5' bend
- 20 Caution! - pipe crossing: Const. water main under storm pipe (Maintain 12" min. vertical separation between pipes).
- 21 Construct 8"x6" reducer
- 22 Construct 6" check valve
- 23 Construct 8" tee (see detail, sheet C21 for additional 8" gate valve locations)

**Sanitary Sewer Structures & Piping Schedule**

- A Construct 6" Sch. 40 PVC @ 1.00%
- B Construct 750 gallon oil/water separator  
Rim el.=26.15
- C Construct 6" Traffic Bearing Clean-Out  
Top EL.=25.96  
Inv.=20.22
- D Construct 245 LF - 6" Sch. 40 PVC @ 0.66%
- E Construct prefabricated polyethylene tank model: EOne WH472-122 (4' diameter) with duplex EOne Grinder pumps (1hp, 120/240V, single phase) (Private lift station. See Detail Sht. C24)  
Top of lid = 26.34  
Lid opening = 25.90  
N Inv. EL. = 18.60 (6" Sch. 40 PVC)  
W Inv. EL. = 22.30 (1.25" Sch 40 PVC)  
Bottom Exterior EL. = 14.11  
(Install concrete ballast per manufacturer's recommendation)
- F Construct 1.25" Sch 40 PVC force main pipe (Private force main)
- G Construct 1.25" 90' bend
- H Construct 1.25" 45' bend
- I Connect force main (private) to existing sanitary sewer manhole with interior drop at invert elevation 23.25 (NAVD)
- J Caution! - storm pipe crossing over sanitary sewer (Maintain 24" min. vertical separation between pipes).
- K Caution! - pipe crossing: Const. force main (private) under water main (Maintain 12" min. vertical separation between pipes).
- L Caution! - pipe crossing: Const. force main (private) under storm pipe (Maintain 12" min. vertical separation between pipes).

**STRUCTURE LOCATION**

STR. NO.	NORTH	EAST
E (LSWW)	10391.76	9487.11

Note:  
Base Point is South 1/4 corner of section 26-24-35 fnd 4"x4" conc. Monument. (N10000;E10000). See Sheet C07.  
SSMH denotes Sanitary Sewer Manhole  
LSWW denotes Lift Station Wet Well

**Combustible Materials Note:**  
Hydrants or alternative water supplies that are proposed to meet the required fire flow shall be installed and operational prior to the delivery of combustible materials to the site.

Existing Sanitary Sewer Manhole  
Rim EL. = 27.74(NAVD); 26.34(NAVD)  
NE Inv. EL. = 21.66(NAVD); 20.26(NAVD)  
SW Inv. EL. = 21.70(NAVD); 20.33(NAVD)  
S Inv. EL. = 23.53(NAVD); 22.13(NAVD)  
(Note: NAVD invert data above the from the Toyota & Nissan Sewer As-built. NAVD inverts calculated by subtracting 1.60')

OPEN-CUT OR HORIZONTAL DIRECTIONAL DRILL (PER FDOT REQUIREMENTS) INSTALLATION - ALL AREAS DISTURBED BY CONSTRUCTION SUCH AS BUT NOT LIMITED TO PAVEMENT, PAVERS, BASE MATERIALS, CURBING, LANDSCAPING, IRRIGATION, ETC., MUST BE FULLY RESTORED. (SEE DETAIL, SHEET C22).

OPEN-CUT OR HORIZONTAL DIRECTIONAL DRILL (PER FDOT REQUIREMENTS) INSTALLATION - ALL AREAS DISTURBED BY CONSTRUCTION SUCH AS BUT NOT LIMITED TO PAVEMENT, PAVERS, BASE MATERIALS, CURBING, LANDSCAPING, IRRIGATION, ETC., MUST BE FULLY RESTORED. (SEE DETAIL, SHEET C22).

NOTE - PAVEMENT PLACED OVER NATURAL GROUND & IRREGULAR IN GRADE

NOTE - PAVEMENT PLACED OVER NATURAL GROUND & IRREGULAR IN GRADE

PARCEL #1 OF TAX PARCEL #505 (O.R. 5301, PAGE 469)

PORTION OF TAX PARCEL #508 (O.R. 4581, PAGE 3905)

LESS & EXCEPT #2 TAX PARCEL #538 (TAX ACCOUNT #2444271)

MATCH LINE SEE SHEET C09

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03/06/24	Per Addendum No. 1
2	02/22/24	Per owner/architect changes
3	01/30/24	Add Roof Drain Pipes
4	06/14/23	Per City Site Plan comments
5	05/02/23	Per Cocoa Utilities comments/Gas Meter Meter
6	04/17/23	Per Cocoa Utilities comments/Gas waterline est. L
7	11/08/22	Per Site Plan Amendment No. 1
8	09/13/22	Per review agency comments
9	10/29/21	Per City comments

**UTILITIES PLAN**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

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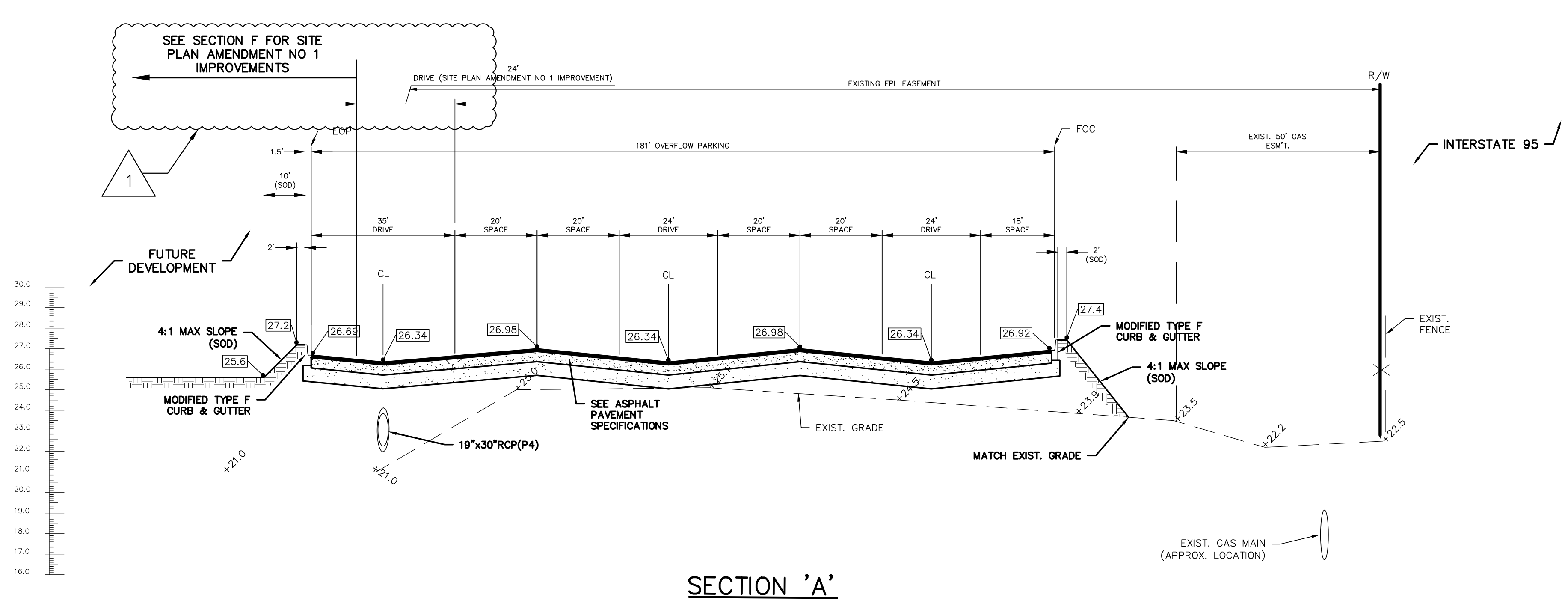
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JOSE GONZALEZ  
LICENSE  
No. 84538  
STATE OF FLORIDA  
Professional Engineer  
State of Florida # 84538

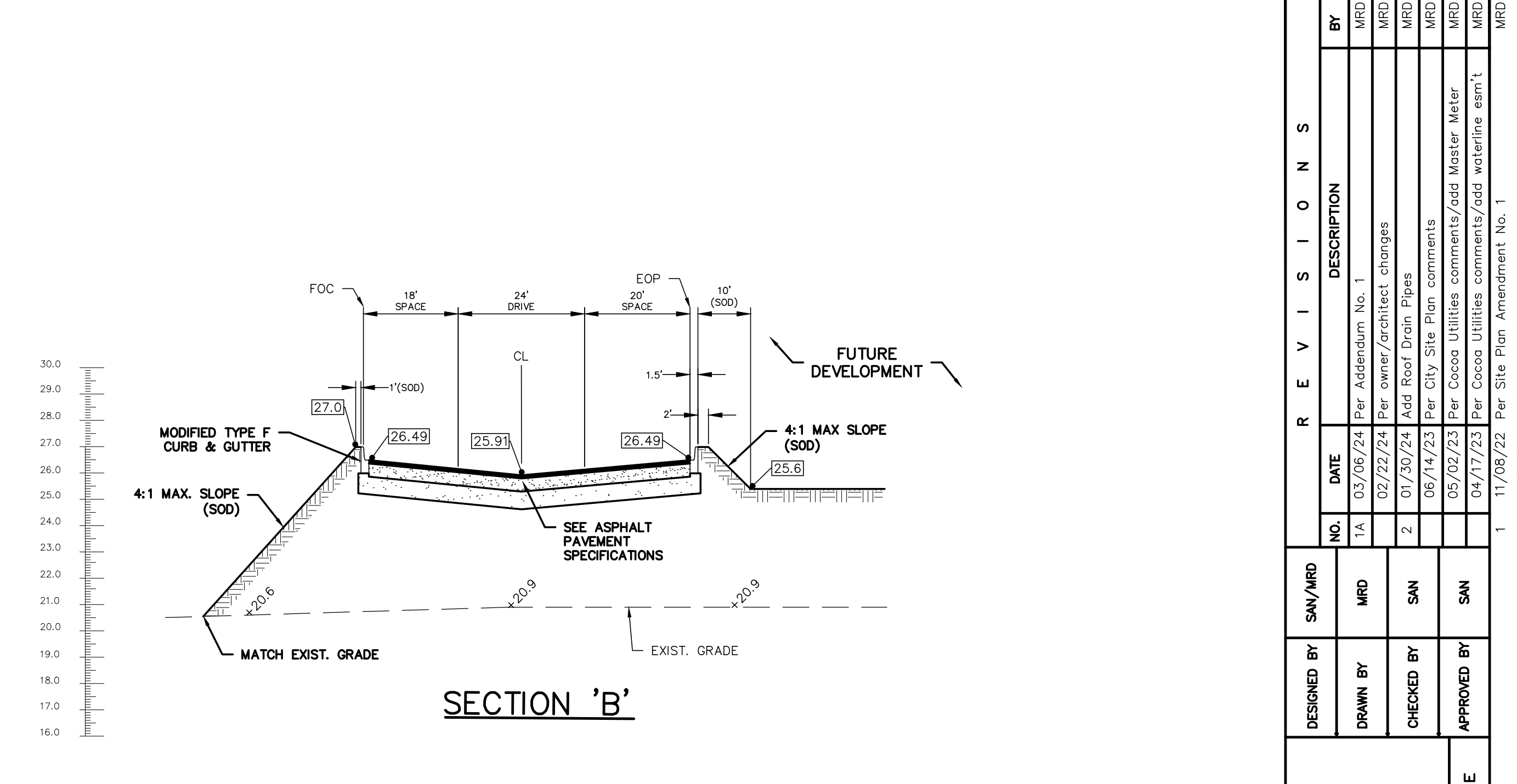
PROJECT NO.: 21-0509.001  
SCALE: 1" = 40'  
DATE: NOVEMBER, 2020  
DRAWING: **C10**

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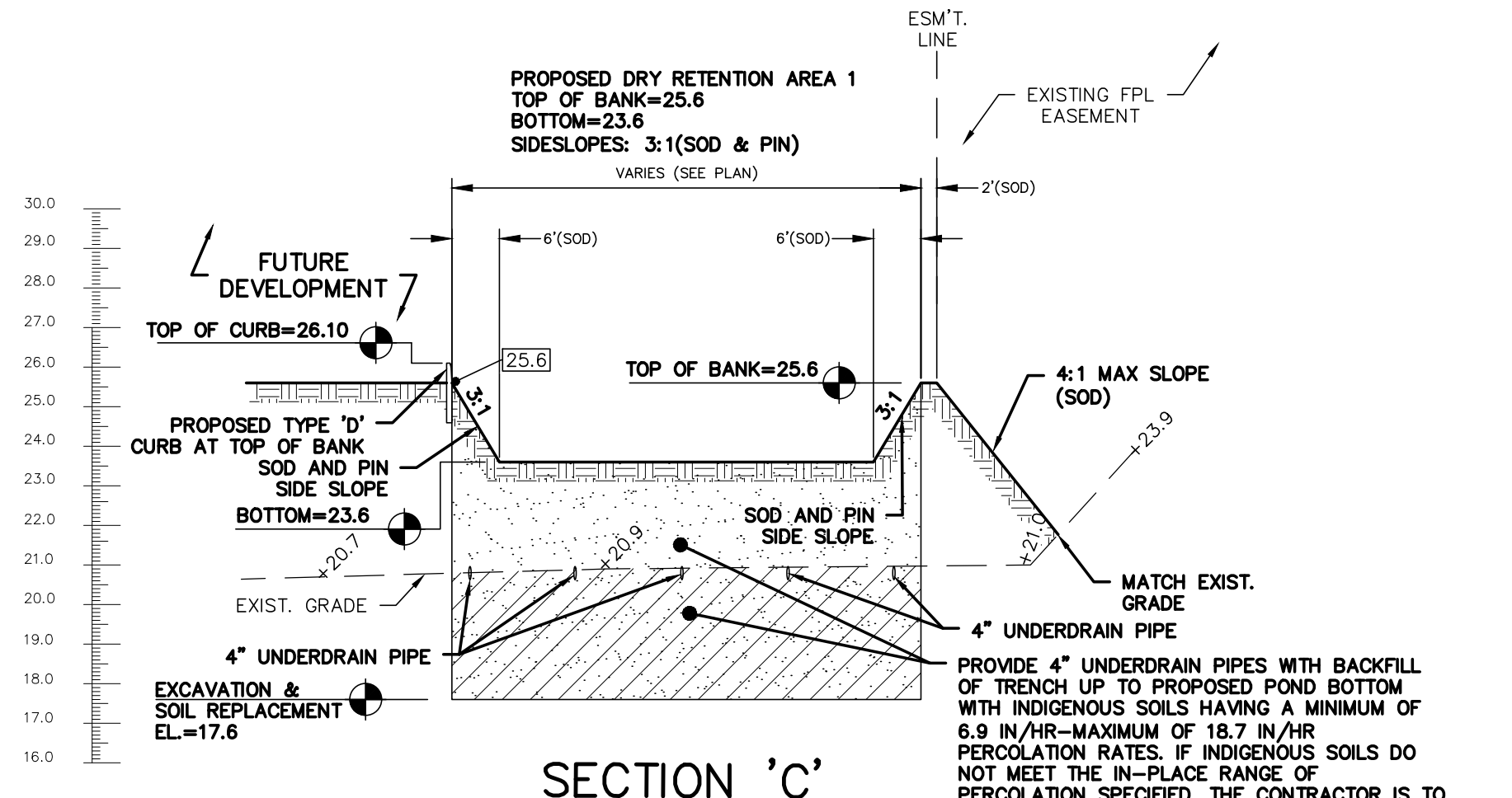
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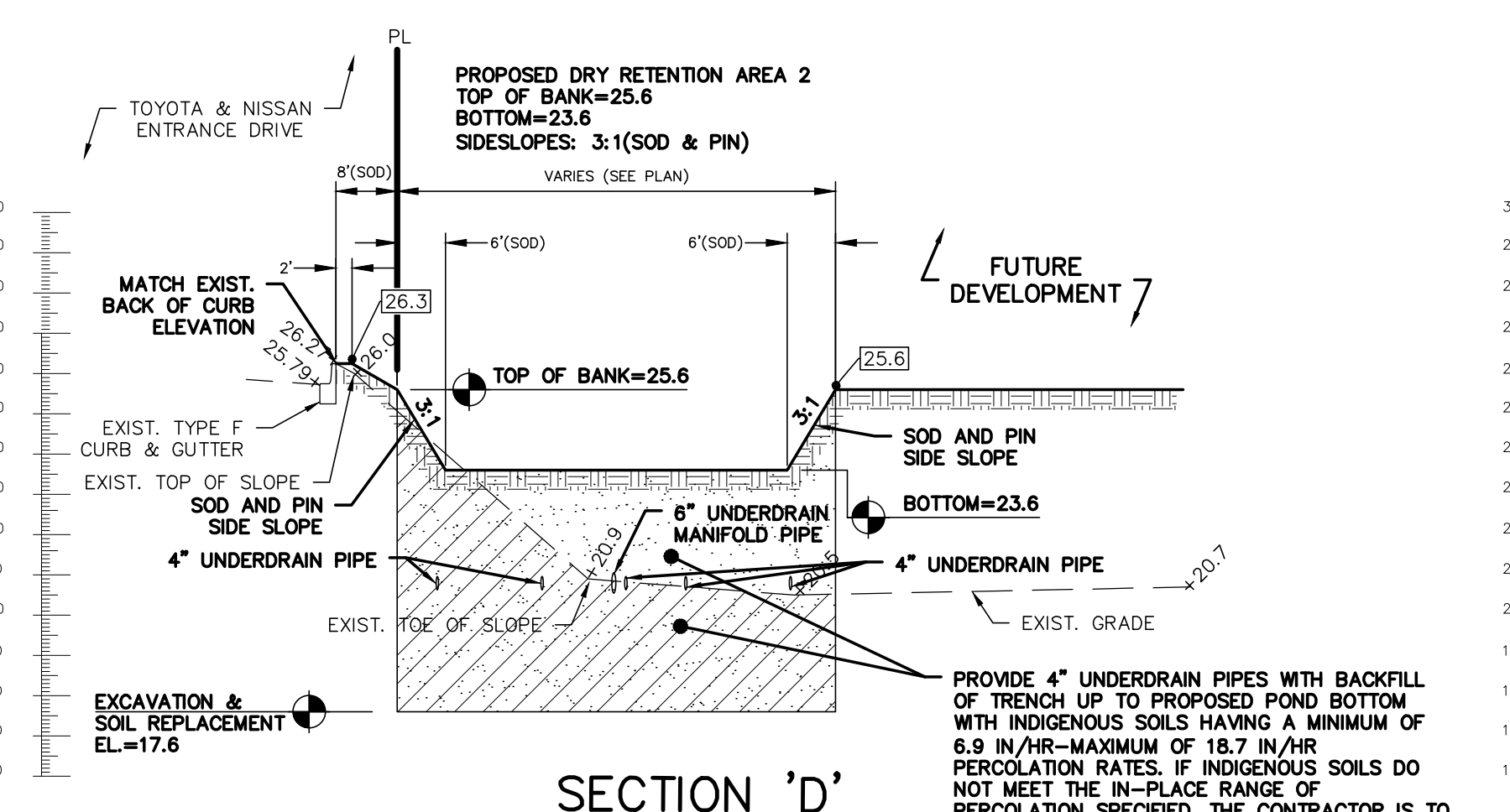
**SECTION 'A'**



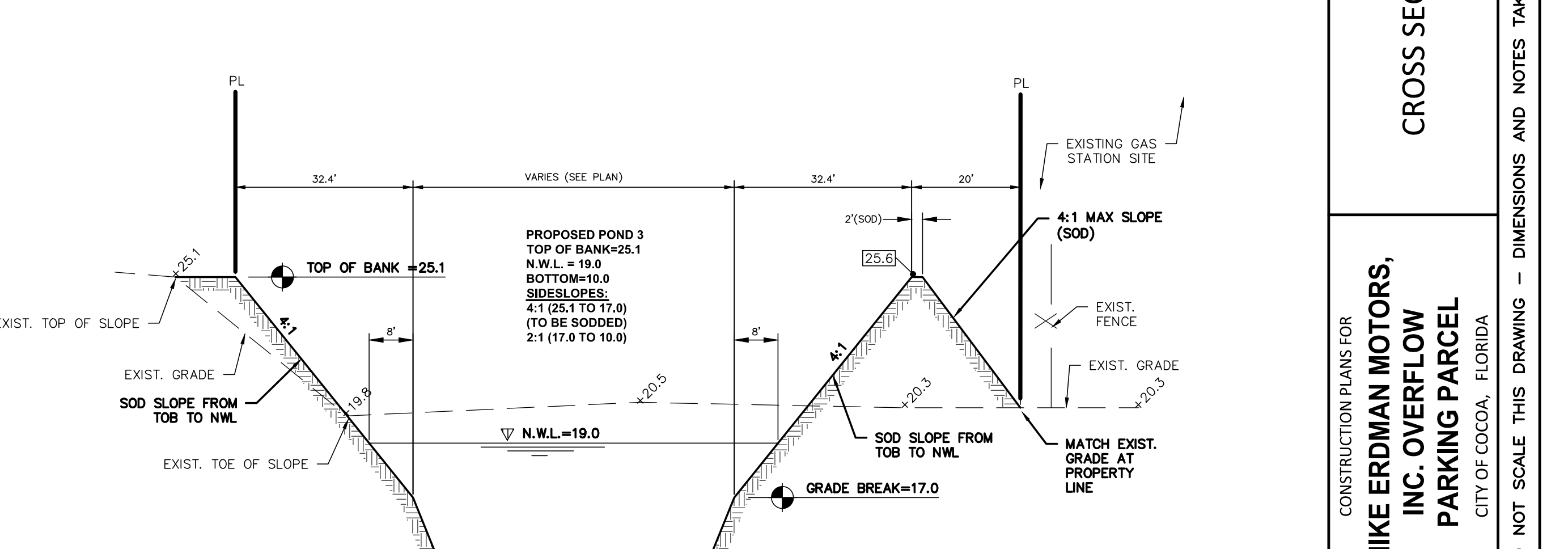
**SECTION 'B'**



**SECTION 'C'**



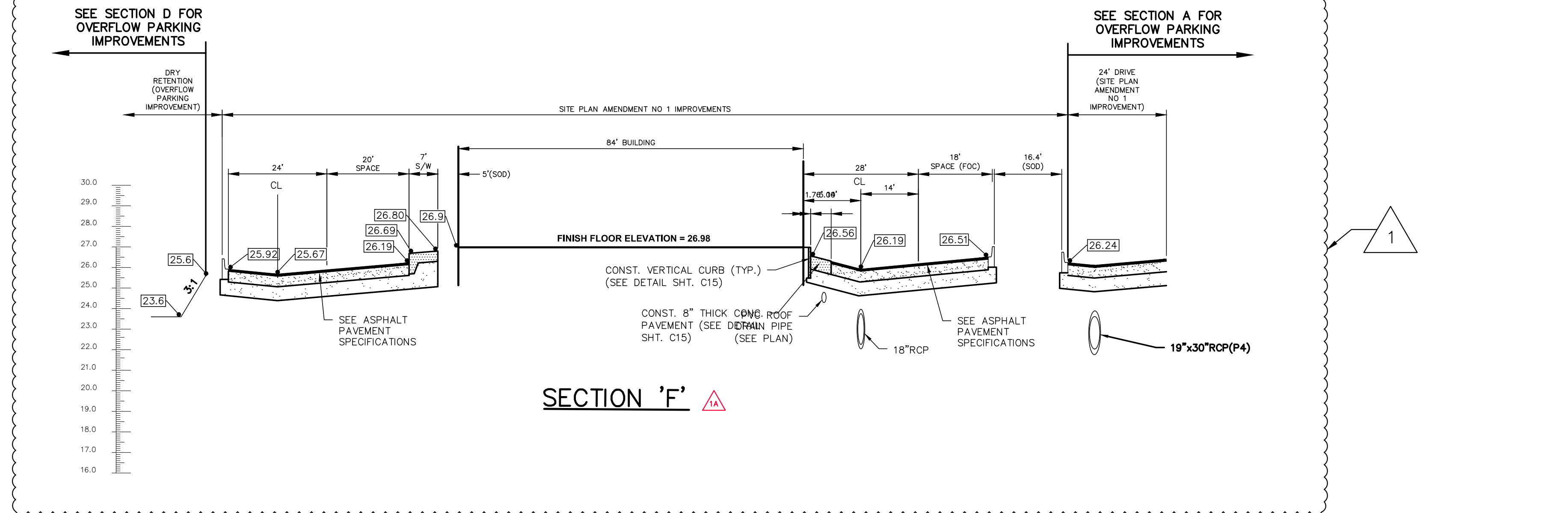
**SECTION 'D'**



**SECTION 'E'**

**EXCAVATION & SOIL REPLACEMENT NOTE:**  
CONTRACTOR TO PROVIDE CERTIFIED TEST REPORTS THROUGHOUT TO CONFIRM COMPLIANCE WITH SOIL REPLACEMENT REQUIREMENTS. CONTRACTOR MUST PREVENT UNFILTERED RUNOFF FROM ENTERING PONDS PRIOR TO COMPLETION OF SITE PAVING AND CLEANUP.

**NOTE:**  
ALL FILL MATERIAL MUST BE CLEAN, INSTALLED IN MAXIMUM 12" LIFTS, AND COMPACTED TO 95% MAXIMUM DENSITY.



**SECTION 'F'**

NO.	DATE	DESCRIPTION	BY
1	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
3	01/30/24	Add Roof Drain Pipes	MRD
4	06/14/23	Per City Site Plan comments	MRD
5	05/02/23	Per Cocoa Utilities comments/Add Master Meter	MRD
6	04/17/23	Per Cocoa Utilities comments/Add waterline est. L	MRD
7	11/08/22	Per Site Plan Amendment No. 1	MRD
8	09/13/22	Per review agency comments	MRD
9	10/29/21	Per City comments	MRD

**CROSS SECTIONS**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

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**DRMP, Inc.**

PROFESSIONAL ENGINEER  
JUDY H. HARRIS, P.E.  
State of Florida # 84538

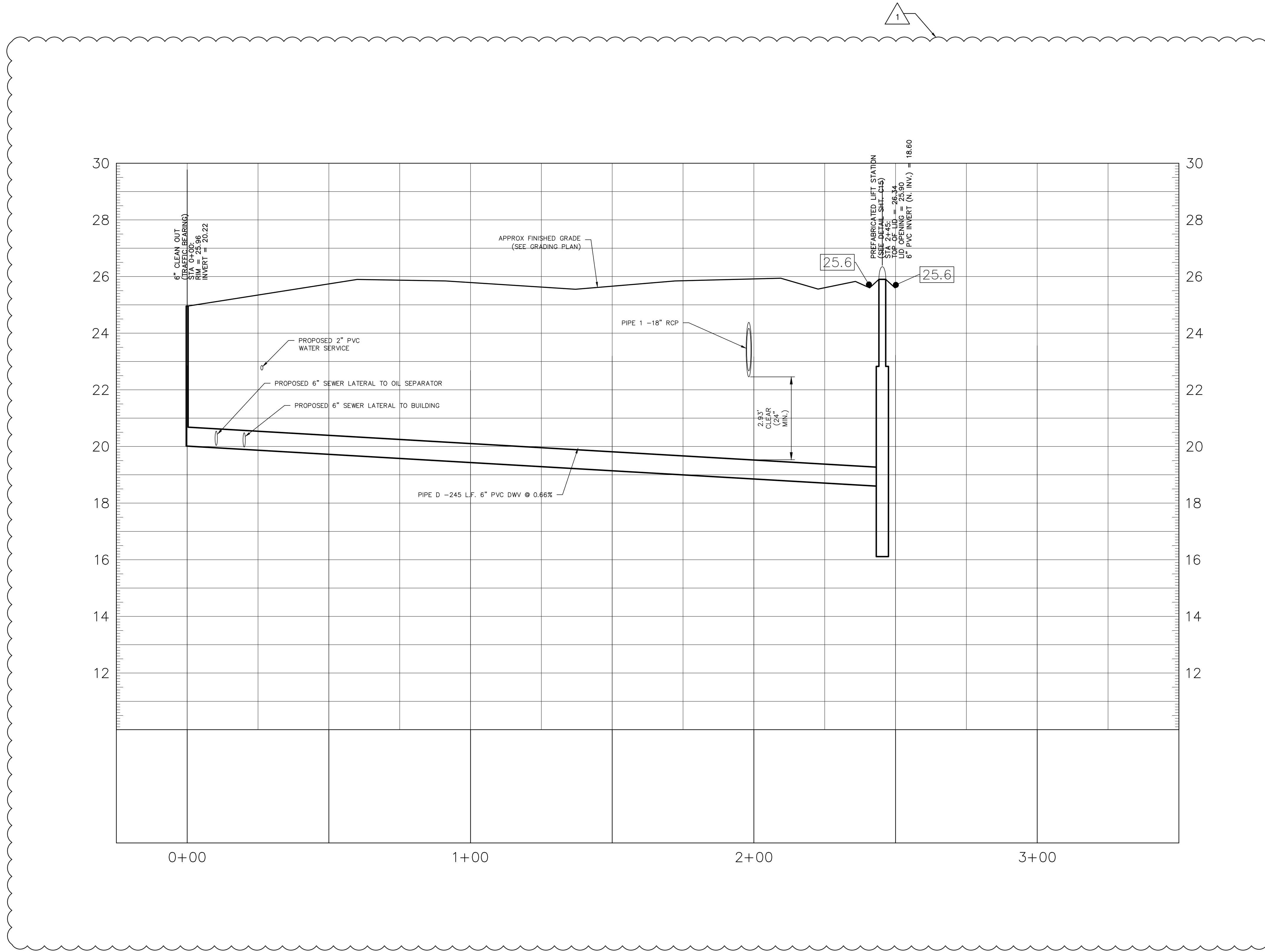
PROJECT NO.: 21-0509.001

SCALE: H:1" = 20' V:1" = 4'

DATE: NOVEMBER, 2020

DRAWING: **C11**





NO.	DATE	DESCRIPTION	BY
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/add waterline esm't.	MRD
1	11/08/22	Per Site Plan Amendment No. 1	MRD
	05/13/22	Per review agency comments	MRD
	10/29/21	Per City comments	MRD

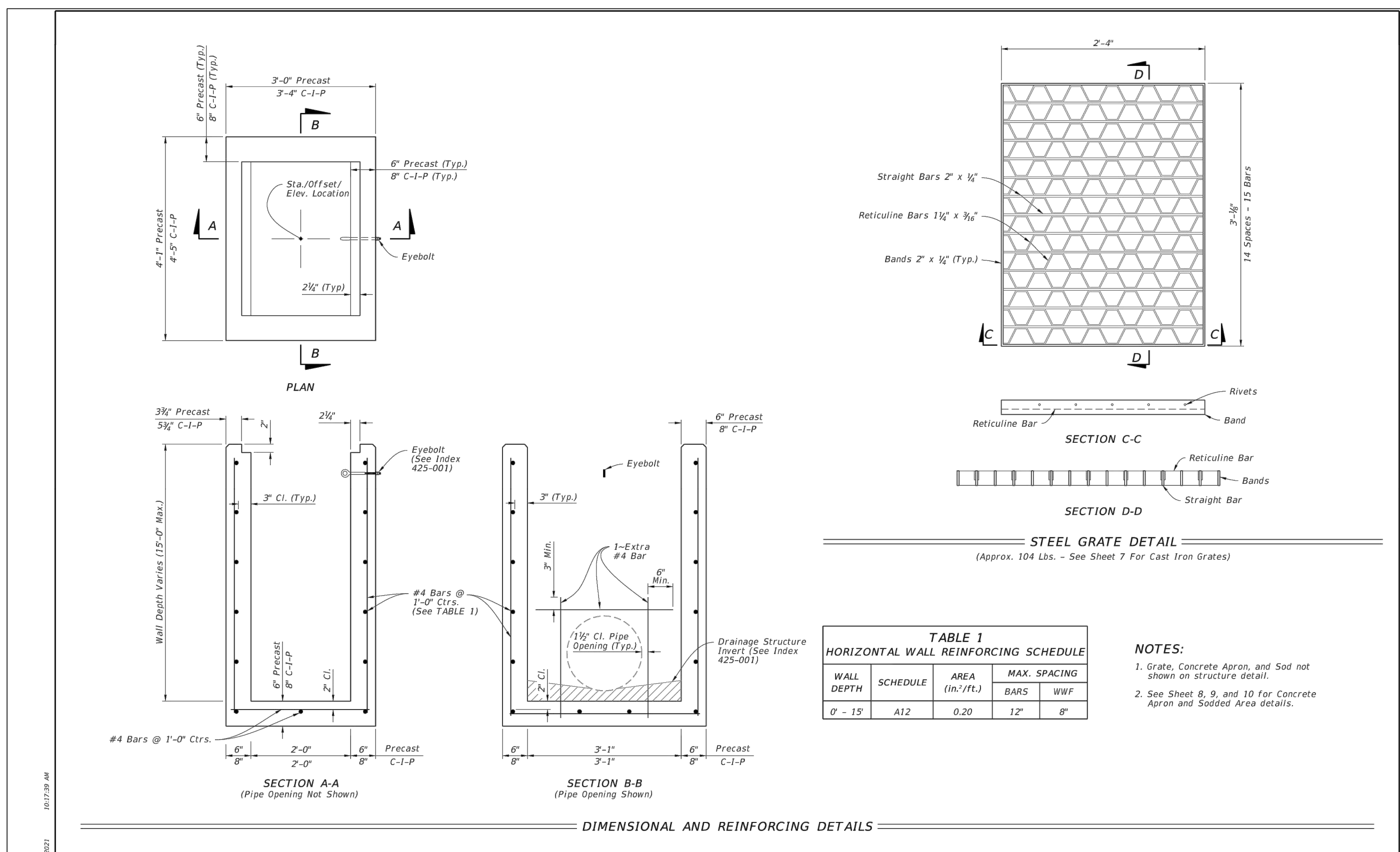
DESIGNED BY	SM/WRD
DRAWN BY	MRD
CHECKED BY	SM
APPROVED BY	SM

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
 CITY OF COCOA, FLORIDA  
 DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

**DRMP**  
 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS  
 Certificate of Authorization No. 2648  
 100 Palm Street Suite A, Merritt Island, FL 32953  
 Phone: 321.453.0010 Fax: 321.454.0883 WWW.DRMP.COM

**DRMP, Inc.**  
 PROFESSIONAL ENGINEER  
 JOSE GONZALEZ  
 LICENSE No. 84538  
 STATE OF FLORIDA  
 State of Florida # 84538  
 PROJECT NO.: 21-0509.001  
 SCALE: H:1" = 20' V:1" = 2'  
 DATE: NOVEMBER, 2020  
 DRAWING: **C11A**

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**TABLE 1  
HORIZONTAL WALL REINFORCING SCHEDULE**

WALL DEPTH	SCHEDULE	AREA (in./ft.)	MAX. SPACING BARS	WWR
0' - 15'	A12	0.20	12"	8"

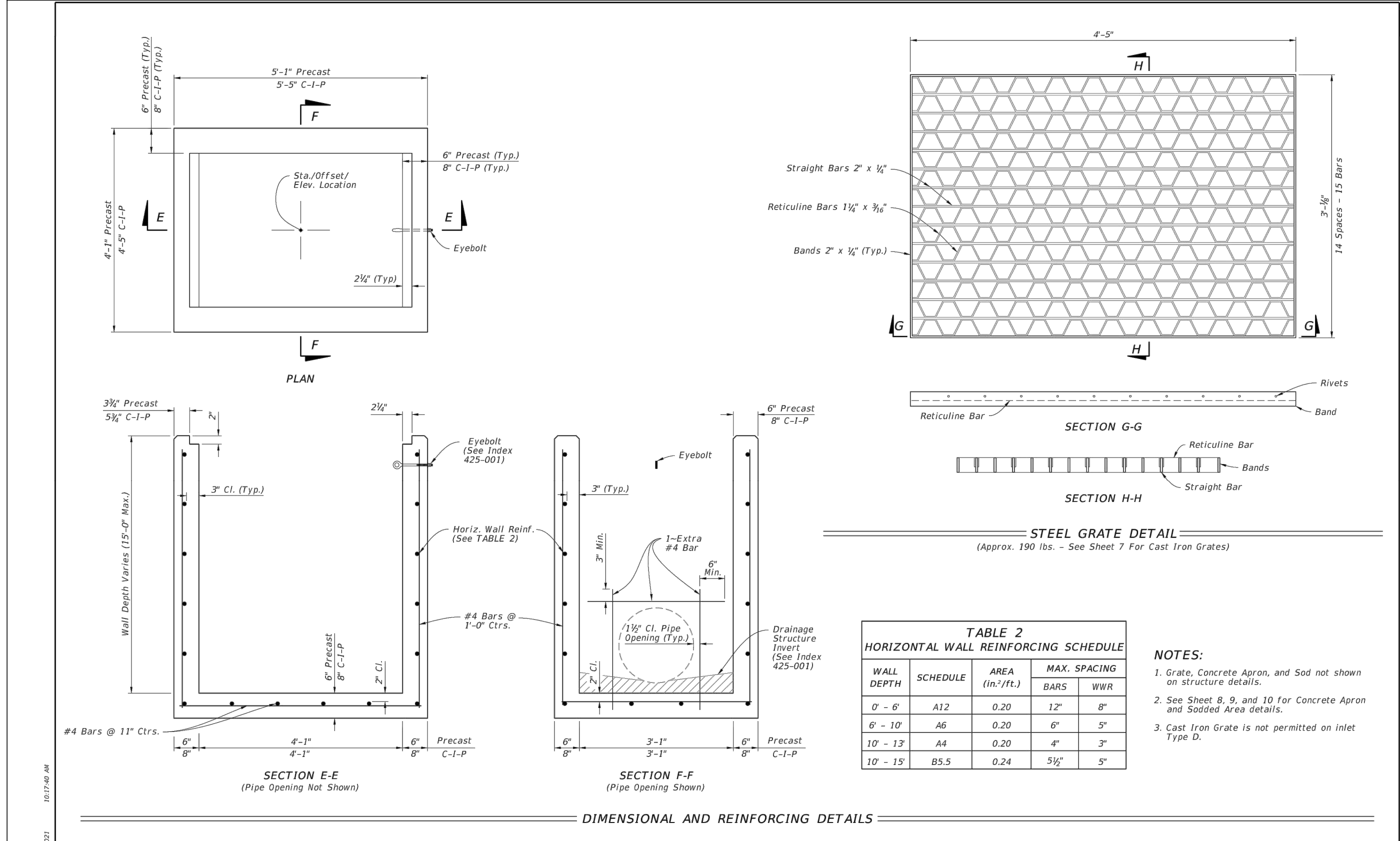
- NOTES:**
1. Grate, Concrete Apron, and Sod not shown on structure detail.
  2. See Sheet 8, 9, and 10 for Concrete Apron and Sodded Area details.

**TYPE C - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS**  
DITCH BOTTOM INLET TYPE C, D, E, AND H

LAST REVISION 11/01/20

DESCRIPTION: **FDOT** FY 2022-23 STANDARD PLANS

INDEX SHEET 425-052 2 of 14



**TABLE 2  
HORIZONTAL WALL REINFORCING SCHEDULE**

WALL DEPTH	SCHEDULE	AREA (in./ft.)	MAX. SPACING BARS	WWR
0' - 6'	A12	0.20	12"	8"
6' - 10'	A6	0.20	6"	5"
10' - 13'	A4	0.20	4"	3"
10' - 15'	B5.5	0.24	5 1/2"	5"

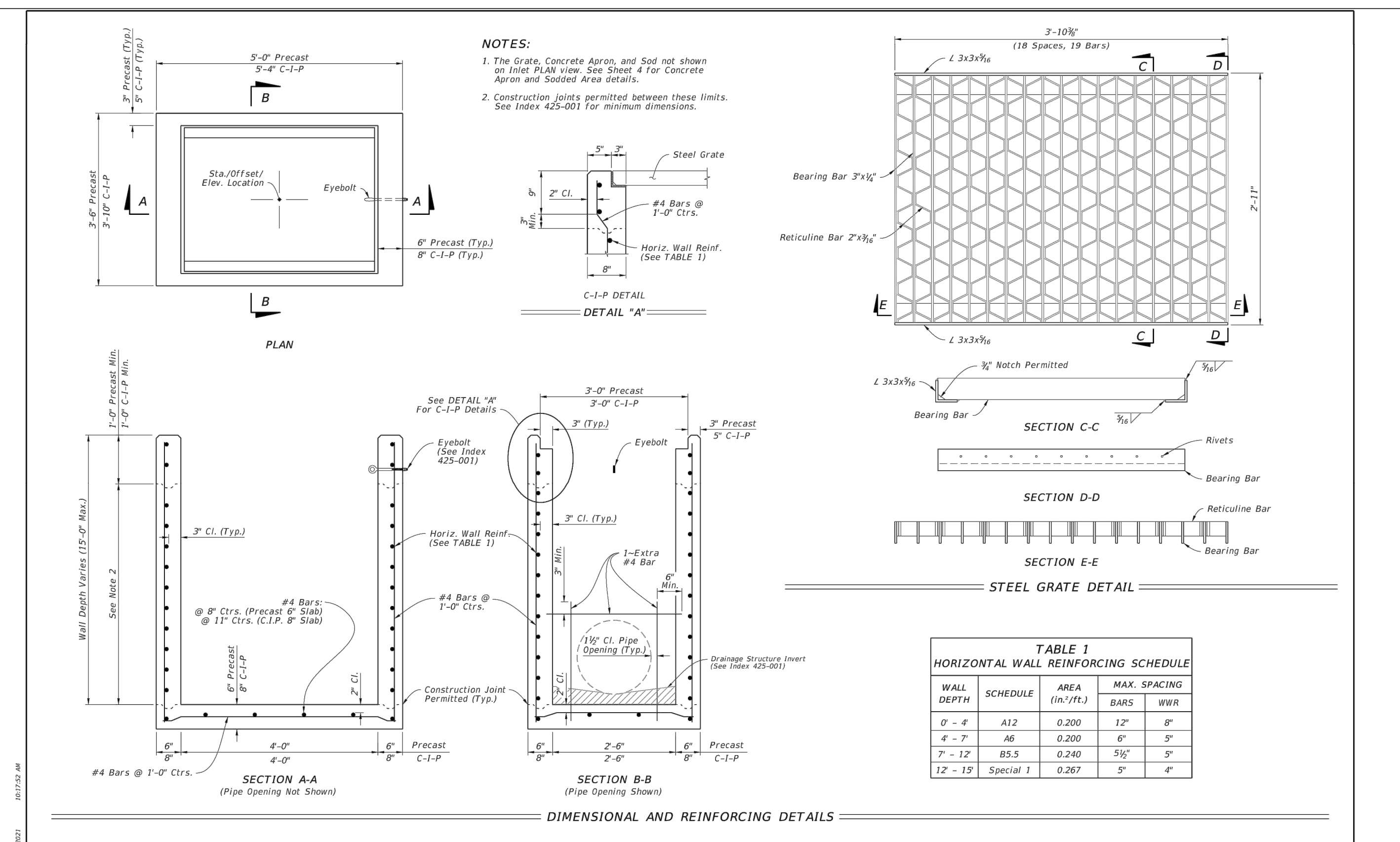
- NOTES:**
1. Grate, Concrete Apron, and Sod not shown on structure details.
  2. See Sheet 8, 9, and 10 for Concrete Apron and Sodded Area details.
  3. Cast Iron Grate is not permitted on inlet Type D.

