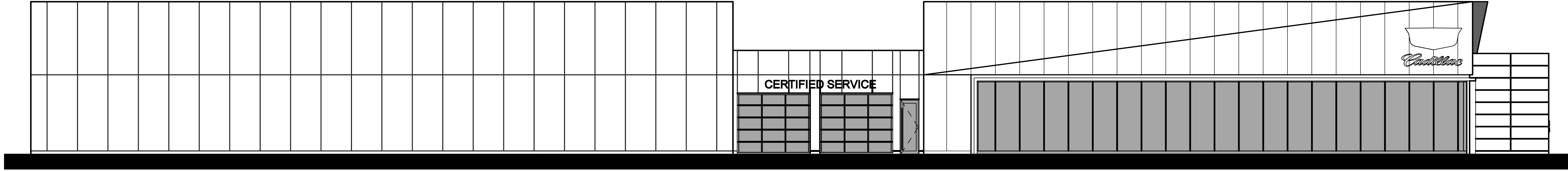
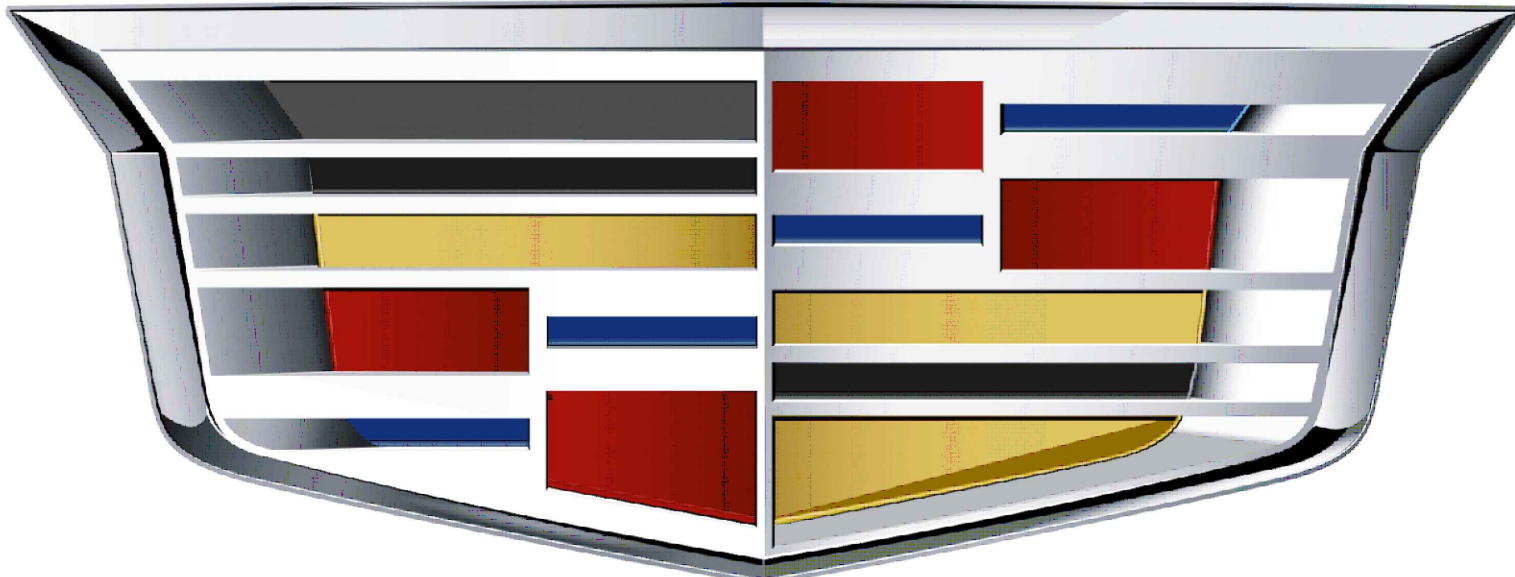


MIKE ERDMAN CADILLAC

4750 HIGHWAY 520
COCOA, FLORIDA

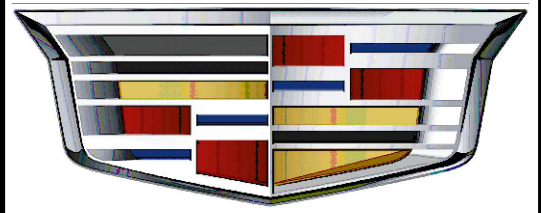


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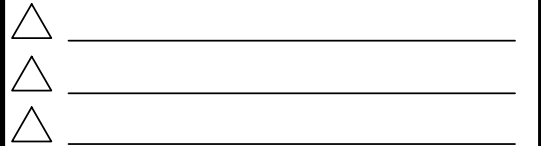


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Cocoa, FL 32926

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and specifications comply with the applicable building codes and
minimum fire safety standards.

Project Number

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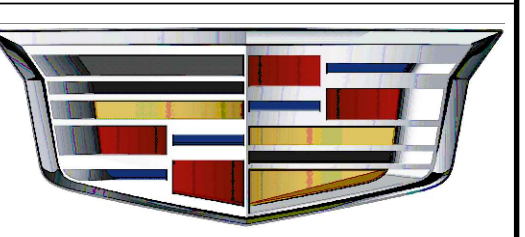
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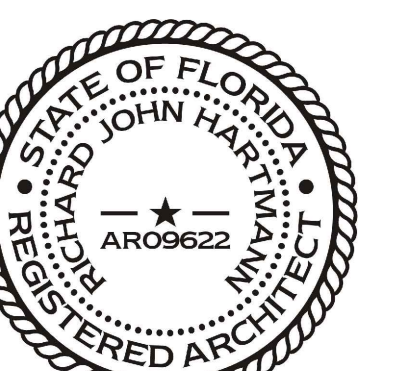
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**ARCHITECTURAL
SITE PLAN**

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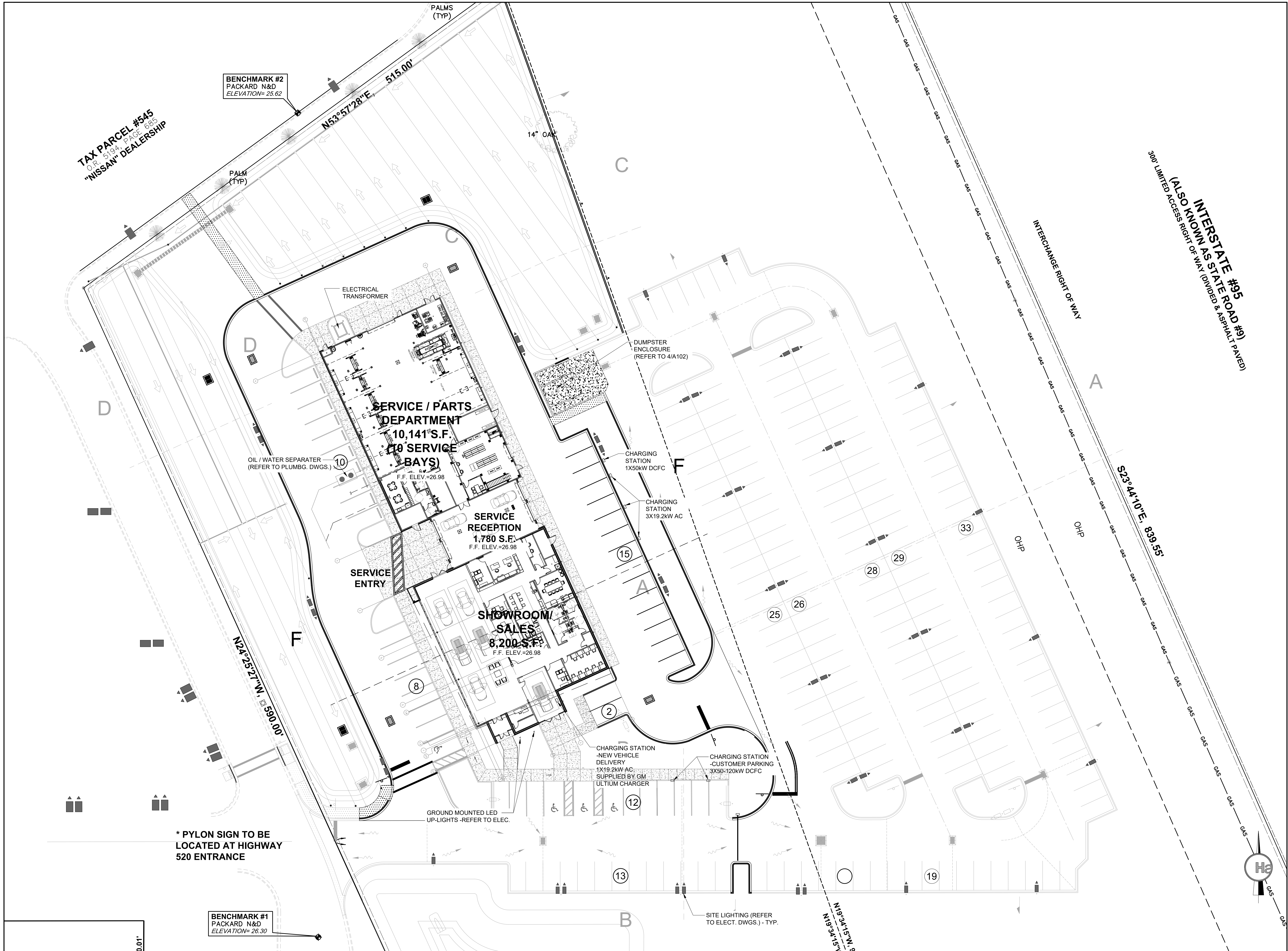
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A010