**TYPE D - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS**  
DITCH BOTTOM INLET TYPE C, D, E, AND H

LAST REVISION 11/01/20

DESCRIPTION: **FDOT** FY 2022-23 STANDARD PLANS

INDEX SHEET 425-052 3 of 14



**TABLE 1  
HORIZONTAL WALL REINFORCING SCHEDULE**

WALL DEPTH	SCHEDULE	AREA (in./ft.)	MAX. SPACING BARS	WWR
0' - 4'	A12	0.200	12"	8"
4' - 7'	A6	0.200	6"	5"
7' - 12'	B5.5	0.240	5 1/2"	5"
12' - 15'	Special 1	0.267	5"	4"

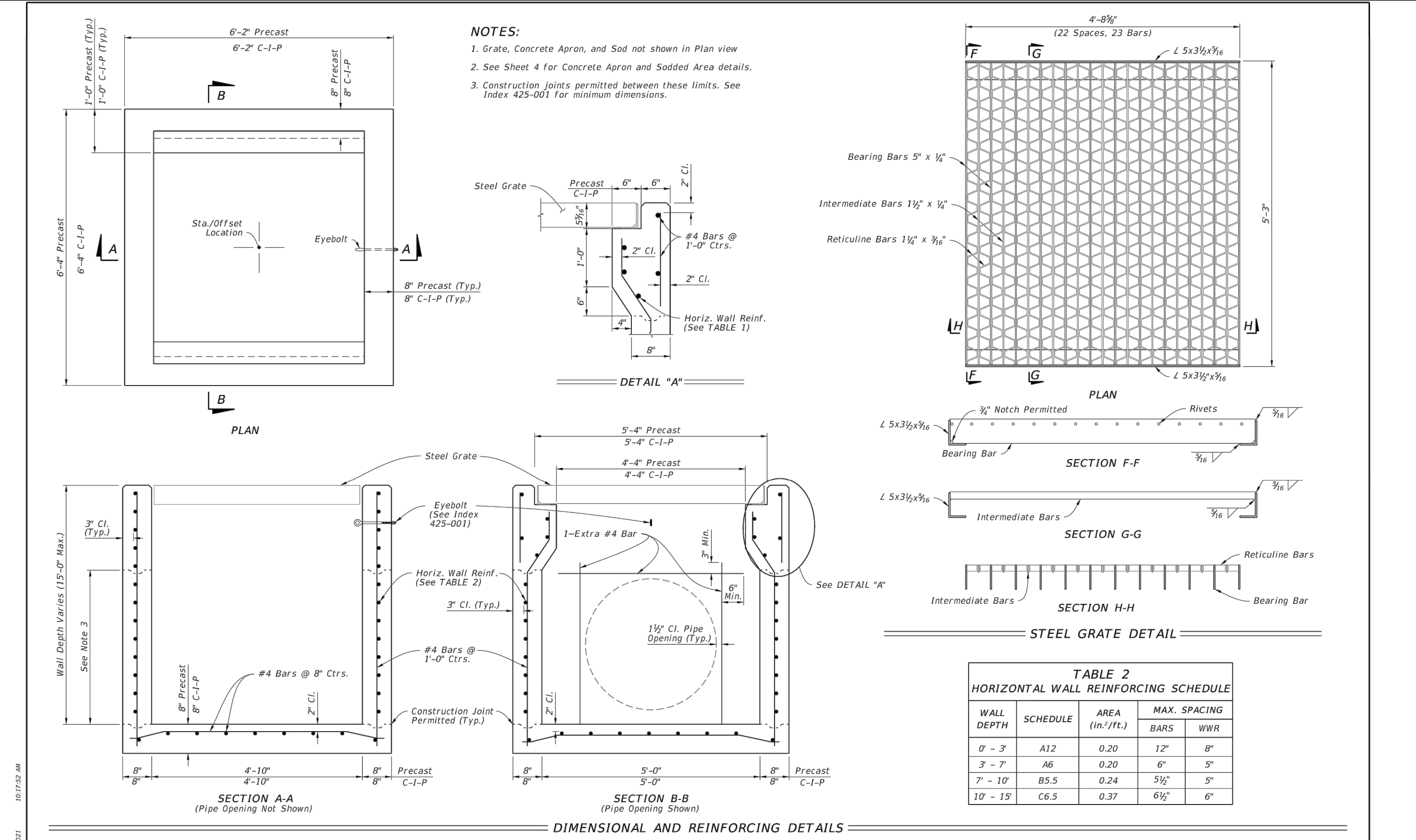
- NOTES:**
1. The Grate, Concrete Apron, and Sod not shown on Inlet PLAN view. See Sheet 4 for Concrete Apron and Sodded Area details.
  2. Construction joints permitted between these limits. See Index 425-001 for minimum dimensions.

**TYPE F - DIMENSIONAL, REINFORCING, AND GRATE DETAILS**  
DITCH BOTTOM INLET TYPE F AND G

LAST REVISION 11/01/20

DESCRIPTION: **FDOT** FY 2022-23 STANDARD PLANS

INDEX SHEET 425-053 2 of 4



**TABLE 2  
HORIZONTAL WALL REINFORCING SCHEDULE**

WALL DEPTH	SCHEDULE	AREA (in./ft.)	MAX. SPACING BARS	WWR
0' - 3'	A12	0.20	12"	8"
3' - 7'	A6	0.20	6"	5"
7' - 10'	B5.5	0.24	5 1/2"	5"
10' - 15'	C6.5	0.37	6 1/2"	6"

- NOTES:**
1. Grate, Concrete Apron, and Sod not shown in Plan view.
  2. See Sheet 4 for Concrete Apron and Sodded Area details.
  3. Construction joints permitted between these limits. See Index 425-001 for minimum dimensions.

**TYPE G - DIMENSIONAL, REINFORCING, AND GRATE DETAILS**  
DITCH BOTTOM INLET TYPE F AND G

LAST REVISION 11/01/20

DESCRIPTION: **FDOT** FY 2022-23 STANDARD PLANS

INDEX SHEET 425-053 3 of 4

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06/14/23	Per City Site Plan comments
2	05/02/23	Per Cocoa Utilities comments/add Master Meter
3	04/17/23	Per Cocoa Utilities comments/add waterline esm'l.
4	11/08/22	Per Site Plan Amendment No. 1
5	05/13/22	Per review agency comments
6	10/29/21	Per City comments

**SITE DETAILS**

**CONSTRUCTION PLANS FOR  
MIKE ERDMAN MOTORS,  
INC. OVERFLOW  
PARKING PARCEL  
CITY OF COCOA, FLORIDA**

**DRMP, Inc.**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Parcel Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.0885 WWW.DRMP.COM

STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

PROJECT NO.: 21-0509.001

SCALE: NTS

DATE: NOVEMBER, 2020

DRAWING: **C12**

- GENERAL NOTES:**
- Use Class II concrete.
  - Reinforcing steel is either Grade 40 or 60.
  - Endwalls may be cast in place or precast concrete. (Additional reinforcement necessary for handling precast units will be determined by the Contractor or the supplier).
  - Chamfer all exposed edges and corners to  $\frac{1}{4}$ ".
  - Endwall dimensions, locations and positions are for round and elliptical concrete pipe and for round and pipe-arch corrugated metal pipe. Round concrete pipe shown.
  - On outfall ditches with side slopes flatter than 1:1.5 provide 20' transitions from the endwall to the flatter side slopes, right of way permitting.
  - Construct front slope and ditch transitions in accordance with Index 430-001.
  - Quantities shown are for estimating purposes only.

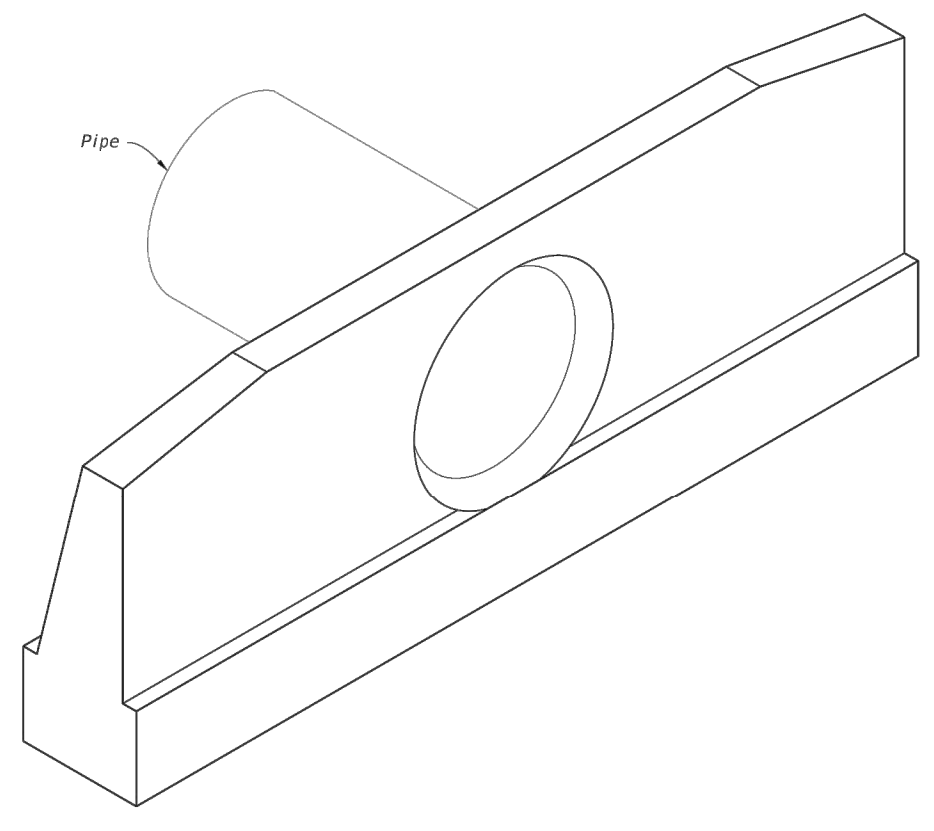


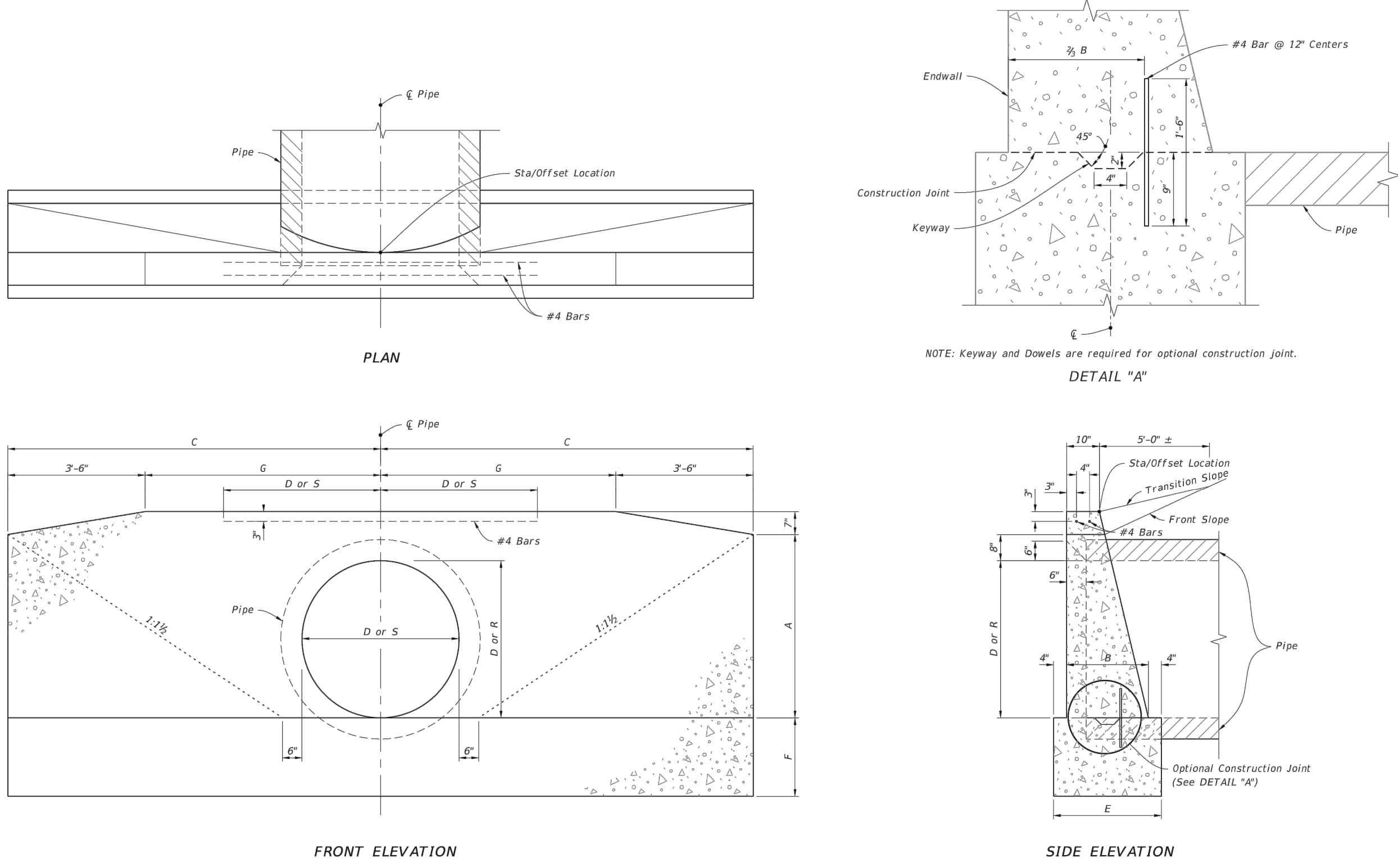
TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Concrete Endwall Details
3	Concrete and Metal Pipe Tables
4	Spacing For Multiple Pipes

ROUND CONCRETE AND CORRUGATED METAL PIPE																								
Dia D	Number Of Pipes	Dimensions										Class II Concrete (CY)												
		Number Of Pipe And Skew Angle Of Pipe (s)										Number Of Pipe And Skew Angle Of Pipe (s)												
		Single										Double												
15"	1-2	2.46	3.69	4.92	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
18"	1-2	3.54	5.31	7.08	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
21"	1-2	4.82	7.23	9.64	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
24"	1-2	6.28	9.42	12.56	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
27"	1-2	7.96	11.94	15.92	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
30"	1-2	9.82	14.73	19.64	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
36"	1-2	14.14	21.21	28.28	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
42"	1-2	19.24	28.86	38.48	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
48"	1-2	25.14	37.71	50.28	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
54"	1-2	31.80	47.70	63.60	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°

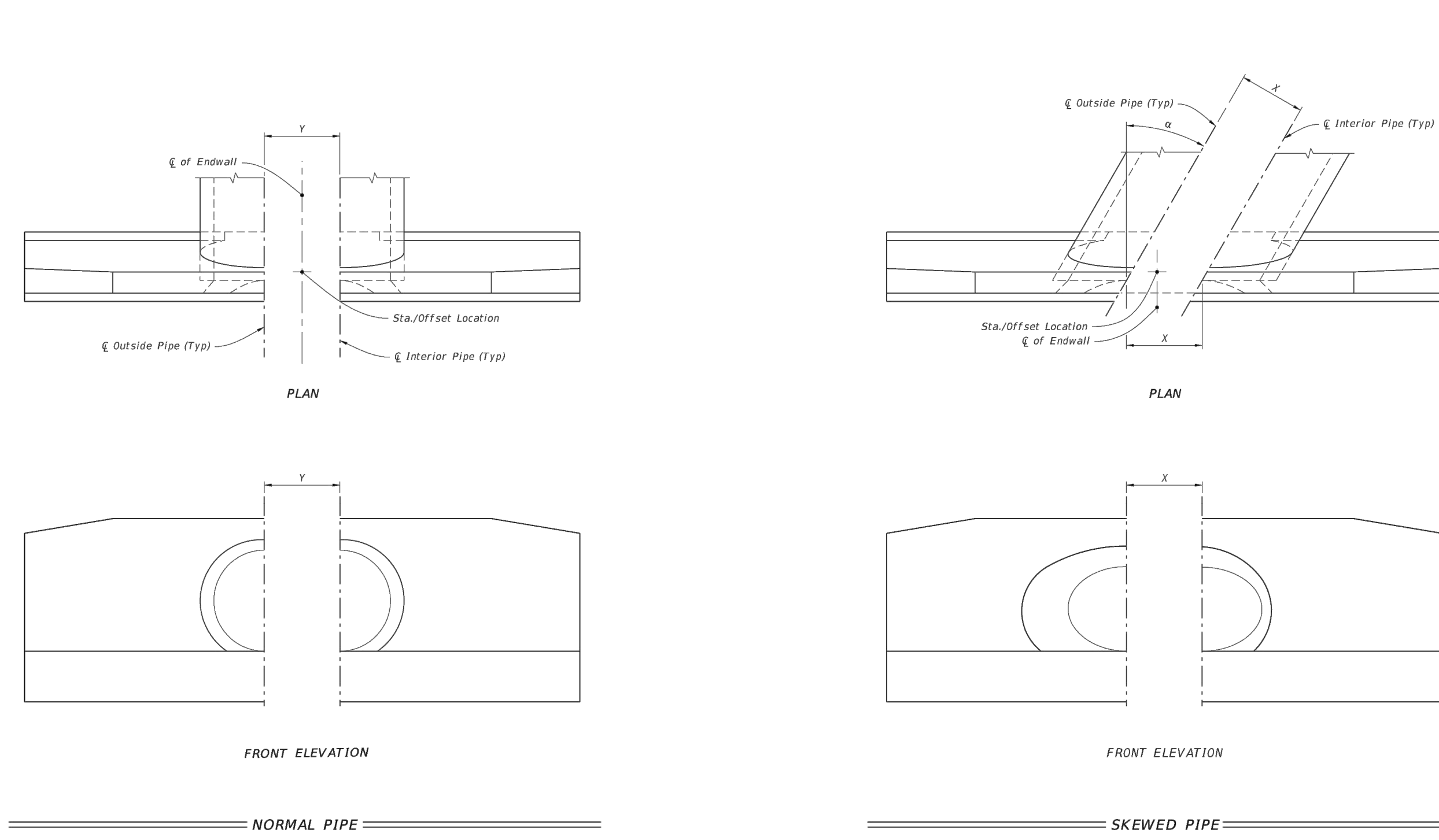
ELLIPTICAL CONCRETE AND CORRUGATED METAL PIPE ARCH																									
Rise R	Span S	Dimensions										Class II Concrete (CY)													
		Number Of Pipes										Number Of Pipe And Skew Angle Of Pipe (s)													
		Single										Double													
12"	18"	1.8	5.6	9.9	5.2	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
14"	23"	1.8	5.6	9.9	5.2	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
16"	30"	2.3	6.6	9.9	13.2	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
20"	38"	3.1	10.2	15.3	20.4	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
24"	45"	4.1	14.8	22.2	29.6	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
30"	55"	5.2	20.4	30.6	40.8	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
36"	66"	6.5	25.8	38.7	51.6	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
42"	78"	8.0	31.2	46.8	62.4	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
48"	90"	9.5	36.6	55.2	73.6	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
54"	102"	11.0	42.0	63.6	84.8	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
60"	114"	12.5	48.0	72.0	96.0	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
66"	126"	14.0	54.0	81.0	108.0	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°
72"	138"	15.5	60.0	90.0	120.0	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°	1-10°	1-20°	1-30°	1-45°

- NOTES:**
- Dimension X is calculated as:  $X = 5^{\circ} \text{SEC } \alpha$ .
  - Select tabular quantities using skew values as follows:  
End Skew to Pipe Use Tabulated Value  
0° to 5° 0'  
6° to 15° 0'  
16° to 30° 0'  
31° or Over 45°

CONCRETE AND METAL PIPE TABLES



CONCRETE ENDWALL DETAILS



- LEGEND:**
- $\alpha$  Pipe Skew Angle
  - S Center to Center between pipes
  - X Center to Center along Front of Headwall

SPACING FOR MULTIPLE PIPES

LAST REVISION 11/01/21	DESCRIPTION:	FDOT	FY 2022-23 STANDARD PLANS	STRAIGHT CONCRETE ENDWALLS SINGLE AND MULTIPLE PIPE	INDEX 430-030	SHEET 1 of 4
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LAST REVISION 11/01/19	DESCRIPTION:	FDOT	FY 2022-23 STANDARD PLANS	STRAIGHT CONCRETE ENDWALLS SINGLE AND MULTIPLE PIPE	INDEX 430-030	SHEET 2 of 4
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LAST REVISION 11/01/21	DESCRIPTION:	FDOT	FY 2022-23 STANDARD PLANS	STRAIGHT CONCRETE ENDWALLS SINGLE AND MULTIPLE PIPE	INDEX 430-030	SHEET 3 of 4
------------------------	--------------	------	---------------------------	---	---------------	--------------

LAST REVISION 11/01/19	DESCRIPTION:	FDOT	FY 2022-23 STANDARD PLANS	STRAIGHT CONCRETE ENDWALLS SINGLE AND MULTIPLE PIPE	INDEX 430-030	SHEET 4 of 4
------------------------	--------------	------	---------------------------	---	---------------	--------------

R E V I S I O N S

NO.	DATE	DESCRIPTION	BY
1	06/14/23	Per City Site Plan comments	MRD
2	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
3	04/17/23	Per Cocoa Utilities comments/add waterline esm't.	MRD
4	11/08/22	Per Site Plan Amendment No. 1	MRD
5	05/13/22	Per review agency comments	MRD
6	10/29/21	Per City comments	MRD

DESIGNED BY: SAN/WRD  
DRAWN BY: MRD  
CHECKED BY: SAN  
APPROVED BY: SAN

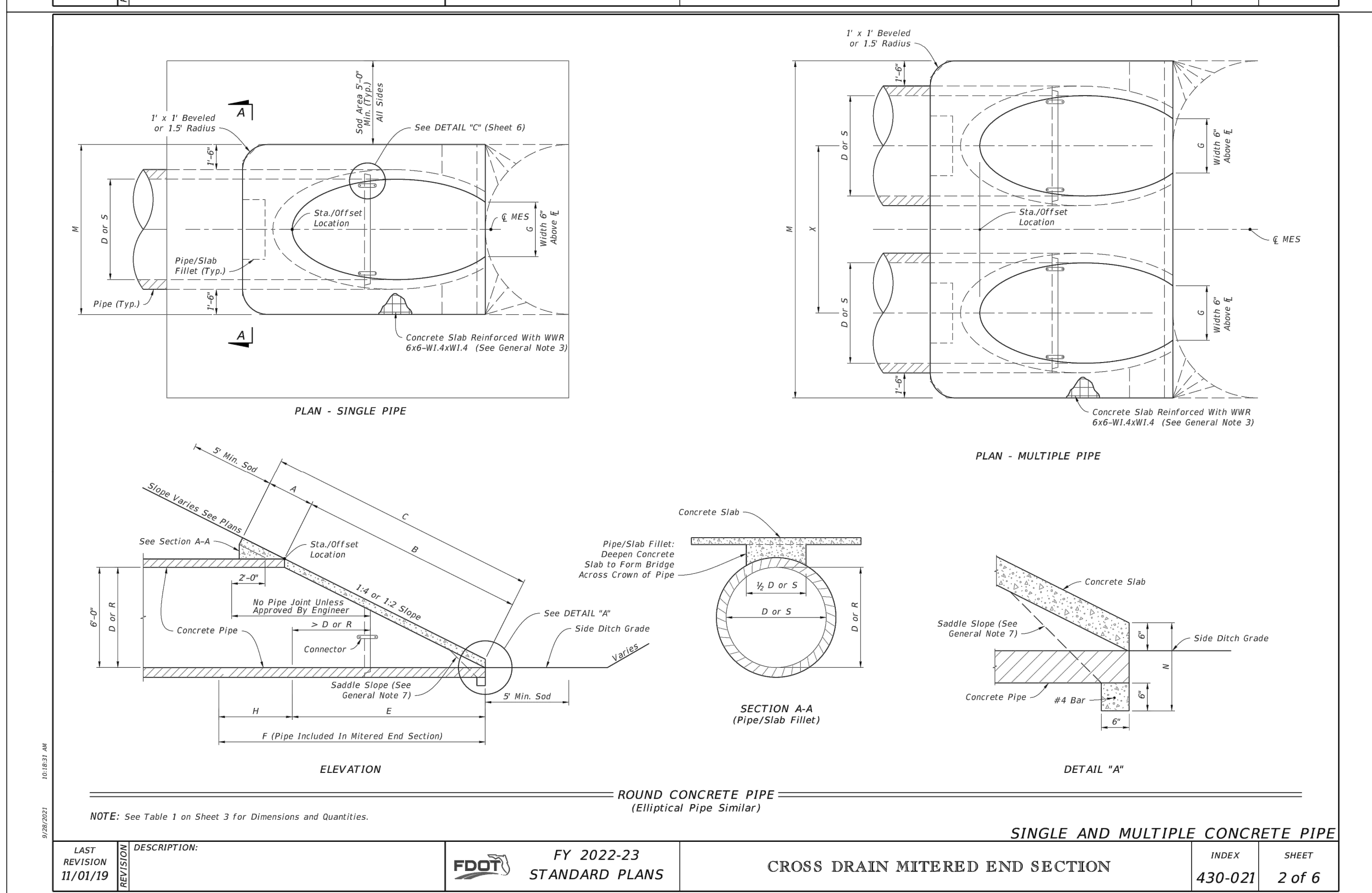
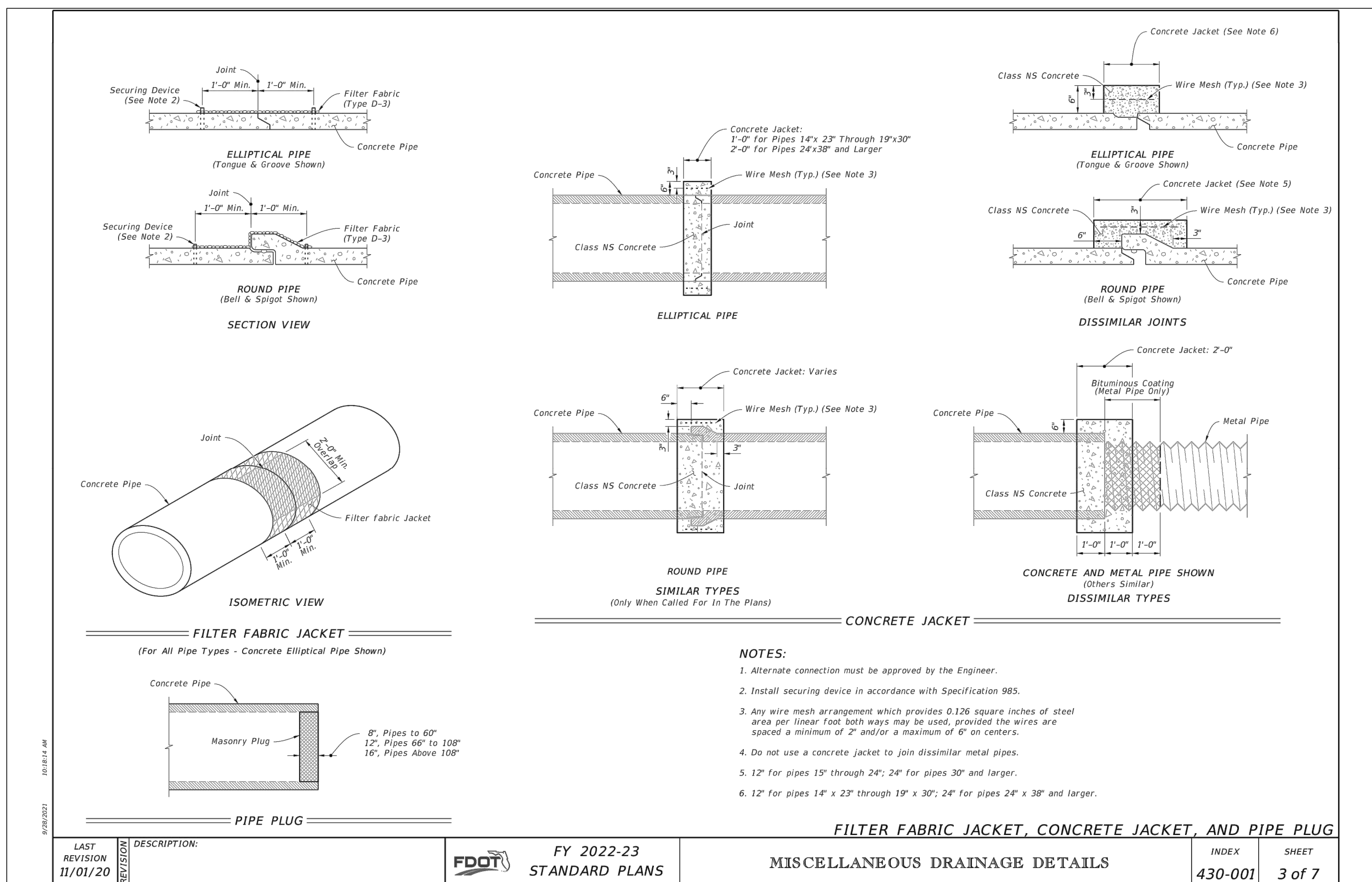
SITE DETAILS  
DIMENSIONS AND NOTES TAKE PREFERENCE

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA  
DO NOT SCALE THIS DRAWING -

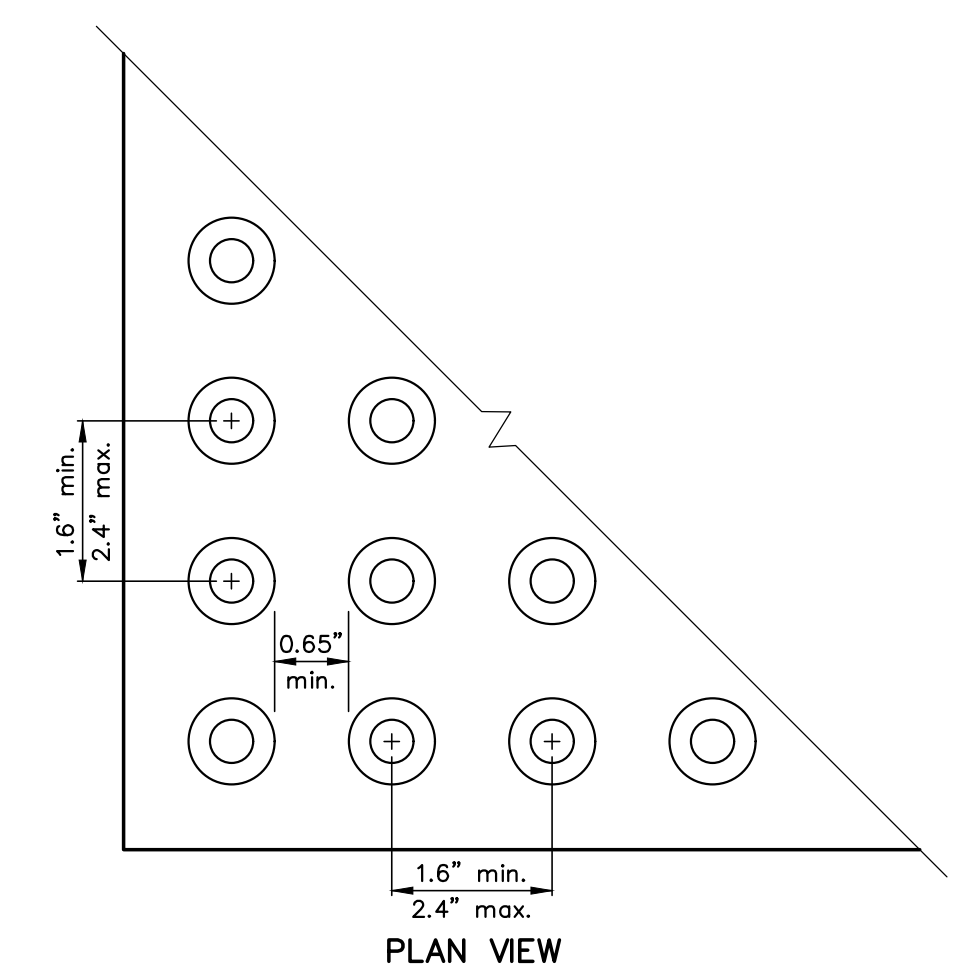
**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS  
Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
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DRMP, Inc.  
No. 84538  
STATE OF FLORIDA  
Professional Engineer  
State of Florida # 84538  
PROJECT NO.: 21-0509.001  
SCALE: NTS  
DATE: NOVEMBER, 2020  
DRAWING: **C13**

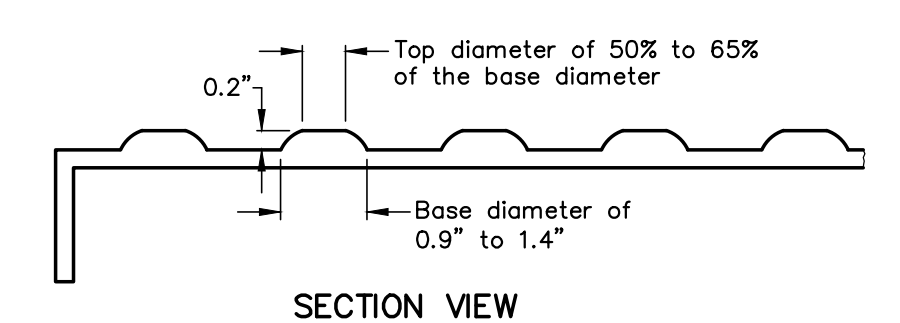
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PLAN VIEW

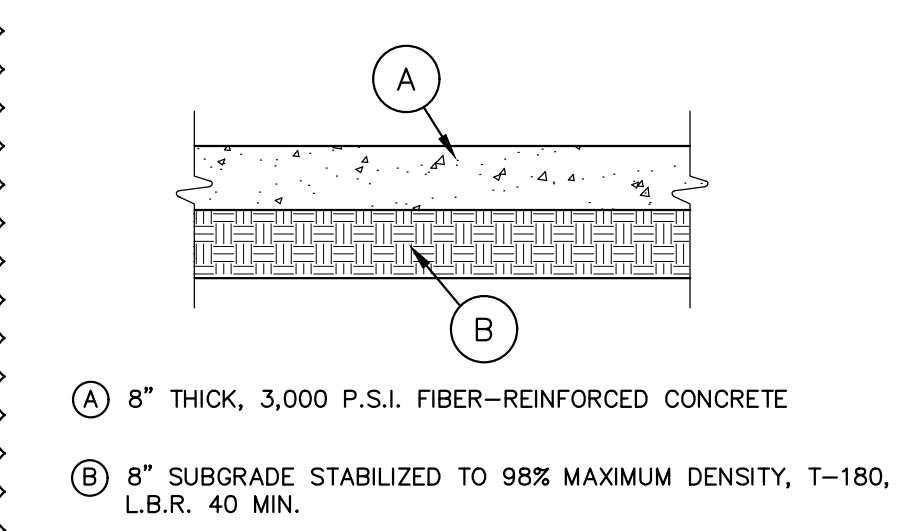


SECTION VIEW

- NOTES**
- All detectable warnings (truncated domes) shall be brick red (in color), cast-in-place (not surface applied), and shall comply with FDOT's APL (Approved Products List).
  - Reference FDOT Design Standards Indexes 304 and 310.
  - Detectable warnings shall extend the full width of the ramp/sidewalk and to a longitudinal depth of 2 feet. Detectable warnings shall be constructed in accordance with FDOT Specifications Section 527. For the layout of detectable warnings, refer to FDOT Index 304 (typical placement of detectable warnings details). Detectable warnings shall not be provided on transition slopes.
  - When detectable warnings are placed on a slope greater than 5%, domes shall be aligned with the centerline of the ramp; otherwise domes are not required to be aligned.
  - Detectable warnings acceptance criteria:
    - Color and texture shall be complete and uniform.
    - 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
    - There shall be no more than 4 non-compliant domes in any one square foot.
    - Non-compliant domes shall not be adjacent to other non-compliant domes.
    - Surfaces shall not deviate more than 0.10" from a true plane.
  - Detectable warnings shall be installed no greater than 5 feet from the back of curb or edge of pavement.
  - Detectable warnings shall not be installed over grade breaks.
  - Refer to the site construction plans for locations of detectable warnings.

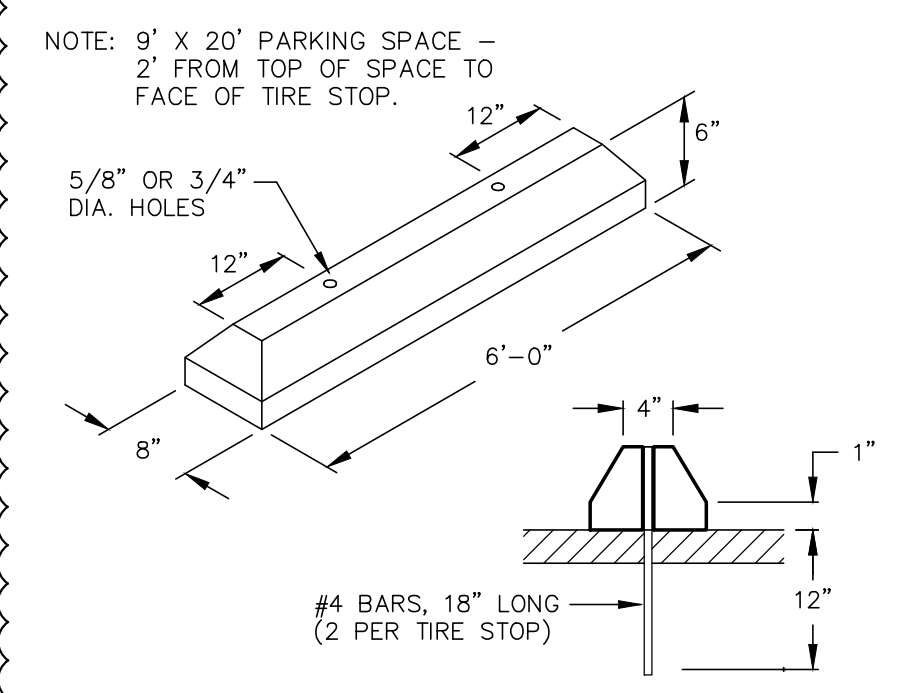
**DETECTABLE WARNINGS**

N.T.S.



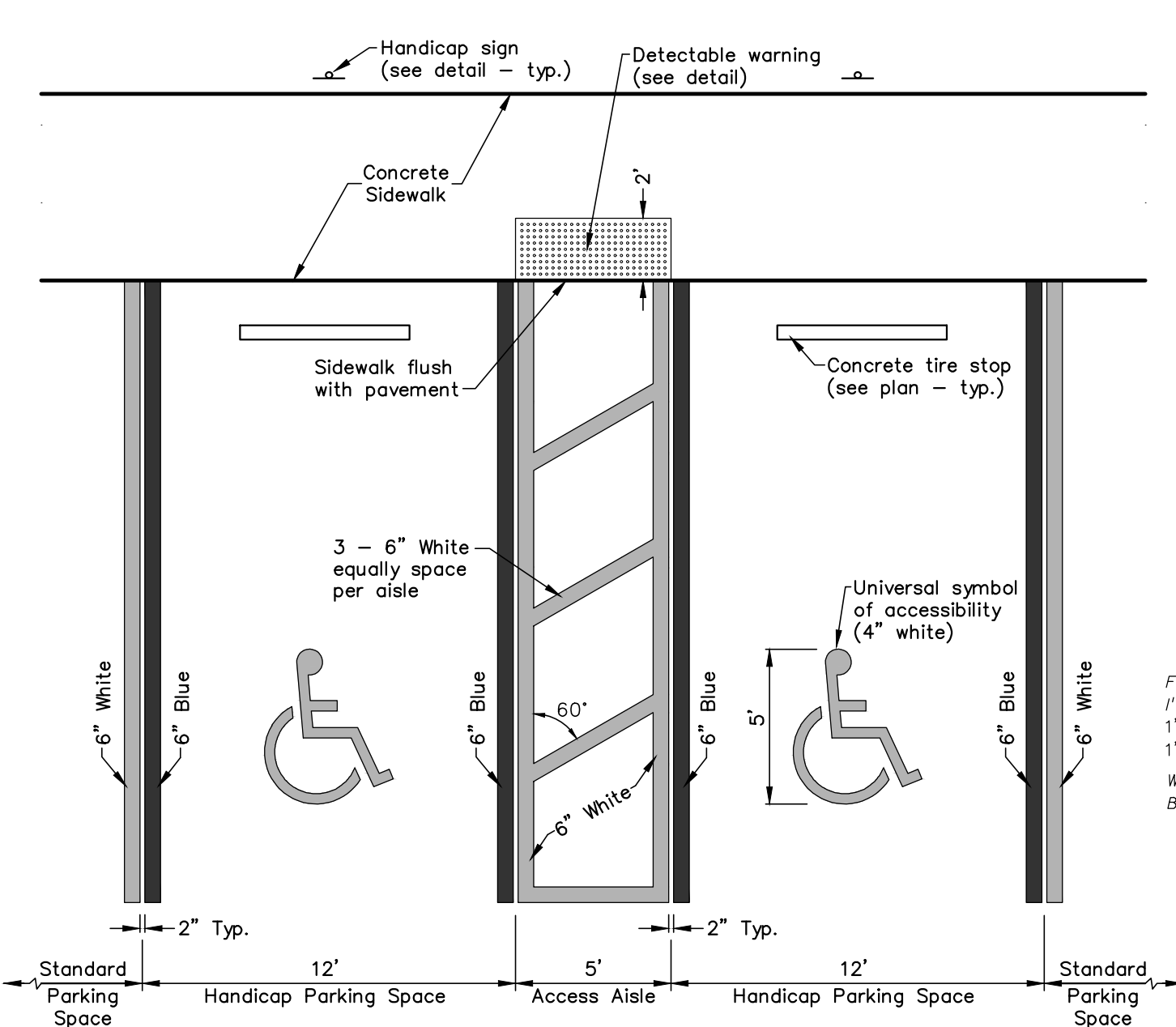
**CONCRETE PVMT. SPECS.**

N.T.S.



**CONCRETE TIRE STOP**

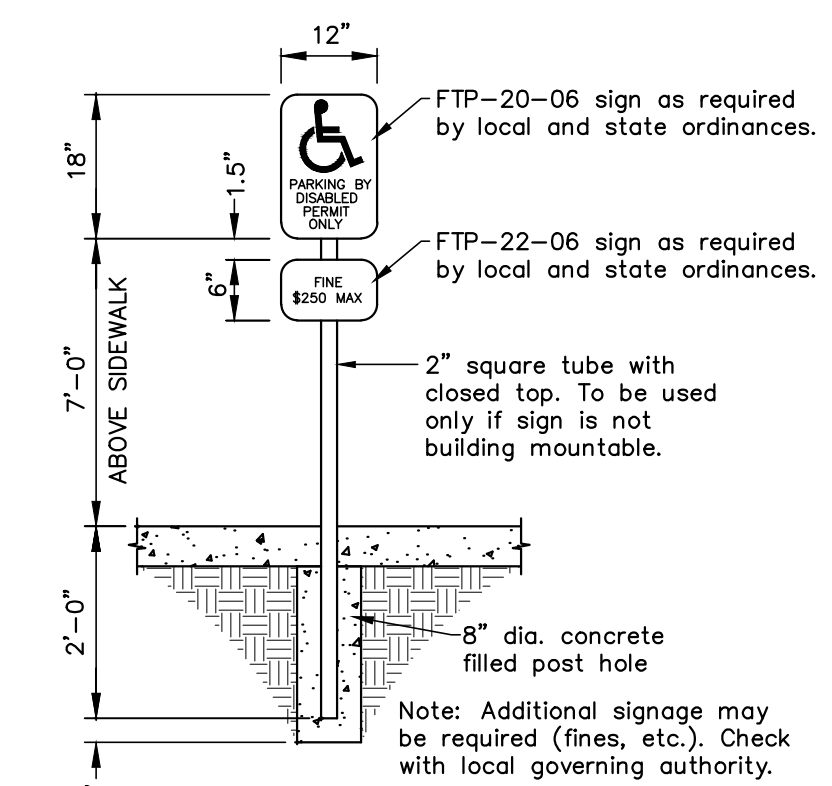
N.T.S.



**HANDICAP PAVEMENT MARKINGS**

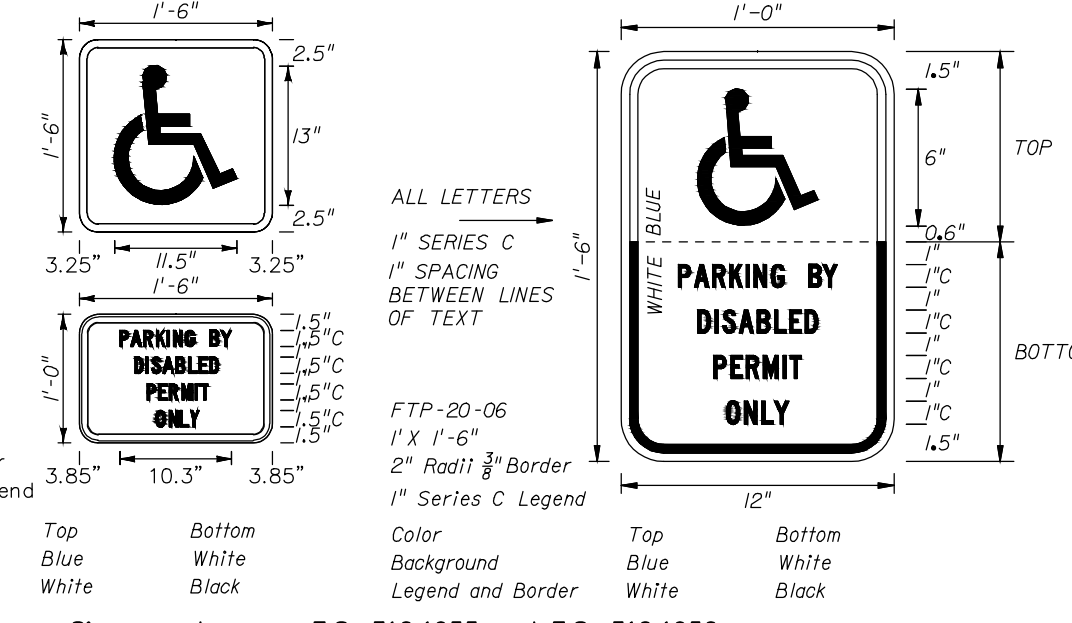
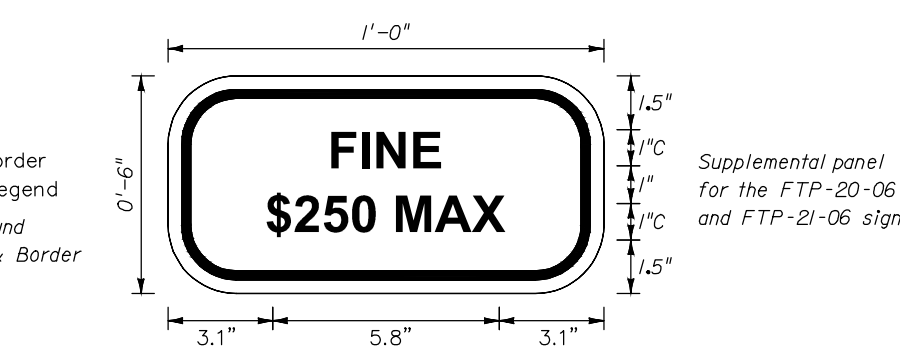
N.T.S.

- NOTES:**
- Ref. FDOT Index no. 17346 and 17355.
  - This detail is for pavement markings only. Refer to plans for locations of ramps, handicap parking space(s), and sidewalk/curb configurations.
  - Blue pavement markings shall be tinted to match shade 15180 of Federal Standards 595a.
  - All handicap ramps (20:1 or steeper) and surfaces of sidewalk ends that connect to, and are flush with, vehicular travelways, shall have detectable warnings per current Americans with Disabilities Act (ADA), Florida Accessibility Code (FAC), and FDOT requirements.



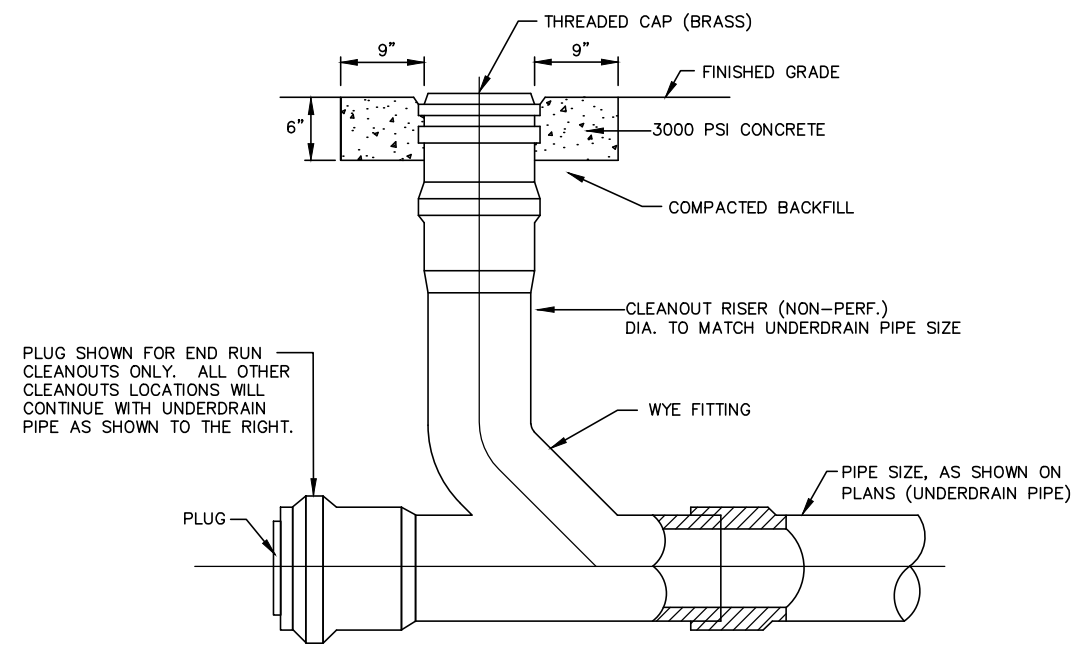
**HANDICAP SIGN**

N.T.S.



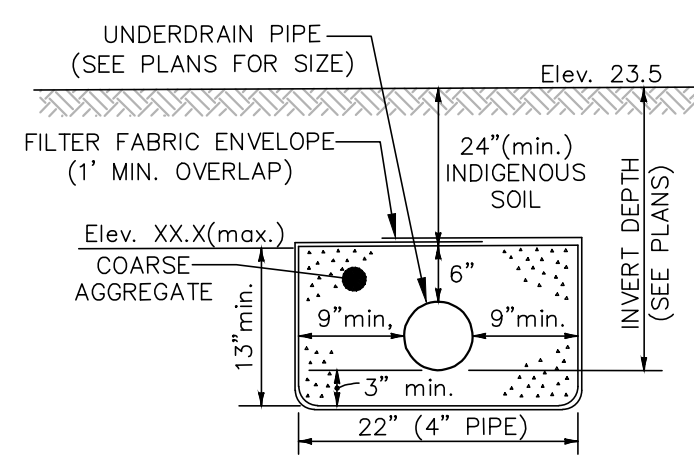
**PARKING BY DISABLED & FINE SIGNS**

N.T.S.



**UNDERDRAIN CLEANOUT**

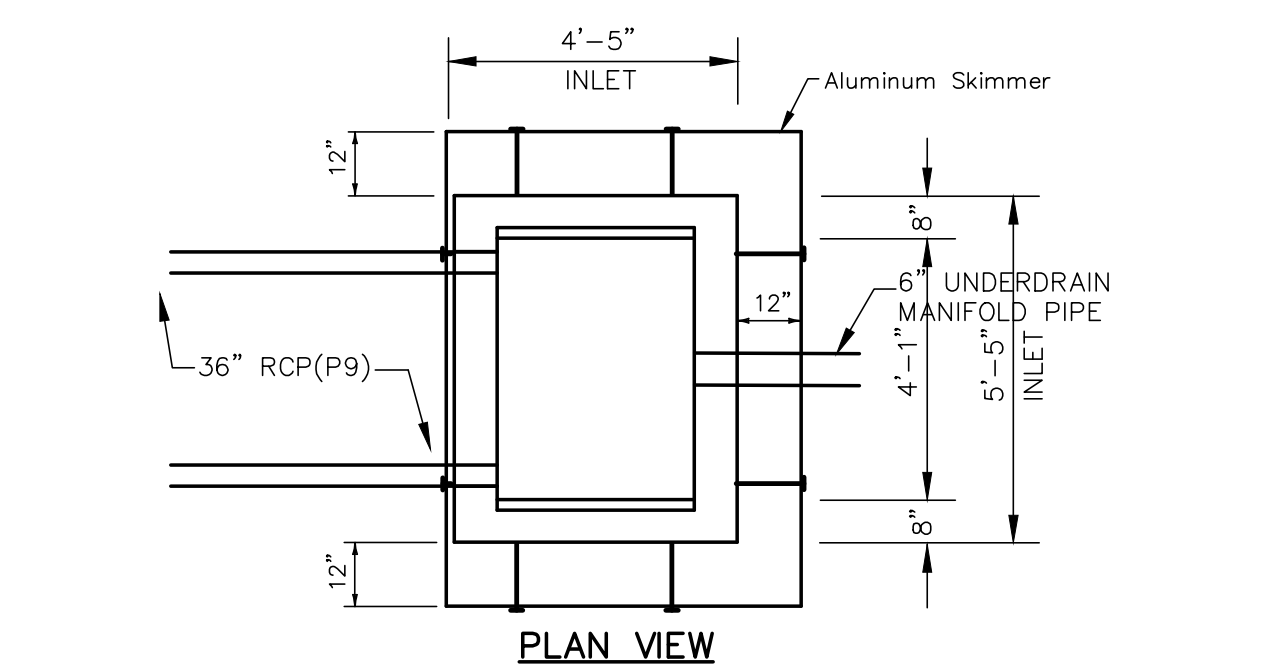
N.T.S.



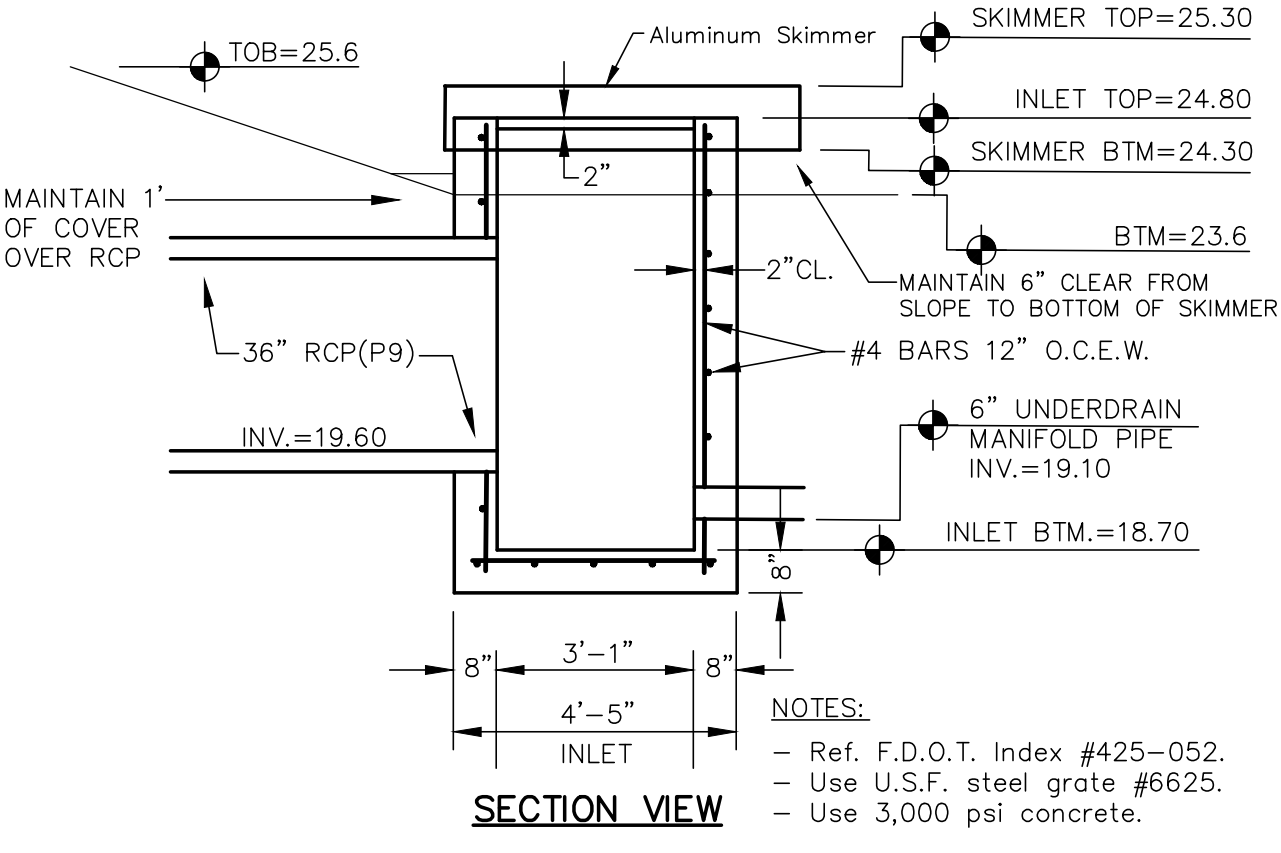
**FDOT TYPE II MODIFIED UNDERDRAIN SECTION**

N.T.S.

- NOTES:**
- Ref. FDOT Index #440-001 (Type II Underdrain).
  - Coarse aggregate shall be gravel or stone meeting the requirements of Sections 901-2 or 901-3. The gradation shall meet Section 901, Grades 4, 467, 5, 56 or 57 stone unless otherwise shown restricted in the plans.
  - Underdrain shall be in accordance with Section 440.
  - Filter fabric shall be Type D-3 (per Specifications 985).
  - All filter fabric joints shall overlap a minimum of one foot.



PLAN VIEW

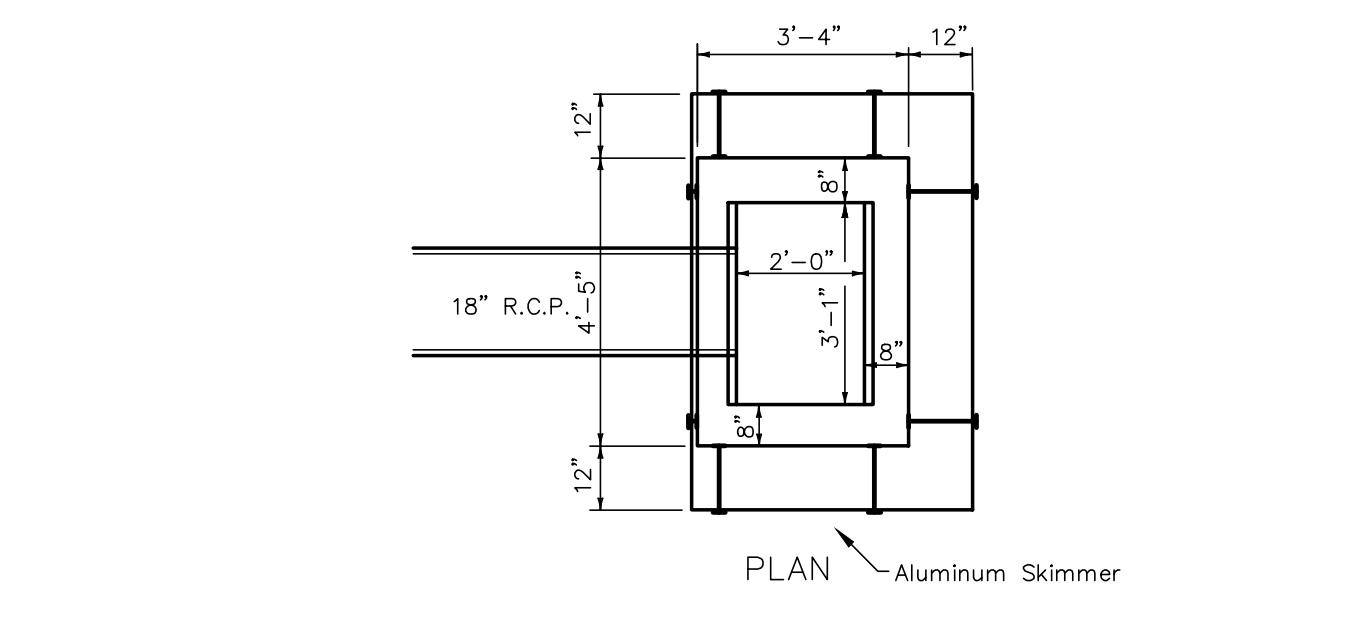


SECTION VIEW

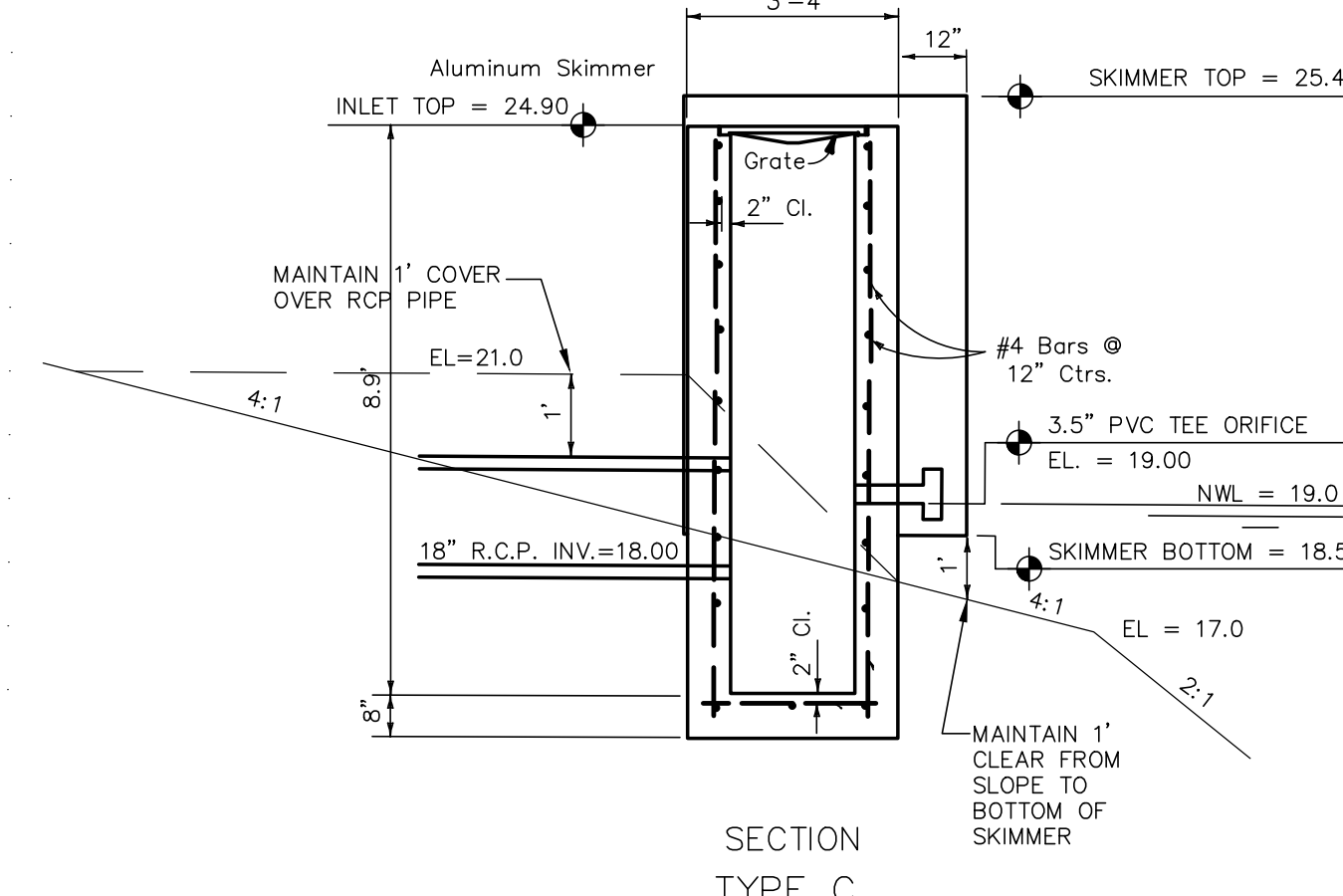
**TYPE 'D' OVERFLOW STRUCTURE (S13)**

N.T.S.

- NOTES:**
- Ref. F.D.O.T. Index #425-052.
  - Use U.S.F. steel grate #625.
  - Use 3,000 psi concrete.



PLAN

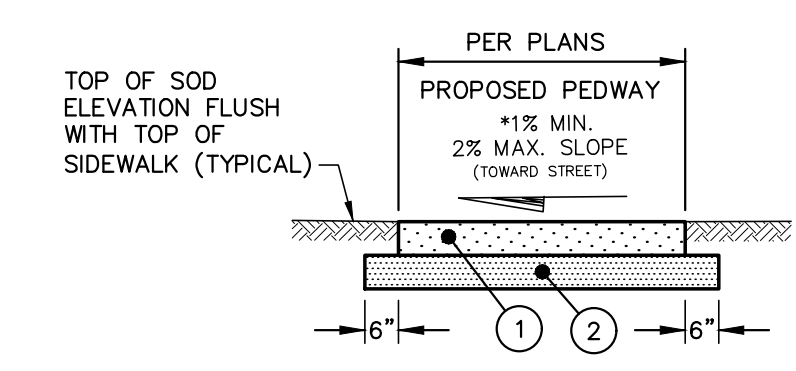


SECTION TYPE C

**TYPE 'C' OUTFALL BOX DETAIL (S14)**

N.T.S.

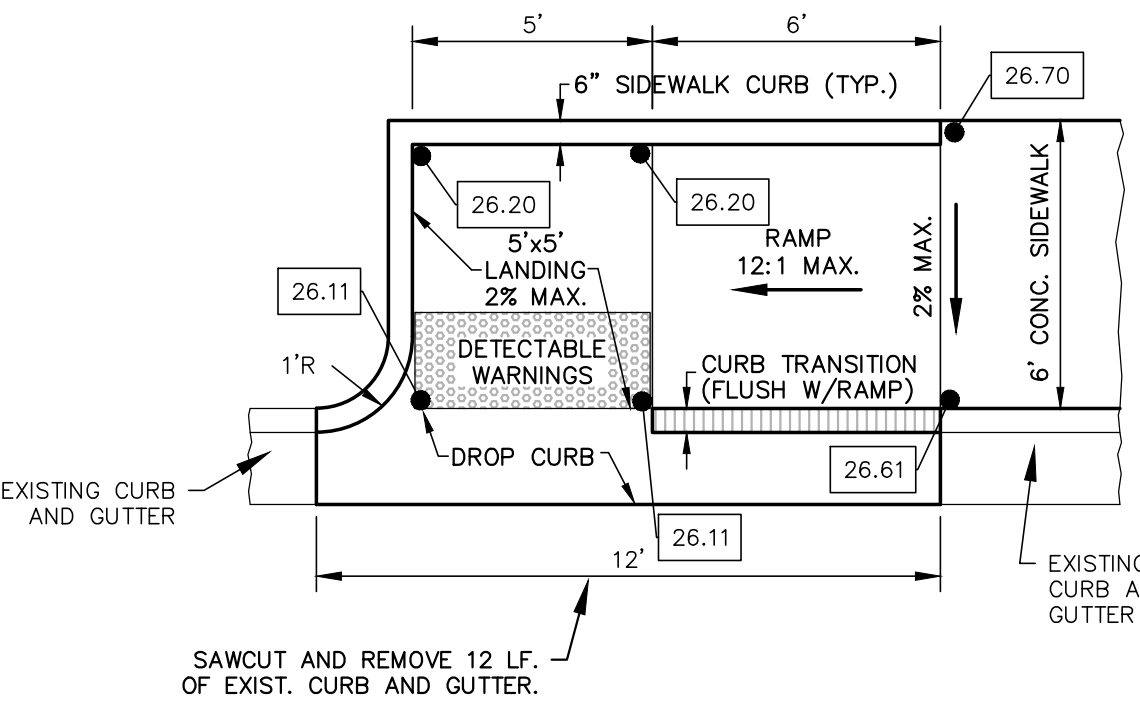
- NOTES:**
- Ref. D.O.T. index #232
  - Use U.S.F. steel grate #6610
  - Use 3000 p.s.i. concrete



**TYPICAL SIDEWALK SECTION**

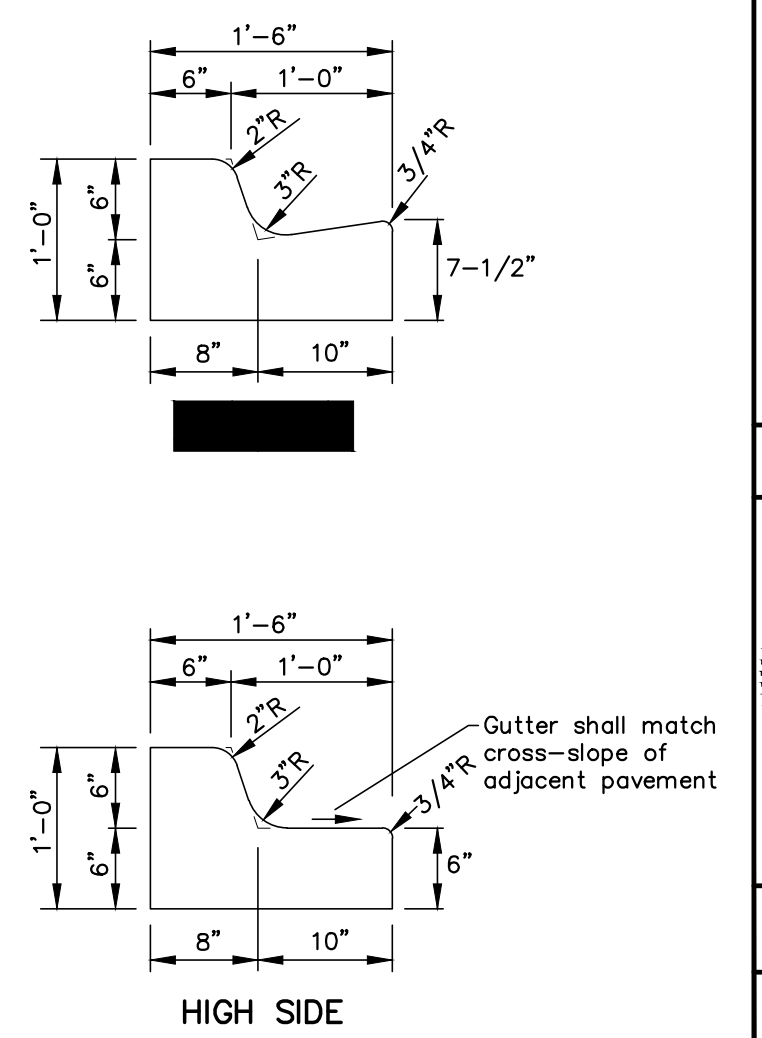
N.T.S.

- STANDARD:**
- 1.5" SUPERPAVE SP-12.5, TRAFFIC C, PER FDOT SPECIFICATIONS.
  - 6" LIMEROCK OR CEMENTED COQUINA BASE, MIN. LBR 100 COMPACTED TO MIN. 98% DENSITY PER AASHTO T-180.
  - 8" TYPE B STABILIZED SUBGRADE, MIN. LBR 40 COMPACTED TO MIN. 98% DENSITY PER AASHTO T-180.
- HEAVY DUTY:**
- 2" SUPERPAVE SP-12.5, TRAFFIC C, PER FDOT SPECIFICATIONS.
  - 8" LIMEROCK OR CEMENTED COQUINA BASE, MIN. LBR 100 COMPACTED TO MIN. 98% DENSITY PER AASHTO T-180.
  - 12" TYPE B STABILIZED SUBGRADE, MIN. LBR 40 COMPACTED TO MIN. 98% DENSITY PER AASHTO T-180.
- ON-SITE ASPHALT PVMT. SPECS.**
- N.T.S.



**SIDEWALK CURB RAMP**

N.T.S.



**MOD. TYPE F CURB & GUTTER**

N.T.S.

- NOTES:**
- Use 3,000 psi (min.) concrete.

NO.	DATE	DESCRIPTION
1	06/14/23	Per City Site Plan comments
2	05/02/23	Per Cocoa Utilities comments/add Master Meter
3	04/17/23	Per Cocoa Utilities comments/add waterline esm'l.
4	11/08/22	Per Site Plan Amendment No. 1
5	05/13/22	Per review agency comments
6	10/29/21	Per City comments

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
SM/WRD	MRD	SM	SM

**SITE DETAILS**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.0885 WWW.DRMP.COM

**DRMP, Inc.**

Professional Seal: JOSE GONZALEZ, LICENSE No. 84538, STATE OF FLORIDA, PROFESSIONAL ENGINEER

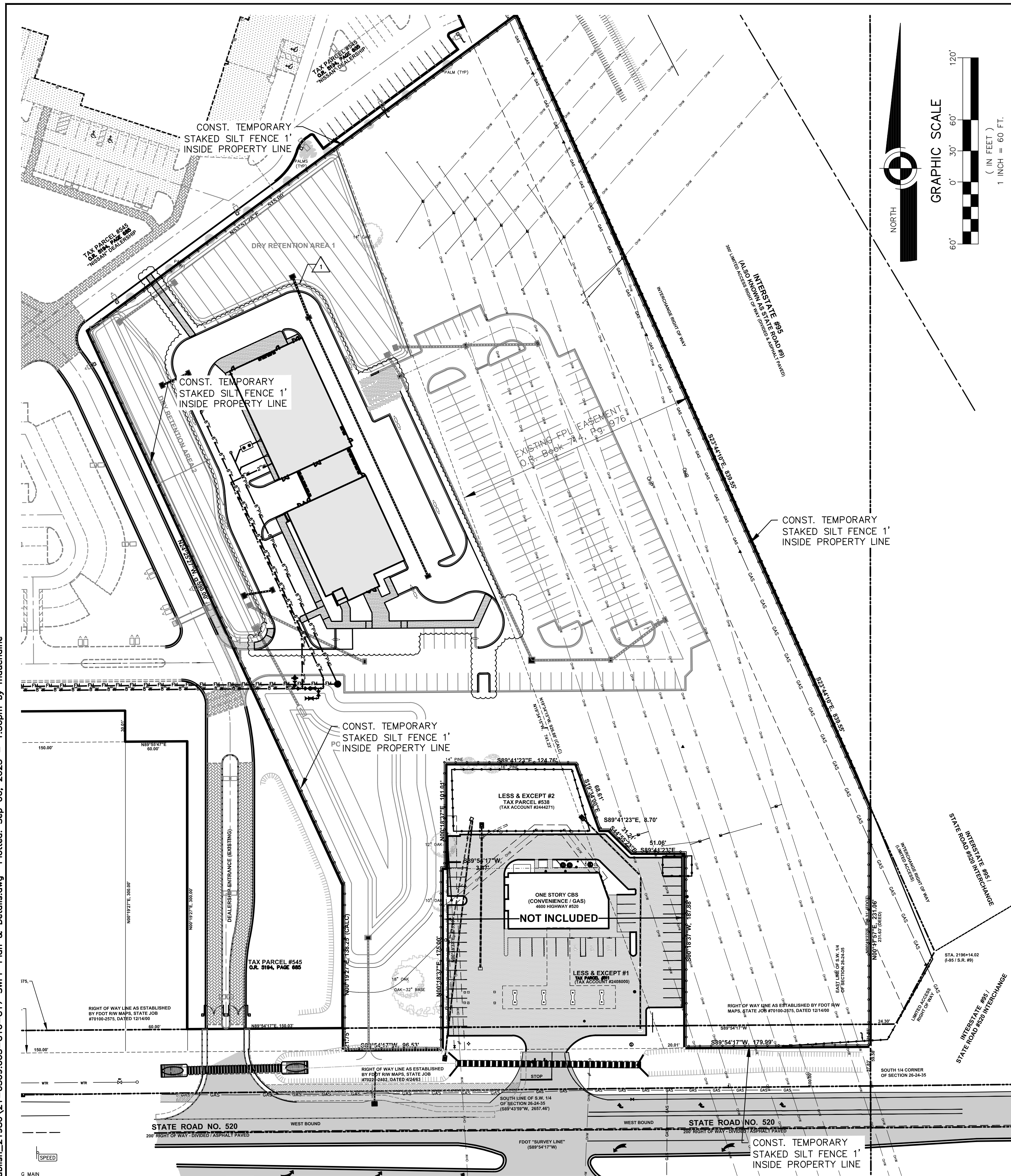
PROJECT NO.: 21-0509.001

SCALE: NTS

DATE: NOVEMBER, 2020

DRAWING: **C15**

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MASTER SITE DRAINAGE AND TEMPORARY DEWATERING PLAN

NOTE: For a description of soils types and anticipated discharge rates for the stormwater management system, see separate drainage calculations booklet.

**STORMWATER TEAM**  
 : Weekly and/or 1/2 inch rain event inspections; BMEG by Shanda Ryer, NPDES Inspector #24543  
 : Daily Site Monitoring; (name of company) by (name of person), Superintendent  
 : Routine Maintenance & Repair; (name of company) by (name of person), Project Manager

DESCRIPTION OF STANDARD SITE CONTROLS AND BEST MANAGEMENT PRACTICES

- Erosion and Sediment Controls.
  - Stabilization Practices are required to be routinely implemented by the Contractor. The Contractor should ensure that existing vegetation is preserved where possible and that disturbed portions of the site are stabilized. Stabilization practices may include: temporary seeding, permanent seeding, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, preservation of mature vegetation, and other appropriate measures. A record of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated, shall be maintained by the Contractor. Stabilization measures shall be initiated as soon as practicable, but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.
  - The Contractor is responsible for the permanent structural practices necessary to divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, and temporary or permanent sediment basins. Structural BMPs shall be placed on upland soils unless a State of Florida wetland resource management permit or environmental resource permit issued pursuant to Chapter 373, FS, and applicable regulations of the FDEP or WMD authorize otherwise. The installation of these devices may be subject to Section 404 of the CWA.
  - For common drainage locations that serve an area with more than 10 disturbed acres at one time, a temporary (or permanent) sediment basin providing 3,600 cubic feet of storage per acre drained, or equivalent control measures, shall be provided where attainable until final stabilization of the site. The 3,600 cubic feet of storage area per acre drained does not apply to flows from offsite areas and flows from onsite areas that are either undisturbed or have undergone final stabilization where such flows are diverted around both the disturbed area and the sediment basin. For drainage locations which serve more than 10 disturbed acres at one time and where a temporary sediment basin providing 3,600 cubic feet of storage per acre drained, or equivalent controls is not attainable, smaller sediment basins and/or sediment traps should be used. At a minimum, silt fences, or equivalent sediment controls, are required for all upslope and downslope boundaries of the construction area.
  - For drainage locations serving less than 10 acres, sediment basins and/or sediment traps are recommended but not required. At a minimum, silt fences or equivalent sediment controls are required for all upslope and downslope boundaries of the construction area.
- Stormwater Management. The Contractor is responsible for the installation of BMP's during the construction process to control pollutants in stormwater discharges that will occur during construction and after construction operations have been completed. These controls shall be consistent with the performance standards for stormwater set forth in the Section 62-40.432, F.A.C., the applicable stormwater or environmental resource permitting regulations of the FDEP or the appropriate WMD, and the guidelines contained in the Erosion and Sediment Control Manual (last update: July 2013), and any subsequent amendments. Structural BMPs shall be placed on upland soils unless a State of Florida wetland resource management permit or environmental resource permit issued pursuant to Chapter 373, FS, and applicable regulations of the FDEP or WMD authorize otherwise. The installation of these devices may be subject to Section 404 of the CWA. The FDEP generic permit only addresses the installation of stormwater management controls, and not the ultimate operation and maintenance of such controls after the construction activities have been completed and the site has undergone final stabilization. Under the FDEP generic permit, permittees are only responsible for the installation and maintenance of stormwater management BMPs prior to final stabilization of the site, and are not responsible for maintenance after stormwater discharges associated with industrial activity have been eliminated from the site. However, all stormwater management systems and BMPs shall be operated and maintained in perpetuity after final stabilization in accordance with requirements set forth in the State of Florida stormwater or environmental resource permit issued for the site.
  - Such controls or best management practices may include: stormwater detention systems (including wet ponds); stormwater retention systems; flow attenuation by use of open vegetated swales and natural depressions; infiltration of runoff onsite; and sequential systems which combine several practices (BMP treatment train). This project has been designed to attenuate post-development discharge from the site to pre-development levels (or below), in accordance with the applicable S.R.WMD and local agency stormwater permits.
  - Velocity dissipation devices shall be placed at discharge locations and along the length of any outfall channel for the purpose of providing a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected (e.g. no significant changes in the hydrological regime of the receiving water).
  - Temporary stormwater discharge measures during construction will include turbidity barriers at all wet outfall locations (see detail herein).
- Controls for Other Potential Pollutants.
  - Waste Disposal. No solid materials, including building materials, shall be discharged to surface waters, except as authorized by Section 404 permit and by a State approved wetland resource management permit or environmental resource permit issued pursuant to Chapter 373, F.S., and the applicable regulations of the FDEP or WMD.
  - Off-site vehicle tracking of sediments and the generation of dust shall be minimized.
  - The Contractor shall ensure compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.
  - The Contractor shall utilize a landscape professional to address proper application rates and methods for the use of any fertilizers and pesticides at the construction site, and set forth how these procedures will be implemented and enforced. Nutrients will be applied only at rates necessary to establish and maintain vegetation such that discharges will not cause or contribute to violations of State surface or ground water quality standards.
  - The application, generation, or mitigation of toxic substances is limited to the minimum required for equipment operation and/or materials installation, and all toxic materials must be properly stored and disposed.
- Approved State or Local Plans.
  - The Contractor is also responsible for implementing procedures and requirements specified in applicable sediment and erosion site plans or site permits, or stormwater management site plans or permits approved by State, regional, or local officials. The Contractor must maintain a copy of all applicable permits at the site, and must be fully familiar with the requirements and conditions of each permit.
  - The Stormwater Pollution Prevention Plans shall be amended to reflect any changes applicable to protecting surface water resources in sediment and erosion site plans or site permits, or stormwater management site plans or site permits approved by State, regional, or local officials for which the permittee receives written notice. Where the permittee receives such written notice of a change, the permittee shall provide a re-certification in the stormwater pollution prevention plan that the stormwater pollution prevention plan has been modified to address such changes.
  - Dischargers seeking alternative permit requirements shall submit an individual permit application in accordance with Rule 62-620, F.A.C. to the local Department office, along with a description of why requirements in approved State, regional, or local plans or permits, or changes to such plans or permits should not be applicable as a condition of the individual permit.
- Maintenance. The Contractor is responsible for routine maintenance of all best management practices and sediment controls, so that they will remain in good and effective operating condition, throughout the construction process.
- Inspections. Qualified personnel (provided by the discharger) shall inspect all points of discharge into surface waters or to a municipal separate storm sewer system and all disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of a storm that is 0.50 inches or greater. Where sites have been finally stabilized; such inspection shall be conducted at least once every month.
  - Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the stormwater system. The stormwater management system and erosion and sediment control measures identified in the plans shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion and sediment control and stormwater treatment measures are effective in meeting the performance standards set forth in Section 62-40.432, F.A.C. and the applicable stormwater or environmental resource permitting regulations of the FDEP or appropriate WMD. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.
  - Based on the results of the inspection, all maintenance operations needed to assure proper operation of all controls, BMPs, practices, or measures identified in the stormwater pollution prevention plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection. If needed, the pollution prevention controls, BMPs, and measures identified in the plan shall be revised as appropriate, but in no case later than 7 calendar days following the inspection. Such modifications shall provide for timely implementation of any changes to the plan within 7 calendar days following the inspection.
  - A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the stormwater pollution prevention plan, and actions taken in accordance with paragraph VD.4b of the permit shall be made and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such reports shall identify any incidents of non-compliance. Where a report does not identify any incidents of non-compliance, the report shall contain a certification that the facility is in compliance with the stormwater pollution prevention plan and this permit. The report shall be signed in accordance with Part VII.C of this permit.
- Non-Stormwater Discharges. Except for flows from fire fighting activities, sources of non-stormwater listed in the FDEP Generic permit that are combined with stormwater discharges associated with construction activity must be identified in the plan. Non-stormwater discharges from the site are prohibited unless specifically identified and permitted otherwise.
- See also selected details on next sheet.
- The contractor shall submit completed NPDES Notice of Intent (NOI) and Notice of Termination (NOT) forms to FDEP, with copies provided to the City.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

SEQUENCE OF CONSTRUCTION

- Clearing and Grubbing
  - Control of each portion of the site will be installed after the clearing and grubbing necessary for installation of the applicable control measure, but before the clearing and grubbing for the remaining portion of the site. Perimeter controls (such as silt fences) will be actively maintained until final stabilization of those portions of the site upward of the perimeter control.
  - Clearing and grubbing activities will generally proceed from the interior portions of the site, outward to the boundary lines, except for installation of perimeter controls (silt fences). This is to minimize dust and impacts to adjacent properties. When feasible, leave a 50 foot to 100 foot buffer of natural vegetation along the perimeter property lines, while completing work on interior portions of the site, and until such time as these perimeter areas are ready to be final graded and stabilized.
- Excavation and Temporary Construction Dewatering
  - All excavation activities will be completed in accordance with the approved grading plans for the project. Construction stakeout by a qualified surveyor must be provided by the Contractor.
  - Retention lake excavation and/or site filling can not be completed until all perimeter controls are in place, such that erosion and/or siltation can not occur outside of the project boundaries.
  - Temporary construction dewatering activities will be accomplished in accordance with St. Johns River Water Management District (SJRWMD) regulations and the applicable permits. The Contractor is responsible for obtaining any required temporary dewatering permits.
  - Perimeter rim ditches and/or berming will be accomplished where feasible to protect against off-site erosion.
  - Excavated and/or filled areas are to be stabilized via seed and mulch, sodding, or other means, as soon as practical.
- Drainage System Installation/Utilities Construction
  - This phase of the work would include any required sewer installation and temporary dewatering as well as any required drainage pipe and inlet installation, waterline installation, reuse line installation, etc. All work to be performed by a licensed utility contractor.
  - As soon as practical, synthetic bales, silt fences, inlet protection, and other best management practices (as shown on this plan) are to be installed at all required locations.
  - All conditions and requirements of the applicable utilities installation permits will be the responsibility of the contractor. A copy of all permits must be maintained on-site. Contractor is responsible for confirming all required inspections during the utilities installation process.
  - Contractor is responsible for maintaining perimeter controls and temporary site stabilization measures during the course of the utilities construction process.
  - Ordering of applicable testing per the permit requirements is the responsibility of the Contractor.
- Roadway and Sidewalk Construction
  - This phase of the work includes all required hard surfacing for the project. Care is to be taken during this phase in order to minimize or eliminate any off-site discharge or spillage of concrete, asphalt, or other roadway materials. Concrete trucks and asphalt equipment are to be cleaned on-site in an approved and contained location. Ordering of applicable testing per the permit requirements is the responsibility of the Contractor.
  - Immediately upon completion of all roadways and hard surfaces for the project, adjacent disturbed areas shall be sodded or otherwise stabilized to prevent erosion. At least one strip of sod is required along the back of curb for all subdivision streets and new roadways.

SITE DESCRIPTION/GENERAL STATEMENT

This proposed project involves construction and development of the site improvements shown on these plans. Construction activities will generally include clearing and grubbing, excavation, filling, earthwork, utilities installation, stormwater management system installation, roadway and/or parking area construction, and final grading, stabilization and/or landscaping. Potential pollution sources include soils erosion and siltation, temporary dewatering, and discharges from construction equipment, i.e. oil, etc. Contractor is required to incorporate the site controls and BMPs described herein to minimize or eliminate the potential for off-site discharge of pollutants. Contractor is also required to sign a certification statement verifying compliance with the requirements of the FDEP Generic Permit for Stormwater Discharge from Construction Activities, prior to commencement of work.