ARCHITECTURAL SITE PLAN

SCALE
1" = 20'-0"

1



TAX PARCEL #545
O.R. 5184, PAGE 685
"NISSAN" DEALERSHIP

BENCHMARK #2
PACKARD N&D
ELEVATION= 25.62

BENCHMARK #1
PACKARD N&D
ELEVATION= 26.30

0.01"

APPLICABLE CODES

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE OWNER SUBJECT TO THE RECEIPT OF AN AFFIDAVIT OR LETTER FROM THE GOVERNING BODY AND OWNER'S PRIOR APPROVAL OF ANY ADDITIONAL COST TO BE INCURRED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

BUILDING & STRUCTURAL:	FLORIDA BUILDING CODE 8th EDITION (2023) FLORIDA EXISTING BUILDING CODE 8th EDITION (2023) FLORIDA ENERGY CONSERVATION 8th EDITION (2023)
ENERGY:	FLORIDA PLUMBING CODE 8th EDITION (2023)
PLUMBING:	FLORIDA MECHANICAL CODE 8th EDITION (2023)
MECHANICAL:	NATIONAL ELECTRIC CODE 2020
ELECTRICAL:	FLORIDA FIRE PREVENTION 8th EDITION
FIRE CODE:	FLORIDA STATUTES FLORIDA ADMINISTRATIVE CODE

BUILDING DATA:

Occupancy:	GROUP B - BUSINESS GROUP S-1 - SERVICE BAYS GROUP S-2 - PARTS DEPARTMENT
Mixed Occupancy?	Yes
Construction Type:	II-B
Sprinkled?	Yes
Protected?	No
Fire Alarm?	Yes
Fire District?	No
Mezzanine:	Yes
High Rise?	No
Building Height:	±25'-0"

LIFE SAFETY SYSTEM:

Emergency Lighting and Exit Signs	Yes
Fire Alarm and Smoke Detection Systems	Yes
Panic Hardware	Yes
Automatic Fire Protection System (sprinkled)	Yes
Voice Evacuation System	No

NOTE:

SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THE DRAWINGS OR SPECIFICATIONS, THE BETTER QUALITY, GREATER QUANTITY AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED, UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM OR CONTRACT TIME.

- TYPE II-B CONSTRUCTION
- ALL INTERIOR FINISHES TO BE CLASS B OR CLASS A
- ALL FLOORING FINISHES TO BE CLASS I

** REQUIRED FIRE EXTINGUISHER LOCATION WILL BE COORDINATED BY CONSTRUCTION SUPERINTENDANT WITH FIRE MARSHAL'S OFFICE TO ENSURE PROPER LOCATION AND PLACEMENT OF ALL REQUIRED FIRE EXTINGUISHERS PRIOR TO C.O. INSPECTION.

Corridor & Resistance = 0 HR per FBC Table 1020.2

Allowable Square Footage/Height per floor Type IIB Table 507

Building area shall be unlimited and no more than two stories above grade plane where the building is equipped throughout with an automatic sprinkler system per FBC 507.4

Actual Square Footage:		
	1st Flr	Mezz.
Business	8,200	-
S-1	7,814	-
S-2	940	1,387
Total Enclosed Space:		18,341 sq. ft.

Covered Service Reception	1,780 sq. ft.
Total Under Roof:	20,121 sq. ft.

Total Building Square Footage = 20,121 sq. ft.

Total Occupancy:	
Business:	8,200 sq. ft. at 1/150 sq. ft. = 55 people
S-1 Service Bays	7,814 sq. ft. at 1/300 sq. ft. = 27 people
S-2 Parts	2,327 sq. ft. at 1/300 sq. ft. = 8 people
Total	= 90 people

Other Pertinent Information / Notes:

- 1) Eyewash stations are to be provided within the Service Bay Area so that travel distance to eyewash is less than 100 feet. (Per OSHA)
- 2) See Fire Protection Drawings for sprinkler information.
- 3) See Reflected Ceiling Plans and electrical drawings for exit light and emergency light information / locations.
- 4) See Mechanical Drawings for ventilation requirements.
- 5) Fire Extinguisher size, type, location and mounting height to be as approved by Fire Marshal and/or Fire Prevention Official.
- 6) The Oil / Compressor Room will contain Class IIB Combustible liquid (as defined in NFPA 30 Section 1.7.3.1) in double walled steel tanks. FBC Table 307.1 (1) does not require a Fire Separation for this Incidental Use. NFPA 30 3.3.37.1 requires 1 hour wall separation. See Drawing A023 for further analysis.
- 7) Fire Extinguishers are to be provided in all electrical rooms.
- 8) Maximum Travel Distance to a Fire Extinguisher to be 75'-0"
- 9) See Drawing A023 for further storage analysis.

TOILET FIXTURES REQUIRED per FBC PLUMBING TABLE 403.1

GROUP	WOMEN		MEN		TUBS/ SHOWERS	DRINKING FOUNTAINS	SERVICE SINKS
	TOILETS	LAVS	TOILETS	LAVS			
GROUP B	REQUIRED: 1 per 25'=2	1 per 40''=1	1 per 25'=2	1 per 40''=1	-	1 per 100	-
	OCCUPANTS: 28	28	28	28		55	
	PROVIDED: 2	2	1	2	1	1 (Hi-Lo)	1
GROUP S	REQUIRED: 1 per 100'=1	1 per 100'=1	1 per 100'=1	1 per 100'=1	Per FPC 411	1 per 1,000	-
	OCCUPANTS: 18	18	18	18	35	35	
	PROVIDED: 1	1	1	2	1	1 (Hi-Lo)	1

* 1 per 25' FOR THE FIRST 50, AND 1 per 50 FOR THE REMAINING 50.
** 1 per 40' FOR THE FIRST 80, AND 1 per 80 FOR THE REMAINING 80.

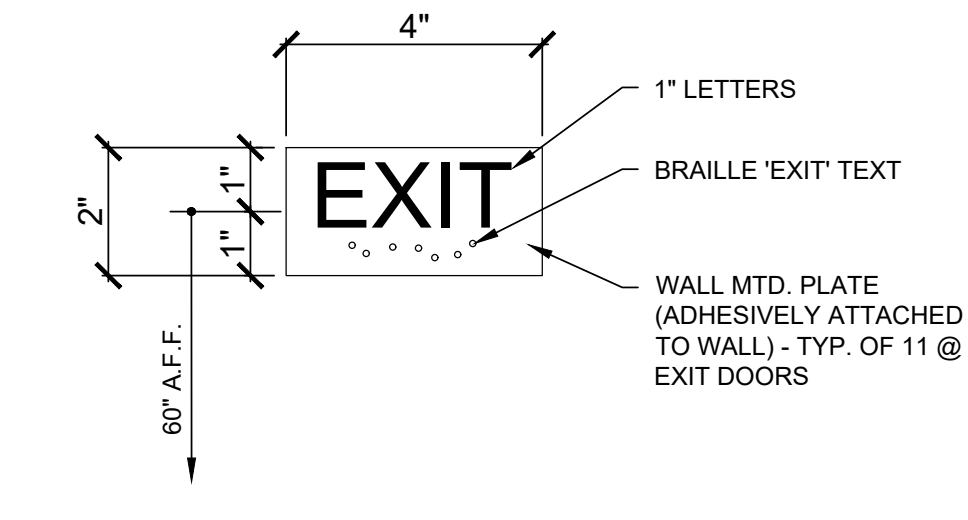
IN ADDITION TO FIXTURES ABOVE, THERE WILL ALSO BE (2) FLOOR MOUNTED (ADA) HAND WASH FOUNTAIN IN THE SERVICE DEPARTMENT

DESIGN LOADS / COMPONENTS AND CLADDING:

SEE STRUCTURAL

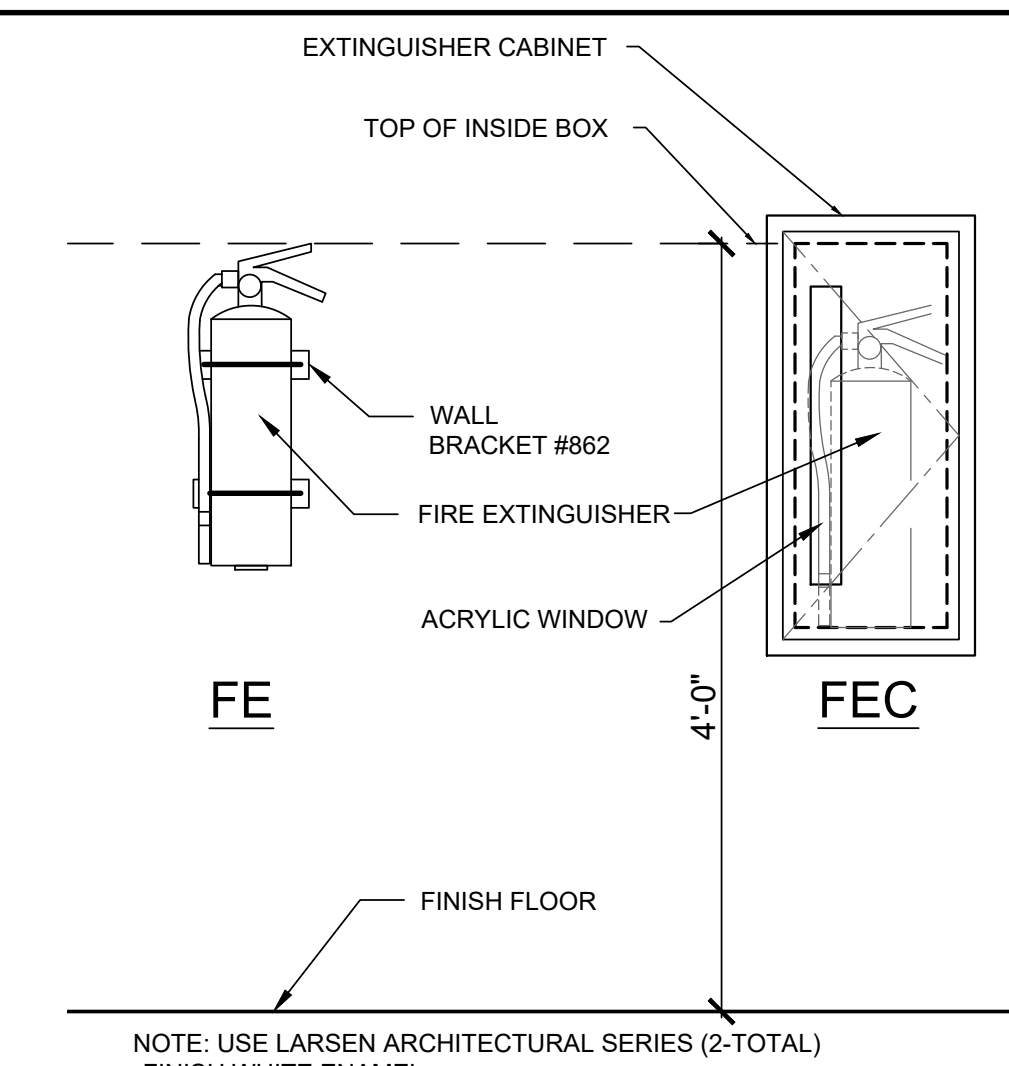
PARKING SPACES:

REFER TO CIVIL

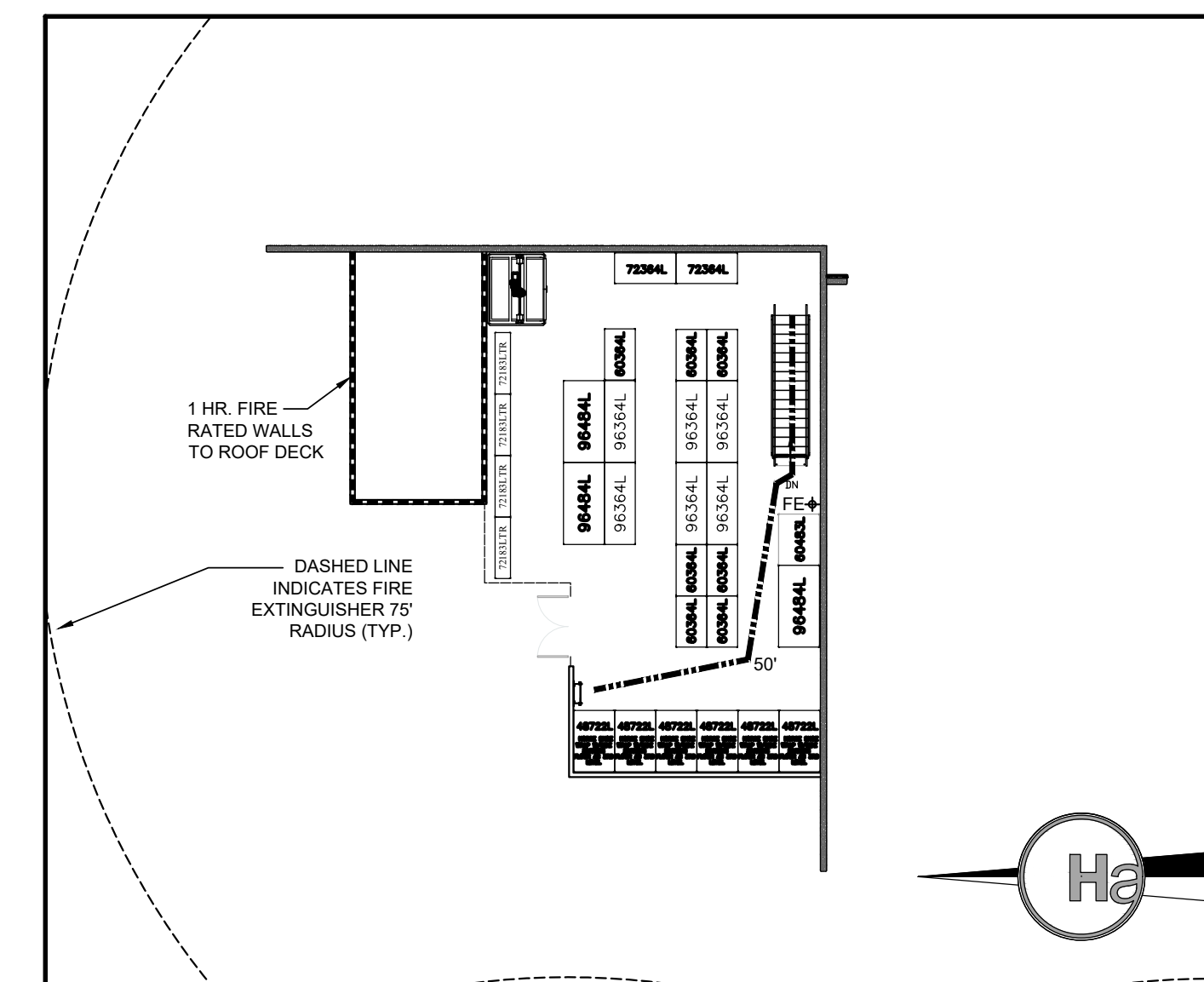


BRAILLE EXIT SIGN SCALE: N.T.S. 5

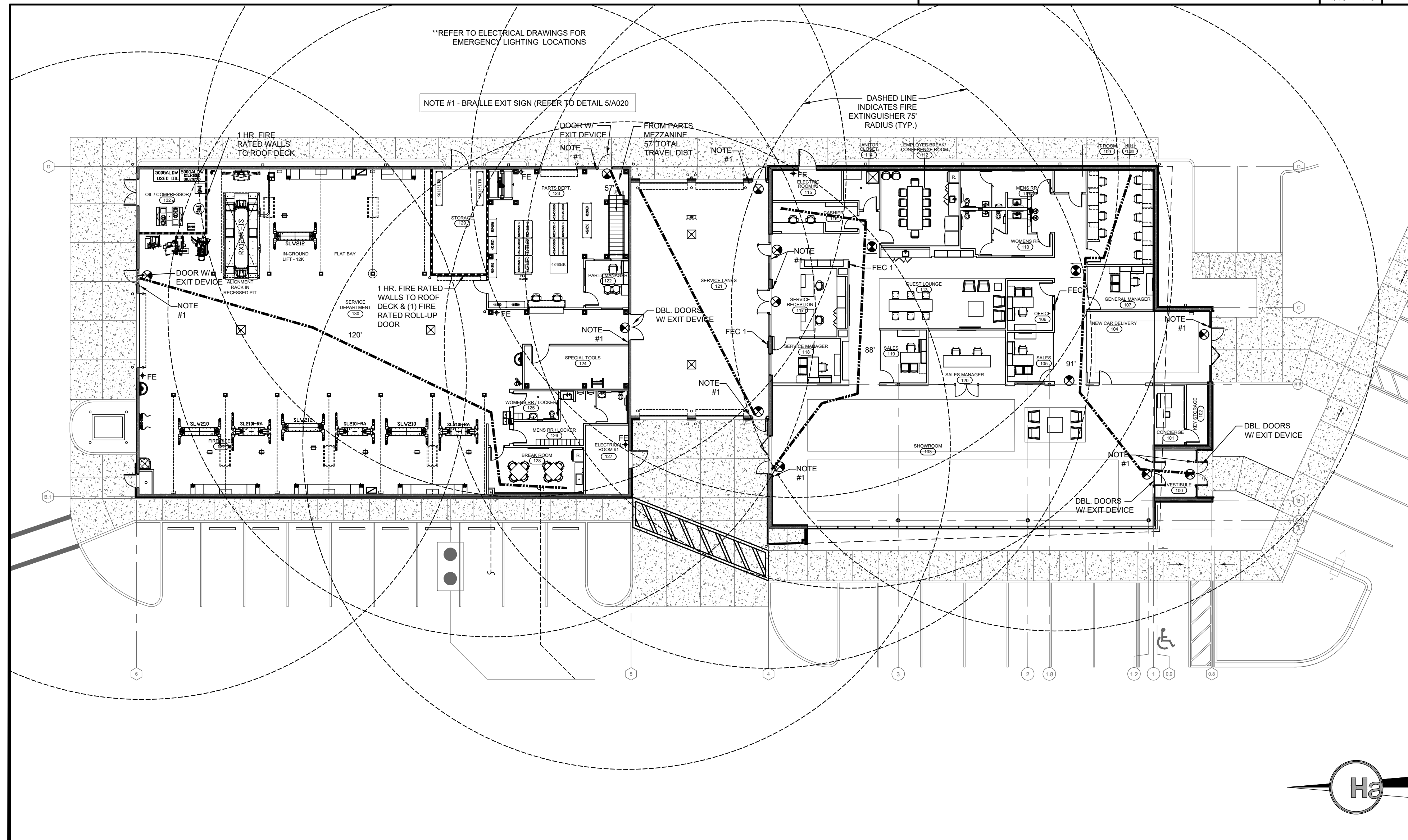
- FEC** FIRE EXTINGUISHER IN SEMI-RECESSED CABINET - TYPE 4A-60B-C - LARSEN ARCHITECTURAL SERIES/ 2409-R4 W/ VERTICAL DUO CLEAR ACRYLIC DOOR WITH LARSON LOCK
- F.E.** FIRE EXTINGUISHER WALL MOUNTED - TYPE 4A-60B-C