SITE DATA

Total site area = 9.19 acres±  
 Total site area to be disturbed = 3.00 acres±

Outfall Structure	Latitude	Longitude
1	28°21'37"	80°47'52"

REVISIONS	
NO.	DESCRIPTION
1	Per City Site Plan comments
2	Per Cocoa Utilities comments/add Master Meter
3	Per Cocoa Utilities comments/add waterline esmt.
4	Per Site Plan Amendment No. 1
5	Per review agency comments
6	Per City comments

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
SM/WMD	MWD	SM	SM

STORMWATER POLLUTION PREVENTION PLAN  
 PARKING PARCEL  
 CITY OF COCOA, FLORIDA

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
 CITY OF COCOA, FLORIDA  
 DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

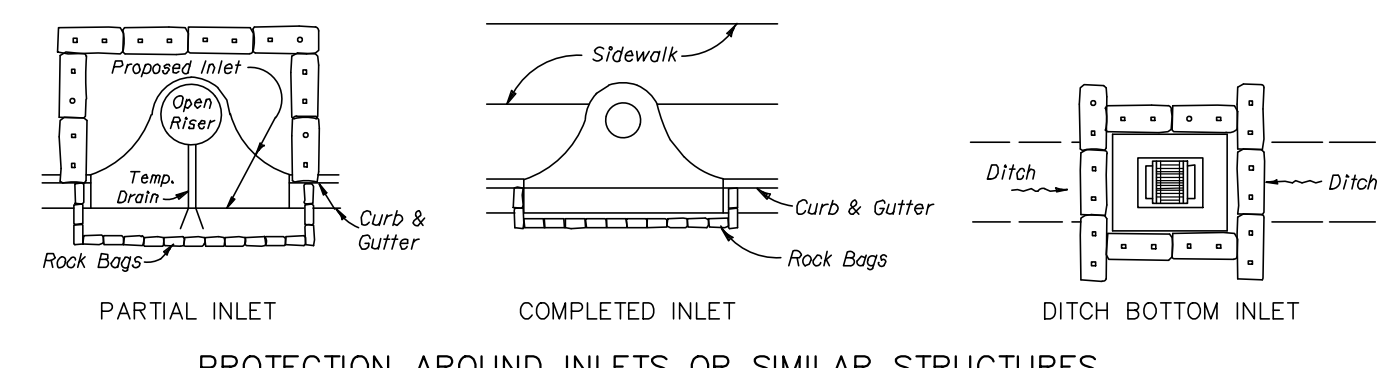
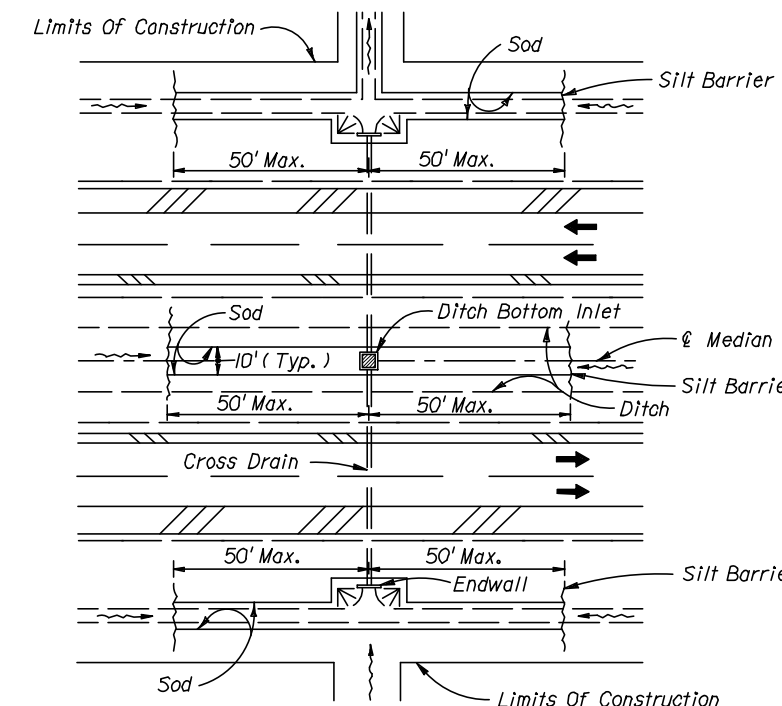
**DRMP**  
 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
 100 Palm Street Suite A, Merritt Island, FL 32953  
 Phone: 321.455.5010 Fax: 321.454.0685 WWW.DRMP.COM

**DRMP, Inc.**

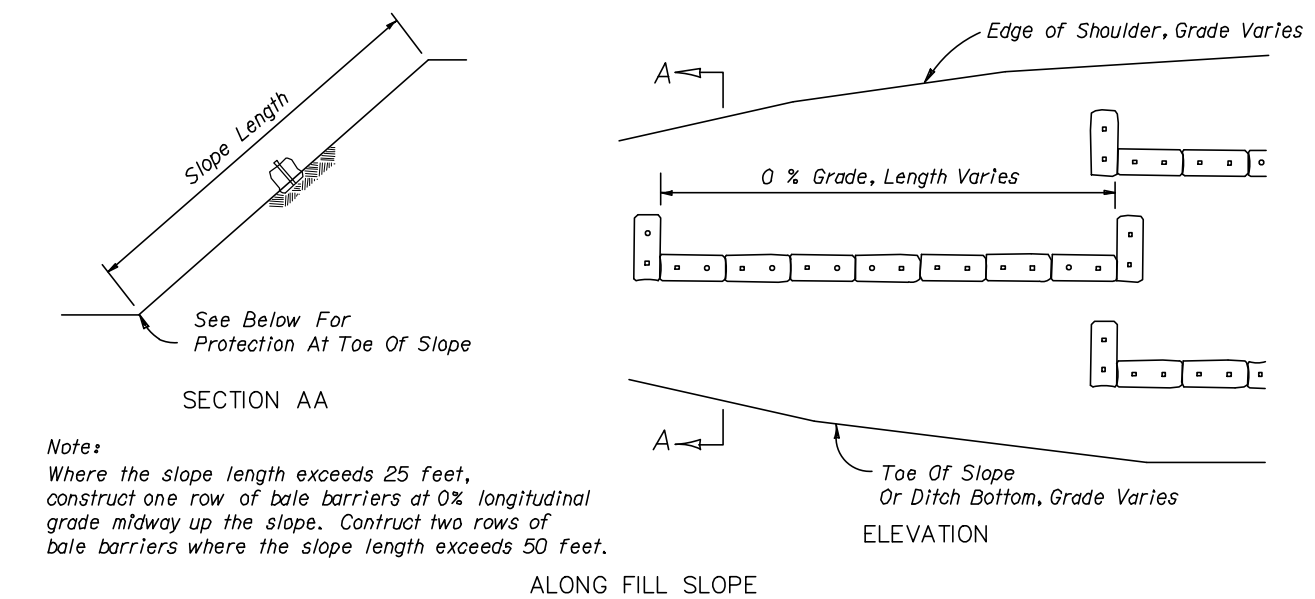
Professional Engineer  
 License No. 84538  
 STATE OF FLORIDA  
 State of Florida # 84538

PROJECT NO.: 21-0509.001  
 SCALE: 1" = 60'  
 DATE: NOVEMBER, 2020  
 DRAWING: C16



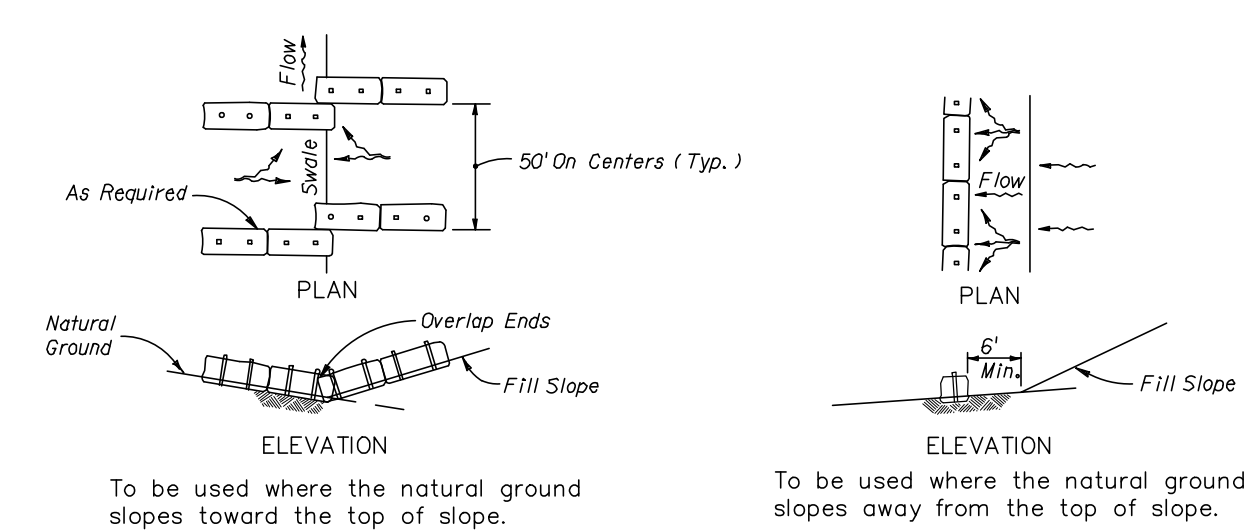
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

DITCH INSTALLATIONS AT DRAINAGE STRUCTURES

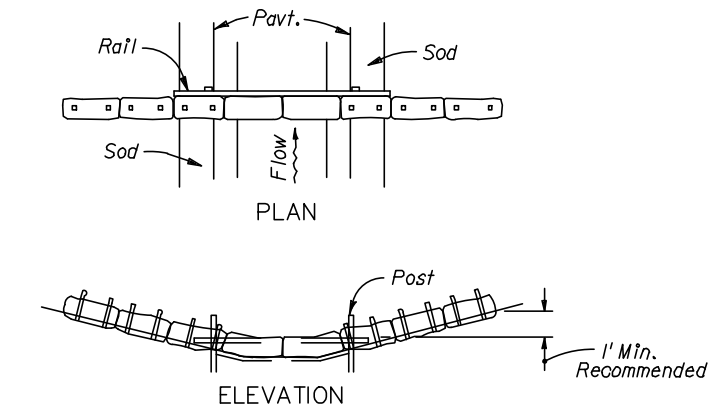


Notes:  
Where the slope length exceeds 25 feet, construct one row of bale barriers at 0% longitudinal grade midway up the slope. Construct two rows of bale barriers where the slope length exceeds 50 feet.

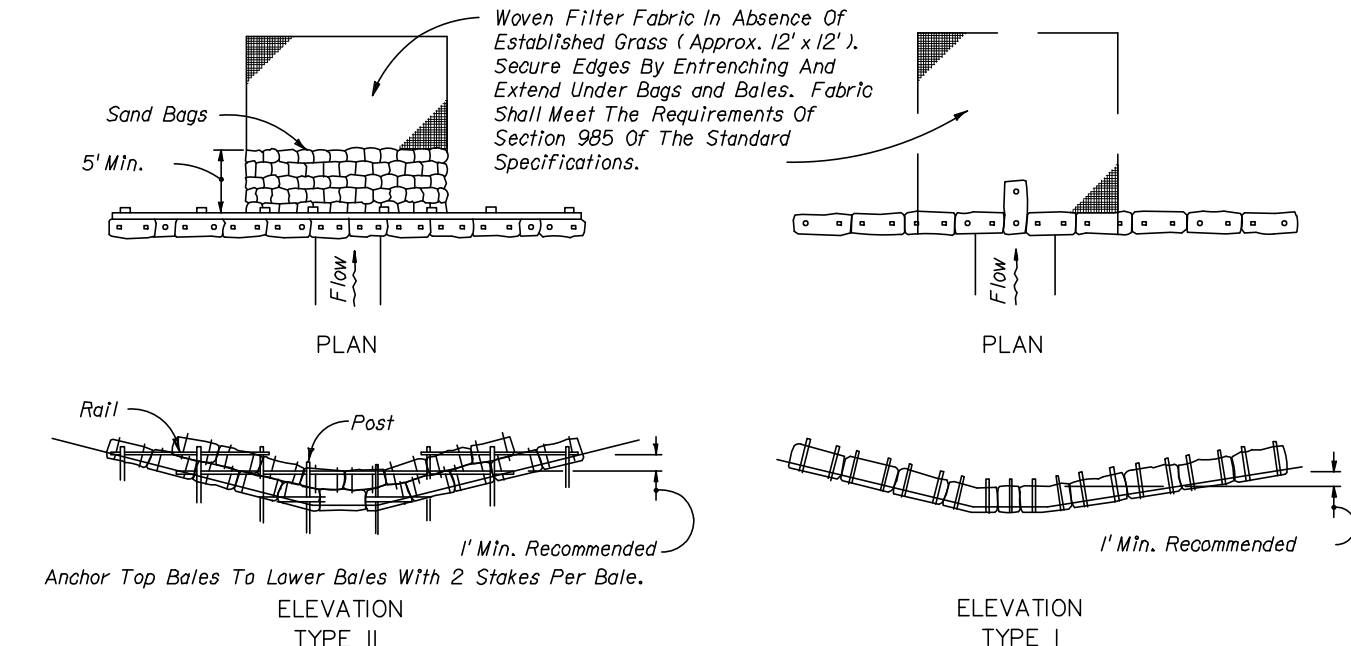
ALONG FILL SLOPE



AT TOE OF SLOPE BARRIERS FOR FILL SLOPES



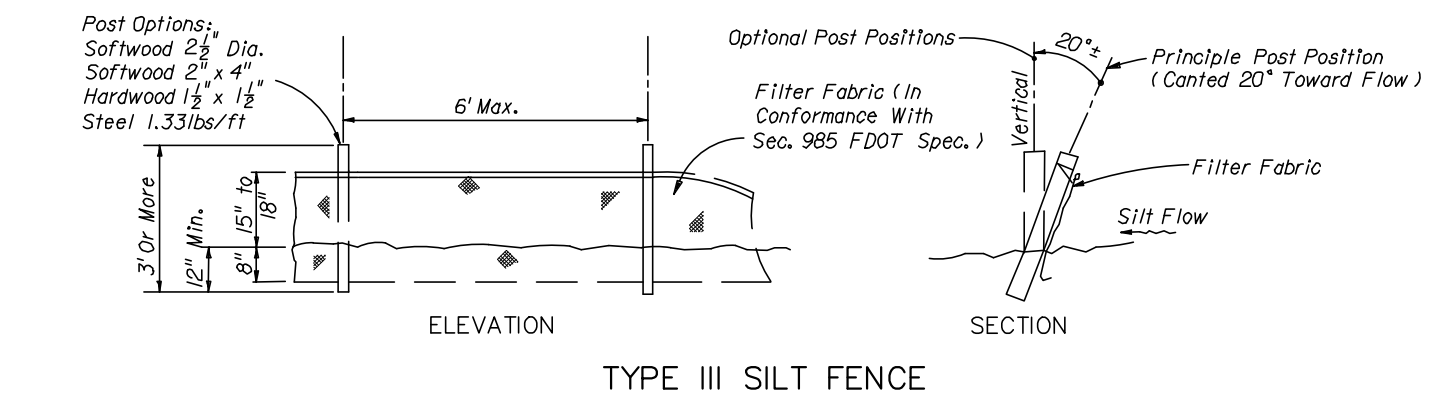
SYNTHETIC BALES OR BALE TYPE BARRIERS FOR PAVED DITCHES



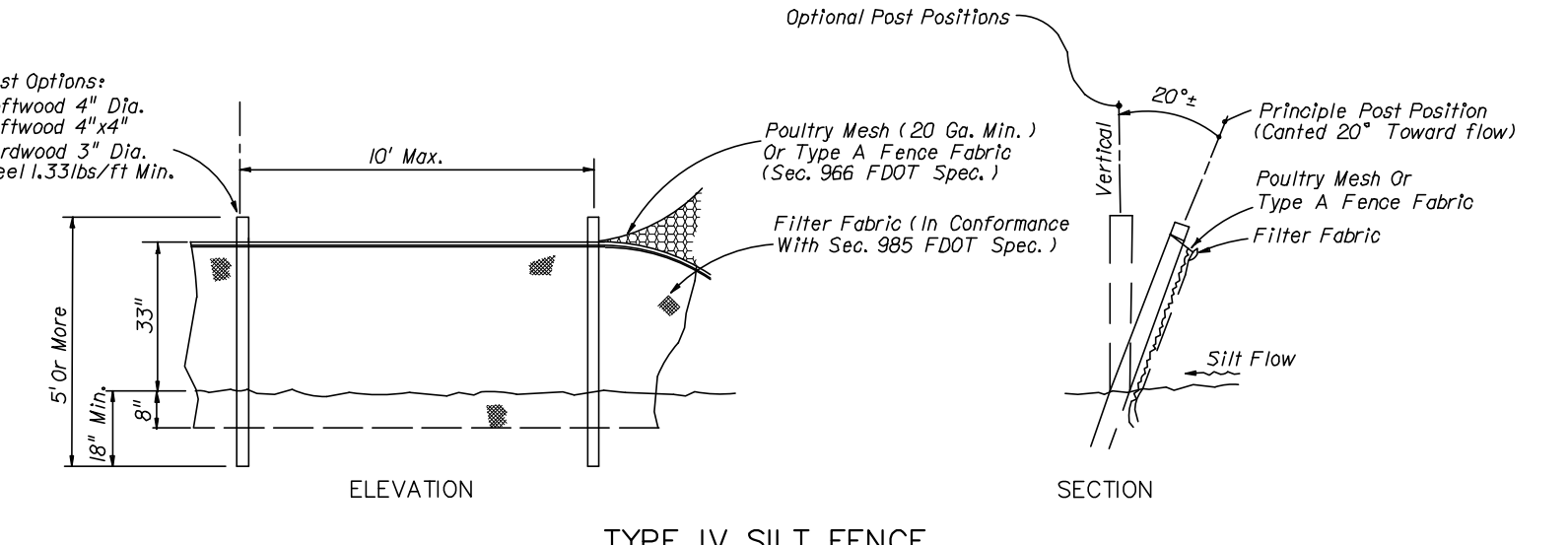
SYNTHETIC BALES OR BALE TYPE BARRIERS FOR UNPAVED DITCHES

NOTES FOR SYNTHETIC BALES OR BALE TYPE BARRIERS

- Type I and II Synthetic Barrier shall be spaced in accordance with Chart 1, Sheet 1.
- Bales shall be anchored with 2" x 1" x 2" (or 1" dia.) x 4' wood stakes. Stakes of other material or shape providing equivalent strength may be used if approved by the Engineer. Stakes other than wood shall be removed upon completion of the project.
- Rails and posts shall be 2" x 4" wood. Other materials providing equivalent strength may be used if approved by the engineer.
- Adjacent bales shall be butted firmly together.
- Where used in conjunction with silt fence, bales shall be placed on the upstream side of the fence.
- Bales to be paid for under the contract unit price for Synthetic Bales, L.F. The unit price shall include the cost of Filter Fabric for Type I and II Barriers. Sand bags to be paid for under the unit price for Sandbagging, CY. Rock bags to be paid for under the contract unit price for Rock Bags, EA.



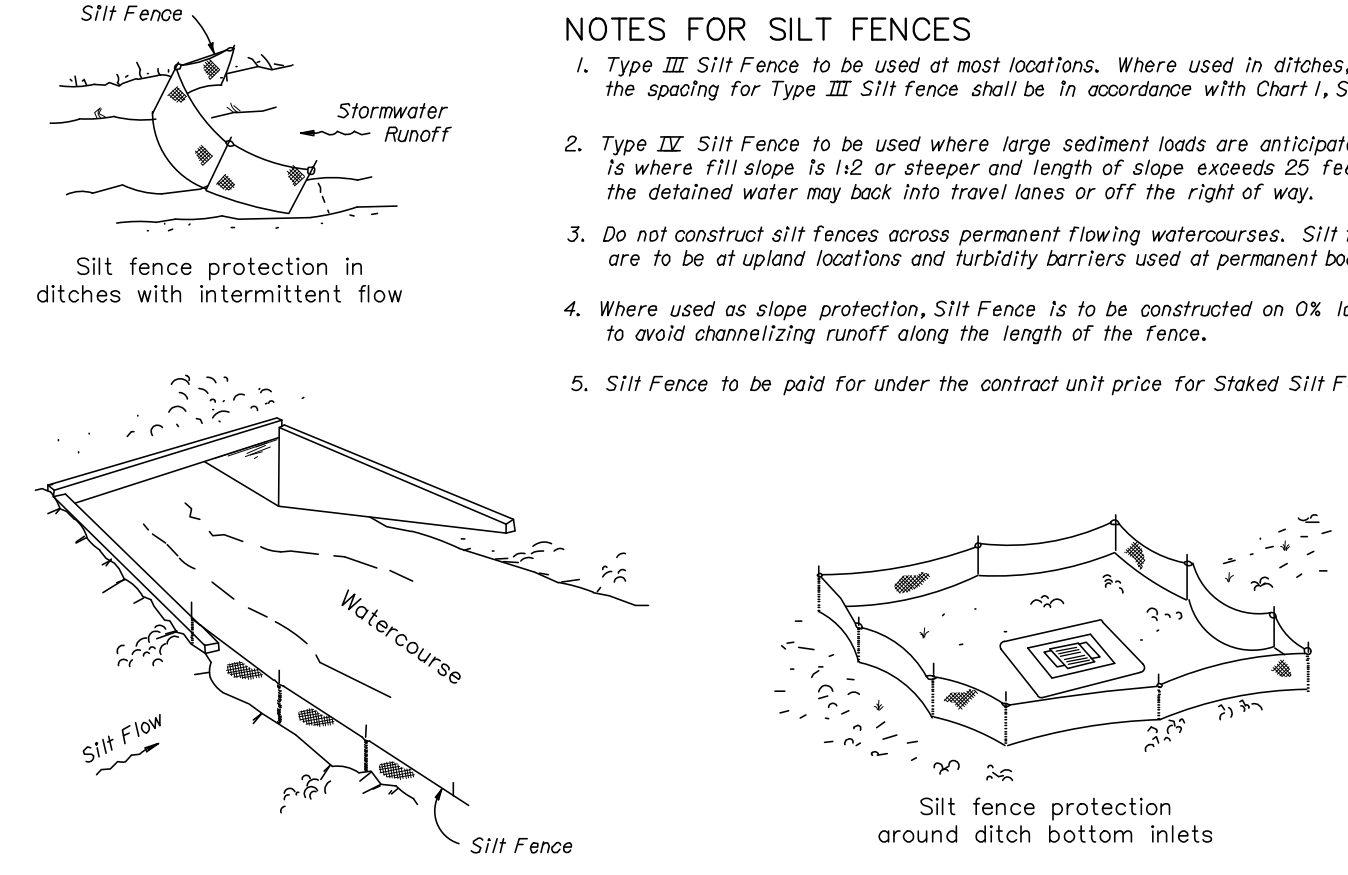
TYPE III SILT FENCE



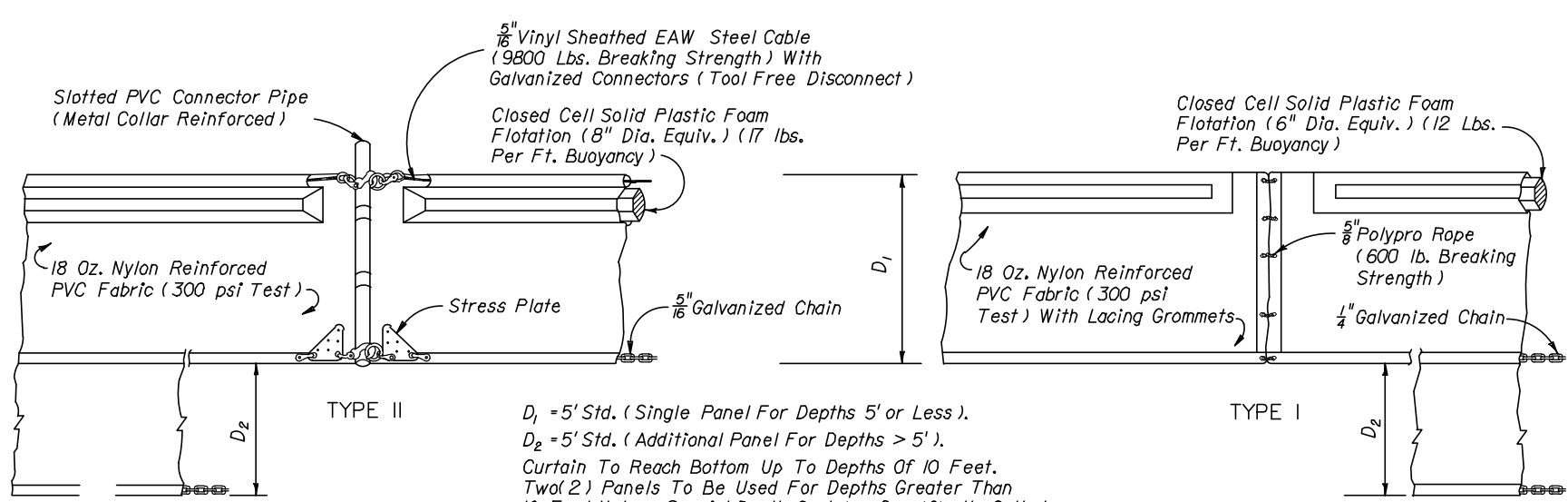
TYPE IV SILT FENCE

NOTES FOR SILT FENCES

- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
- Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
- Do not construct silt fences across permanent flowing watercourses. Silt fences are to be upland locations and turbidity barriers used at permanent bodies of water.
- Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
- Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (L.F.).

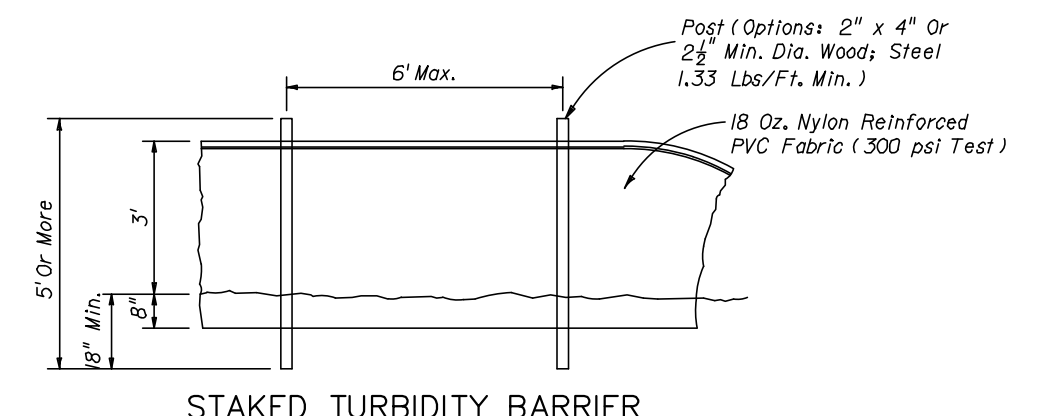


SILT FENCE APPLICATIONS

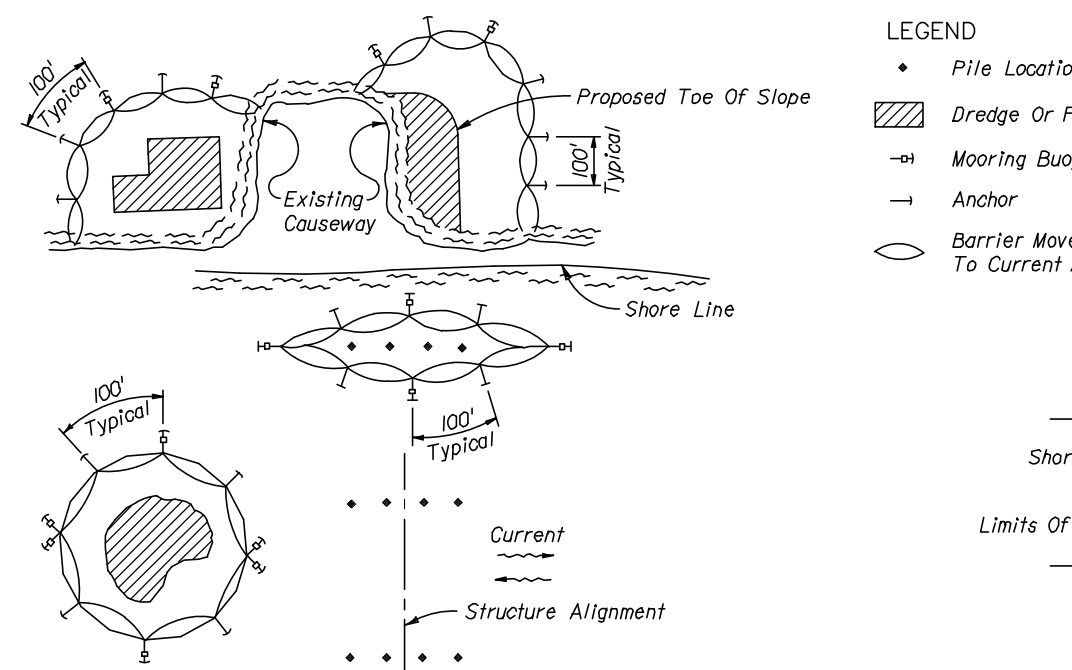


NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS



STAKED TURBIDITY BARRIER

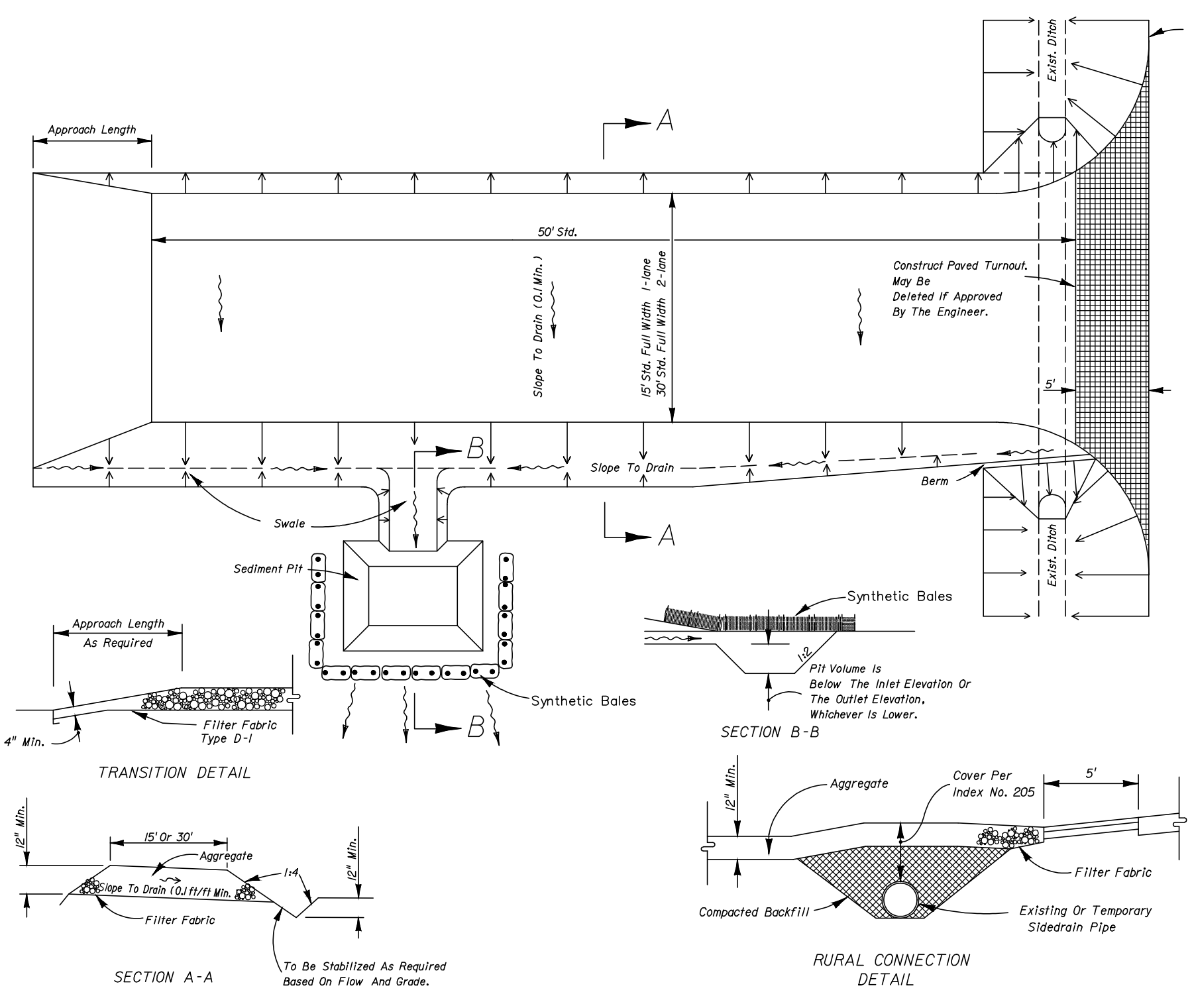


- NOTES FOR TURBIDITY BARRIERS
- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
  - Number and spacing of anchors dependent on current velocities.
  - Deployment of barrier around pile locations may vary to accommodate construction operations.
  - Deployment may require segmenting barrier during construction operations.
  - For additional information see Section 104 of the Standard Specifications.

TURBIDITY BARRIER APPLICATIONS

NOTE  
Contractor to provide erosion and sediment control in conformance with the "Erosion and Sediment Control Designer and Reviewer Manual" by FDOT/FDEP (July 2013).

NOTE  
Contractor is responsible for obtaining the FDEP-NDPDES Notice of Intent for the Temporary Construction Discharge Permit, including preparation of the SWPP Plan, and for conducting all required inspections and completing all reports associated with this construction permit.



SOIL TRACKING PREVENTION DEVICE TYPE A

- GENERAL NOTES
- A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unutilized areas of the project to public roads where off-site tracking of mud could occur. Traffic from unutilized areas of the construction project shall be directed through a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular egress across the STPD.
  - The Contractor may propose an alternative technique to minimize off-site tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
  - All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily or more frequently if so directed by the Engineer.
  - Aggregates shall be as described in Section 900 excluding 900-2.3. Aggregates shall be FDOT size "A". If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unacceptable.
  - The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:  
15' x 50' x 10' = 7500 cu ft  
30' x 50' x 100' = 15000 cu ft  
As an option to the sediment pit, the width of the swale bottom can be increased to obtain the volume. When the sediment pit or swale volume has been reduced to one half, it shall be cleaned. When a swale is used, hay bales or silt fence shall be placed along the entire length.
  - The swale ditch draining the STPD shall have a 0.2% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
  - Mitered end sections are not required when the sidewalk pipe satisfies the clear zone requirements.
  - The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off-site tracking, the STPD shall be rinsed (daily when in use) to move accumulated mud downward thru the slope. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracks.
  - A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, EA. The unit price shall constitute full compensation for construction, maintenance, removal, and restoration of the area utilized for the STPD, including but not limited to excavation, grading, temporary pipe (including MGS when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), after stabilization, approach route stabilization, sediment removal and disposal, water, churning and cleaning of the STPD and cleaning of public roads, grassing and sod/Synthetic Bales or bale type shall be paid for under the contract unit price for Synthetic Bales, L.F. Silt fence shall be paid for under the contract unit price for Staked Silt Fence, L.F.
  - The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and exiting vehicles warrants a 6' width STPD may be used if approved by the Engineer. When a double width (30') STPD is used, the pay quantity shall be 2 for each location.

NO.	DATE	DESCRIPTION
1	06/14/23	Per City Site Plan comments
2	05/02/23	Per Cocoa Utilities comments/add Master Meter
3	04/17/23	Per Cocoa Utilities comments/add waterline asm'l
4	11/08/22	Per Site Plan Amendment No. 1
5	05/13/22	Per review agency comments
6	10/29/21	Per City comments

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
SM/WRD	MRD	SM	SM

EROSION AND SEDIMENT CONTROL DETAILS

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

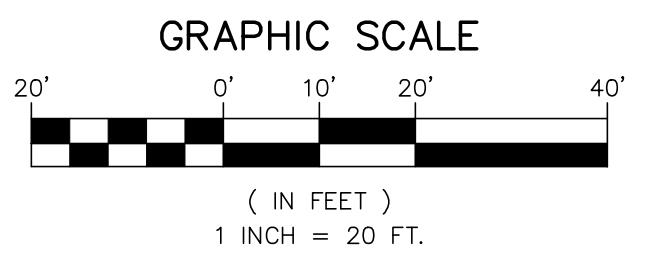
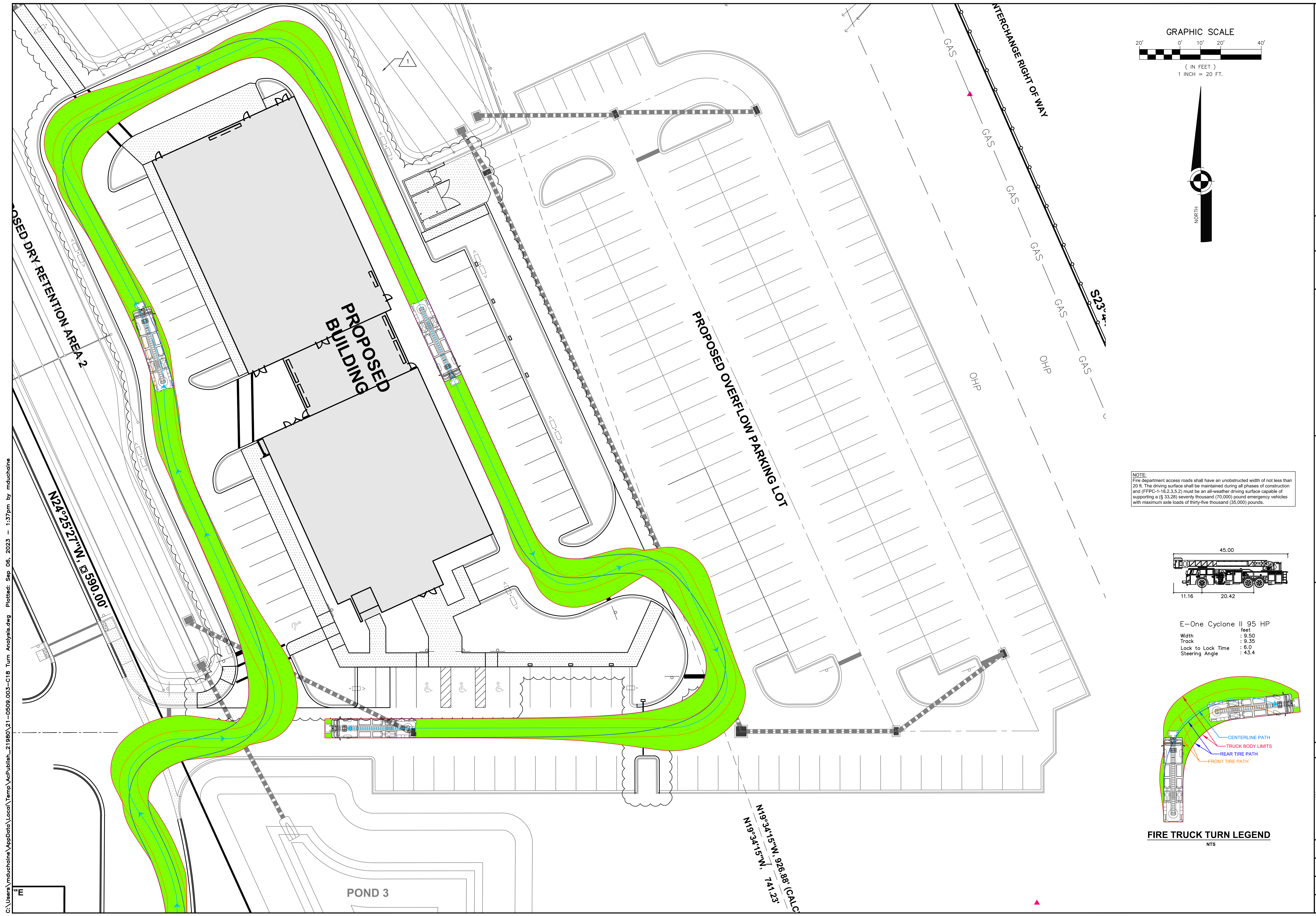
**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.0885 WWW.DRMP.COM

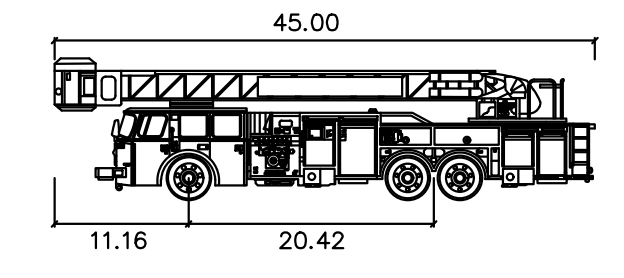
**DRMP, Inc.**

Professional Engineer  
No. 84538  
STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

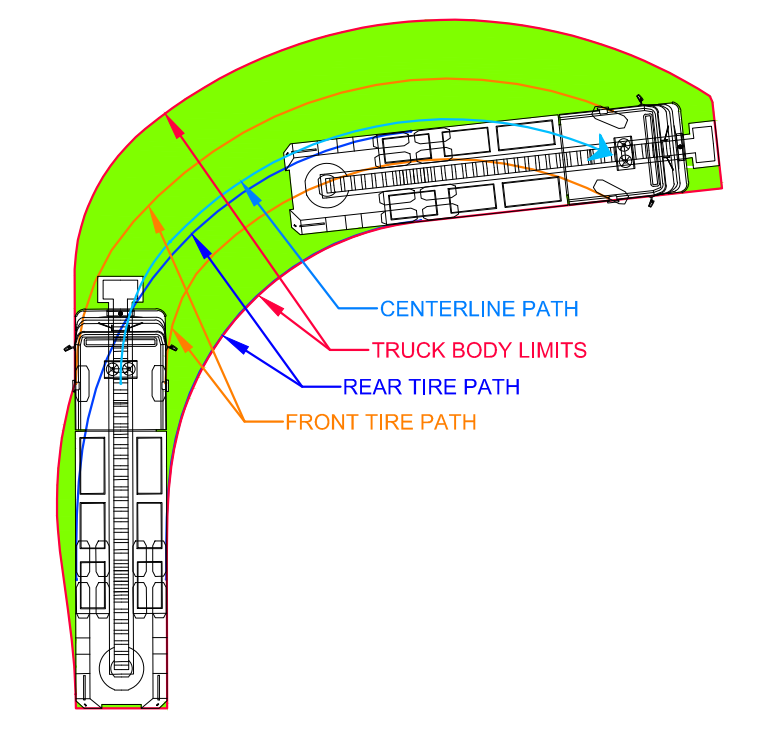
PROJECT NO.: 21-0509.001  
SCALE: NTS  
DATE: NOVEMBER, 2020  
DRAWING: C17



NOTE:  
 Fire department access roads shall have an unobstructed width of not less than 20 ft. The driving surface shall be maintained during all phases of construction and (FFPC-1-18.2.3.5.2) must be an all-weather driving surface capable of supporting a ( § 33.28) seventy thousand (70,000) pound emergency vehicles with maximum axle loads of thirty-five thousand (35,000) pounds.