LEGEND SCALE: N.T.S. 4 **FIRE EXTINGUISHERS** SCALE: N.T.S. 3



LIFE SAFETY PLAN-MEZZANINE SCALE: 1/16" = 1'-0" 2



LIFE SAFETY PLAN SCALE: 1/16" = 1'-0" 1

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**CODE ANALYSIS-
LIFE SAFETY
PLAN**

Revisions

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Project Number

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Checked By

RJH

Issue Date

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Sheet Number

A020

GENERAL NOTES:

- 1.1 CONTRACT RESPONSIBILITIES
 - A. THE TERMS GENERAL CONTRACTOR, G.C. AND CONTRACTOR SHALL BE INTERCHANGEABLE.
- 1.2 FIELD CONDITIONS
 - A. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS IN COMPLIANCE WITH OVERALL WALL DIMENSIONS. THE G.C. SHALL NOTIFY THE ARCHITECT IN WRITTEN FORM OF ANY VARIANCES PRIOR TO COMMENCING WORK. FAILURE TO REPORT DISCREPANCIES SHALL MAKE ANY COSTS INCURRED ARISING FROM THESE CONDITIONS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - B. THE G.C. SHALL VERIFY SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL PENETRATIONS, EQUIPMENT ETC. AND COORDINATE WITH MECHANICAL AND ELECTRICAL ENGINEER. SEE THE LIFE SAFETY PLAN FOR LOCATIONS OF FIRE RATED PARTITIONS AND SECURE PENETRATIONS TO THE SATISFACTION OF THE FIRE MARSHAL.
 - C. PRIOR TO EXCAVATION OR TRENCHING THE G.C. SHALL DETERMINE AND VERIFY LOCATION OF UTILITY SERVICES IN ALL AREAS TO BE EXCAVATED.
 - D. THE G.C. SHALL COORDINATE ALL MILLWORK INSTALLATION WITH ELECTRICAL WORK AS REQUIRED.
- 1.3 FIELD REVISIONS
 - A. ANY CHANGES IN PLAN ARRANGEMENT OR DETAILING AND SPECIFIC INSTRUCTIONS FOR THE PROJECT WITHOUT THE PRIOR WRITTEN NOTIFICATION AND APPROVAL OF THE ARCHITECT WILL VOID ANY OBLIGATIONS AND LIABILITIES SET FORTH BY THE OWNER AND THE ARCHITECT.
 - B. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC EQUIPMENT, THE G.C. AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING AND ELECTRICAL.
- 1.4 PERMITTING / CODE COMPLIANCE
 - A. THE G.C. SHALL APPLY FOR ALL PERMITS WHICH INVOLVE DRAWING SUBMITTAL AND PROCESSING (I.E. BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, FIRE AND HEALTH PERMITS) THE G.C. SHALL OBTAIN THESE PERMITS AND PAY ALL PERMITTING FEES.
 - B. THE G.C. SHALL ASSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES, ORDINANCES, REQUIREMENTS, ETC. ARE SPECIFICALLY SHOWN ON THE DRAWINGS AND OR SPECIFICATIONS.
 - C. CONSTRUCTION MATERIAL, ASSEMBLIES AND PROCEDURES ARE TO COMPLY WITH ALL APPLICABLE CODES AND SUPPLEMENTARY ORDINANCES. WHEN A CONFLICT OCCURS BETWEEN SUCH CODES AND INFORMATION SHOWN ON THE DRAWINGS, THE G.C. SHALL CONSULT WITH THE OWNER'S REPRESENTATIVE OR ARCHITECT FOR RESOLUTION PRIOR TO COMMENCING WORK.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY GUIDELINES (I.E. ADA) FOR BUILDINGS AND FACILITIES PER THE CURRENT FEDERAL REGISTER, INCLUDING MOUNTING HEIGHTS, CLEARANCES, ACCESSORIES, ETC.

 - D. THE G.C. SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS BY CODE OFFICIALS AND SHALL PAY INSPECTION FEES ASSOCIATED WITH THE WORK.
 - E. PRIOR TO ISSUANCE OF THE BUILDING PERMIT, THE G.C. SHALL HAVE EVIDENCE OF CURRENT WORKER'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH THE LOCAL LABOR CODE.
 - F. AFTER OBTAINING THE BUILDING PERMIT AND BEFORE COMMENCING WITH THE WORK, THE G.C. SHALL SHOW EVIDENCE OF ALL INSURANCE REQUIREMENTS AS REQUIRED BY THE OWNER.
- 1.5 G.C. / OWNER COORDINATION
 - A. THE G.C. IS TO BECOME FAMILIAR WITH THE OWNER / DESIGN CRITERIA, SPECIAL WORKING CONDITIONS PERTAINING TO BARRICADES, NOISE, DUST, TRASH REMOVAL, ETC. AND SHALL COORDINATE WITH THE OWNER. ANY WORK WHICH IS REQUIRED TO TAKE PLACE AT NIGHT OR DURING OFF HOURS SHALL BE VERIFIED WITH THE OWNER'S REPRESENTATIVES. ANY ASSOCIATED COSTS SHALL BE INCLUDED IN THE BID. IN ADDITION, THE G.C. SHALL PROVIDE ANY SAFETY OR WARNING DEVICES REQUIRED TO PROTECT THE PUBLIC FROM ANY DAMAGE ARISING FROM THEIR WORK. SITE SECURITY IS THE RESPONSIBILITY OF THE G.C.
- 1.6 MATERIALS
 - A. PRODUCTS. MEANS NEW MATERIAL, MACHINERY, COMPONENTS, EQUIPMENT, FIXTURES, AND SYSTEMS FORMING THE WORK. DOES NOT INCLUDE MACHINERY AND EQUIPMENT USED FOR PREPARATION, FABRICATION, CONVEYING AND ERECTION OF THE WORK. PRODUCTS MAY ALSO INCLUDE EXISTING MATERIALS OR COMPONENTS REQUIRED FOR REUSE IF PRE-APPROVED OR SPECIFIED WITHIN THESE DOCUMENTS AS EXISTING TO BE REUSED OR RELOCATED.
 - B. DO NOT USE MATERIALS AND EQUIPMENT REMOVED FROM EXISTING PREMISES, EXCEPT AS SPECIFICALLY PERMITTED BY THE CONTRACT DOCUMENTS.
 - C. PROVIDE INTERCHANGEABLE COMPONENTS OF THE SAME MANUFACTURER, FOR SIMILAR COMPONENTS.
 - D. ALL MATERIAL SPECIFIED IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. THE G.C. IS TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS. ANY DEVIATIONS FROM THE INTENT OF THE DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL IS AT THE CONTRACTOR'S OWN RISK AND MAY RESULT IN THE WORK BEING REDONE AT THE CONTRACTOR'S EXPENSE.
 - E. IN THE EVENT THAT THE QUALITY OR GRADE OF MATERIAL OR WORK IS NOT CLEARLY SPECIFIED, THE G.C. SHALL REQUEST CLARIFICATION FROM THE ARCHITECT. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ASSUME GRADE OR QUALITY.
 - F. IN THE EVENT A DISCREPANCY OCCURS FROM ONE DRAWING TO ANOTHER OR THE SPECIFICATIONS, THE BETTER QUALITY, LARGER QUANTITY OR HIGHER QUALITY SHALL PREVAIL.
- 1.7 MATERIAL HANDLING
 - A. THE G.C. SHALL BE RESPONSIBLE FOR RECEIVING ALL OWNER SUPPLIED MATERIALS AND SUPPLYING THE MANPOWER AS REQUIRED TO OFF LOAD SHIPMENTS. WITHIN FIVE WORKING DAYS AFTER AWARD OF CONTRACT, THE G.C. SHALL PROVIDE THE OWNER WITH A PROPOSED PROJECT SCHEDULE INDICATING REQUESTED DATES OF DELIVERY OF OWNER FURNISHED MATERIALS.
 - B. THE G.C. SHALL CONFIRM THE RECEIPT OF ALL MATERIALS AND VERIFY QUANTITIES WITH THE SHIPPING MANIFEST OR BILL OF LADING. THE G.C. SHALL NOTIFY THE OWNER WITHIN 24 HOURS AFTER RECEIPT OF ANY MATERIALS MISSING FROM SHIPMENTS OR MATERIALS DAMAGED DURING SHIPPING. FAILURE TO DO SO WILL RESULT IN THE G.C. PAYING FOR OVERNIGHT FREIGHT (IF REQUIRED) FOR JOB COMPLETION.
 - C. THE G.C. IS RESPONSIBLE FOR FILING FREIGHT CLAIMS DIRECTLY WITH THE CARRIER AND FOLLOWING THROUGH AS NECESSARY WITH ALL SUBSEQUENT PROCEDURES, INCLUDING INSPECTIONS AND REMOVAL OF DAMAGED MATERIALS. THIS APPLIES TO VISIBLE AND CONCEALED DAMAGES OF ALL OWNER SUPPLIED MATERIALS. FAILURE TO DO SO WILL RESULT IN BACK CHARGE EXPENSES TO GENERAL CONTRACTOR.
 - D. THE G.C. SHALL BE RESPONSIBLE FOR PROTECTING ALL OWNER SUPPLIED MATERIALS THROUGHOUT THE WORK AND IS TO MAKE TOUCH UP REPAIRS AS REQUIRED.
- 2.1 GENERAL CONSTRUCTION
 - A. WITHIN TEN DAYS OF THE AWARD OF THE CONTRACT, THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A PROPOSED PROJECT SCHEDULE (BAR GRAPH FORMAT) INDICATING THE START AND COMPLETION DATES OF EACH STAGE OF THE WORK BY TRADE. AT THE SAME TIME THE CONTRACTOR SHALL ALSO SUBMIT TO THE ARCHITECT DOCUMENTATION INDICATING ORDERING AND DELIVERY DATES OF ALL MAJOR EQUIPMENT, MATERIALS AND FINISHES.
 - B. THE G.C. IS TO HAVE THE SAME FULL TIME QUALIFIED SUPERVISOR ON THE SITE THROUGHOUT THE ENTIRE PROJECT SCHEDULE. OR, DIFFERENT SUPERVISORS MAY BE USED AT DIFFERENT PROJECT PHASES IF PRE-APPROVED BY OWNER. ALL SUPERVISORS MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING.
 - C. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO THE WORK OF OTHER TRADES CAUSED BY HIS OPERATIONS. THE NATURE OF SUCH REPAIR WORK MUST RECEIVE THE PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
- 2.2 GENERAL CONTRACTOR'S RESPONSIBILITY
 - A. THE PURPOSE OF THE ARCHITECTURAL PLANS IS TO DEFINE SCOPE OF WORK, GENERAL CHARACTER OF WORK AND MATERIALS. THE ARCHITECT HAS RETAINED STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING CONSULTANTS WHO HAVE PROVIDED DRAWINGS INCLUDED IN THIS SET. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CONCEIVE OF THE PROJECT IN THREE DIMENSION AND DEVISE MEANS AND METHODS OF CONSTRUCTION. THE GENERAL CONTRACTOR MUST SEEK OUT CONFLICTS AND DEVISE ALTERNATES TO ALLOW FOR CONSTRUCTION. THE ARCHITECT MUST APPROVE SUCH ALTERNATE PRIOR TO IMPLEMENTATION. SUCH ADJUSTMENTS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
 - B. THE STRUCTURAL DRAWINGS DESCRIBE THE SYSTEM TO WITH STAND NATURAL FORCES. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPARE THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REPORT CONFLICTS TO THE ARCHITECT. TO FULFILL THE DESIGN CONCEPT, IT MAY BE NECESSARY TO PROVIDE ITEMS NOT EXPRESSLY SHOWN OR CALLED FOR BUT WHICH ARE NEVER THE LESS REQUIRED. IT MAY BE NECESSARY TO INCREASE STRUCTURE TO ALLOW FOR ARCHITECTURAL DETAILING. SUCH ITEMS AND ADJUSTMENTS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
 - C. THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SCHEMATIC IN NATURE. THEY MAY NOT ACCURATELY SHOW LOCATIONS OF VARIOUS DEVICES AND ITEMS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE VARIOUS TRADES AND LOCATE THE VARIOUS ITEMS AS REQUIRED TO ALLOW FOR PROPER FUNCTION. ADJUSTMENTS MAY BE REQUIRED TO "FIT" VARIOUS ITEMS INTO A GIVEN SPACE. SOME DEVICES AND ITEMS MAY REQUIRE ADDITIONAL BLOCKING AND SUPPORT NOT SHOWN ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL COMPARE ALL DEVICE REQUIREMENTS WITH DEVICE PROVISIONS AND REPORT DISCREPANCIES TO THE ARCHITECT. THE CONTRACTOR SHALL PROVIDE PROPER SUPPORT (STRUCTURAL, POWER, WATER, ETC.) FOR ALL DEVICES AND ITEMS SHOWN ON DRAWINGS AT NO ADDITIONAL COST TO OWNER.
 - D. THE GENERAL CONTRACTOR AGREES TO DELIVER A BUILDING WITH PROPER AND PROFESSIONAL FIT AND FINISH, ALL SYSTEMS FUNCTIONING PROPERLY AND 100% WEATHER TIGHT FOR A PERIOD OF ONE YEAR. HE WILL REPAIR ANY FIT AND FINISH ITEM REQUIRING ATTENTION DUE TO NORMAL SETTLEMENT OF THE BUILDING, POOR WORKMANSHIP OR DEFECTIVE PRODUCTS.
 - E. HE WILL REPAIR ALL WEATHER TIGHTNESS ISSUES NOT DUE TO ABUSE OR WINDSTORM IN EXCESS OF THE WIND LOADING REQUIREMENT.
 - F. HE WILL REPAIR OR REPLACE ANY SYSTEM NOT FUNCTIONING PROPERLY.
 - G. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL WORK BETWEEN THE VARIOUS BUILDING AND SITE CONTRACTORS. THE GENERAL CONTRACTOR WILL SEE TO IT THAT ALL FINAL CONNECTIONS ARE MADE. ANY EXTRA COSTS INCURRED DUE TO LACK OF FINAL CONNECTION COORDINATION WILL NOT BE PASSED TO THE OWNER.

- 2.3 PROJECT CLEAN UP / COMPLETION
- A. THE G.C. SHALL BE RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROVISIONS OF A DUMPSTER WITH WEEKLY SERVICING, REMOVAL OF ALL CONTRACTOR / SUBCONTRACTOR REFUSE AND DEBRIS AND SWEEPING OF THE ENTIRE SITE AT THE COMPLETION OF THE WORKDAY.
 - B. THE PREMISES SHALL BE TURNED OVER CLEAR OF ALL DEBRIS, PACKING, BOXES, WRAPPINGS AND EXCESS MATERIALS AND LEFT IN VACUUMED, MOPED CLEAN AND BROOM SWEEP CONDITION.
 - C. ALL MIRROR AND GLASS TO BE CLEANED OF PROTECTIVE PADS, MASTICS, MARKINGS, DIRT AND FINGER PRINTS.
 - D. ALL ELECTRICAL PANELS AND BREAKERS TO BE PROPERLY MARKED W/ TYPED LEGEND.
 - E. THE G.C. SHALL SET ALL TIMERS FOR PROPER TIMES OF OPERATION AS REQUIRED BY THE OWNER AND LANDLORD.
 - F. THE G.C. SHALL MOUNT A PERMANENTLY FRAMED CERTIFICATE OF OCCUPANCY. LOCATION TO BE DETERMINED BY THE OWNER AND BUILDING OFFICIALS.
 - G. THE C.C. SHALL PROVIDE A WAX COAT ON ALL VINYL FLOORS.
 - H. THE C.C. SHALL REPLACE ALL LAMPS AND PROVIDE REPLACEMENT FOR A PERIOD OF 30 DAYS COMMENCING AT DATE OF SUBSTANTIAL COMPLETION.
 - I. THE C.C. SHALL REPLACE ALL AIR CONDITIONING FILTERS ON DATE OF SUBSTANTIAL COMPLETION.