E-One Cyclone II 95 HP  
 feet  
 Width : 9.50  
 Track : 9.35  
 Lock to Lock Time : 6.0  
 Steering Angle : 43.4



FIRE TRUCK TURN LEGEND  
 NTS

DESIGNED BY		SM/WRD	<b>FIRE TRUCK TURN ANALYSIS</b>  CONSTRUCTION PLANS FOR <b>MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL</b> CITY OF COCOA, FLORIDA  DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE
NO.	DATE	DESCRIPTION	
1	06/14/23	Per City Site Plan comments	
2	05/02/23	Per Cocoa Utilities comments/add Master Meter	
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DRAWN BY		WRD	<b>DRMP, Inc.</b> ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS Certificate of Authorization No. 2648 100 Palm Street Suite A, Merritt Island, FL 32953 Phone: 321.453.0010 Fax: 321.454.0885 WWW.DRMP.COM
CHECKED BY		SM	
APPROVED BY		SM	<b>DRMP, Inc.</b> STATE OF FLORIDA PROFESSIONAL ENGINEER No. 84538 State of Florida # 84538 PROJECT NO.: 21-0509.001 SCALE: 1" = 20' DATE: NOVEMBER, 2020 DRAWING: <b>C18</b>

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# BREVARD COUNTY PUBLIC WORKS ENGINEERING STANDARD DEVELOPMENT NOTES

## GENERAL

- ALL CONSTRUCTION SHALL CONFORM TO FDOT DESIGN STANDARDS (LATEST EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (LATEST EDITION), BREVARD COUNTY UTILITY SERVICES CRITERIA FOR WATER AND SANITARY SEWER SYSTEMS, AND BREVARD COUNTY CODE OF ORDINANCES.
- ISSUANCE OF CERTIFICATE OF COMPLETION: UPON COMPLETION OF CONSTRUCTION OF THE PROJECT AND PRIOR TO SCHEDULING OF THE FINAL INSPECTION, THE APPLICANT OR THEIR AUTHORIZED REPRESENTATIVE, SHALL PROVIDE THE FOLLOWING DOCUMENTATION TO BREVARD COUNTY PUBLIC WORKS ENGINEERING:
  - A CERTIFICATE OF COMPLETION - REQUEST FOR FINAL INSPECTION FORM. THE FORM MUST BE FROM A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA WITH THEIR SEAL AFFIXED. THE FORM CERTIFIES THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS.
  - A COMPLETE SET OF TESTING REPORTS FOR ALL TESTS PERFORMED ON THE PROJECT WITHIN THE COUNTY RIGHT-OF-WAY AND/OR FOR ALL SUBDIVISION CONSTRUCTION REGARDLESS OF PUBLIC OR PRIVATE.
  - THREE SETS OF AS-BUILT DRAWINGS MEETING THE REQUIREMENTS OF SECTION 61G17, F.A.C., AND SIGNED AND SEALED BY A SURVEYOR LICENSED IN THE STATE OF FLORIDA. AT A MINIMUM, ALL AS-BUILT DRAWINGS MUST INCLUDE:
    - ROAD/PAVEMENT ELEVATIONS; ROADWAY CROSS SLOPES; PAVEMENT WIDTH; PAVEMENT SPOT ELEVATIONS NECESSARY TO CONFIRM STORMWATER DRAINAGE PATTERNS AT INTERSECTIONS AND SIDEWALKS; CURB SLOPES;
    - STORMWATER PIPE SIZES AND INVERT ELEVATIONS; LOCATION OF OUTFALL STRUCTURE(S) WITH AS-BUILT ELEVATIONS FOR ALL CONTROL STRUCTURE & SKIMMER ELEVATIONS SHOWN ON THE APPROVED PLANS TOP OF BANK, GRADE BREAKS, BOTTOM ELEVATIONS FOR ALL STORMWATER PONDS OR BERM AREAS;
    - ANY OTHER ADDITIONAL AS-BUILT DATA THAT IS APPLICABLE TO THE PROJECT TO ENSURE COMPLETION IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS.
  - PIPE INSPECTION VIDEO PER FDOT REQUIREMENTS. (IF APPLICABLE PER NOTE 4 OF DRAINAGE NOTES).
  - IF A MUNICIPALITY IS ACCEPTING A PUBLIC WATER AND/OR SEWER SYSTEM, THERE MUST BE DOCUMENTATION INDICATING MUNICIPAL ACCEPTANCE OF THE CONSTRUCTION OF THE WATER AND/OR SEWER SYSTEM.
  - PUBLIC WORKS ENGINEERING WILL NOT SIGN OFF ON A TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) FROM THE BREVARD COUNTY BUILDING DEPARTMENT UNTIL THE AS-BUILT DRAWINGS AND OTHER DOCUMENTATION LISTED ABOVE HAVE BEEN SUBMITTED AND REVIEWED BY PUBLIC WORKS ENGINEERING.
  - PROJECTS CONNECTED TO THE BREVARD COUNTY WATER, SANITARY SEWER, AND/OR RECLAIMED WATER SYSTEMS MUST OBTAIN FINAL APPROVAL FOR THE PROJECT DIRECTLY FROM BREVARD COUNTY UTILITY SERVICES AS OUTLINED IN THE BREVARD COUNTY CRITERIA FOR WATER AND SANITARY SEWERAGE SYSTEMS.
- UPON APPROVAL OF FINAL INSPECTION, AN ENGINEER'S CERTIFIED COST ESTIMATE WILL BE REQUIRED ALONG WITH A 2-YEAR MAINTENANCE BOND FOR ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY AS REQUIRED BY CHAPTER 86 OF THE BREVARD COUNTY CODE OF ORDINANCES. THE MAINTENANCE BOND SHALL BE 25% OF THE ENGINEER'S CERTIFIED COST ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO THE COUNTY INFRASTRUCTURE DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE STRUCTURAL INTEGRITY OF THE ROADWAY ASPHALT, BASE, AND STABILIZED SUB-BASE, SIDEWALKS, STORMWATER DRAINAGE SYSTEM, DRAINAGE STRUCTURES, CURBS, GROUND COVER, WATER SYSTEMS, SANITARY SEWER SYSTEMS, AND RECLAIMED WATER SYSTEMS. ALL REPAIRS SHALL BE COMPLETED IN ACCORDANCE WITH FDOT AND BREVARD COUNTY STANDARDS. ALL REPAIRS SHALL BE COMPLETED PRIOR TO THE FINAL INSPECTION OF THE PROJECT. SIDEWALK PATCHING WILL NOT BE ACCEPTABLE.
- A VISUAL OR MECHANICAL INTERIOR INSPECTION OF EXISTING CULVERTS WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION.
- ALL DISTURBED AREAS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE SODDED. SEED & MULCH IS NOT ACCEPTABLE. SOD SHALL MATCH EXISTING SOD TYPE. BAHIA SOD SHALL BE USED IN AREAS ADJACENT TO VACANT PROPERTY. DISTURBED AREAS OUTSIDE THE CONSTRUCTION LIMITS WILL BE SODDED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SURVEY MONUMENTATION. ANY SURVEY MONUMENTATION DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY A FLORIDA LICENSED SURVEYOR PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION FOR THE PROJECT.
- REGARDLESS OF PRIVATE OR PUBLIC DEDICATION, THERE SHALL BE NO UTILITY CONNECTIONS OR METER BOXES WITHIN PROPOSED OR EXISTING SIDEWALKS OR DRIVEWAY AREAS.
- ALL DIRECTIONAL BORES SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 555, DIRECTIONAL BORES AND THE FDOT UTILITIES ACCOMMODATION MANUAL.
- ALL DIRECTIONAL BORES MUST EXTEND A MINIMUM OF EIGHT (8) FEET PAST THE EDGE OF PAVEMENT OF ANY ROADWAY OR COMMERCIAL DRIVEWAY. FOR RESIDENTIAL DRIVEWAYS AND SIDEWALKS, THE BORE MUST EXTEND THREE (3) FEET PAST THE EDGE ON EITHER SIDE.
- THE CONTRACTOR SHALL CONTROL DUST GENERATED BY THIS PROJECT AT ALL TIMES, SHALL PROVIDE STREET SWEEPING AS REQUIRED, AND PREVENT SEDIMENT FROM ENTERING INTO THE EXISTING DRAINAGE SYSTEM AT ALL TIMES.
- THE CONTRACTOR SHALL NOT EXCEED NOISE LEVELS AS SPECIFIED IN BREVARD COUNTY CODE OF ORDINANCES SECTION 62-2271.
- ALL STRIPING AND PAVEMENT MARKINGS IN THE COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND SHALL NOT BE APPLIED UNTIL A MINIMUM OF 30 DAYS AFTER THE PLACEMENT OF THE FINAL ASPHALT SURFACE. IN THE INTERIM, STRIPING SHALL BE PAINT AND ANY REQUIRED RPM'S INSTALLED PER THE PLANS. DO NOT STRIPE ACROSS MANHOLE LIDS OR DRAINAGE GRATES.
- REFLECTIVE PAVEMENT MARKINGS (RPM'S) SHALL BE INSTALLED IN ALL LOCATIONS AS REQUIRED BY FDOT DESIGN STANDARD (LATEST EDITION).
- ANY PAVEMENT MARKINGS AND RPM'S THAT ARE DESTROYED, DAMAGED, OR DIMINISHED BY CONSTRUCTION ACTIVITIES FOR UP TO 500 FEET IN EITHER DIRECTION BEYOND THE LIMITS OF CONSTRUCTION SHALL BE REPLACED OR REFURBISHED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE COUNTY RIGHT-OF-WAY FOR THE DURATION OF CONSTRUCTION. AT A MINIMUM, THE CONTRACTOR SHALL MOW THE RIGHT-OF-WAY ON AN AS-NEEDED BASIS AND MAINTAIN THE DRAINAGE CONVEYANCE SYSTEM. ADDITIONAL MAINTENANCE MAY BE REQUIRED ON A CASE BY CASE BASIS.

## TRAFFIC CONTROL

- MOT PLAN REVIEW:** A PROJECT-SPECIFIC MAINTENANCE OF TRAFFIC (MOT) PLAN OR ROADWAY CLOSURE MOT/DETOUR PLAN MUST BE SUBMITTED TO BREVARD COUNTY TRAFFIC OPERATIONS (321-633-2077) FOR APPROVAL A MINIMUM OF TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION. THE MOT PLAN SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARD INDEX 600 SERIES, (LATEST EDITIONS). PORTABLE CHANGEABLE MESSAGE SIGNS (PCMS OR VMS) MAY BE REQUIRED TO SUPPLEMENT THE STANDARD MOT SIGNAGE.
- ROAD CLOSURES:** THE CONTRACTOR SHALL NOTIFY BREVARD COUNTY TRAFFIC OPERATIONS (321-633-2077) A MINIMUM OF TWO (2) WEEKS IN ADVANCE OF THE PROPOSED START DATE OF CONSTRUCTION WITHIN THE RIGHT-OF-WAY. FOR EACH PHASE OF CONSTRUCTION, IF APPLICABLE, CONSTRUCTION SHALL NOT BEGIN UNTIL THE MOT PLAN IS APPROVED AND NOTIFICATIONS HAVE BEEN SENT TO AFFECTED AGENCIES. CERTAIN LOCATIONS MAY REQUIRE WORK IN THE RIGHT-OF-WAY TO BE PERFORMED AT NIGHT ONLY.

- LANE CLOSURES:** THE CONTRACTOR SHALL NOTIFY BREVARD COUNTY TRAFFIC OPERATIONS (321-633-2077) A MINIMUM OF ONE (1) WEEK IN ADVANCE OF THE PROPOSED START DATE OF CONSTRUCTION WITHIN THE RIGHT-OF-WAY. CONSTRUCTION SHALL NOT BEGIN UNTIL THE MOT PLAN IS APPROVED AND NOTIFICATIONS HAVE BEEN SENT TO AFFECTED AGENCIES. NO LANE CLOSURES WILL BE PERMITTED DURING PEAK HOUR TRAFFIC VOLUMES.
- ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE MUTCD FOR STREETS AND HIGHWAYS, FDOT STANDARDS (LATEST EDITIONS), AND BREVARD COUNTY LAND DEVELOPMENT EXHIBIT #26.

## DRAINAGE - ROADWAYS

- ALL DRAINAGE SYSTEM CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS AND FDOT DESIGN STANDARDS, (LATEST EDITIONS).
- ALL RETICULINE STEEL GRATES SHALL BE HOT DIPPED GALVANIZED AND HAVE A TRAFFIC BEARING H-20 LOAD RATING.
- ALL GRATES UTILIZED WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE TRAFFIC BEARING H-20 LOADING.
- ALL STORMWATER PIPING WITHIN THE ROAD RIGHT-OF-WAY, REGARDLESS OF PUBLIC OR PRIVATE, OR STORMWATER PIPING THAT CONVEYS STORMWATER UNDER THE ROADWAY BETWEEN STORMWATER TREATMENT PONDS, SHALL BE INSPECTED PER SECTIONS 430-4.8, 430-4.8.1, AND 430-4.8.2 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, (LATEST EDITION), A COPY OF THE PIPE VIDEO SHALL BE PROVIDED TO THE COUNTY AS PART OF THE SUBMITTAL OF THE CERTIFICATION OF COMPLETION REQUEST FOR FINAL INSPECTION. THE COUNTY SHALL BE NOTIFIED ONE WEEK PRIOR TO THE START OF THE PIPE VIDEO INSPECTION PROCESS.
- ALL OPEN CUTS SHALL CONFORM TO LAND DEVELOPMENT EXHIBIT #25. FOR ALL OPEN CUTS, THE FLOWABLE FILL AND TEMPORARY ASPHALT SHALL BE INSTALLED WITHIN TWO (2) DAYS OF THE EXCAVATION (UNLESS OTHERWISE APPROVED IN WRITING BY BREVARD COUNTY PUBLIC WORKS ENGINEERING). PERMANENT ASPHALT INCLUDING MILLING AND RESURFACING, IF NEEDED, SHALL BE COMPLETED WITHIN THIRTY (30) DAYS OF EXCAVATION.
- THE CONTRACTOR SHALL REMOVE THE SHOULDER OF THE ROADWAY TO A POINT WHERE THE BASE MATERIAL OF THE EXISTING ROADWAY MEETS THE MINIMUM THICKNESS OF THE PROPOSED ROADWAY/COMMERCIAL DRIVEWAY CONNECTION.

## CONCRETE PAVING AND SIDEWALK

- ALL DRIVEWAYS SHALL BE CONSTRUCTED PER FDOT INDEX 515 AND/OR BREVARD COUNTY STANDARD EXHIBITS UNLESS OTHERWISE NOTED.
- ALL CONCRETE SHALL MEET FDOT DESIGN MIX AND SPECIFICATIONS. CURING METHOD SHALL BE IN ACCORDANCE WITH THE FDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, (LATEST EDITION).
- ALL SIDEWALKS WITHIN THE COUNTY RIGHT-OF-WAY OR WITHIN A PUBLIC SIDEWALK EASEMENT SHALL BE CONSTRUCTED OF 6-INCH THICK, 3000-PSI CONCRETE WITH FIBER MESH REINFORCEMENT. CONCRETE SIDEWALKS (OR PEDWAYS) AND CONCRETE DRIVEWAY APRONS SHALL BE CONSTRUCTED OVER SOILS COMPACTED TO 98% DENSITY. OF AASHTO T-180. SHOULD EXISTING SOILS BE FOUND UNSUITABLE FOR COMPACTION, ADDITIONAL COMPATIBLE MATERIALS SHALL BE BROUGHT TO THE SITE FOR USE AS SUBGRADE. ALTERNATE METHODS OF COMPACTION MAY BE REQUIRED TO AVOID DAMAGE TO SURROUNDING PROPERTIES.
- CONSTRUCT SIDEWALK JOINTS PURSUANT TO FDOT INDEX 310 (LATEST EDITION). EXPANSION JOINTS SHALL BE EVERY 90 FEET, AND BETWEEN NEW AND OLD CONCRETE.
- TWO BY FOUR FORM BOARDS SHALL NOT BE USED FOR SIDEWALK/DRIVEWAY CONSTRUCTION. FORM BOARDS SHALL MATCH PROPOSED CONCRETE THICKNESS. SLIP FORMS SHALL NOT BE USED FOR SIDEWALK CONSTRUCTION. FIXED FORMWORK SHALL BE REQUIRED PER FDOT INDEX 300.
- THE CONTRACTOR SHALL PROVIDE A 3-FOOT CURB TRANSITION AT ALL CURB TERMINATIONS.
- ALL SIDEWALK AND ACCESS RAMP CONSTRUCTION SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, FDOT DESIGN STANDARDS (LATEST EDITION), AND BREVARD COUNTY DEVELOPMENT REQUIREMENTS.

## ASPHALT PAVING AND TESTING

THE FOLLOWING TESTING REQUIREMENTS APPLY TO:

- ALL PUBLIC AND PRIVATE SUBDIVISION PROJECTS PERMITTED THROUGH BREVARD COUNTY PLANNING AND DEVELOPMENT.
- ALL SITE PLAN PROJECTS PERMITTED THROUGH BREVARD COUNTY PLANNING AND DEVELOPMENT REQUIRING WORK IN THE COUNTY RIGHT-OF-WAY;
- ALL PROJECTS PERMITTED THROUGH BREVARD COUNTY PUBLIC WORKS FOR WORK WITHIN THE COUNTY RIGHT-OF-WAY.

SECTIONS WITHIN THE FDOT STANDARD SPECIFICATIONS LIMITING TESTING REQUIREMENTS BASED ON LOT SIZE, SUB-LOT SIZE, TONNAGE, MINIMUM THICKNESS, OR SPREAD RATE WILL NOT APPLY TO THE PROJECTS LISTED ABOVE. AT A MINIMUM, ONE SET OF TESTS WILL BE REQUIRED FOR ALL PAVING PROJECTS LARGER THAN 50 TONS TOTAL AND ADDITIONAL TESTING MAY BE REQUIRED ON A CASE BY CASE EVALUATION OF THE PROJECT. TESTING REQUIREMENTS AT THE ASPHALT PLANT WILL NOT APPLY.

## FOR S-TYPE ASPHALT AS SPECIFIED IN THE 2000-2004 FDOT STANDARD SPECIFICATION:

- THE CONTRACTOR SHALL PROVIDE A DESIGN MIX SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA AND APPROVED BY THE ENGINEER OF RECORD FOR THE PROJECT TO PUBLIC WORKS ENGINEERING FIVE BUSINESS DAYS PRIOR TO PAVING. THE MIX DESIGN SHALL MEET FDOT MINIMUM REQUIREMENTS AS OUTLINED IN SECTION 331-4 (2000). DESIGN MIXES BY FDOT CERTIFIED MIX DESIGNERS WILL NOT BE ACCEPTED.
- THE CONTRACTOR SHALL PROVIDE EXTRACTION/GRADATION TESTS IN ACCORDANCE WITH SECTION 331-4.4.2 (2000).
- THE CONTRACTOR SHALL PROVIDE MARSHALL STABILITY TESTING IN ACCORDANCE WITH SECTION 331-5.5.1 (2000).
- PAVEMENT SURFACE SHALL MEET ALL REQUIREMENTS SPECIFIED IN SECTION 330-13 (2000).
- THE CONTRACTOR SHALL PROVIDE SURFACE TOLERANCE TESTING FOR ROADWAYS WITH DESIGN SPEEDS OF 35 MPH OR GREATER IN ACCORDANCE WITH SECTION 330-13.3 (2000).
- QUALITY CONTROL CORE BORINGS SHALL BE OBTAINED FOR THICKNESS PER SECTION 330-2.2 ROADWAY, (2004) AND DENSITY PER SECTION 330-11, TABLE 330-3 (2000).
- ASPHALT TEST RESULTS FOR EACH CORE TAKEN ARE REVIEWED ON AN INDIVIDUAL BASIS FOR THICKNESS AND DENSITY. THICKNESS AND DENSITY AVERAGES WILL NOT BE ACCEPTED. NO UNDER TOLERANCE FOR THE THICKNESS OF EACH ASPHALT CORE WILL BE ALLOWED.

## FOR SUPERPAVE (SP) ASPHALT AS SPECIFIED IN THE 2017 FDOT STANDARD SPECIFICATION:

- THE CONTRACTOR SHALL PROVIDE AN FDOT APPROVED DESIGN MIX, APPROVED BY THE ENGINEER OF RECORD FOR THE PROJECT, TO PUBLIC WORKS ENGINEERING FIVE BUSINESS DAYS PRIOR TO PAVING. THE MIX DESIGN SHALL MEET FDOT MINIMUM REQUIREMENTS AS OUTLINED IN SECTION 334-2 & 334-3 (2017). DESIGN MIXES BY FDOT CERTIFIED MIX DESIGNERS THAT ARE NOT FDOT APPROVED WILL NOT BE ACCEPTED.
- THE CONTRACTOR SHALL PROVIDE GRADATION AND BINDER CONTENT TESTING IN ACCORDANCE WITH SECTION 334-5 (2017) HOWEVER, THE SAMPLE(S) MAY BE TAKEN AT THE PROJECT LOCATION IN LIEU OF AT THE ASPHALT PLANT AS SPECIFIED. RESULTS MUST BE PROVIDED TO THE COUNTY WITHIN ONE WEEK AFTER THE COMPLETION OF PAVING.
- THE CONTRACTOR SHALL PROVIDE QUALITY CONTROL, DENSITY, AND THICKNESS TESTING IN ACCORDANCE WITH SECTIONS 334-3, 334-4, 334-5, AND 334-5.2.3 (2017).
- ASPHALT TESTING RESULTS FOR EACH CORE TAKEN ARE REVIEWED ON AN INDIVIDUAL BASIS FOR THICKNESS AND DENSITY. THICKNESS AND DENSITY AVERAGES, AS NOTED IN TABLE 334-5, NOTE 2, OF SECTION 334-5 (2017) WILL NOT BE ACCEPTED. NO UNDER TOLERANCE FOR THE THICKNESS OF EACH ASPHALT CORE WILL BE ALLOWED.
- PAVEMENT SURFACE SHALL MEET ALL REQUIREMENTS SPECIFIED IN SECTION 330-12 (2017).
- THE CONTRACTOR SHALL PROVIDE QUALITY CONTROL SURFACE TOLERANCE TESTING FOR ROADWAYS WITH DESIGN SPEEDS OF 35 MPH OR GREATER IN ACCORDANCE WITH 330-12 (2017).

## FOR FRICTION COURSE FC-5 AS SPECIFIED IN THE 2017 FDOT STANDARD SPECIFICATION:

- THE CONTRACTOR SHALL PROVIDE PROVIDE AN FDOT APPROVED DESIGN MIX, APPROVED BY THE ENGINEER OF RECORD FOR THE PROJECT, TO PUBLIC WORKS ENGINEERING FIVE BUSINESS DAYS PRIOR TO PAVING. THE MIX DESIGN SHALL MEET FDOT MINIMUM REQUIREMENTS AS OUTLINED IN SECTION 337-4 (2017). DESIGN MIXES BY FDOT CERTIFIED MIX DESIGNERS THAT ARE NOT FDOT APPROVED WILL NOT BE ACCEPTED.
- THE CONTRACTOR SHALL PROVIDE GRADATION AND BINDER CONTENT TESTING IN ACCORDANCE WITH SECTION 337-5 & 337-6 (2017). THE SAMPLE(S) MAY BE TAKEN AT THE PROJECT LOCATION IN LIEU OF AT THE ASPHALT PLANT AS SPECIFIED. RESULTS MUST BE PROVIDED TO THE COUNTY WITHIN ONE WEEK AFTER THE COMPLETION OF PAVING.
- PAVEMENT SURFACE SHALL MEET ALL REQUIREMENTS SPECIFIED IN SECTION 330-12 (2017).
- QUALITY CONTROL CORE BORINGS SHALL BE OBTAINED FOR THICKNESS TESTING USING SECTION 334-5.2.3 (2017).
- THE CONTRACTOR SHALL PROVIDE QUALITY CONTROL SURFACE TOLERANCE TESTING FOR ROADWAYS WITH DESIGN SPEEDS OF 35 MPH OR GREATER IN ACCORDANCE WITH SECTION 330-12 (2017).

## FOR FRICTION COURSES FC-9.5 & FC-12.5 AS SPECIFIED IN THE 2017 FDOT STANDARD SPECIFICATIONS:

- THE CONTRACTOR SHALL PROVIDE AN FDOT APPROVED DESIGN MIX, APPROVED BY THE ENGINEER OF RECORD FOR THE PROJECT, TO PUBLIC WORKS ENGINEERING FIVE BUSINESS DAYS PRIOR TO PAVING. THE MIX DESIGN SHALL MEET FDOT MINIMUM REQUIREMENTS AS OUTLINED IN SECTION 337-4 (2017). DESIGN MIXES BY FDOT CERTIFIED MIX DESIGNERS THAT ARE NOT FDOT APPROVED WILL NOT BE ACCEPTED.
- THE CONTRACTOR SHALL PROVIDE GRADATION AND BINDER CONTENT TESTING IN ACCORDANCE WITH SECTION 337-5 & 337-6 (2017). THE SAMPLE(S) MAY BE TAKEN AT THE PROJECT LOCATION IN LIEU OF AT THE ASPHALT PLANT, AS SPECIFIED. RESULTS MUST BE PROVIDED TO THE COUNTY WITHIN ONE WEEK AFTER THE COMPLETION OF PAVING.
- THE CONTRACTOR SHALL PROVIDE QUALITY CONTROL, DENSITY, AND THICKNESS TESTING IN ACCORDANCE WITH SECTIONS 337-1, 337-3, 337-4, 337-6, 337-8, AND 334-5.2.3 (2017).
- ASPHALT TESTING RESULTS FOR EACH CORE TAKEN ARE REVIEWED ON AN INDIVIDUAL BASIS FOR THICKNESS AND DENSITY. THICKNESS AND DENSITY AVERAGES, AS NOTED IN TABLE 334-5, NOTE 2, OF SECTION 334-5 (2017) WILL NOT BE ACCEPTED. NO UNDER TOLERANCE FOR THE THICKNESS OF EACH ASPHALT CORE WILL BE ALLOWED.
- PAVEMENT SURFACE SHALL MEET ALL REQUIREMENTS SPECIFIED IN SECTION 330-12 (2017).
- THE CONTRACTOR SHALL PROVIDE QUALITY CONTROL SURFACE TOLERANCE TESTING FOR ROADWAYS WITH DESIGN SPEEDS OF 35 MPH OR GREATER IN ACCORDANCE WITH 330-12 (2017).

## CONCRETE BOX CULVERT NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH FDOT DESIGN STANDARDS (LATEST EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND BREVARD COUNTY STANDARDS.
- PRIOR TO START OF CONSTRUCTION, THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING STRUCTURAL ENGINEERING DRAWINGS (SIGNED & SEALED BY A PROFESSIONAL ENGINEER LICENSED & REGISTERED IN THE STATE OF FLORIDA) FOR ALL COMPONENTS OF THE CONCRETE BOX CULVERTS, INCLUDING WINGWALLS, TOE SLAB & CUTOFF WALLS, AND HEADWALLS. THE DRAWINGS SHALL INCLUDE QUANTITIES TABULATIONS FOR CLASS IV CONCRETE (CUBIC YARDS), AND REINFORCING STEEL (POUNDS). THE DESIGN MUST BE BASED ON FDOT'S LOAD & RESISTANCE FACTOR DESIGN (LRFD) PROGRAM. SEPARATE DRAWINGS ARE REQUIRED FOR ALL WINGWALLS, TOE SLABS & CUTOFF WALLS, AND HEADWALLS, WHICH MUST BE CAST-IN-PLACE PER FDOT SPECIFICATIONS.
- ALL BOX CULVERT MATERIALS THAT ARE TO BE INSTALLED UNDER ROADWAYS AND/OR DRIVEWAYS ARE TO BE DELIVERED TO SITE (AND PASS INITIAL INSPECTIONS) PRIOR TO START OF DEMOLITION OF EXISTING SYSTEM.
- CONCRETE (PRECAST OR CAST-IN-PLACE) REQUIREMENTS: CLASS IV (5500 PSI).
- REINFORCING STEEL REQUIREMENTS: ASTM A615 GRADE 60 DEFORMED BAR UNLESS OTHERWISE NOTED, WITH A MINIMUM CLEARANCE OF 3" (THREE INCHES), UNLESS OTHERWISE SHOWN. EQUAL AREA SUBSTITUTION OF WELDED WIRE (WWR) REINFORCEMENT IS PERMITTED.
- REFER TO FDOT INDEX 292 FOR PRECAST CONCRETE BOX CULVERT SLAB & WALL THICKNESSES, REINFORCEMENT AREAS, GENERAL NOTES (SHEET 2 OF 14), AND WELDED WIRE REINFORCEMENT BENDING DIAGRAMS (SHEET 14 OF 14).
- REFER TO FDOT INDEX 289 FOR CONCRETE BOX CULVERT DETAILS RELATED TO LRFD.
- REFER TO FDOT INDEX 291 FOR SUPPLEMENTAL DETAILS FOR PRECAST CONCRETE BOX CULVERTS.
- IF REQUIRED, BY-PASS PUMPING AND/OR PIPING SHALL BE APPROVED BY BREVARD COUNTY PUBLIC WORKS PRIOR TO THE START OF CONSTRUCTION.

REVISIONS	
NO.	DATE
	06/14/23
	05/02/23
	04/17/23
	11/09/22
	09/13/22
	10/29/21

DESIGNED BY	SM/WRD
DRAWN BY	
CHECKED BY	
APPROVED BY	

BREVARD COUNTY PUBLIC WORKS ENGINEERING STANDARD DEVELOPMENT NOTES

CONSTRUCTION PLANS FOR MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL CITY OF COCOA, FLORIDA

DRMP  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

DRMP, Inc.

Professional Seal: JOSE GONZALEZ, LICENSE No. 84538, STATE OF FLORIDA, PROFESSIONAL ENGINEER

State of Florida # 84538

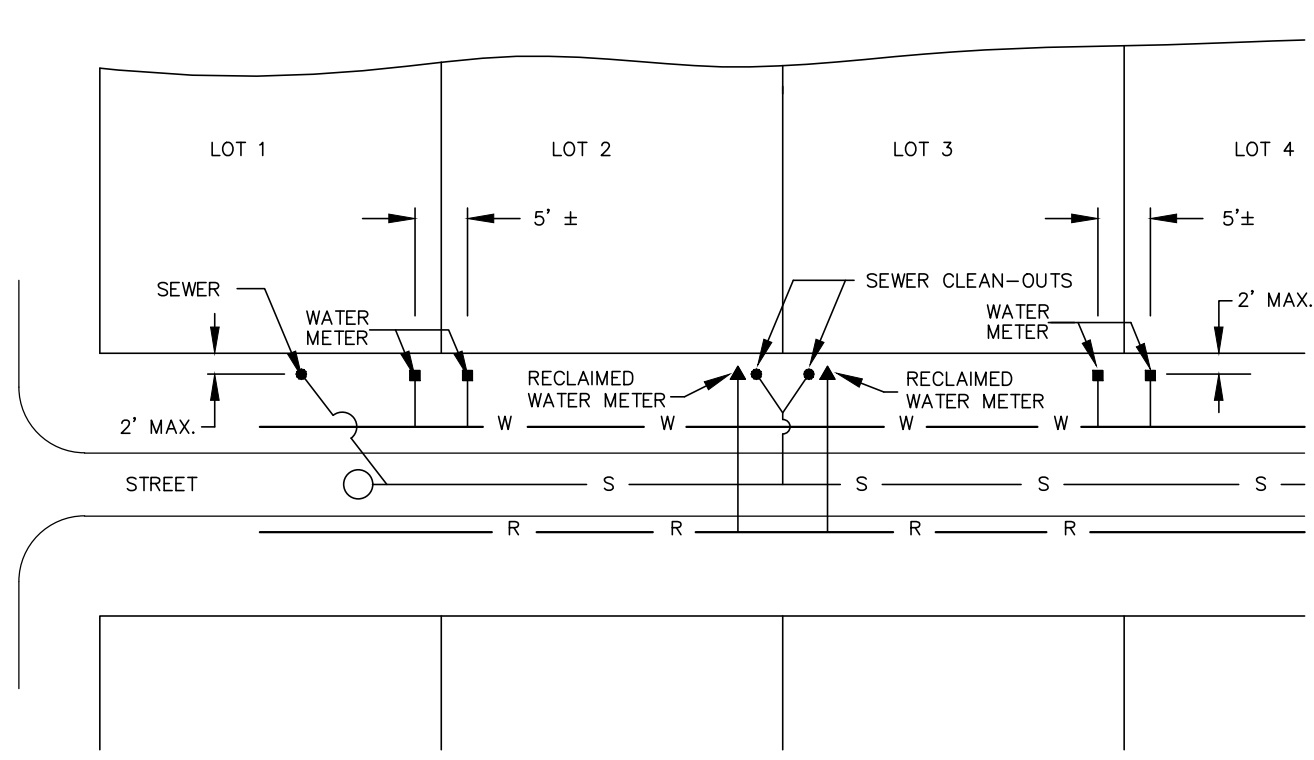
PROJECT NO.: 21-0509.001

SCALE: N/A

DATE: NOVEMBER, 2020

DRAWING: C19

PROJECT NAME: DWG DESIGNED/DRAWN BY: JB CHECKED BY: RBS	DATE: 1. FOR DISTRIBUTION 10-10-12	REVISION:	BY:	PREPARED BY: PUBLIC WORKS DEPARTMENT ENGINEERING PROGRAM BREVARD COUNTY BOARD OF COUNTY COMMISSIONERS 2725 JUDGE FRAN JAMIESON WAY, RM. 204, BLDG. A, VIERA, FL 32940 Ph. (321) 637-5437, Fx. (321) 633-2083	DATE: OCTOBER 2012	APPROVED BY: RICHARD B. SZPYRKA, P.E. ENGINEERING PROGRAM MANAGER	BREVARD COUNTY PUBLIC WORKS ENGINEERING STANDARD DEVELOPMENT NOTES	SHEET 1 OF 1
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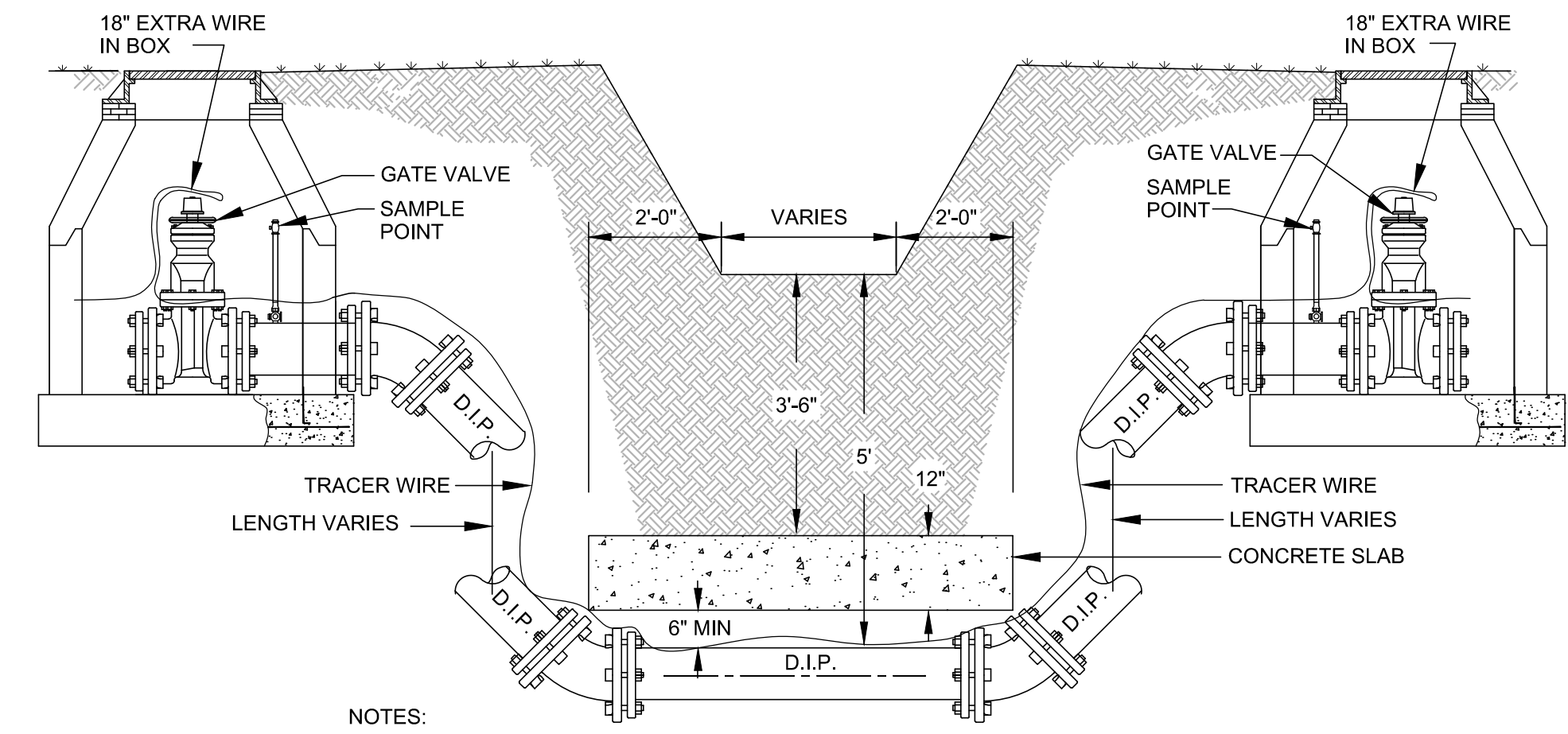


**TYPICAL LOT SERVICE LINE LOCATION**  
NTS DATE: NOV. 2022

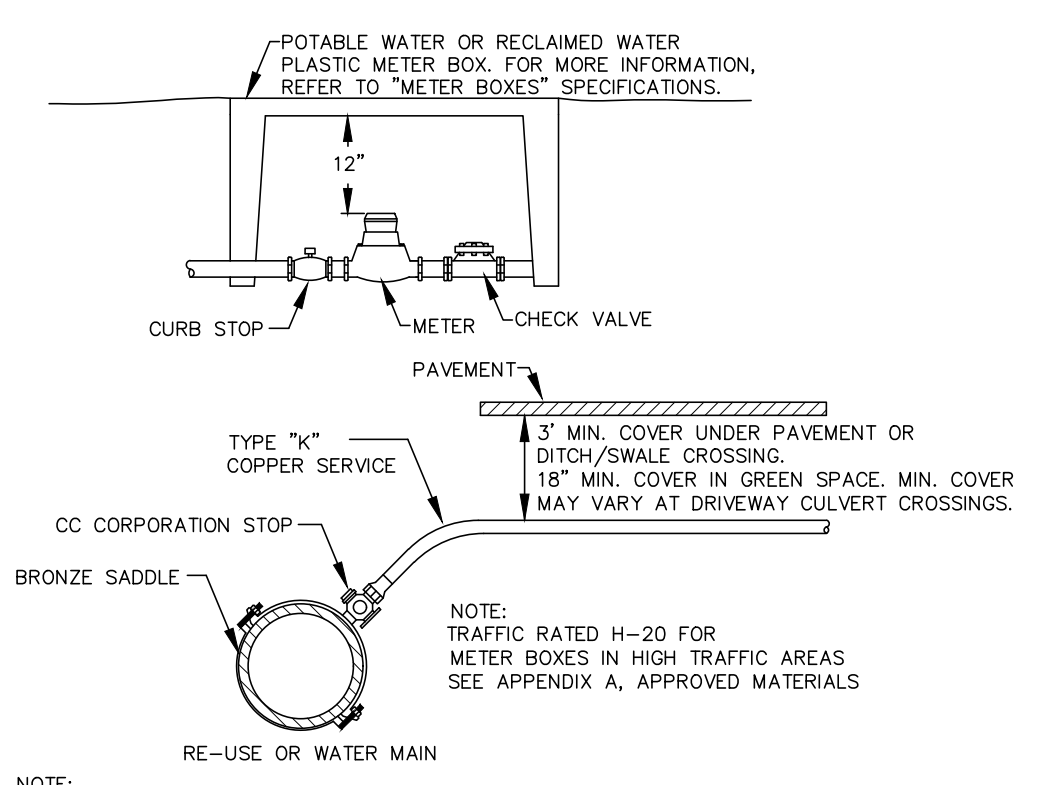
TYPE	PIPE SIZE							
	4"	6"	8"	10"	12"	16"	20"	24"
90° BEND	21	29	38	45	53	66	79	91
45° BEND	9	12	16	19	22	45	33	38
22-1/2° BEND	5	6	8	9	11	14	16	19
11-1/4° BEND	3	3	4	5	6	7	8	9
PLUG, BRANCH OF TEE, VALVE	58	82	107	128	151	193	234	273

- NOTES:**
- FITTINGS SHALL BE RESTRAINED JOINTS.
  - INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
  - WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
  - ALL LINE VALVES AND THROUGH RUN OF TEES SHALL BE RESTRAINED. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:  
WORKING PRESSURE: 150 PSI  
SOIL DESIGNATION: SM (SAND SILT)  
LAYING CONDITIONS: 3
  - TABLE IS FOR PVC AND WRAPPED DUCTILE IRON.

**RESTRAINED PIPE TABLE WATER & RECLAIMED WATER MAINS**  
NTS DATE: NOV. 2022

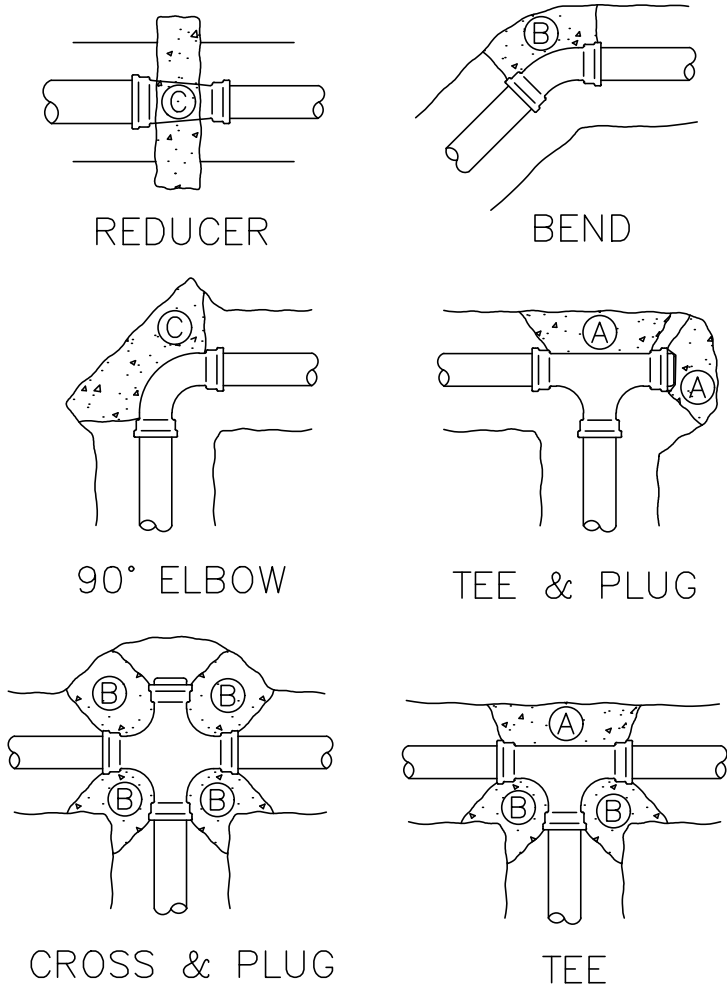


**CANAL OR DRAINAGE DITCH CROSSING**  
NTS DATE: NOV. 2022



**TYPICAL 3/4" - 2" SERVICE LINE**  
NTS DATE: NOV. 2022

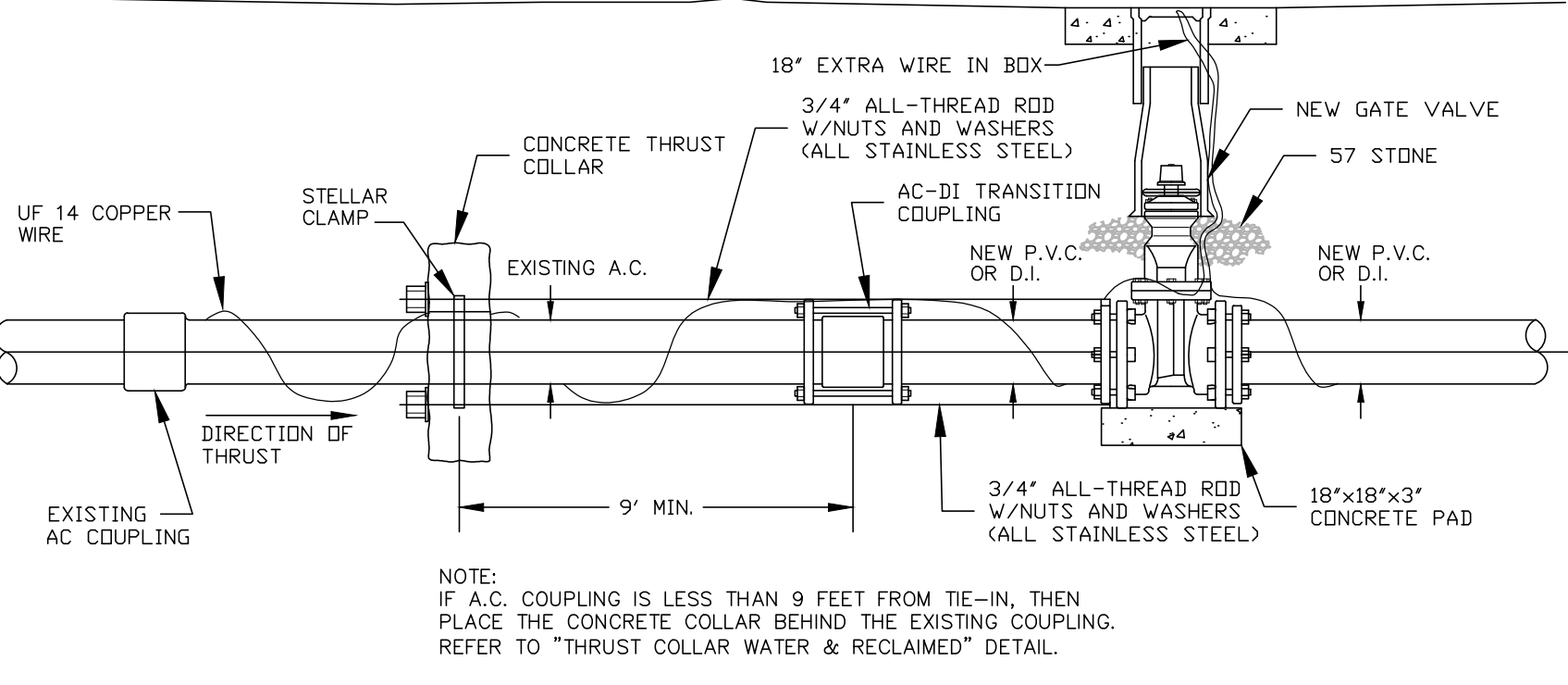
- THRUST BLOCK NOTES**
- WRAP ALL FITTINGS WITH POLYETHYLENE FILM BEFORE POURING THRUST BLOCK, MAKING CERTAIN TO KEEP CONCRETE AWAY FROM ALL BOLTS, GLANDS, AND FLANGES.
  - THRUST BLOCKS TO BE PAID AGAINST UNDISTURBED EARTH.
  - REQUIRED VOLUMES OF BEARING AREAS TO BE AS SHOWN IN CHART. ADJUSTMENTS, IF NEEDED, WILL BE ALLOWED TO CONFORM TO TEST PRESSURE AND ALLOWABLE SOIL BEARING STRESS AS SHOWN IN SPECIFICATIONS.
  - BEARING AREA FOR TRANSIT BLOCKS ON HORIZONTAL BENDS IS BASED ON A TEST PRESSURE OF 150 P.S.I. AND SOIL BEARING STRESS OF 2,000 P.S.F. THE DEPTH TO THE THRUST BLOCK BASE TO BE EQUAL TO OR GREATER THAN THE HEIGHT. (EXAMPLE: IF BLOCK IS 2" THICK, THE BASE IS TO BE NO GREATER THAN 4" BELOW GRADE.)
  - VERTICAL BEND THRUST BLOCKS TO BE THE SAME AS HORIZONTAL BENDS.
  - BEARING AREA OF THRUST BLOCK TO BE NOT LESS THAN ONE SQUARE FOOT.