OWNER FURNISHED ITEMS, GENERAL NOTES

- PART 1 - GENERAL
- 1.1 PROJECTWORK IDENTIFICATION
- A. THE PROJECT CONSISTS OF CONSTRUCTION OF A NEW AUTOMOBILE DEALERSHIP AS SHOWN ON CONTRACT DOCUMENTS PREPARED BY ARCHITECT AND CONSULTANTS.
- 1.2 OWNER OCCUPANCY
- A. PARTIAL TENANT OCCUPANCY: THE OWNER RESERVES THE RIGHT TO PLACE AND INSTALL EQUIPMENT AS NECESSARY IN COMPLETED AREAS OF THE BUILDING AND TO OCCUPY SUCH COMPLETED AREAS PRIOR TO SUBSTANTIAL COMPLETION PROVIDED THAT SUCH OCCUPANCY DOES NOT SUBSTANTIALLY INTERFERE WITH COMPLETION OF THE WORK. SUCH PLACING OF EQUIPMENT AND PARTIAL OCCUPANCY SHALL NOT CONSTITUTE ACCEPTANCE OF THE WORK OR ANY PART OF THE WORK.
 - B. G.C. SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM LOCAL BUILDING OFFICIALS PRIOR TO OWNER OCCUPANCY.
 - C. UPON OWNER OCCUPANCY OF A PORTION OF THE PROJECT, THE CONTRACTOR WILL PROVIDE OPERATION AND MAINTENANCE OF MECHANICAL AND ELECTRICAL SYSTEMS IN SUCH OWNER OCCUPIED PORTIONS OF THE BUILDING.
- 1.3 PRE-ORDERED PRODUCTS
- A. GENERAL: THE OWNER MAY NEGOTIATE PURCHASE ORDERS WITH SUPPLIERS OF MATERIAL AND EQUIPMENT TO BE INCORPORATED INTO THE WORK. THESE PURCHASE ORDERS ARE ASSIGNED TO THE CONTRACTOR AND COSTS FOR RECEIVING, HANDLING, STORAGE, IF REQUIRED, AND INSTALLATION ARE INCLUDED IN THE CONTRACT SUM.
 - B. THE CONTRACTOR'S RESPONSIBILITIES ARE THE SAME AS IF THE CONTRACTOR NEGOTIATED PURCHASE ORDERS, INCLUDING RESPONSIBILITY TO NEGOTIATE PURCHASE IF NECESSARY AND TO EXECUTE FINAL PURCHASE ORDER AGREEMENTS.
 - C. THE OWNER RESERVES THE RIGHT TO ORDER AND PURCHASE ANY ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- 1.4 OWNER -FURNISHED ITEMS
- A. THE OWNER WILL PROVIDE MATERIAL AS DESCRIBED IN THE DRAWINGS. THE GENERAL CONTRACTOR'S WORK INCLUDES PROVIDING SUPPORT SYSTEMS TO RECEIVE OWNER'S EQUIPMENT, AND MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS.
 - B. THE OWNER WILL ARRANGE AND PAY FOR DELIVERY OF OWNER-FURNISHED ITEMS IN ACCORDANCE WITH THE CONTRACTOR'S CONSTRUCTION SCHEDULE.
 - C. IF OWNER -FURNISHED ITEMS ARE DAMAGED DURING DELIVERY, DEFECTIVE OR MISSING, THE CONTRACTOR WILL ARRANGE FOR REPLACEMENT.
 - D. THE CONTRACTOR WILL INCLUDE THE MANUFACTURER'S WARRANTIES AND BONDS FOR THE OWNER SUPPLIED EQUIPMENT IN THE CONTRACTOR ASSEMBLED CLOSE OUT PACKAGE.
 - E. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNATING THE DELIVERY DATES OF OWNER-FURNISHED ITEMS IN THE CONTRACTOR'S CONSTRUCTION SCHEDULE AND FOR RECEIVING, UNLOADING AND HANDLING OWNER-FURNISHED ITEMS AT THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING OWNER-FURNISHED ITEMS FROM DAMAGE, INCLUDING DAMAGE FROM EXPOSURE TO THE ELEMENTS, AND TO REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF HIS OPERATIONS.

TERMITE NOTES:

1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL. FBC 105.11
2. CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS. FBC 150.7 (UNDERGROUND STORM DRAINAGE SYSTEM TO BE USED)
3. IRRIGATION/SPRINKLER SYSTEM INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS.
4. TO PROVIDE FOR INSPECTOR FOR TERMITE INFESTATION BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6". EXCEPTION: PAINT OR DECORATIVE CEMENTITIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL. FBC 1403.9
5. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE. FBC 1816.1.1
6. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED FBC 1816.1.2
7. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT. FBC 1816.1.3
8. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MILLIMETER VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK, INCLUDING PLACEMENT OF REINFORCING STEEL, DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL. FBC 1816.1.4
9. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT, TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS. FBC 1816.1.5
10. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED. FBC 1816.1.6
11. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.

SAFETY GLAZING NOTES:

- 2406.4 HAZARDOUS LOCATIONS
- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
1. GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
 2. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS SHALL BE CONSIDERED A HAZARDOUS LOCATION.
 3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST RAINFALL EXPOSURE EDGE OF THE GLAZING IS WITHIN A 24-INCH (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.
 4. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION:
 - 4.1 EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQ. FT.
 - 4.2 BOTTOM EDGES LESS THAN 18 INCHES ABOVE FLOOR.
 - 4.3 TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - 4.4 ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
 5. GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.

LEGEND

** NOTE: ALL STORAGE TANKS TO BE DOUBLE WALLED

1 HR FR 1 HOUR FIRE RATED CMU WALL PER UL - U465

NOTE: SEE MECHANICAL PLANS FOR VENTILATION.

FIRE SEPARATIONS

PER NFPA 30 SECTION 3.3.37.1 THE OIL STORAGE ROOM IS A CUTOFF ROOM AND THEREFORE PER 6.4.2.1 AND TABLE 6.4.2.1 THE INTERIOR WALLS SHALL BE PROVIDED WITH 1 HOUR FIRE RESISTANT PROTECTION.

OIL/COMPRESSOR 132 PLAN

SCALE 1/4" = 1'

2

NOTE:
SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THESE DRAWINGS OR SPECIFICATIONS, THE BETTER QUALITY, GREATER QUANTITY AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED, UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM OR CONTRACT TIME.

- NOTES:
- 1) PIPING FOR NEW OIL AND ATF (CLASS IIIB) WILL BE 7/8 STEEL TUBING OR GALVANIZED PIPE.
 - 2) WASTE OIL AND WASTE ANTIFREEZE PIPING WILL BE OF BLACK PIPE IN ACCORDANCE WITH NFPA 30.
 - 3) ALL PIPE AND FITTINGS WILL BE ABOVE GROUND, IN ACCORDANCE WITH NFPA 30.
 - 4) ALL TANKS WILL BE DOUBLE WALLED AND UL LISTED IN ACCORDANCE WITH NFPA 30.

NOTES

SCALE 1/4" = 1'

3

COMBUSTIBLE LIQUID ANALYSIS

PER NFPA 30A 1.7.3.1 CLASS IIIB COMBUSTIBLE LIQUID IS ANY LIQUID THAT HAS A CLOSED-CUP FLASH POINT AT OR ABOVE 200° F (93° C).

OIL STORAGE ROOM WILL CONTAIN CLASS IIIB LIQUID
(NOTE: VALUES BELOW HAVE BEEN OBTAINED FROM NATIONALLY KNOWN PRODUCTS MSDS SHEETS AVAILABLE VIA MANUFACTURER'S WEB SITES. THEY ARE REPRESENTATIVE OF THE LIQUIDS WHICH WILL BE CONTAINED BY THE TANKS SHOWN)

- NEW OIL - CLOSED-CUP FLASH POINT 401° F (205° C)
- ATE (AUTOMATIC TRANSMISSION FLUID) - CLOSED-CUP FLASH POINT 350° F (177° C)
- WASTE COOLANT (ANTIFREEZE) - CLOSED-CUP FLASH POINT 247° F (119° C)
- WASTE OIL - TANKS AND CONTAINERS THAT CONTAIN ONLY CRANKCASE DRAININGS SHALL BE CONSIDERED AS CONTAINING CLASS IIIB LIQUIDS - NFPA 30A 4.3.9.3

STORAGE ANALYSIS

PALLETS:
ENGINES AND TRANSMISSIONS MAY BE DELIVERED AND STORED ON PALLETS. NONE OF THE UNITS SHOWN ABOVE ARE RATED FOR THE WEIGHT OF THESE ITEMS. THE ITEMS ARE NOT PACKAGED IN WEIGHT BEARING CRATES, THEREFORE THESE ITEMS WILL NOT BE STACKED. OTHER ITEMS WHICH MAY BE DELIVERED AND OFF LOADED ON PALLETS WILL BE REMOVED FROM THE PALLETS AND STORED ON SHELVES, IN DRAWERS OR BINS. IT IS NOT STANDARD PRACTICE TO STORE STACKED PALLETS OR TO RETAIN PALLETS IN ANY QUANTITY.