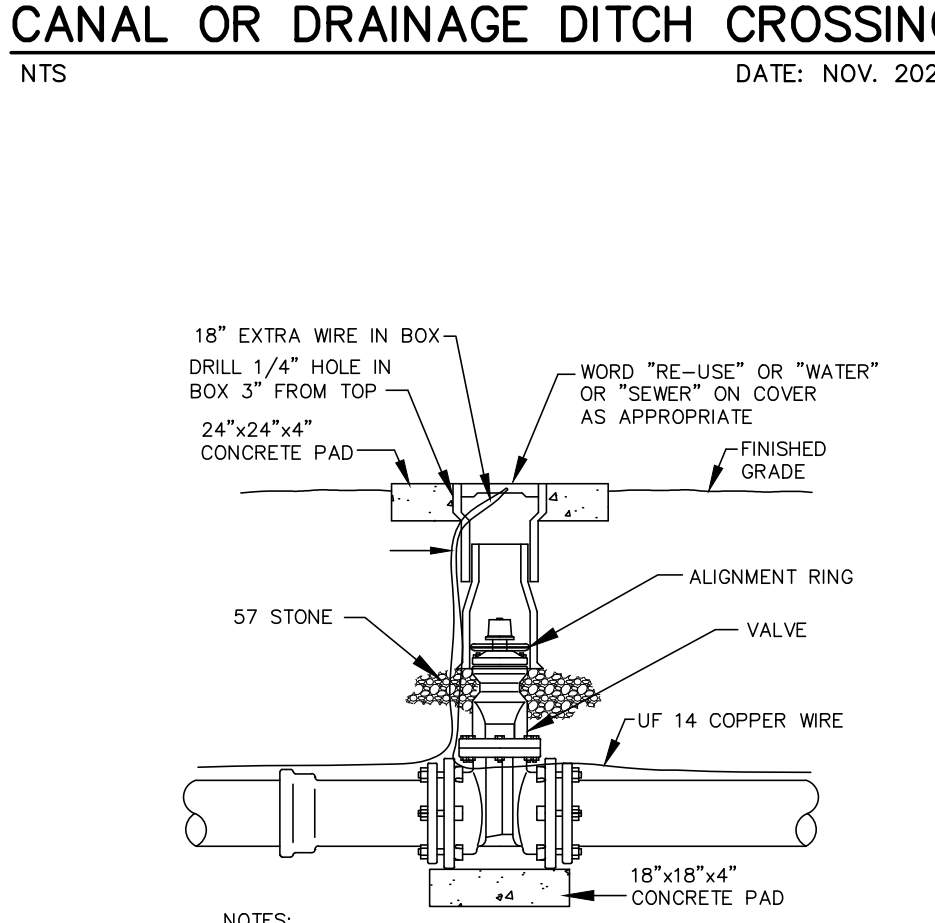
**MINIMUM BEARING AREA (SQ. FT.)**

LETTER	PIPE SIZE							
	4"	6"	8"	10"	12"	16"	20"	24"
A	1-1/2	2-3/4	5	7-1/4	10-1/4	18	27-1/2	
B (2-1/2)	3/4	2	3	5	7	11		
B (45°)	1	2-1/4	3-3/4	5-1/2	8	13-3/4	21	
C	2	4	7	11-1/4	14-1/2	25-1/4	39	

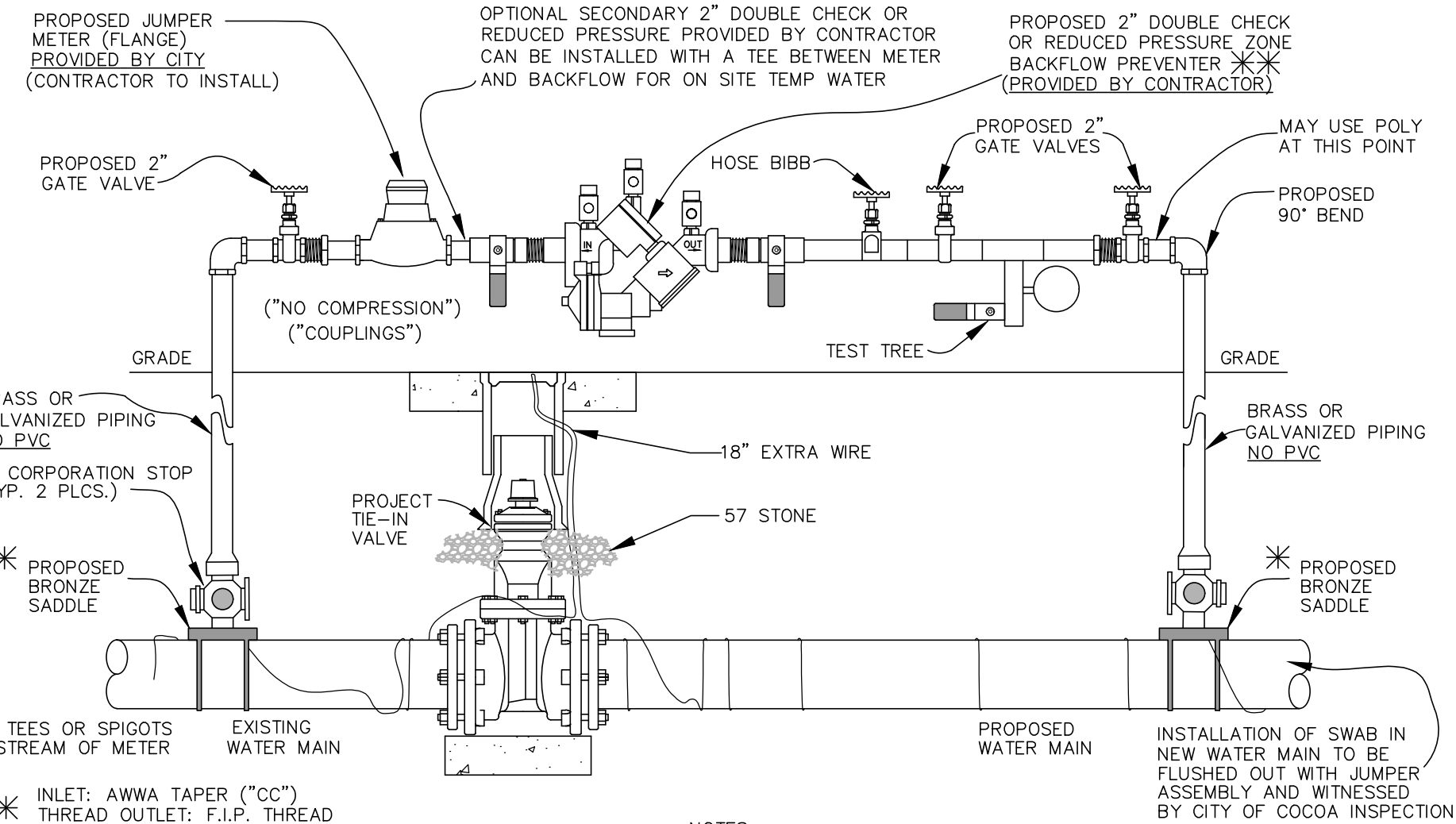
**THRUST BLOCK NOTES & DETAILS**  
NTS DATE: NOV. 2022



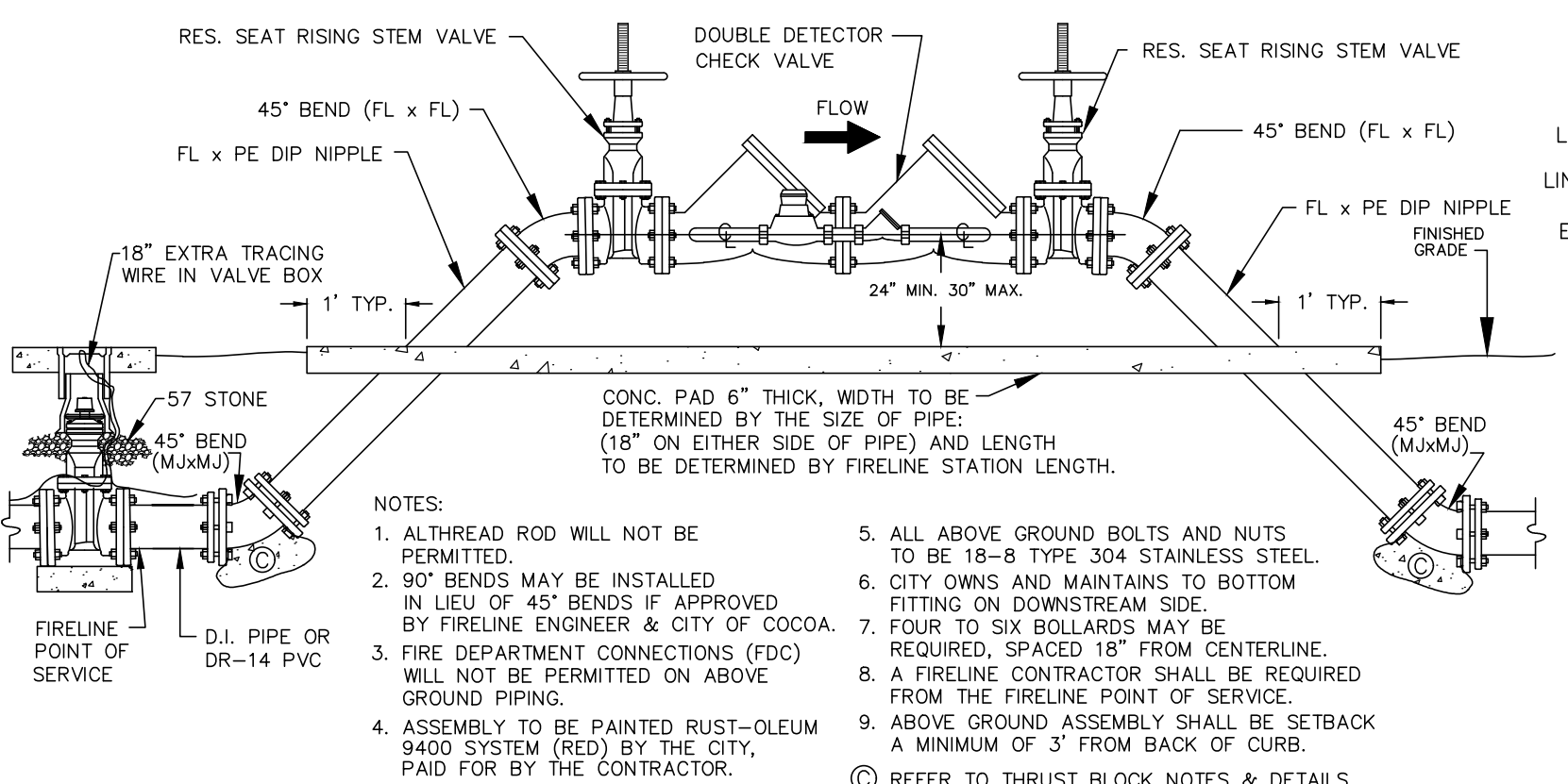
**A.C. PIPE TIE-IN**  
NTS DATE: NOV. 2022



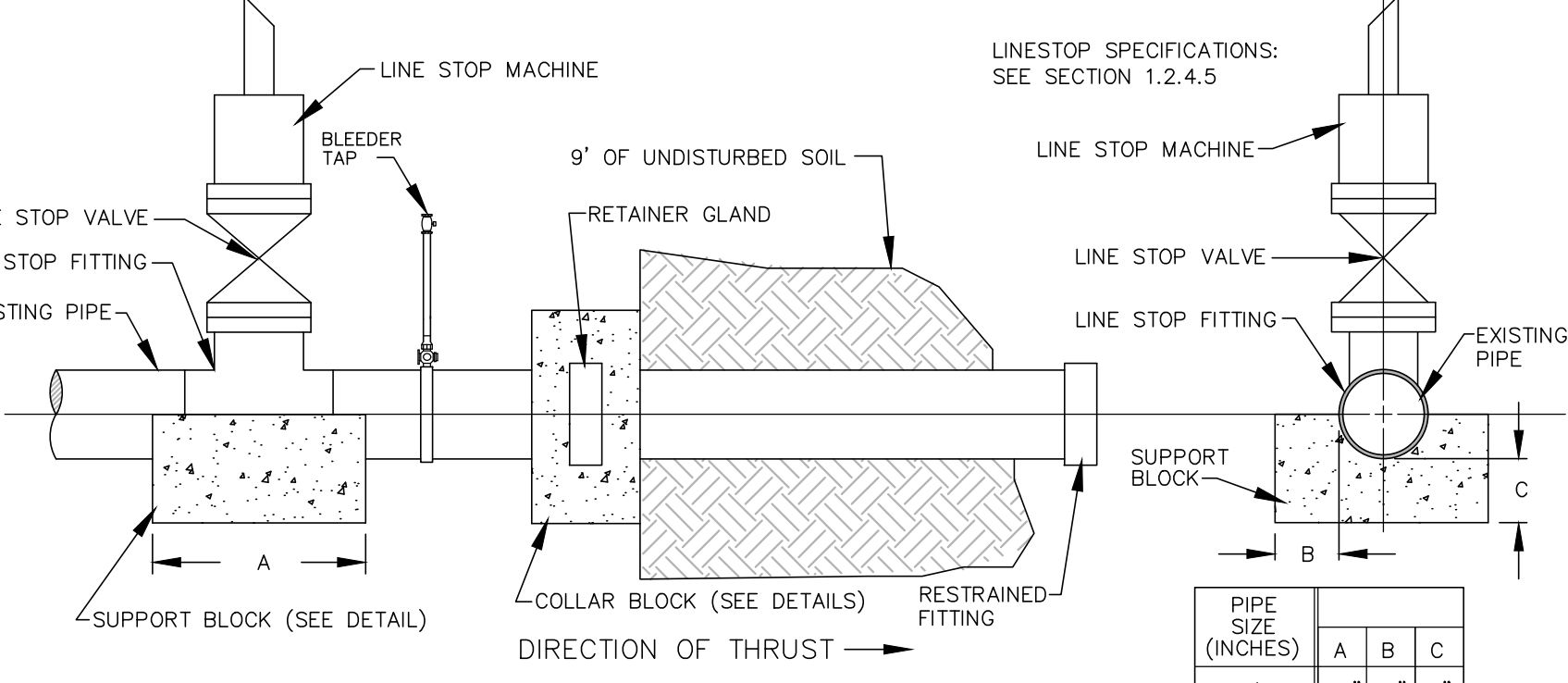
**GATE VALVE & VALVE BOX**  
NTS DATE: NOV. 2022



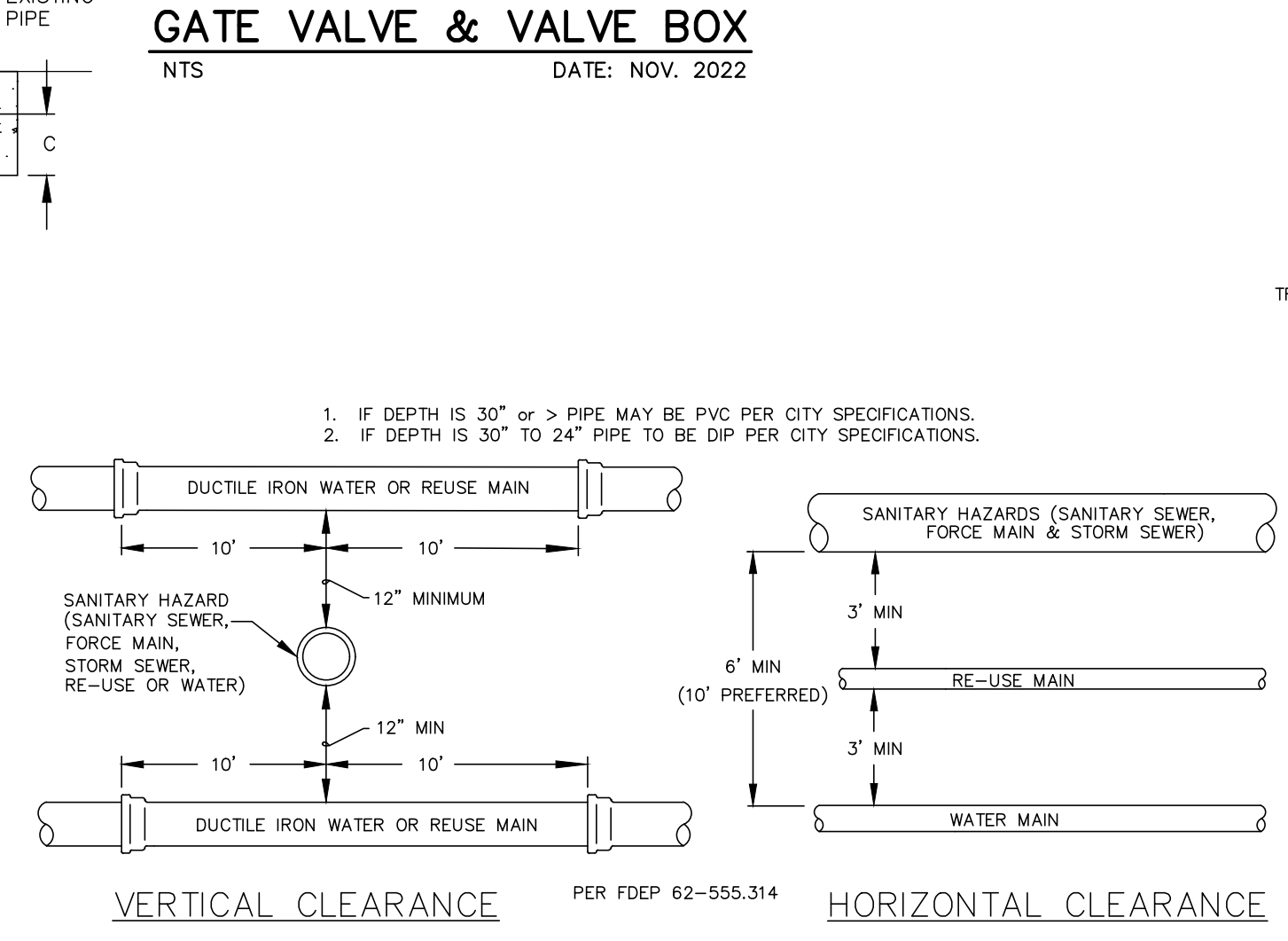
**JUMPER METER ASSEMBLY**  
NTS DATE: NOV. 2022



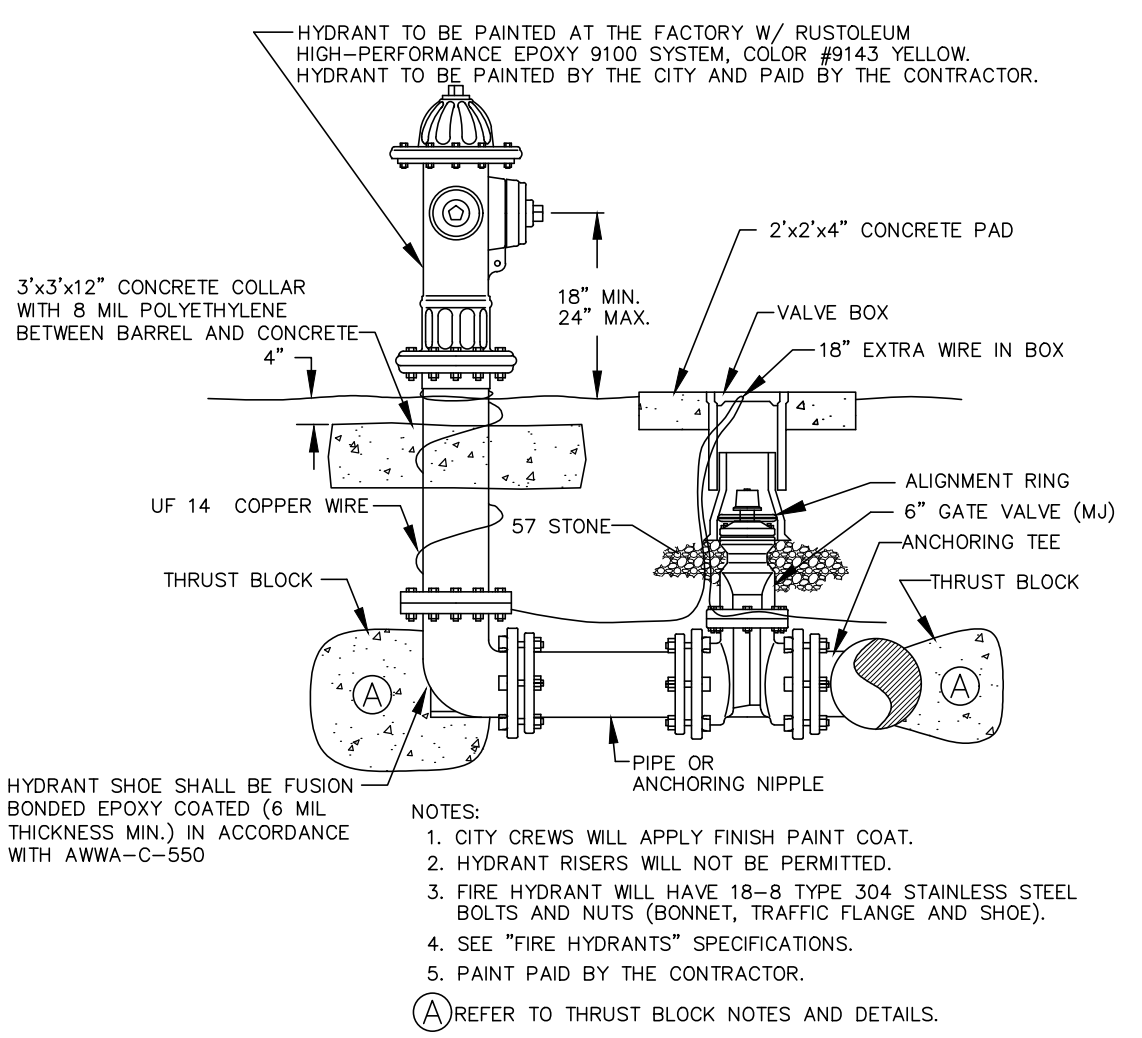
**DOUBLE CHECK DETECTOR ASSEMBLY**  
NTS DATE: NOV. 2022



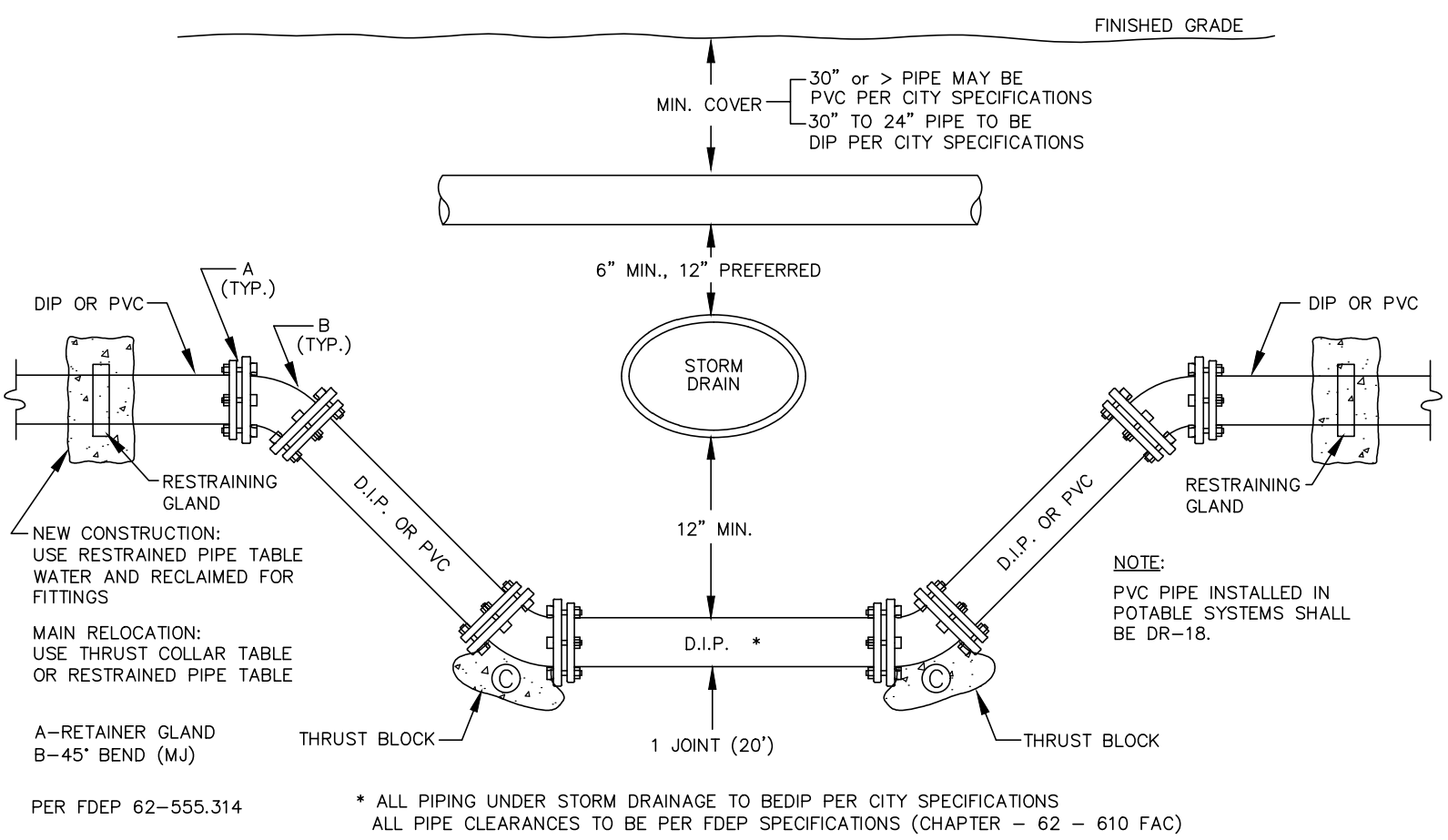
**LINE STOP DETAIL**  
NTS DATE: NOV. 2022



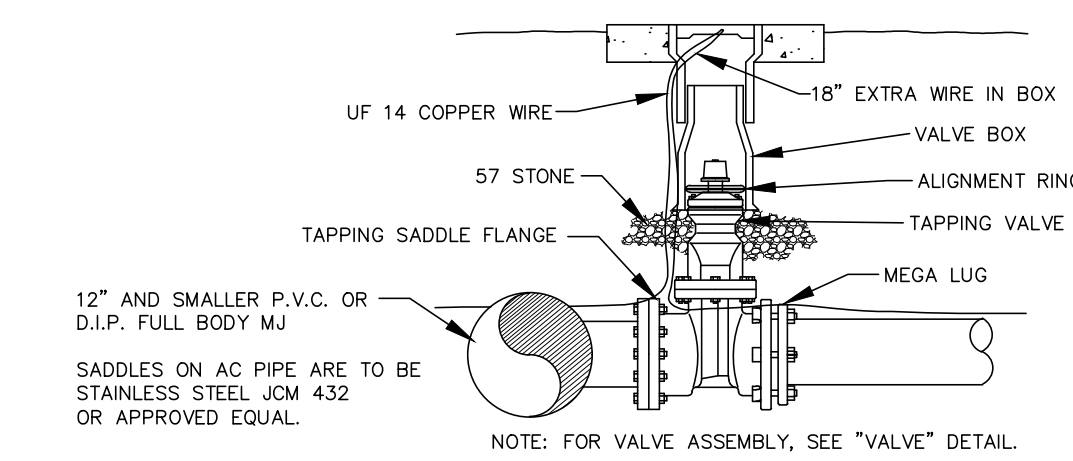
**TYPICAL REQUIRED SEPARATION**  
NTS DATE: NOV. 2022



**FIRE HYDRANT ASSEMBLY**  
NTS DATE: NOV. 2022



**STORM DRAIN CROSSING**  
NTS DATE: NOV. 2022



**TAPPING SADDLE AND VALVE**  
NTS DATE: NOV. 2022

- NOTES:**
- All potable water & reclaimed water construction shall comply with the City of Cocoa Utilities Technical Provisions & Standard Details, latest edition.
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**REVISIONS**

NO.	DATE	DESCRIPTION
1	06/14/23	Per City Site Plan comments
2	05/02/23	Per Cocoa Utilities comments/add Master Meter
3	04/17/23	Per Cocoa Utilities comments/add waterline esmt.
4	11/02/22	Per Site Plan Amendment No. 1
5	05/13/22	Per review agency comments
6	10/29/21	Per City comments

**DESIGNED BY** SNA/WRD  
**DRAWN BY** WRD  
**CHECKED BY** SNA  
**APPROVED BY** SNA

**STANDARD WATER DETAILS**

**CONSTRUCTION PLANS FOR MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.455.0010 Fax: 321.454.0885 WWW.DRMP.COM

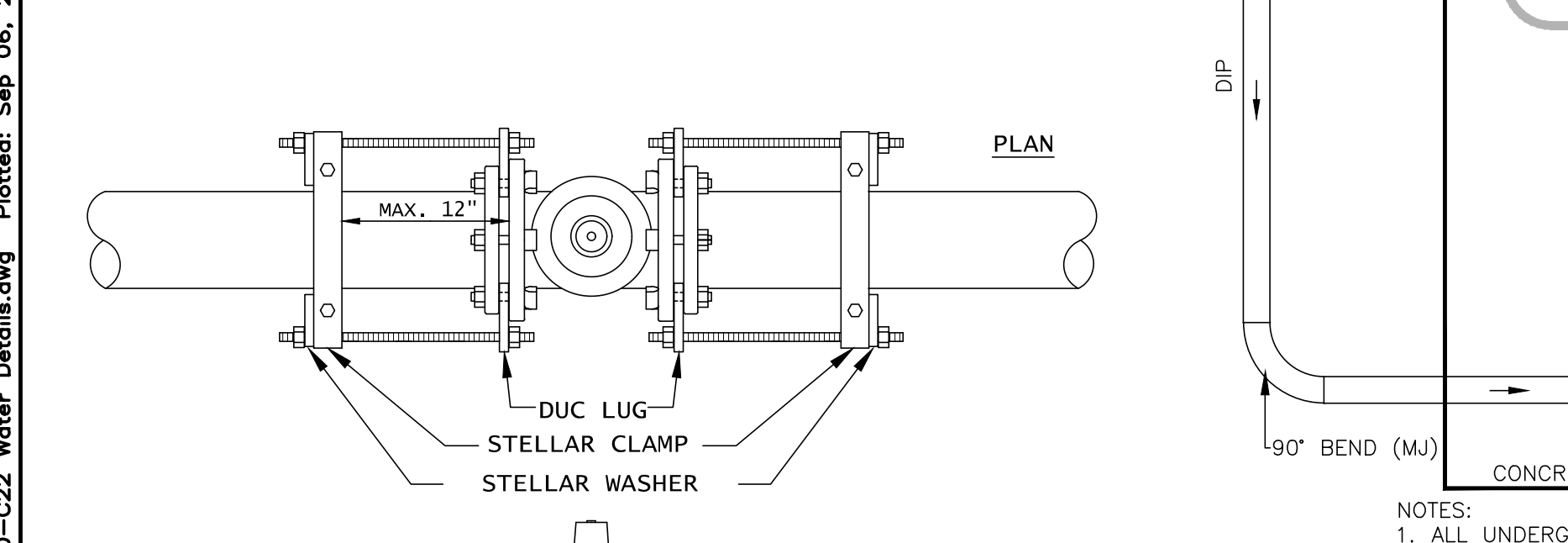
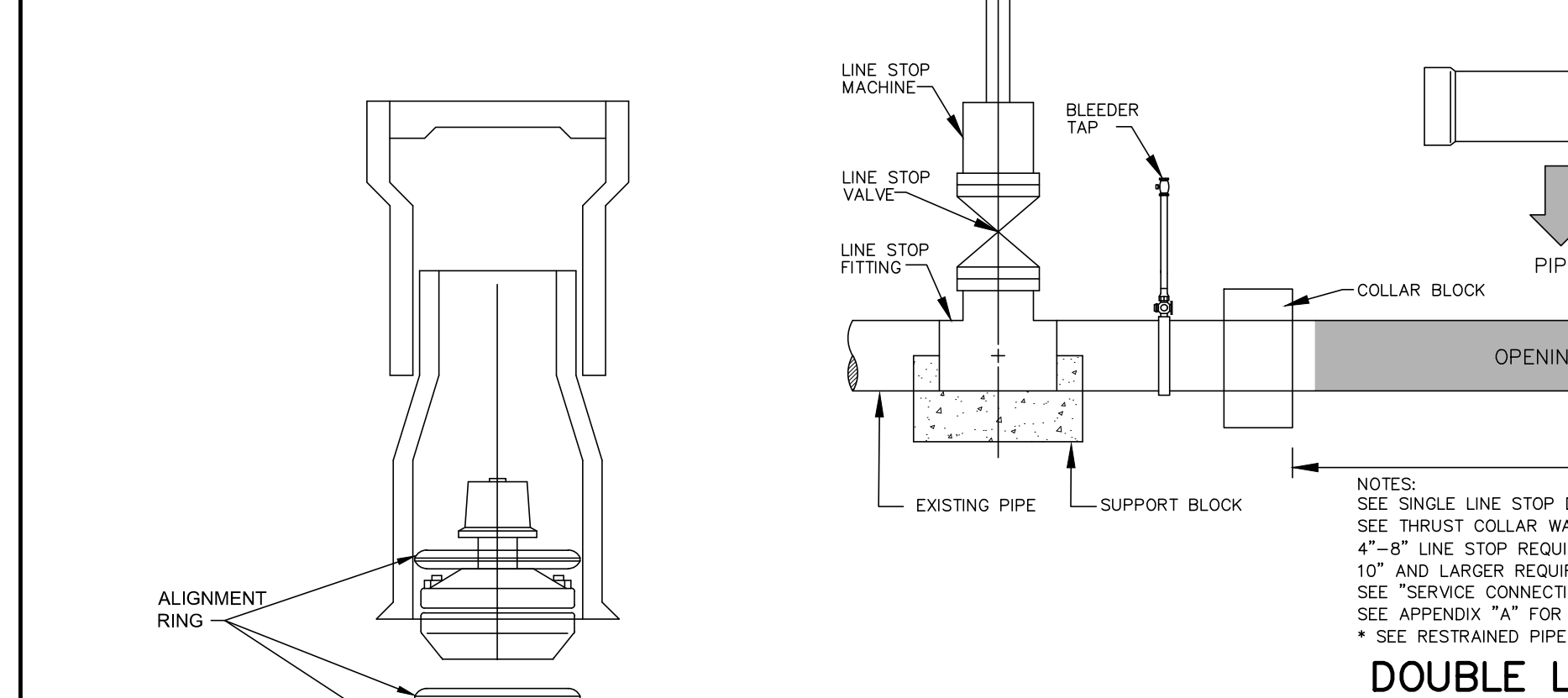
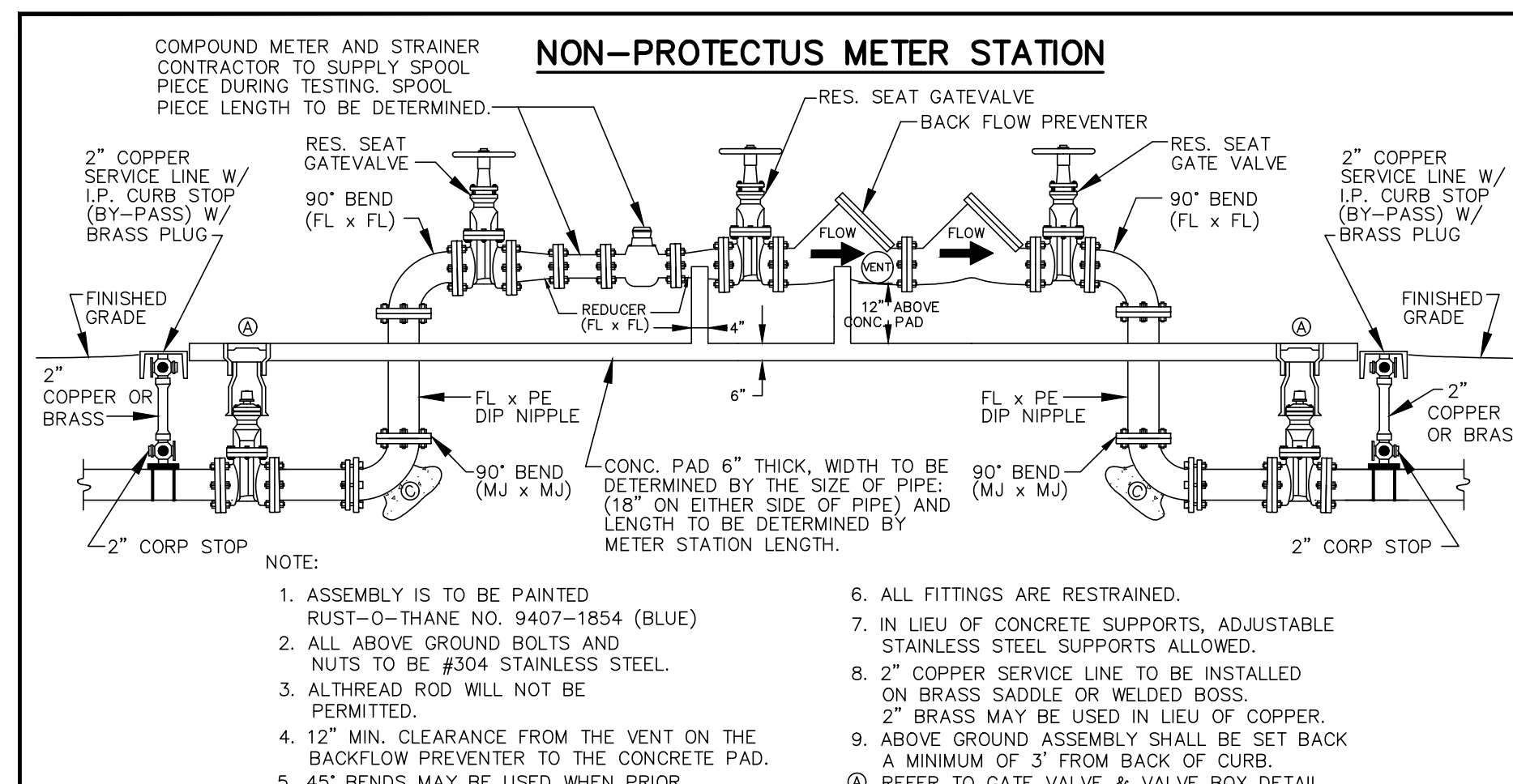
**DRMP, Inc.**

Professional Seal: JOSE GONZALEZ, License No. 84538, State of Florida, Professional Engineer.

PROJECT NO.: 21-0509.001  
SCALE: NTS  
DATE: NOVEMBER, 2020  
DRAWING: C20

**City of Cocoa, Florida Utilities Department**  
Updated November 2022

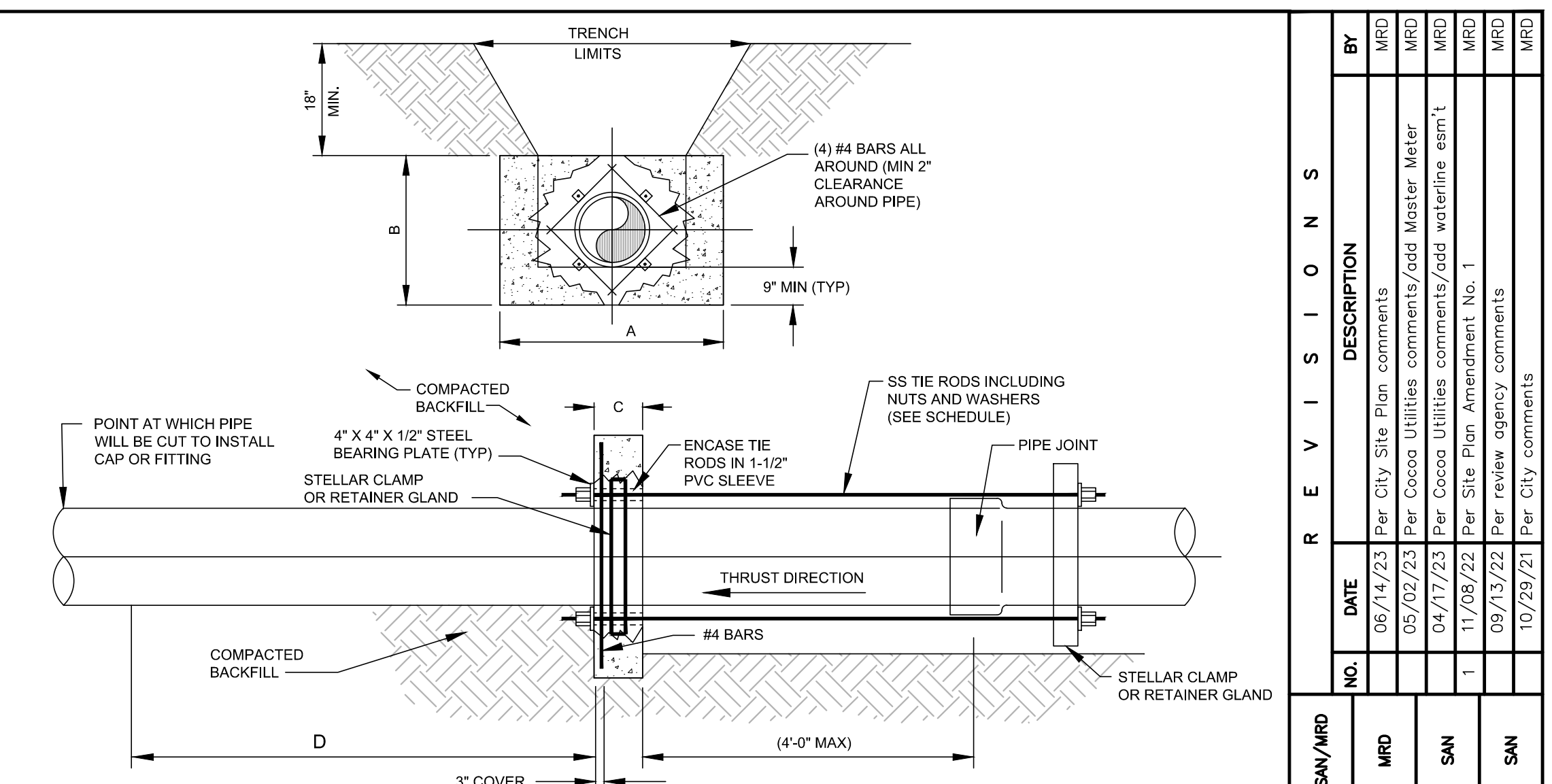
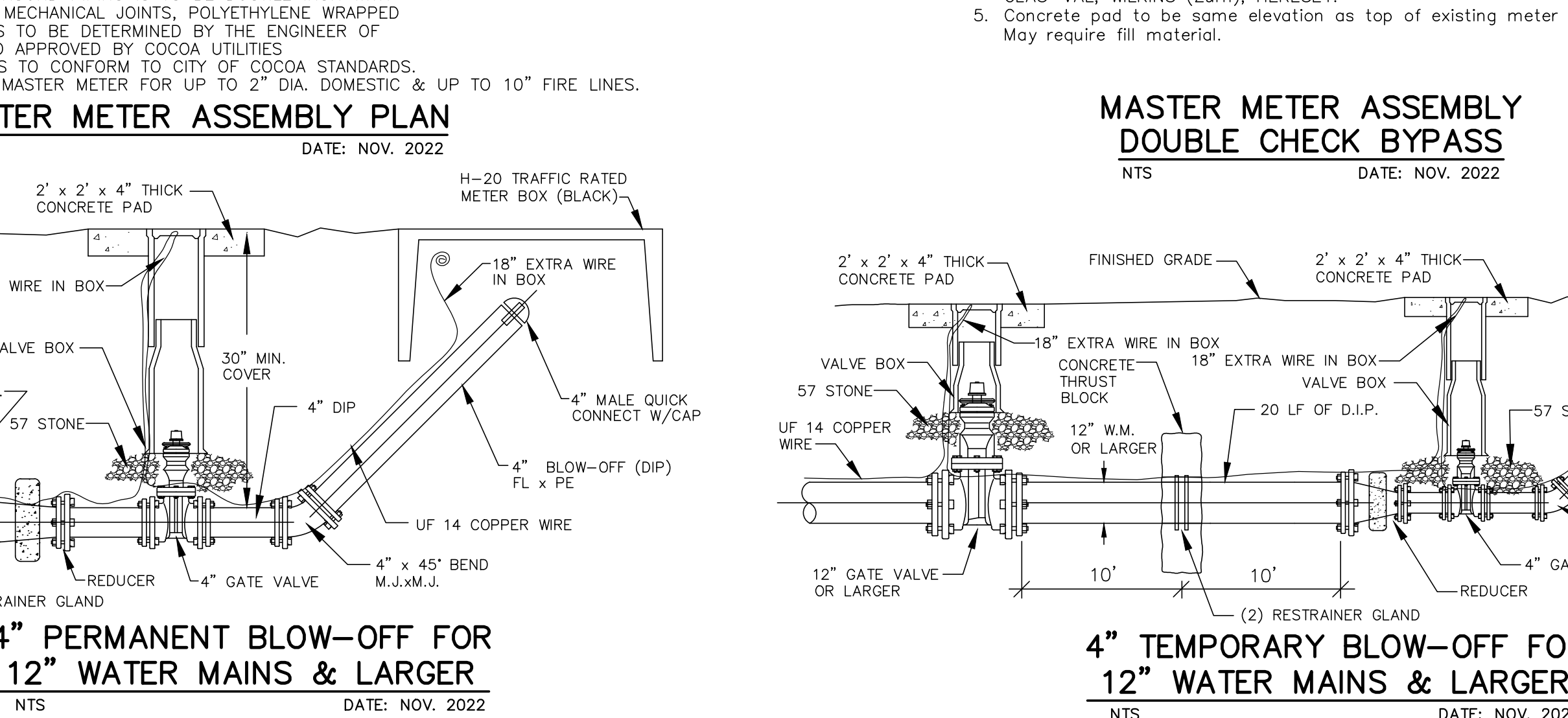
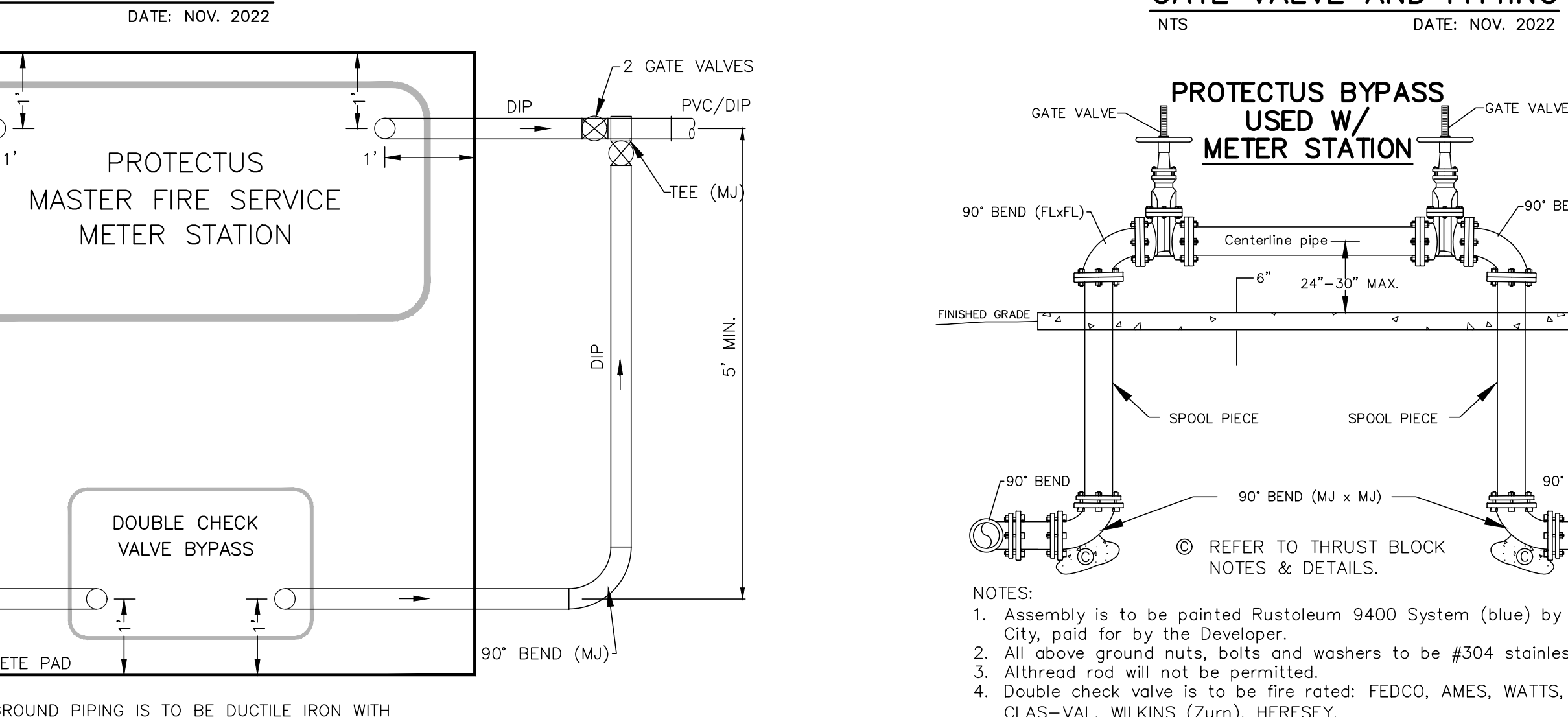
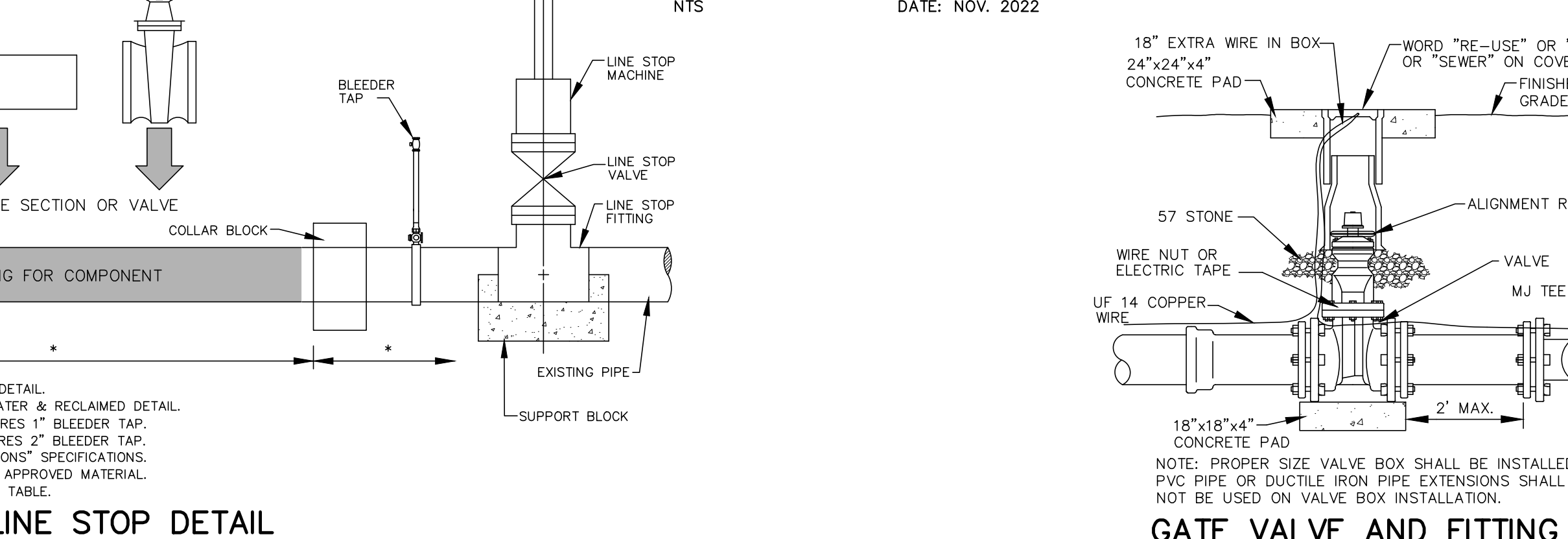
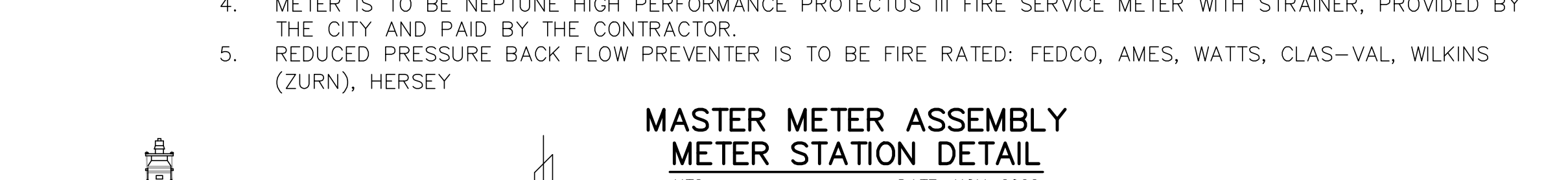
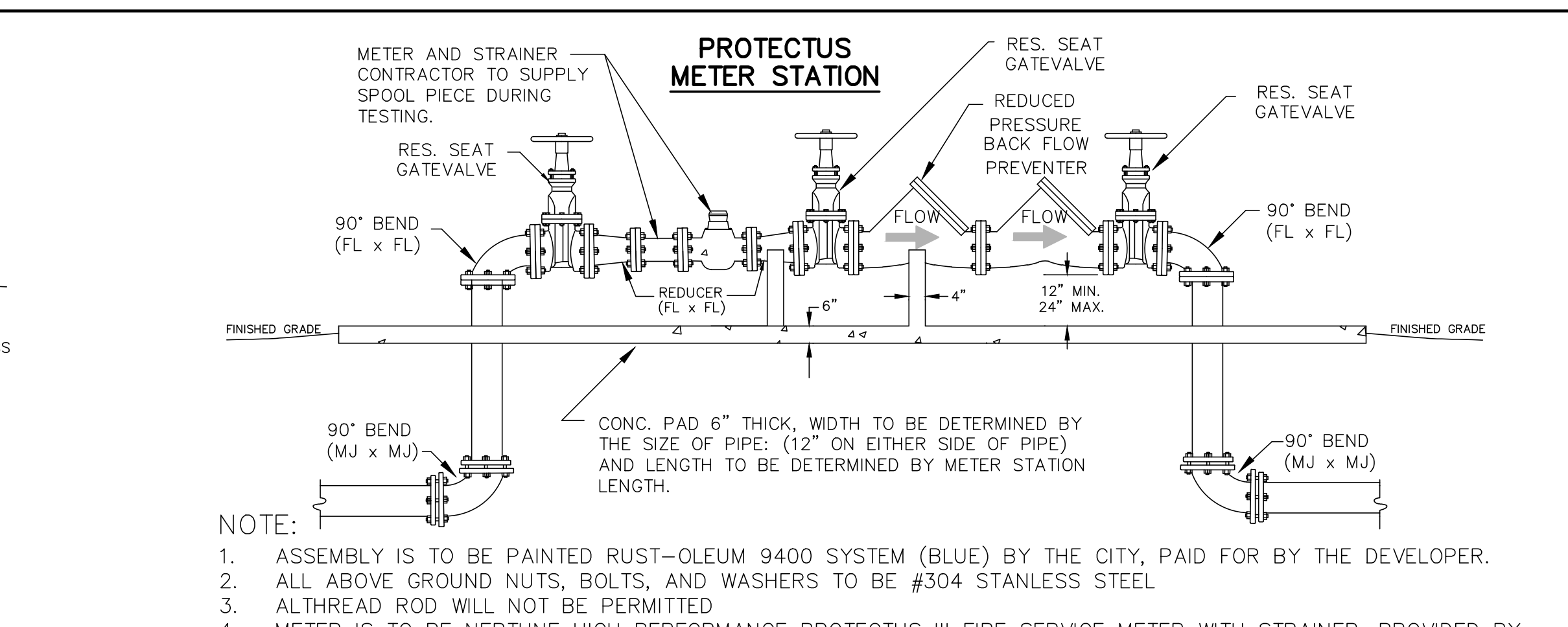
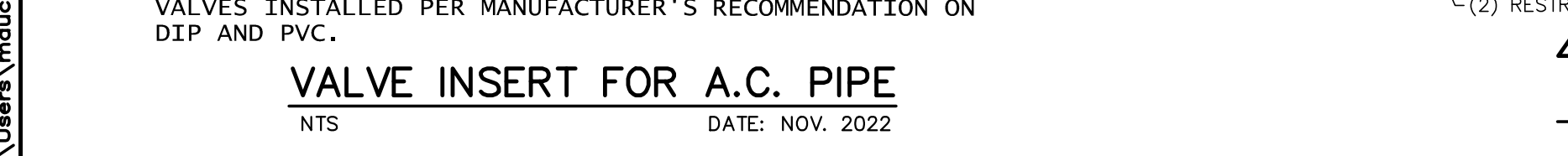
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**CONCRETE PAD SIZE FROM LOWEST POINT OF FITTING**

SIZE	MIN. COVER OF PIPE	CONCRETE PAD SIZE FROM LOWEST POINT OF FITTING
4"	24"	16"x16"x6"
6"	26"	18"x18"x6"
8"	30"	20"x20"x6"
*10"	36"	24"x24"x8"
*12"	40"	30"x30"x8"

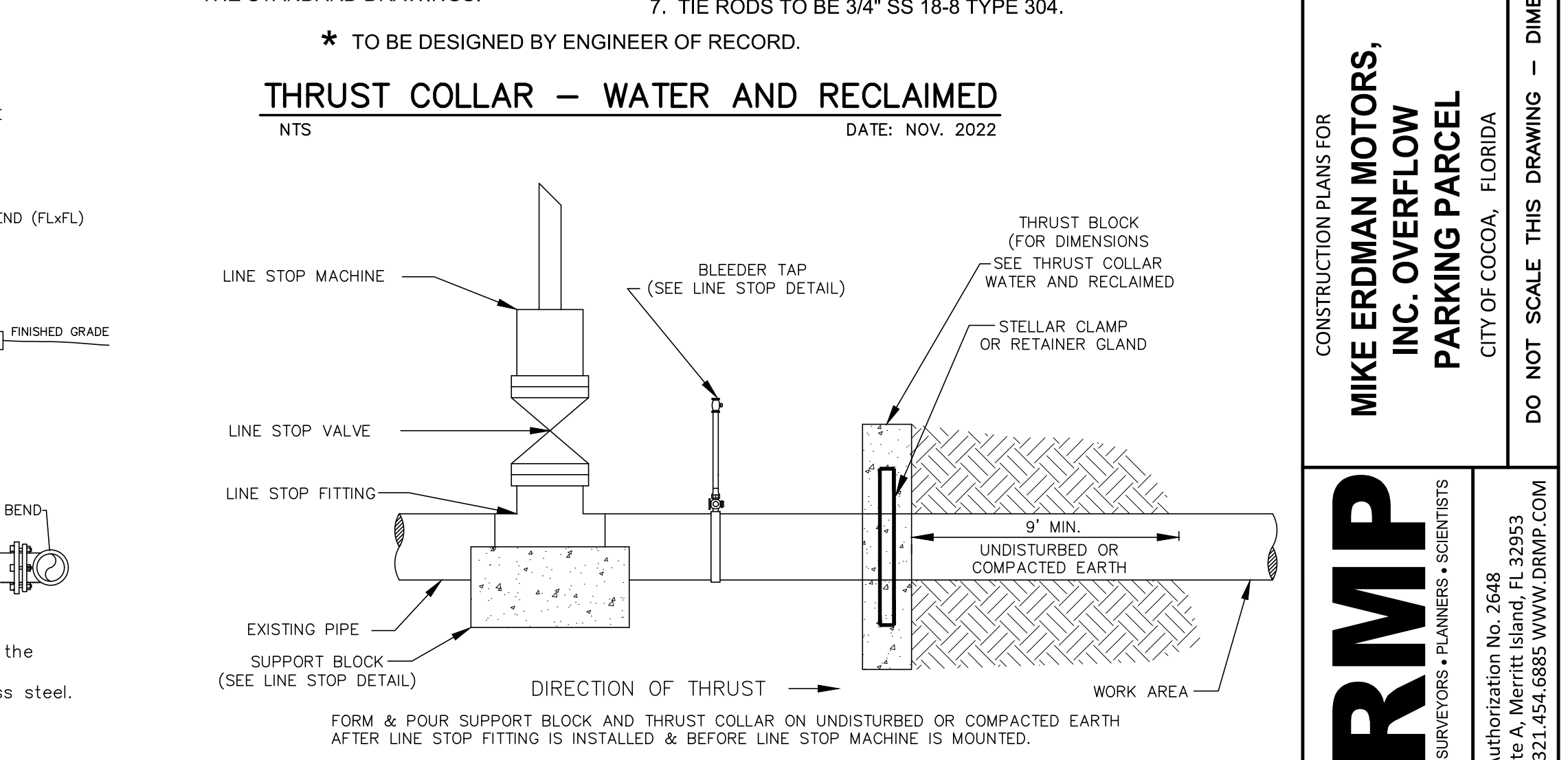
\* NOTE: 10" AND 12" REQUIRE TWO CLAMPS AND FOUR RODS PER SIDE.  
VALVES INSTALLED PER MANUFACTURER'S RECOMMENDATION ON DIP AND PVC.



**SCHEDULE OF DIMENSIONS AND MATERIALS**

PIPE SIZE (INCHES)	DIMENSIONS (FT.)				TIE RODS REQ'D	
	A	B	C	D	DIA. (in.)	NO.
4	2.0	2.0	1.0	2.0	3/4	2
6	2.0	2.0	1.0	4.0	3/4	2
8	3.0	3.0	1.0	5.0	3/4	2
10	4.0	3.0	1.0	8.0	3/4	4
12	5.0	3.0	1.0	10.0	3/4	4
16	*	*	*	*	*	*
20	*	*	*	*	*	*
24	*	*	*	*	*	*

NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING. SOIL DENSITY ASSUMED 120 PCF. SOIL COHESION 20'.  
\* TO BE DESIGNED BY ENGINEER OF RECORD.



**NOTES:**

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	06/14/23	Per City Site Plan comments
2	05/02/23	Per Cocoa Utilities comments/add Master Meter
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4	11/08/22	Per Site Plan Amendment No. 1
5	09/13/22	Per review agency comments
6	10/29/21	Per City comments

DESIGNED BY: MRO  
DRAWN BY: MRO  
CHECKED BY: SAN  
APPROVED BY: SAN

**STANDARD WATER DETAILS**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

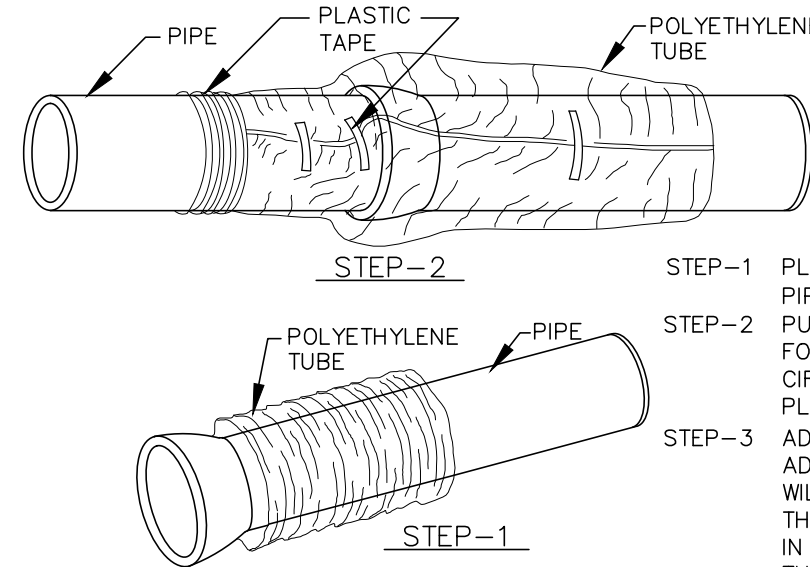
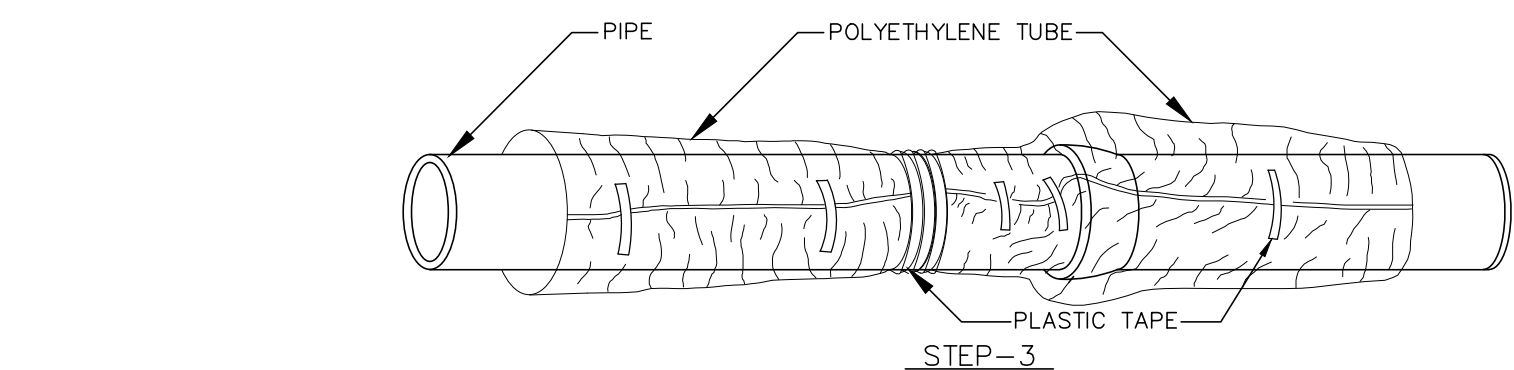
Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.453.0010 Fax: 321.454.0885 WWW.DRMP.COM

DRMP, Inc.  
STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

PROJECT NO.: 21-0509.001  
SCALE: NTS  
DATE: NOVEMBER, 2020  
DRAWING: C21

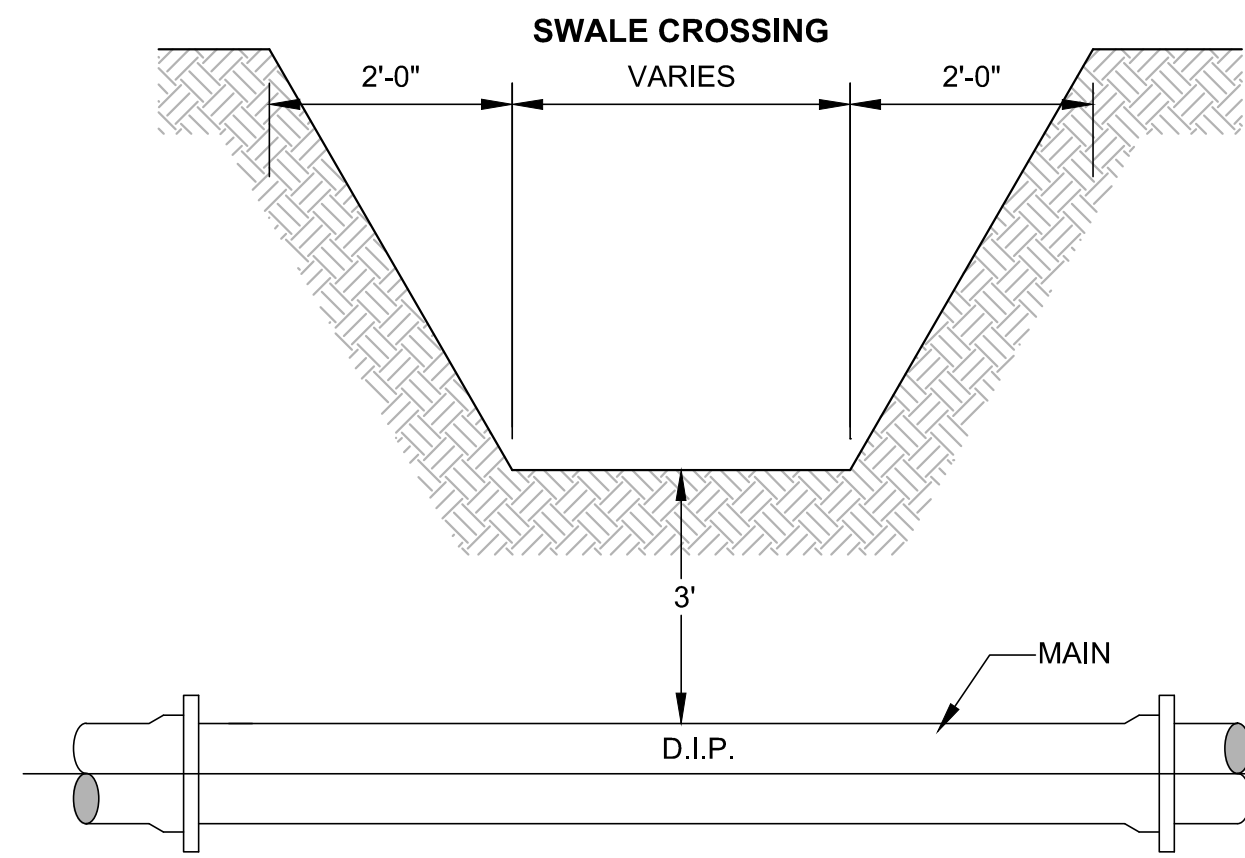
City of Cocoa, Florida  
Utilities Department  
Updated November 2022

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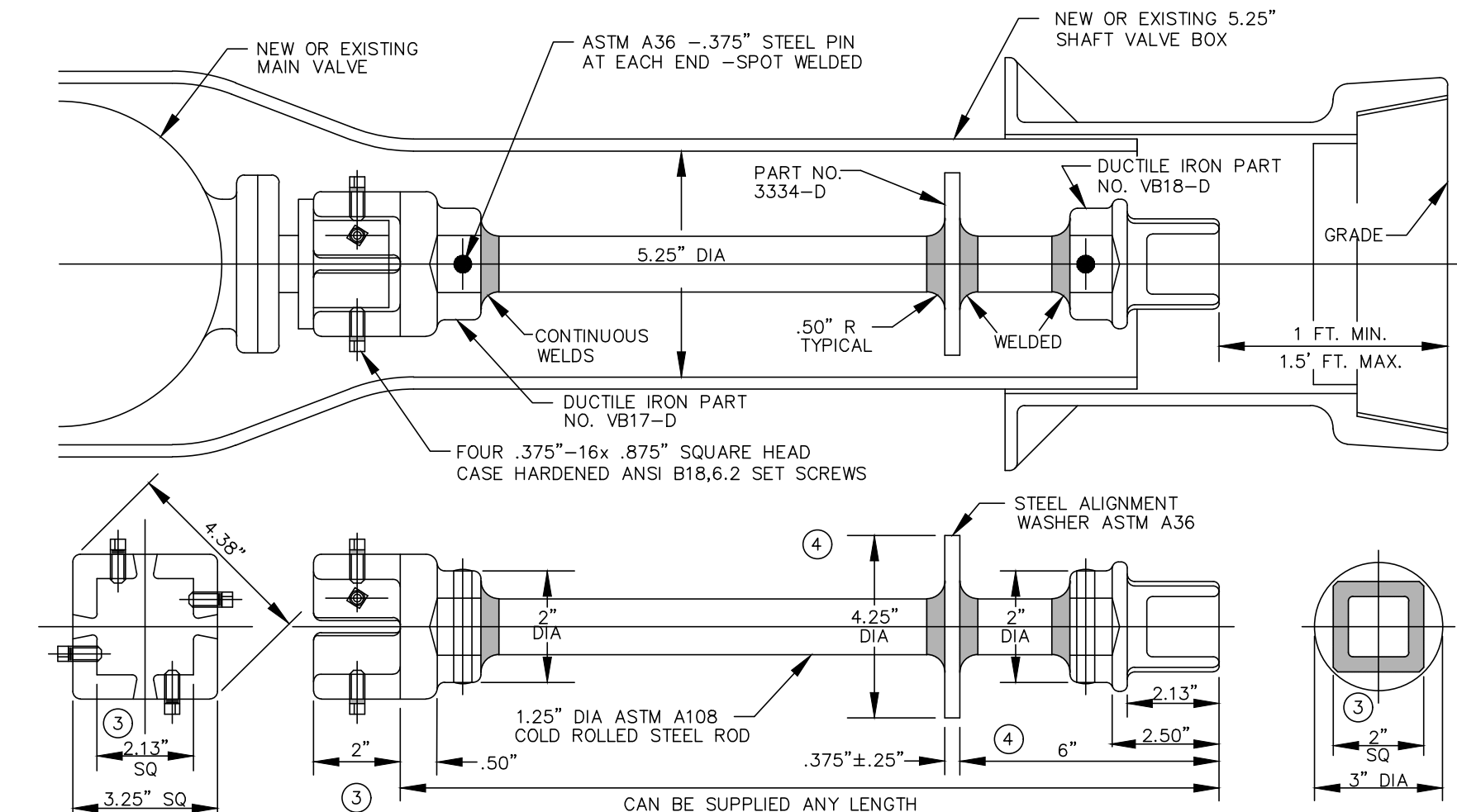


- FIELD INSTALLATION-POLYETHYLENE WRAP**
- STEP-1 PLACE TUBE OF POLYETHYLENE MATERIAL AROUND PIPE PRIOR TO LOWERING PIPE INTO TRENCH.
- STEP-2 PULL THE TUBE OVER THE LENGTH OF THE PIPE. TAPE TUBE TO PIPE AT JOINT. FOLD MATERIAL AROUND THE ADJACENT SPIGOT END AND WRAP WITH THREE CIRCUMFERENTIAL TURNS OF TWO-INCH WIDE PLASTIC TAPE TO HOLD PLASTIC TUBE AROUND SPIGOT END.
- STEP-3 ADJACENT TUBE OVERLAPS FIRST TUBE AND IS SECURED WITH PLASTIC ADHESIVE TAPE. THE POLYETHYLENE TUBE MATERIAL COVERING THE PIPE WILL BE LOOSE. EXCESS MATERIAL SHALL BE NEATLY DRAWN UP AROUND THE PIPE BARREL, FOLDED INTO AN OVERLAP ON TOP OF THE PIPE AND HELD IN PLACE BY MEANS OF PIECES OF THE PLASTIC TAPE AT APPROXIMATELY THREE TO FIVE FOOT INTERVALS.

**POLYETHYLENE WRAP**  
NTS DATE: NOV. 2022



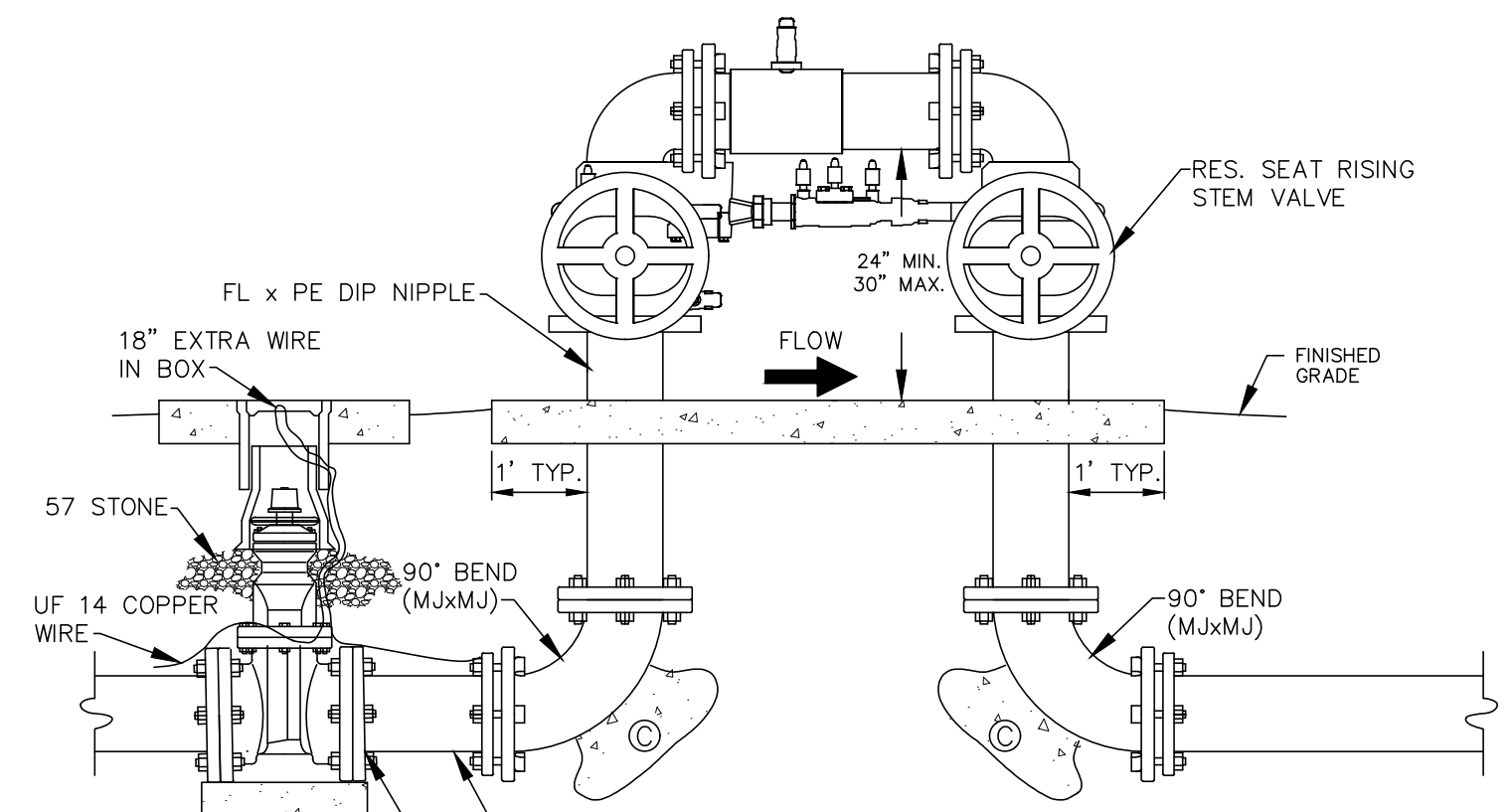
- SWALE CROSSING DETAIL**  
NTS DATE: NOV. 2022
- NOTES:  
1. MAIN SHALL BE A CONTINUOUS LENGTH OF D.I. PIPE TO EXTEND 2 FEET MINIMUM EITHER SIDE OF THE DRAINAGE SWALE.  
2. IF 1 OR MORE JOINTS OF PIPE IS REQUIRED, JOINT MUST BE RESTRAINED.



- NOTE:  
1. DUCTILE PARTS ARE TYPE 80-60-03 80/100,000 PSI TENSILE - ASTM A536  
2. ASSEMBLY TO RECEIVE TWO COATS BITUMINOUS BASE BLACK PAINT  
3. TOLERANCE + OR - .0625"  
4. TOLERANCE + OR - .125"

**TYPE "WVR" VALVE EXTENSION STEM**  
WSSC P&M/1.4 - APPLICABLE STOCK NO. 4840-0001-3

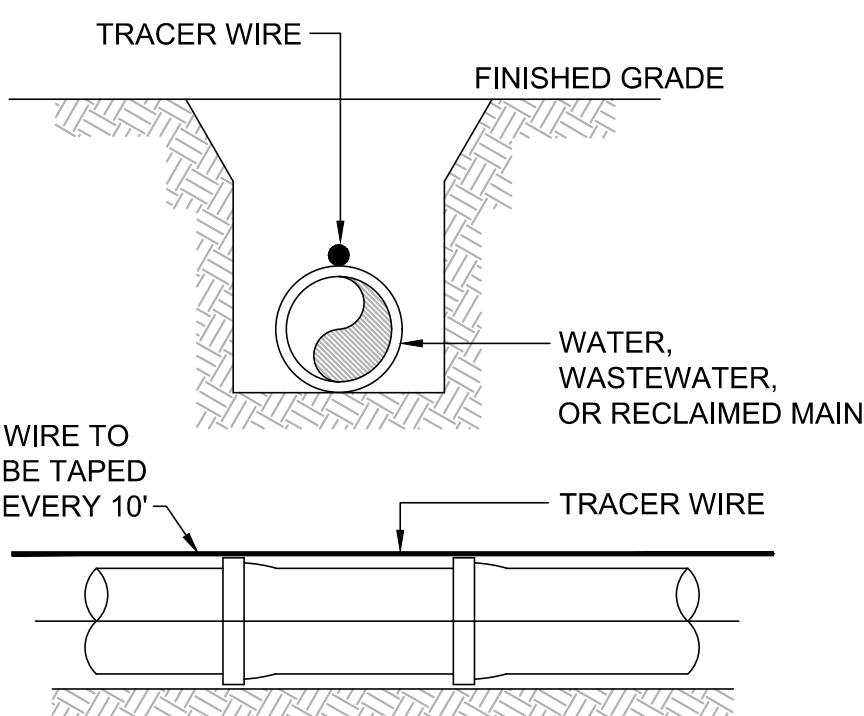
**VALVE EXTENSION STEM FOR W.S.S.C. VALVE BOXES**  
NTS DATE: NOV. 2022



- NOTES:  
1. ALTHREAD ROD WILL NOT BE PERMITTED.  
2. FIRE DEPARTMENT CONNECTIONS (FDC) WILL NOT BE PERMITTED ON ABOVE GROUND PIPING.  
3. ASSEMBLY TO BE PAINTED RUST-O-THANE RED NO. 9405-1611  
4. ALL ABOVE GROUND BOLTS AND NUTS TO BE 18-8 TYPE 304 STAINLESS STEEL.  
5. CITY OWNS AND MAINTAINS TO BOTTOM FITTING ON DOWNSTREAM SIDE.  
6. FOUR TO SIX BOLLARDS MAY BE REQUIRED, SPACED 18" FROM CENTERLINE.  
7. A FIRELINE CONTRACTOR SHALL BE REQUIRED FROM THE FIRELINE POINT OF SERVICE.  
© REFER TO THRUST BLOCK NOTES & DETAILS.

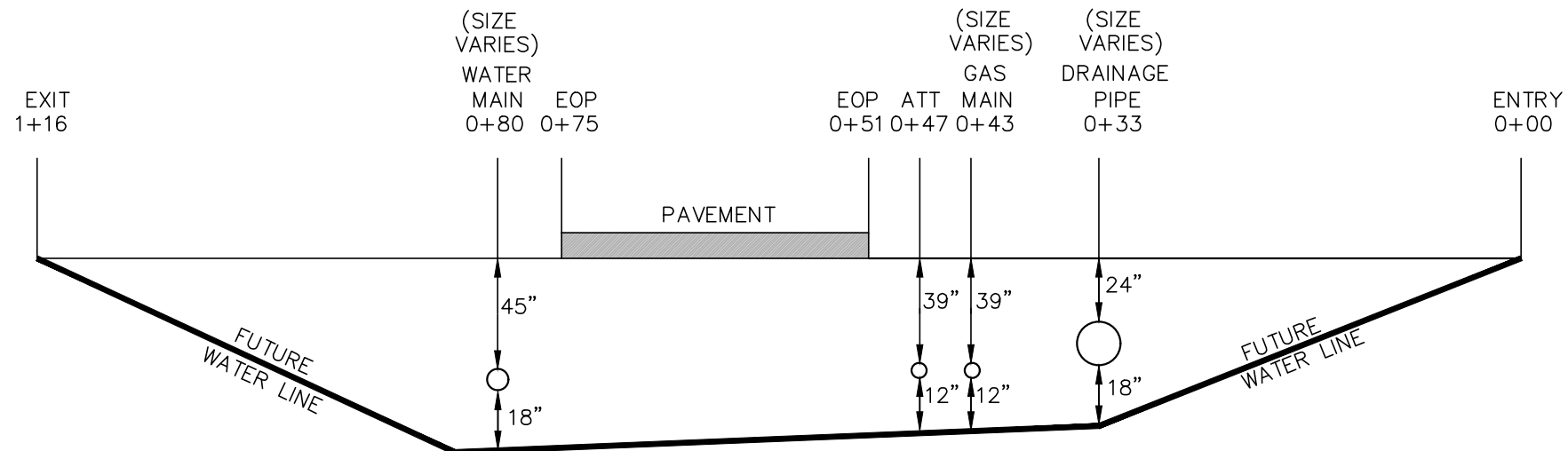
**"N" PATTERN DOUBLE CHECK DETECTOR ASSEMBLY**  
NTS DATE: NOV. 2022

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  - Not all details may be required. Refer to the plan sheets for project specific requirements.
  - All materials are to be in accordance with City of Cocoa Utilities Department Technical Provisions and Standard Details, Appendix A: Approved Materials, which can be found on the City of Cocoa website: [www.cocoafl.org/DocumentCenter/View/15072/Cocoa-Utilities-Technical-Provisions-2022-Edition](http://www.cocoafl.org/DocumentCenter/View/15072/Cocoa-Utilities-Technical-Provisions-2022-Edition).



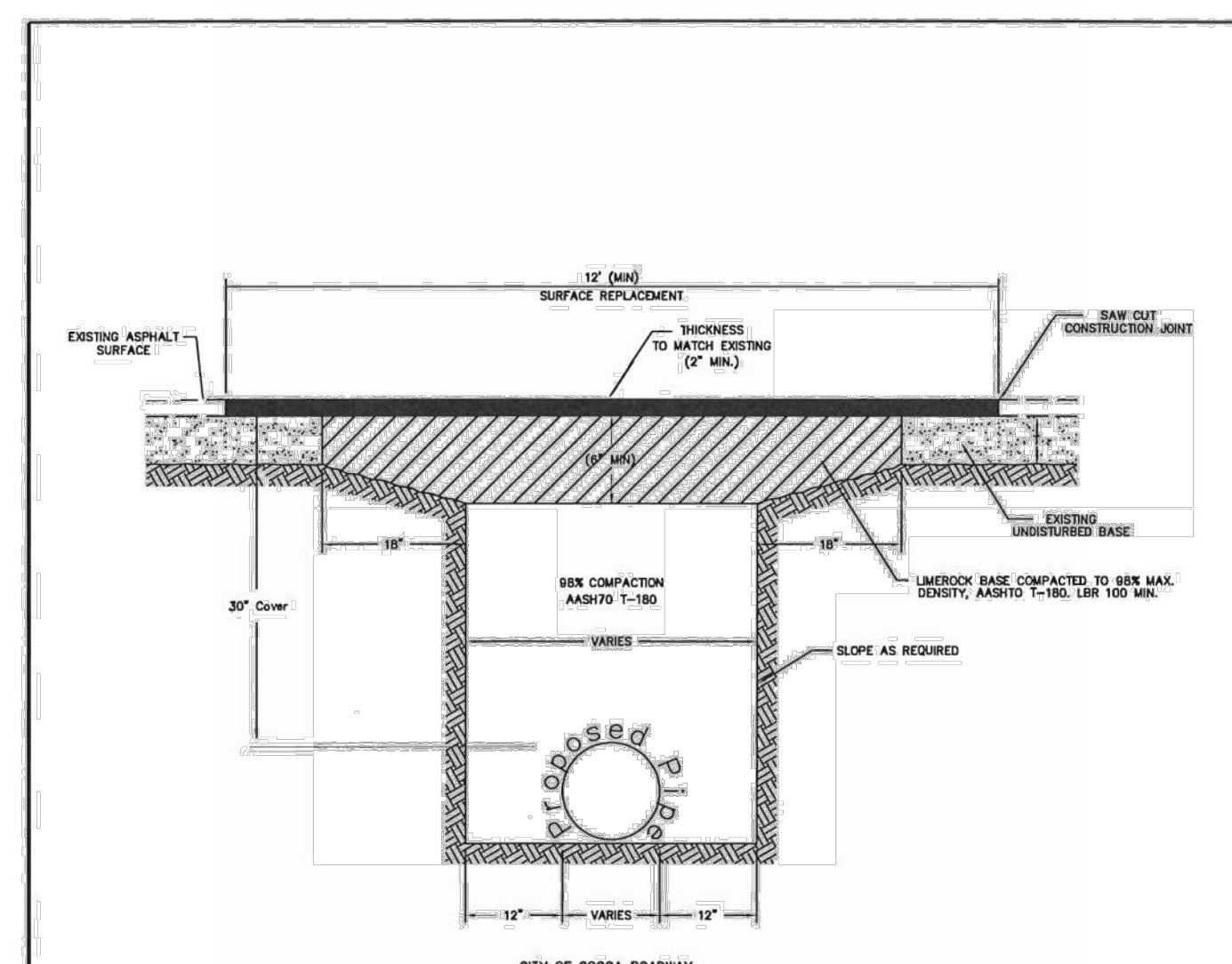
- NOTES:**
- ALL PIPE SHALL REQUIRE INSULATED LOCATING WIRE (UF 14 COPPER WIRE) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE TAPED EVERY 10' TO TOP CENTERLINE OF THE PIPE.
  - WIRE IS TO BE CONNECTED TOGETHER USING AN UNDERGROUND WIRE NUT WITH A SILICON BASED SEALANT.
  - SEE "TRACER WIRE" SPECIFICATIONS.