PARTS:
ITEMS WHICH MAY BE STORED IN PARTS STORAGE INCLUDE ANY ITEM WHICH MAY BE PART OF AN AUTOMOBILE. SUCH ITEMS WILL BE STORED WITH SEPARATE CARTONS OR LEFT LOOSE. ITEMS WHICH WOULD BE STORED IN CARTONS INCLUDE MECHANICAL PARTS SUCH AS WATER PUMPS, BRAKE ROTORS, CV JOINTS, ALTERNATORS, POWER STEERING PUMPS, WINDSHIELD WIPER BLADES, FILTERS, FUEL PUMPS, TAIL LIGHT ASSEMBLIES, ETC. ITEMS WHICH WOULD BE STORED LOOSE WOULD TEND TO BE LARGE ITEMS WHICH WOULD INCLUDE BUMPERS, FENDERS, SEAT ASSEMBLIES, HOODS, TRUNK LIDS, ETC. LOOSE NUTS AND BOLTS, EMISSION ITEMS (T'S AND FITTINGS), HOSES, ELECTRICAL CONNECTIONS, AND SUCH WILL BE STORED IN DRAWERS OR BINS. BELTS TEND TO BE HUNG ON PEG BOARD.

ANALYSIS

SCALE NTS

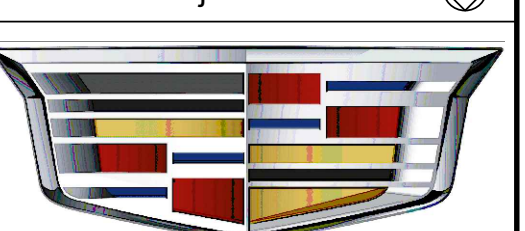
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architecture design planning

HARTMANN
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Project Name



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Sheet Title	EQUIPMENT STORAGE
Revisions	
State Registration	Richard Hartmann AIA, LEED AP A R 09622
Project Number	22026
Drawn By	RCK/RLH
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Sheet Number	

A023

System No. W-L-1007
(Formerly System No. 447)
F Ratings — 1, 2, 3 and 4 Hr (See Item 3)
T Ratings — 0, 1, 2, 3, and 4 Hr (See Item 3)
I Rating At Ambient — less than 1 CFM/sq ft
I Rating At 600 F — less than 1 CFM/sq ft

1. **Wall Assembly** — The 1, 2, 3 or 4 hr fire-rated gypsum wallboard/ stud wall assembly shall be constructed of the materials and in the manner described in the individual UL300 or UL400 Series Wall or Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

- Studs** — Wall framing may consist of either wood studs (max 2 in. fire-rated assemblies) or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with max 1 by 4 in. lumber end plates and cross bracing. Steel studs to be min 3/8 in. wide by 1 1/2 in. deep channels spaced max 24 in. OC.
- Wallboard, Gypsum** — Nom 1/2 or 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual UL300 or UL400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 1 1/2 in. in.
- Pipe or Conduit** — Nom 12 in. diam (or smaller) Schedule 40 (or heavier) steel pipe, nom 12 in. diam (or smaller) Class 50 (or heavier) ductile iron pressure pipe, nom 6 in. diam (or smaller) steel conduit, nom 4 in. diam (or smaller) electrical metallic tubing, nom 4 in. diam (or smaller) Type L (or heavier) copper tubing or nom 1 in. diam (or smaller) flexible steel conduit. When copper pipe is used, max Rating of firestop system (Type 3) is 1 1/2 hr. Steel pipes or conduits larger than nom 4 in. diam may only be used in walls constructed using steel channel studs. A max of one pipe or conduit is permitted in the firestop system. Pipe or conduit to be installed near center of stud cavity width and to be rigidly supported on both sides of wall assembly.
- Fill, Void or Cavity Material** — Caulk — Caulk fill installed to completely fill annular space between pipe and conduit and gypsum wallboard and with a min 1/4 in. diam bead of caulk applied to perimeter of pipe or conduit at all vertical surfaces. The caulk installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the hourly fire rating of the wall assembly in which it is installed, as shown in the following table. The hourly T Rating of the firestop system is dependent upon the type or size of the pipe or conduit and the hourly fire rating of the wall assembly in which it is installed, as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

System No. W-L-2004
(Formerly System No. 148)
F Rating — 2 Hr
T Ratings — 1, 2, 3 and 4 Hr (See Item 3)
I Rating At Ambient — 2 CFM/sq ft (See Item 3C)
I Rating At 600 F — less than 1 CFM/sq ft (See Item 3C)

1. **Wall Assembly** — The 2 hr fire-rated gypsum wallboard/ stud wall assembly shall be constructed of the materials and in the manner described in the individual UL300 or UL400 Series Wall or Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

- Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with max 1 by 4 in. lumber end plates and cross bracing. Steel studs to be min 3/8 in. wide by 1 1/2 in. deep channels spaced max 24 in. OC.
- Wallboard, Gypsum** — Two layers of nom 5/8 in. thick gypsum wallboard, as specified in the individual Wall and Partition Design in the UL Fire Resistance Directory.
- Max diam of opening** — Nom 1 1/2 or 1 3/4 in. in.
- Nonmetallic Pipe or Conduit** — One nonmetallic pipe or conduit centered in firestop system. Pipe or conduit to be rigidly supported on both sides of wall. The following types and sizes of nonmetallic pipes or conduits may be used in closed (process or supply) or vented (drain, waste or vent) piping systems:
 - Nom 4 in. diam (or smaller) Schedule 40 polyvinyl chloride (PVC) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 polyethylene glycol (PE) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 solid core acrylonitrile butadiene styrene (ABS) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 (or heavier) fire retardant polypropylene (PPFP) pipe.
 - Nom 4 in. diam (or smaller) Rigid Nonmetallic Conduit formed of polypropylene (RNC).
 - Nom 1 in. diam (or smaller) Electrical Nonmetallic Tubing formed of PVC.
 - Nom 2 in. diam (or smaller) SDR11 (or heavier) polybutylene (PB) pipe.
 - Nom 3 in. diam (or smaller) SDR13.5 (or heavier) chlorinated polyvinyl chloride (CPVC) pipe.
 - Rigid Nonmetallic Conduit (DNZCT) and Electrical Nonmetallic Tubing (KHNLT) categories in Electrical Construction Materials Directory for names of manufacturers.
- Firestop System** — Installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the type and size of nonmetallic pipe or conduit as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

System No. W-J-2005
(Formerly System No. 257)
F Ratings — 1 and 2 Hr (See Item 3)
T Ratings — 1 and 1-1/2 Hr (See Item 3)

1. **Wall Assembly** — Min 5 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max area of opening is 1388 sq in. with max dimensions of 22 3/4 in. in.

2. **Steel Stud** — Nom 4 1/2 in. by 28 in. (or smaller) No. 24 gauge (or heavier) galv steel stud to be installed either concentrically or eccentrically within the firestop system. The space between the steel stud and periphery of opening shall be min 1 in. (post contact) to max 2 in. Steel stud to be rigidly supported on both sides of the wall assembly.

3. **Firestop System** — The firestop system shall consist of the following:

- Packing Material** — Polyethylene backer rod, mineral wool batt insulation or fiberglass batt insulation friction fitted into annular space of opening. Packing material to be recessed from both surfaces of wall as required thickness of fill material.
- Fill, Void or Cavity Material** — Sealant — Min 3/8 in. thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point contact location between steel stud and concrete wall, a min 1/4 in. diam bead of fill material shall be applied at the concrete/steel stud interface on both surfaces of wall assembly.
- Steel Retaining Angles** — Min No. 16 gauge galv steel angles sized to lap steel stud a min of 2 in. and lap wall surfaces a min 1 in. Angles attached to steel stud on both sides of wall with min No. 10 by 1/2 in. long steel sheet metal screws spaced a max of 1 in. from each end of steel stud and spaced a max 6 in. OC.

*Bearing the UL Classification Marking

System No. W-J-7007
Rating — 0 Hr

1. **Wall Assembly** — Min 6 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max area of opening is 1388 sq in. with max dimensions of 22 3/4 in. in.

2. **Steel Stud** — Nom 4 1/2 in. by 28 in. (or smaller) No. 24 gauge (or heavier) galv steel stud to be installed either concentrically or eccentrically within the firestop system. The space between the steel stud and periphery of opening shall be min 1 in. (post contact) to max 2 in. Steel stud to be rigidly supported on both sides of the wall assembly.

3. **Firestop System** — The firestop system shall consist of the following:

- Packing Material** — Polyethylene backer rod, mineral wool batt insulation or fiberglass batt insulation friction fitted into annular space of opening. Packing material to be recessed from both surfaces of wall as required thickness of fill material.
- Fill, Void or Cavity Material** — Sealant — Min 3/8 in. thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point contact location between steel stud and concrete wall, a min 1/4 in. diam bead of fill material shall be applied at the concrete/steel stud interface on both surfaces of wall assembly.
- Steel Retaining Angles** — Min No. 16 gauge galv steel angles sized to lap steel stud a min of 2 in. and lap wall surfaces a min 1 in. Angles attached to steel stud on both sides of wall with min No. 10 by 1/2 in. long steel sheet metal screws spaced a max of 1 in. from each end of steel stud and spaced a max 6 in. OC.