**TRACER WIRE DETAIL**  
NTS DATE: NOV. 2022



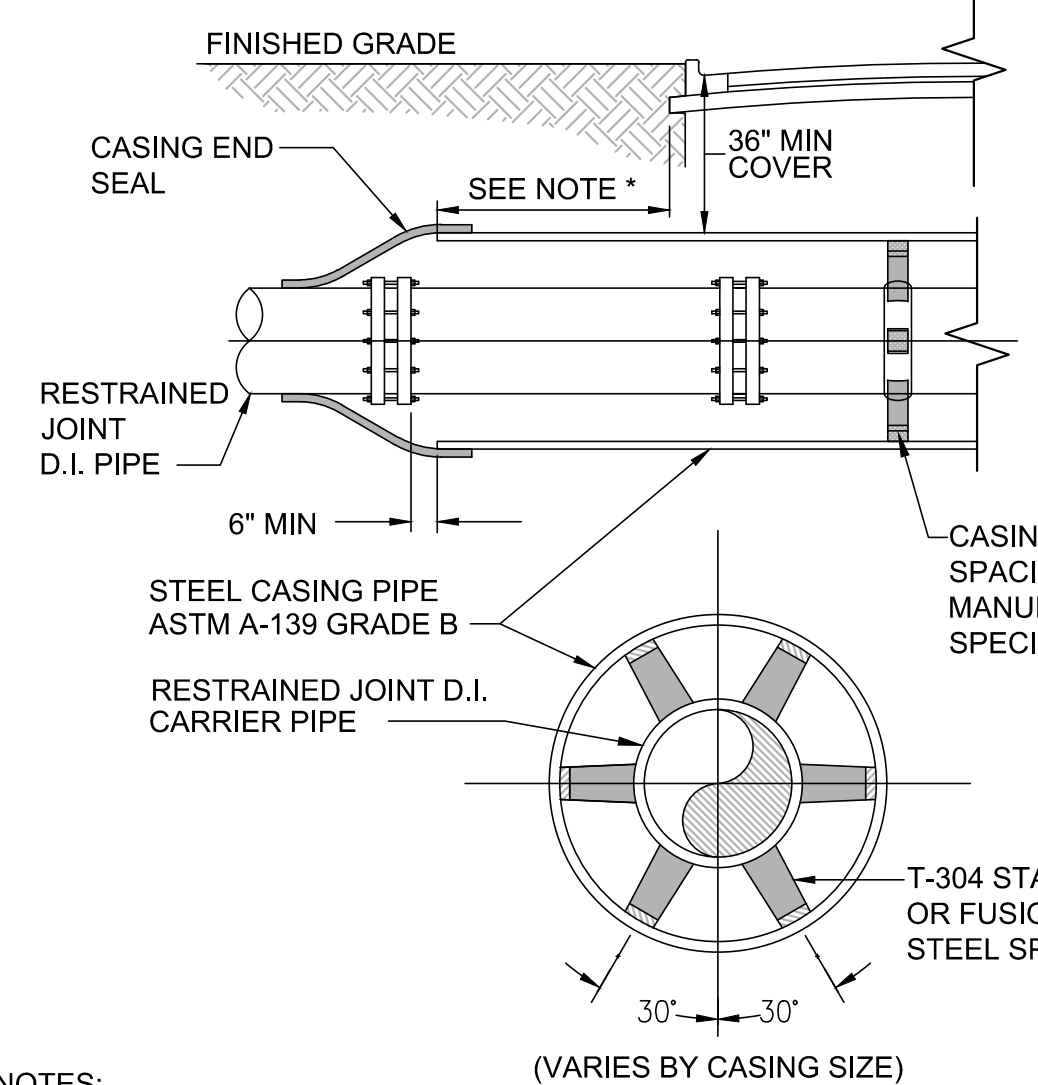
- NOTES:**
- BORE PLAN TO SHOW SIZE, DEPTH, AND LOCATION OF ALL UTILITIES.
  - BORE PLAN TO BE IN ACCORDANCE WITH LATEST TECHNICAL PROVISIONS.
  - BORE PLAN MUST BE APPROVED BY ENGINEERING DEPARTMENT PRIOR TO ANY CONSTRUCTION.
  - DEPTH OF BORE PER BREVARD COUNTY OR FDOT JURISDICTION.

**TYPICAL BORE PLAN**  
NTS DATE: NOV. 2022



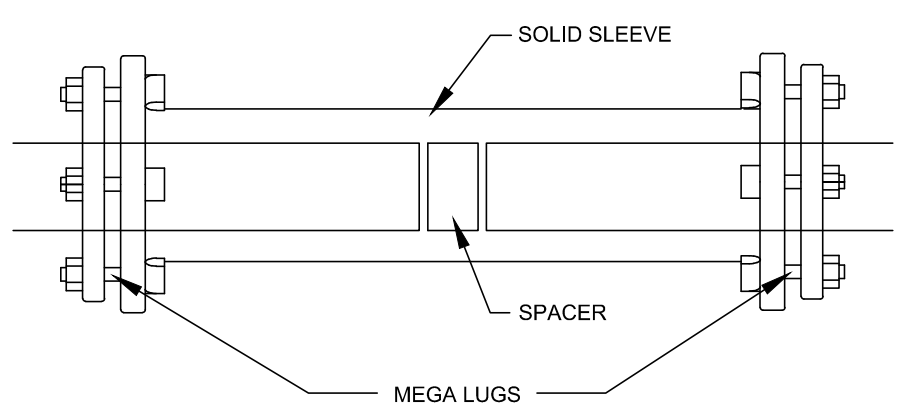
**(CITY) PAVEMENT OPEN-CUT DETAIL**  
NTS

- NOTES:**
- ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
  - SURFACE MATERIAL WILL BE CONSISTENT WITH THE EXISTING SURFACE.
  - ALL STRIPING TO BE REPLACED.
  - ORIGINAL PAVEMENT GRADE TO BE RESTORED.
  - ALL COMPACTION TEST CONDUCTED BY QUALIFIED GEOTECHNICAL COMPANY.



- NOTES:**
- WHEN CONSTRUCTION IS WITHIN FDOT JURISDICTION, ADDITIONAL REQUIREMENTS OF THE UTILITY ACCOMMODATION GUIDE SHALL BE MET.
  - DISTANCE BETWEEN SPACERS TO BE PER MANUFACTURER'S SPECIFICATIONS.
  - NO FLOWABLE FILL BETWEEN THE ANULAR SPACE OF THE CASING OR CARRIER PIPE.
  - \* SHALL BE A MINIMUM OF 6' OR MEET FDOT REQUIREMENTS, WHICHEVER IS GREATER. SEE "JACK AND BORE" SPECIFICATIONS.

**JACK AND BORE**  
NTS DATE: NOV. 2022



**SOLID SLEEVE DETAIL**  
NTS DATE: NOV. 2022

<p><b>CITY OF COCOA</b> Brevard County, Florida UTILITIES DEPARTMENT ENGINEERING DIVISION</p>	<p>DRAWN BY: AW</p>	<p>SCALE: NOT TO SCALE</p>
	<p>CHECKED BY: M. ARENAS</p>	<p>DATE: JANUARY 2021</p>
	<p>DESIGN BY:</p>	<p>SHEET: 1 OF 1</p>
	<p>ACRD NAME: CITY PAVEMENT OPEN CUT DETAIL</p>	

<b>REVISIONS</b>	
NO.	DATE
1A	03/06/24
2	02/22/24
3	01/30/24
4	06/14/23
5	05/02/23
6	04/17/23
7	11/08/22
8	09/13/22
9	10/29/21
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CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

Certificate of Authorization No. 2648  
100 Palm Street Suite A, Merritt Island, FL 32953  
Phone: 321.453.0010 Fax: 321.454.0885 WWW.DRMP.COM

**DRMP, Inc.**

STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

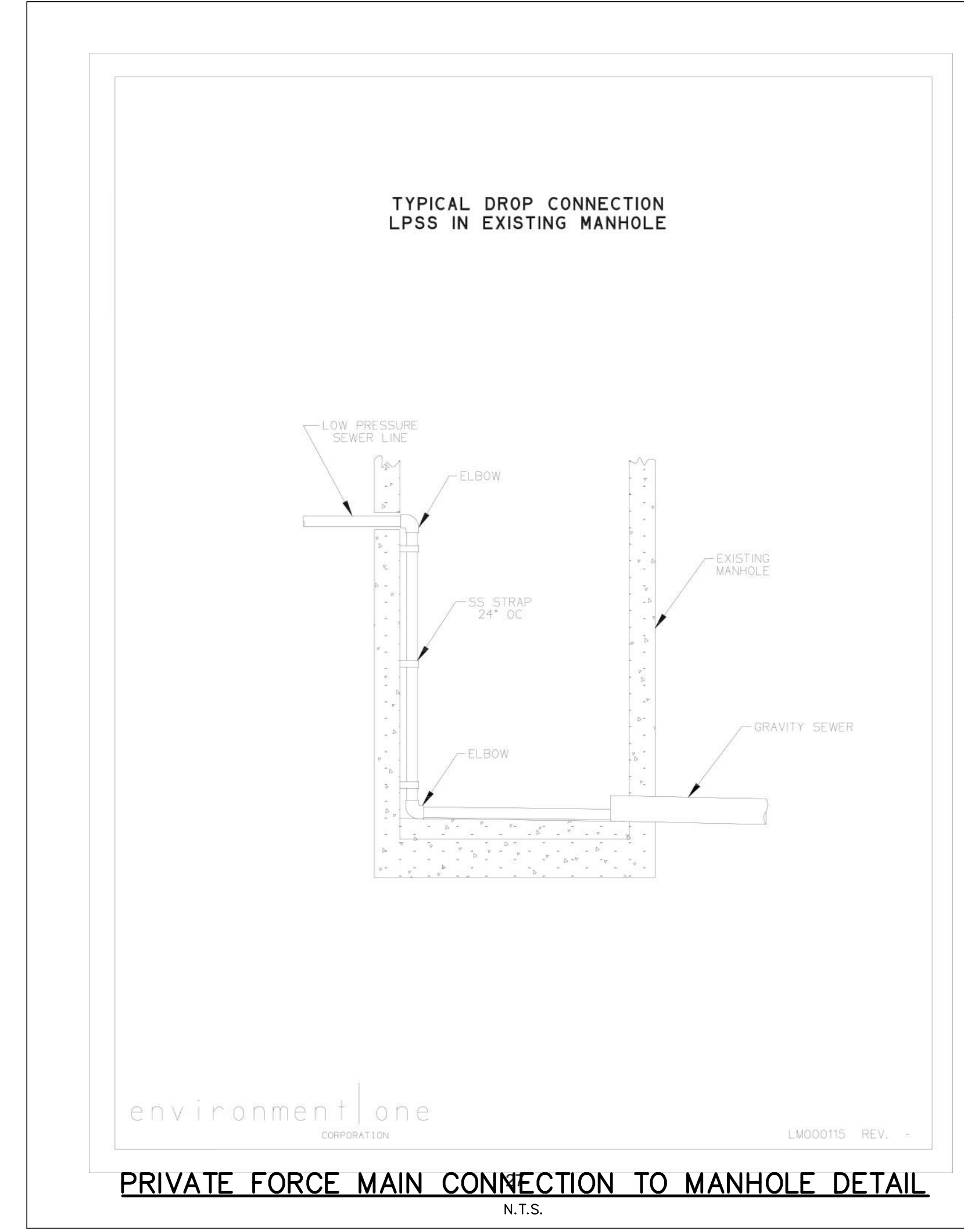
PROJECT NO.: 21-0509.001

SCALE: NTS

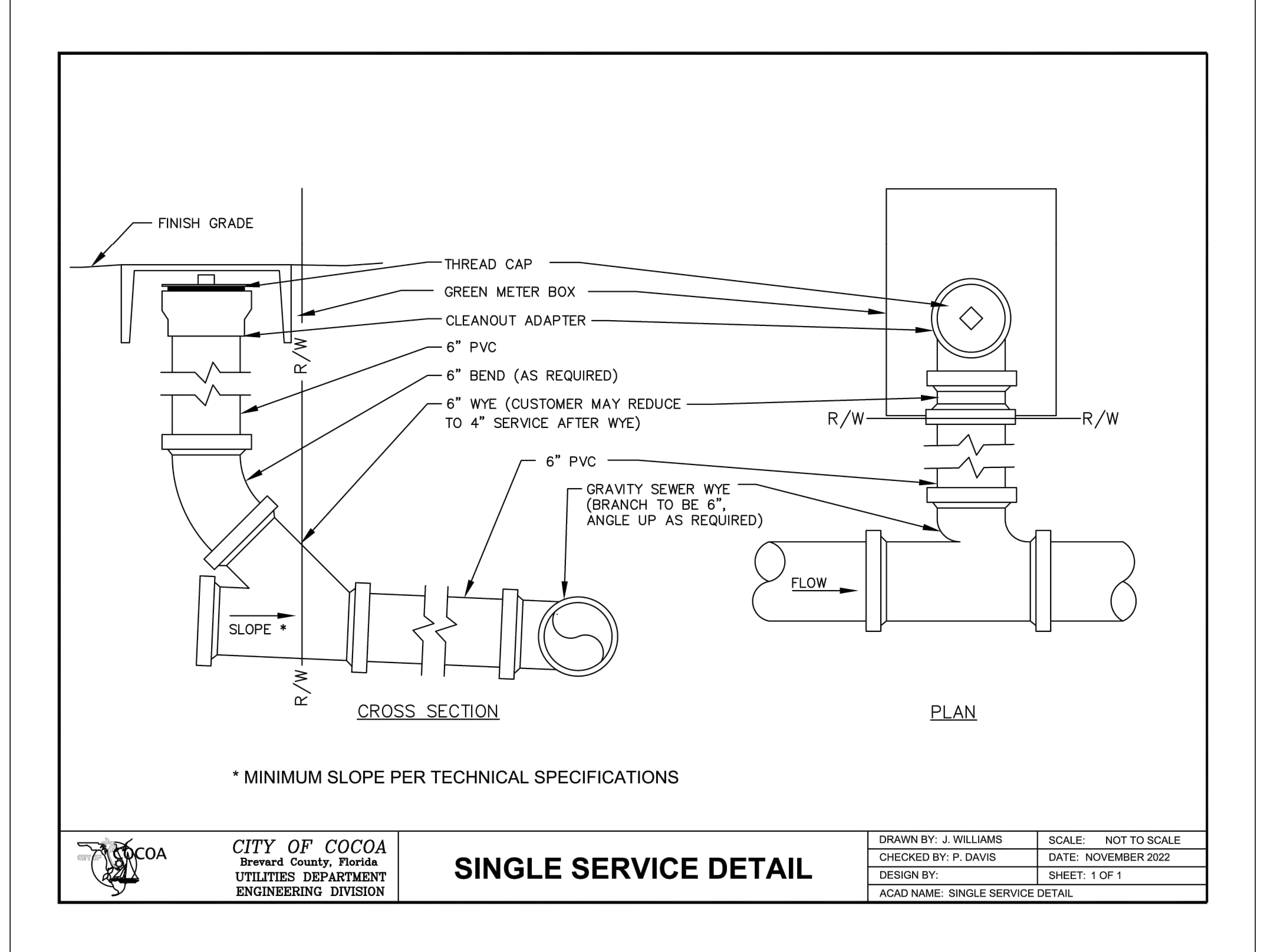
DATE: NOVEMBER, 2020

DRAWING: C22

O:\Merritt\_Island\Draw\DRMP-Eng 21-0509.003 Erdman Cadillac DealerShip 21-0509.003-C20-C22 Water Details.dwg Plotted: Mar 07, 2024 - 10:33am by mduchaine



environment one CORPORATION LM00015 REV. -  
**PRIVATE FORCE MAIN CONNECTION TO MANHOLE DETAIL**  
 N.T.S.



**CITY OF COCOA**  
 Broward County, Florida  
 UTILITIES DEPARTMENT  
 ENGINEERING DIVISION

**SINGLE SERVICE DETAIL**

DRAWN BY: J. WILLIAMS    SCALE: NOT TO SCALE  
 CHECKED BY: P. DAVIS    DATE: NOVEMBER 2022  
 DESIGN BY:    SHEET: 1 OF 1  
 ACAD NAME: SINGLE SERVICE DETAIL

NO.	DATE	DESCRIPTION	BY
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/add waterline esm'l.	MRD
1	11/08/22	Per Site Plan Amendment No. 1	MRD
	05/13/22	Per review agency comments	MRD
	10/29/21	Per City comments	MRD

DESIGNED BY: SM/MRD  
 DRAWN BY: MRD  
 CHECKED BY: SAN  
 APPROVED BY: SAN

**STANDARD SEWER DETAILS**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
 CITY OF COCOA, FLORIDA

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

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 100 Palm Street Suite A, Merritt Island, FL 32953  
 Phone: 321.453.0010 Fax: 321.454.0683 WWW.DRMP.COM

**DRMP, Inc.**

Professional Engineer  
 JOSE GONZALEZ  
 LICENSE No. 84538  
 STATE OF FLORIDA  
 State of Florida # 84538

PROJECT NO.: 21-0509.001  
 SCALE: NTS  
 DATE: NOVEMBER, 2020  
 DRAWING: **C23**



# E/One T260

## Duplex Alternating Alarm Panel



### Description

The T260 Duplex Alternating Alarm panel is custom designed for use with Environment One duplex grinder pump stations.

Duplex grinder pump stations, a station with two grinder pumps, require the pumping load to be shared equally between the two pumps. Under normal conditions, one pump removes the accumulated sewage from the grinder pump basin. After 24 hours, the T260 Alternating Panel toggles the electrical supply power to the pump that was idle. If the sewage level reaches the alarm level, the two grinder pumps will operate simultaneously for 3 to 4 minutes. If, after that time, the sewage is not below the alarm level, the alarm circuit is engaged.

The T260 Alternating Panel is supplied with audible and visual high water level alarms. The panel is easily installed in accordance with relevant national and local codes.

The T260 Panel is listed by Underwriters Laboratories, CSA, CE and NSF to ensure high quality and safety.

### Standard Features

- UL-approved, corrosion-proof enclosure
- NEMA 4X-rated enclosure with hinged access panel
- Lockable latch with keyed-alike padlock included
- Circuit breakers
- Terminal blocks & ground lugs
- Dry contacts
- Lead/lag, run and alarm indicator lights
- Manual push-to-run

### Optional Features

- Hour meters
- E/One Remote Sentry ready (with power loss high level alarm capability)
- Dead front
- Generator receptacle with auto transfer
- GFCI receptacle
- Auto dialer

Consult factory for special applications

LM000372 Rev A



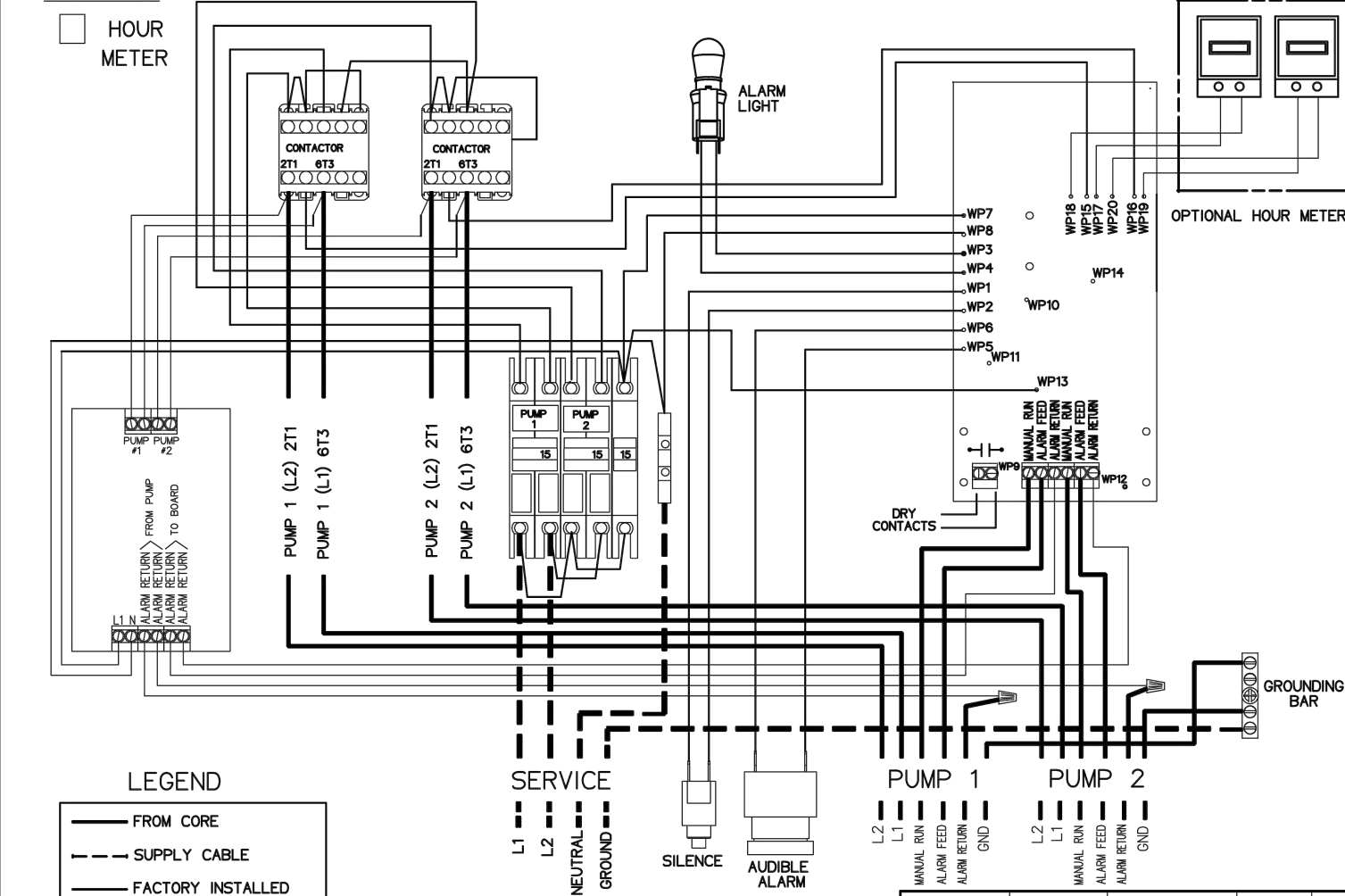
## DUPLEX ALTERNATING PANEL T-260

EXTERNAL VISUAL & AUDIBLE ALARM  
EXTERNAL LATCHING MANUAL SILENCE  
MANUAL RUN  
PUMP RUN INDICATORS  
CONFORMAL COATED CIRCUIT BOARD  
PADLOCK  
ALARM DRY CONTACT  
NEMA 4X ENCLOSURE ASSEMBLY

CORROSION PROOF THERMOPLASTIC POLYESTER APPROVED BY UL FOR ELECTRICAL CONTROL ENCLOSURE

### OPTIONS:

- HOUR METER



LEGEND  
- - - FROM CORE  
- - - SUPPLY CABLE  
- - - FACTORY INSTALLED

PIN	FUNCTION	2000S	EXTREME
1	MANUAL RUN	RED	BROWN
2	L1	BLACK	RED
3	L2	WHITE	BLACK
4	GND	GREEN	GRN/YEL
5	ALARM FEED	ORANGE	YELLOW
6	ALARM RETURN	BLUE	BLUE

AD	SM	09-24-07	A	N/A
DR BY	CHK'D	DATE	ISSUE	SCALE
<b>eone</b>				
SEWER SYSTEMS				
DUPLEX T-260 ALTERNATING PANEL, 240V 60HZ DOUBLE POLE POWER WIRELESS LEVEL CONTROL				
LM000329 P2				

CONTROL CABLE:  
TYPE TC DIRECT BURIAL, 12AWG,  
SIX CONDUCTOR



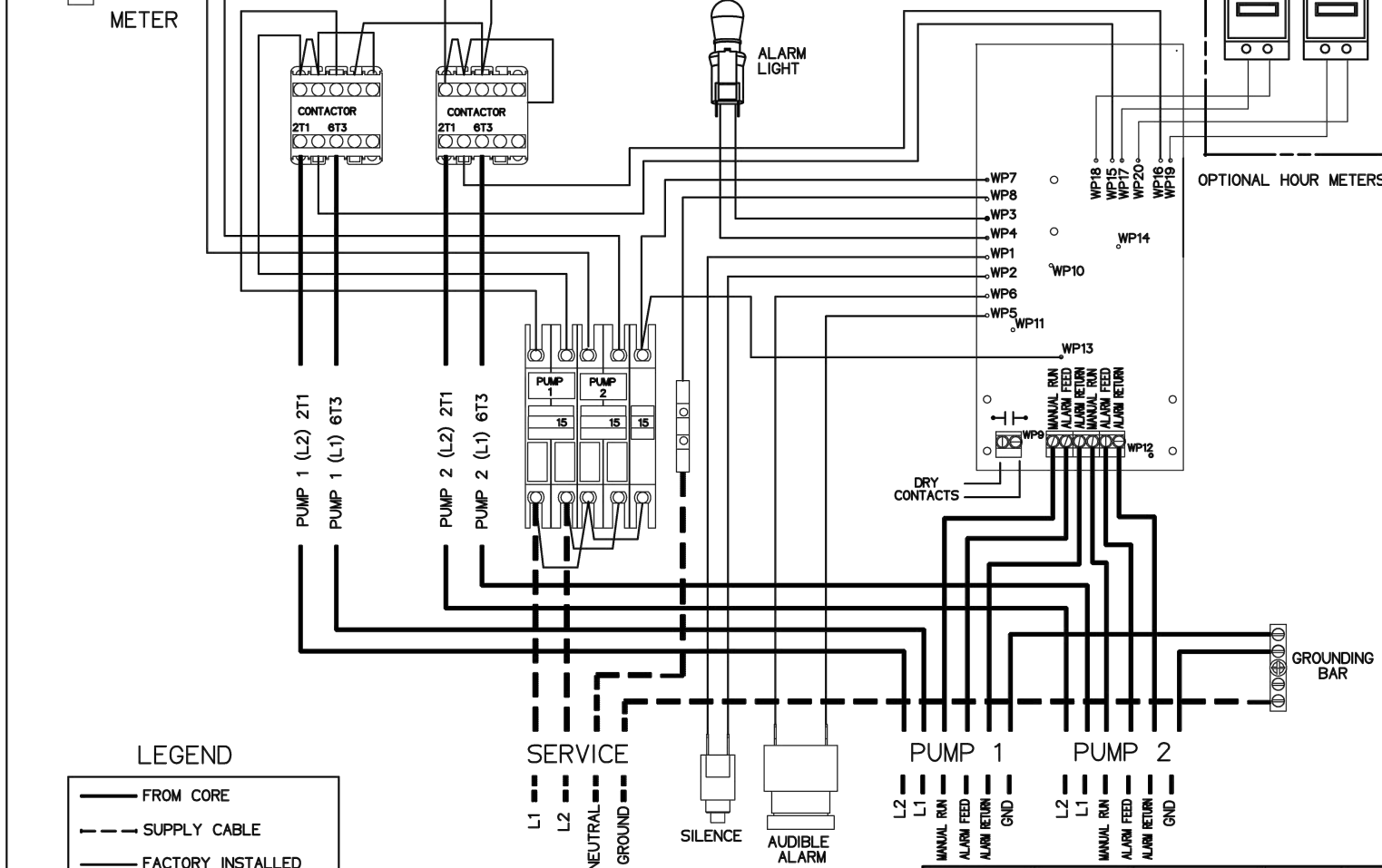
## DUPLEX ALTERNATING PANEL T-260

EXTERNAL VISUAL & AUDIBLE ALARM  
EXTERNAL LATCHING MANUAL SILENCE  
MANUAL RUN  
PUMP RUN INDICATORS  
CONFORMAL COATED CIRCUIT BOARD  
PADLOCK  
ALARM DRY CONTACT  
NEMA 4X ENCLOSURE ASSEMBLY

CORROSION PROOF THERMOPLASTIC POLYESTER APPROVED BY UL FOR ELECTRICAL CONTROL ENCLOSURE

### OPTIONS:

- HOUR METER



LEGEND  
- - - FROM CORE  
- - - SUPPLY CABLE  
- - - FACTORY INSTALLED

PIN	FUNCTION	2000S	EXTREME
1	MANUAL RUN	RED	BROWN
2	L1	BLACK	RED
3	L2	WHITE	BLACK
4	GND	GREEN	GRN/YEL
5	ALARM FEED	ORANGE	YELLOW
6	ALARM RETURN	BLUE	BLUE

CONTROL CABLE:  
TYPE TC DIRECT BURIAL, 12AWG,  
SIX CONDUCTOR



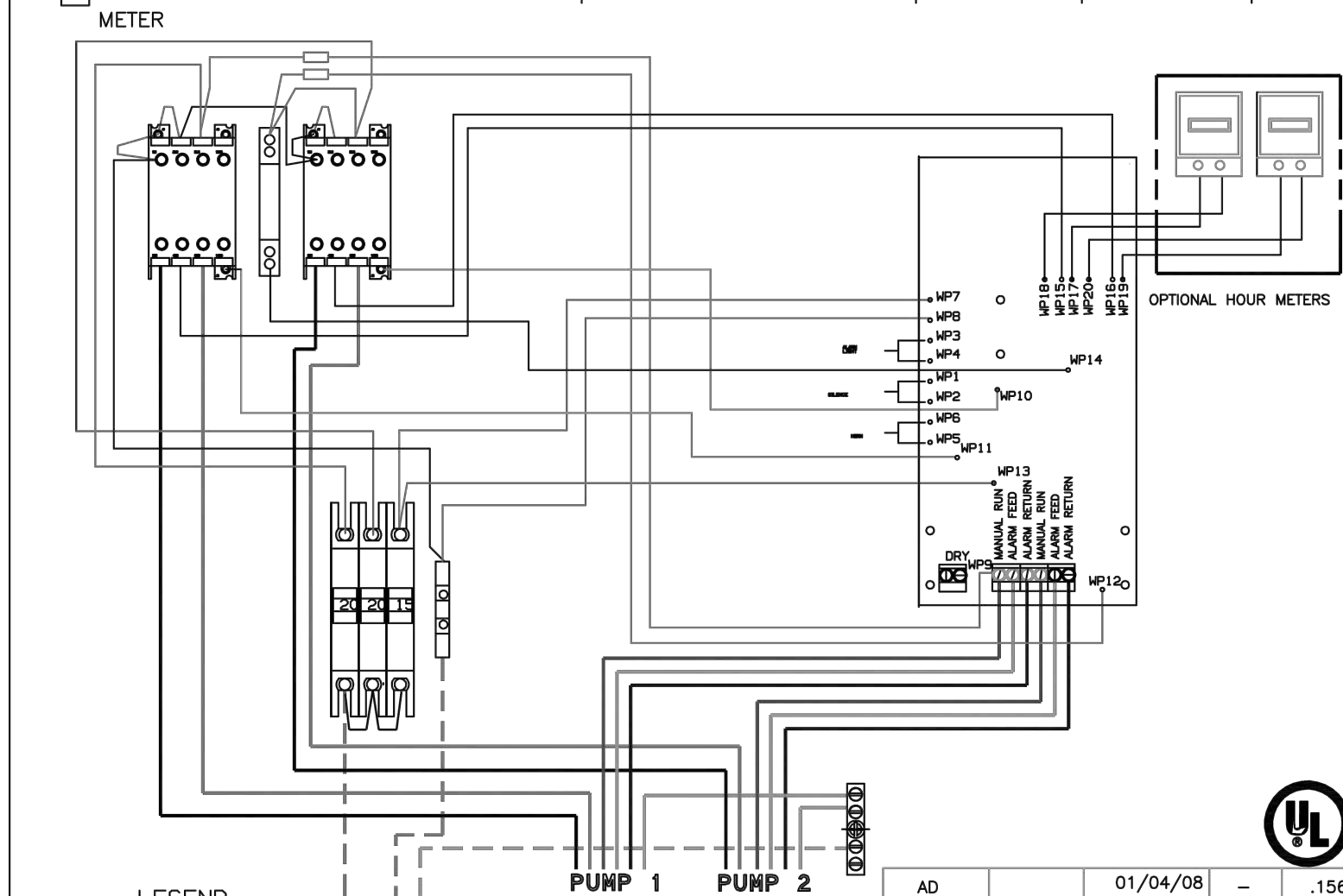
AD	SM	09-24-07	C	N/A
DR BY	CHK'D	DATE	ISSUE	SCALE
<b>eone</b>				
SEWER SYSTEMS				
DUPLEX T-260 ALTERNATING PANEL, 240V 60HZ DOUBLE POLE POWER WIRED LEVEL CONTROL				
LM000329 P1				

## DUPLEX ALTERNATING PANEL T-260

EXTERNAL VISUAL & AUDIBLE ALARM  
EXTERNAL LATCHING MANUAL SILENCE  
MANUAL RUN  
PUMP RUN INDICATORS  
CONFORMAL COATED CIRCUIT BOARD  
PADLOCK  
REDUNDANT RUN  
ALARM DRY CONTACT  
NEMA 4X ENCLOSURE ASSEMBLY  
CORROSION PROOF FIBERGLASS  
APPROVED BY UL FOR ELECTRICAL CONTROL ENCLOSURE

### OPTIONS:

- HOUR METER

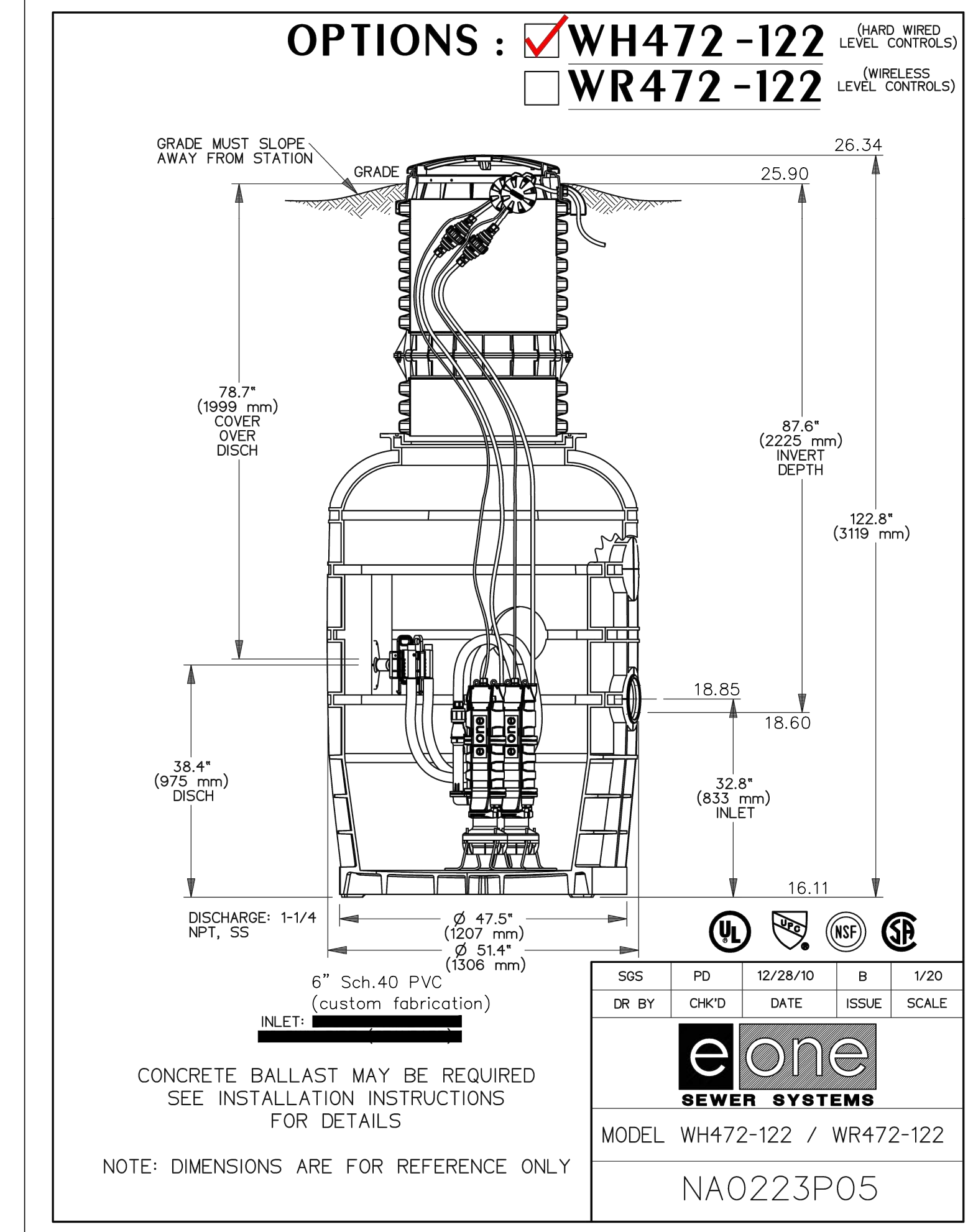


LEGEND  
- - - FROM CORE  
- - - SUPPLY CABLE  
- - - FACTORY INSTALLED

PIN	FUNCTION	2000S	EXTREME
1	MANUAL RUN	RED	BROWN
2	L1	BLACK	RED
3	L2	WHITE	BLACK
4	GND	GREEN	GRN/YEL
5	ALARM FEED	ORANGE	YELLOW
6	ALARM RETURN	BLUE	BLUE

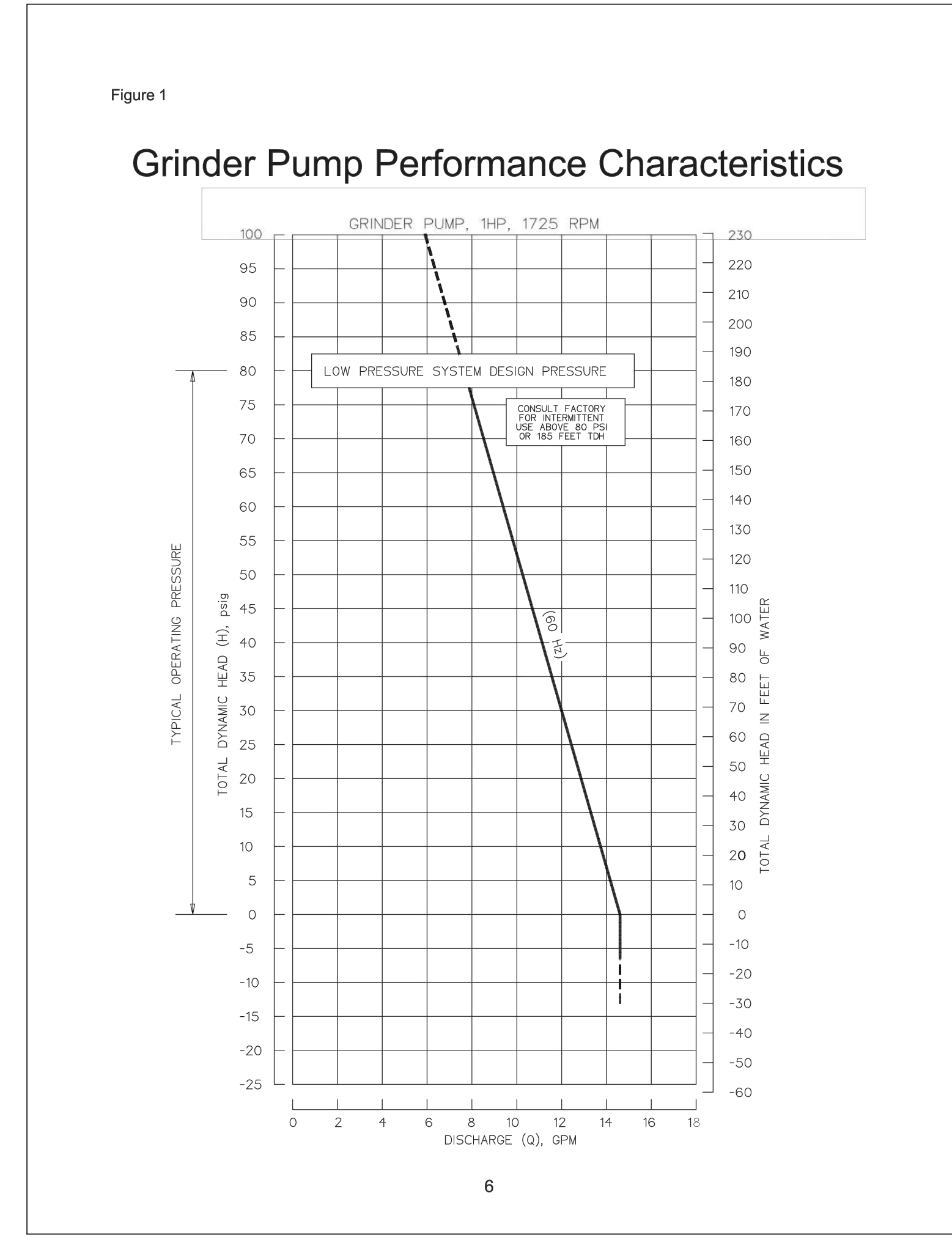
CONTROL CABLE:  
TYPE TC DIRECT BURIAL, 12AWG,  
SIX CONDUCTOR

AD	SM	01/04/08	-	.156
DR BY	CHK'D	DATE	ISSUE	SCALE
<b>eone</b>				
SEWER SYSTEMS				
DUPLEX 120V SPLIT TIME ALT PNL 120V SINGLE POLE POWER WIRED LEVEL POWER				
LM000371 P1				



### PREFABRICATED PRIVATE LIFT STATION DETAIL

N.T.S.



BY	MRD	DESCRIPTION	
NO.	DATE		
1A	03/06/24	Per Addendum No. 1	MRD
2	02/22/24	Per owner/architect changes	MRD
	01/30/24	Add Roof Drain Pipes	MRD
	06/14/23	Per City Site Plan comments	MRD
	05/02/23	Per Cocoa Utilities comments/Add Master Meter	MRD
	04/17/23	Per Cocoa Utilities comments/Add waterline est.L	MRD
	11/08/22	Per Site Plan Amendment No. 1	MRD
	09/13/22	Per review agency comments	MRD
	10/29/21	Per City comments	MRD

DESIGNED BY: SAN/WRD  
DRAWN BY: MRD  
CHECKED BY: SAN  
APPROVED BY: SAN

**LIFT STATION DETAILS**

CONSTRUCTION PLANS FOR  
**MIKE ERDMAN MOTORS, INC. OVERFLOW PARKING PARCEL**  
CITY OF COCOA, FLORIDA

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**DRMP**  
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

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Phone: 321.453.0010 Fax: 321.454.6885 WWW.DRMP.COM

DRMP, Inc.  
STATE OF FLORIDA  
Professional Engineer  
No. 84538  
State of Florida # 84538

PROJECT NO.: 21-0509.001

SCALE: NTS

DATE: NOVEMBER, 2020

DRAWING: C24