*Bearing the UL Classification Marking

System No. C-AJ-1092
(Formerly System No. 487)
F Rating — 0 Hr
I Rating At Ambient — 2 CFM/sq ft
I Rating At 600 F — less than 1 CFM/sq ft

1. **Floor or Wall Assembly** — Min 3/2 in. thick lightweight or normal weight (100 pcf) concrete. When area of opening exceeds 14 sq in., min concrete thickness is 4 1/2 in. Wall may also be constructed of any UL Classified Concrete Blocks*. Max area of opening is 364 sq in. with max dimensions of 50 sq in. with max width dimension of 14 in.

2. **Pipe or Conduit** — Nom 6 in. diam (or smaller) Schedule 10 (or heavier) steel pipe or steel conduit or nom 4 in. diam (or smaller) steel Duct or Type L (or heavier) copper tubing. Multiple pipes and/or conduits permitted in firestop system. The T Rating of the firestop system is dependent upon the max diam of opening, thickness of packing material and thickness of fill material.

3. **Firestop System** — The firestop system shall consist of the following:

- Packing Material** — Min 6 pcf mineral wool batt insulation or loose ceramic fiber insulation friction fitted into annular space of opening. Packing material to be recessed from top and bottom surfaces of floor or both surfaces of wall as required to accommodate the required thickness of fill material.
- Fill, Void or Cavity Material** — Sealant — Min 5/8 in. thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point contact location between through penetrant and gypsum wallboard, a min 3/8 in. diam bead of sealant shall be applied to the gypsum wallboard/through penetrant interface on both surfaces of wall assembly.

*Bearing the UL Classification Marking

Design No. U465
Nonbearing Wall Rating — 1 Hr

1. **Floor and Ceiling Runners** — (not shown) — Channel shaped runners, 1 1/2 in. wide (min), 1 1/4 in. legs, formed from min No. 28 MSG (min No. 20 MSG when item 4C is used) galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC.

2. **Steel Stud** — Channel shaped, 3 1/8 in. wide (min), 1 1/4 in. legs, 3/8 in. folded back returns. Formed from min No. 28 MSG (min No. 20 MSG when item 4C is used) galv steel spaced 24 in. OC max.

3. **Batts and Blankets** — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity.

4. **Sealant and Blankets** — (Optional) — Sealant and blankets (B22) category for names of Classified companies.

5. **Wallboard, Gypsum** — 5/8 in. thick, 4 ft wide, attached to steel studs, floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC, along edges of board and 12 in. OC, in the field of the board. The board shall be installed vertically and staggered on opposite sides of the assembly. When attached to floor framing channels, wallboard is screw attached to framing channels with 1 in. long, Type S steel screws spaced 12 in. OC.

6. **AMERICAN GYPSUM CO** — Type AGC
CANADIAN GYPSUM COMPANY — Type AR, C, F, X2, SCX, S10, WRC or WRX
CELESTOR CORP — Type 1
CONTINENTAL GYPSUM CO — Type CG-C, CGS-5, CGS-6, CGS-9, CGTCC
G-P GYPSUM CORP SUB OF G-P GYPSUM CORP — Type IGS-5, S, C, PFSK
JAMES HARDIE GYPSUM INC — Type BG-C
LAFARGE GYPSUM DIV OF LAFARGE CORP — Types LGFC2, LGFC3A, LGFC4, LGFC6A, LGFC-C
NATIONAL GYPSUM CO — Types ISK-G, FSW-G
NATIONAL GYPSUM CO — Type FR or WR
PABCO GYPSUM DIV OF PACIFIC COAST BUILDING PRODUCTS INC — Type PG-C
REPUBLIC GYPSUM CO — Type RG-C
STANDARD GYPSUM I. C. — Type SC-C
TEMPLE INLAND FOREST PRODUCTS CORP — Type TFC
UNITED STATES GYPSUM CO — Type AR, C, FRX-G, F-X2, SCX, S10, WRC or WRX
YESO PANAMERICANO S A DE CV — Type AR, C, F, X2, SCX, S10, WRC or WRX
WESTROK INC — Type Vestro Fireboard.

4A. **Wallboard, Gypsum** — (As an alternate to item 4) — Nom 3/4 in. thick, 4 ft wide, installed as described in item 4 with screw fasteners increased to 1/4 in. in.

4B. **Wallboard, Gypsum** — (As an alternate to item 4A and 4B) — 1/4 in. thick gypsum panels, installed as described in item 4 with Type S-12 steel screws. The length and spacing of the screws as specified under item 4.

4C. **CANADIAN GYPSUM COMPANY** — Type FRX
UNITED STATES GYPSUM CO — Type FRX

5. **Joint Tape and Compound** — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw heads: paper tape 2 in. wide embedded in first layer of compound over all joints. As an alternate, nominal 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer boardwork. Joints reinforced.

6. **Furring Channel** — (Optional-Not Shown) — Resilient 25 MSG galv steel furring, channels spaced vertically max 24 in. OC, flange portion attached to wall.

System No. W-L-1127
F Ratings — 1 & 2 Hr (See Item 3)
T Rating — 0 Hr

1. **Wall Assembly** — The 1 or 2 hr fire-rated gypsum wallboard/ stud wall assembly shall be constructed of the materials and in the manner described in the individual UL300 or UL400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:

- Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with max 1 by 4 in. lumber end plates and cross bracing. Steel studs to be min 3/8 in. wide by 1 1/2 in. deep channels spaced max 24 in. OC.
- Wallboard, Gypsum** — 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual UL300 or UL400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 1 1/2 in. in.
- Pipe or Conduit** — Nom 12 in. diam (or smaller) Schedule 40 (or heavier) steel pipe, nom 12 in. diam (or smaller) Class 50 (or heavier) ductile iron pressure pipe, nom 6 in. diam (or smaller) steel conduit, nom 4 in. diam (or smaller) electrical metallic tubing, nom 4 in. diam (or smaller) Type L (or heavier) copper tubing or nom 1 in. diam (or smaller) flexible steel conduit. When copper pipe is used, max Rating of firestop system (Type 3) is 1 1/2 hr. Steel pipes or conduits larger than nom 4 in. diam may only be used in walls constructed using steel channel studs. A max of one pipe or conduit is permitted in the firestop system. Pipe or conduit to be installed near center of stud cavity width and to be rigidly supported on both sides of wall assembly.
- Fill, Void or Cavity Material** — Caulk or Putty — Applied to fill the annular space between pipe or conduit and gypsum wallboard and with a min 1/4 in. diam bead of caulk applied to perimeter of pipe or conduit at all vertical surfaces. The caulk installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the hourly fire rating of the wall assembly in which it is installed, as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

System No. W-L-1003
(Formerly System No. 140)
F Rating — 1 and 2 Hr (See Item 3)
T Ratings — 1 and 2 Hr (See Item 3)
I Rating At Ambient — 7 CFM/sq ft (See Item 3B)
I Rating At 600 F — less than 1 CFM/sq ft (See Item 3B)

1. **Wall Assembly** — The 1 or 2 hr fire-rated gypsum wallboard/ stud wall assembly shall be constructed of the materials and in the manner described in the individual UL300 or UL400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:

- Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with max 1 by 4 in. lumber end plates and cross bracing. Steel studs to be min 3/8 in. wide by 1 1/2 in. deep channels spaced max 24 in. OC.
- Wallboard, Gypsum** — 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual UL300 or UL400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 1 1/2 in. in.
- Through Penetrants** — One nonmetallic pipe or conduit installed either concentrically or eccentrically within the firestop system. The annular space between pipe or conduit and periphery of opening shall be min 3/8 in. to max 1 in. Pipe and conduit to be rigidly supported on both sides of wall assembly. The following types and sizes of nonmetallic pipes or conduits may be used in closed (process or supply) or vented (drain, waste or vent) piping systems:
 - Nom 4 in. diam (or smaller) Schedule 40 polyvinyl chloride (PVC) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 polyethylene glycol (PE) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 solid core acrylonitrile butadiene styrene (ABS) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 (or heavier) fire retardant polypropylene (PPFP) pipe.
 - Nom 4 in. diam (or smaller) Rigid Nonmetallic Conduit formed of polypropylene (RNC).
 - Nom 1 in. diam (or smaller) Electrical Nonmetallic Tubing formed of PVC.
 - Nom 2 in. diam (or smaller) SDR11 (or heavier) polybutylene (PB) pipe.
 - Nom 3 in. diam (or smaller) SDR13.5 (or heavier) chlorinated polyvinyl chloride (CPVC) pipe.
 - Rigid Nonmetallic Conduit (DNZCT) and Electrical Nonmetallic Tubing (KHNLT) categories in Electrical Construction Materials Directory for names of manufacturers.
- Firestop System** — Installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the type and size of nonmetallic pipe or conduit as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

architecture design planning

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AR09622

Project Name

MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

System No. W-L-2003
(Formerly System No. 140)
F Rating — 1 and 2 Hr (See Item 3)
T Ratings — 1 and 2 Hr (See Item 3)
I Rating At Ambient — 7 CFM/sq ft (See Item 3B)
I Rating At 600 F — less than 1 CFM/sq ft (See Item 3B)

1. **Wall Assembly** — The 1 or 2 hr fire-rated gypsum wallboard/ stud wall assembly shall be constructed of the materials and in the manner described in the individual UL300 or UL400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:

- Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with max 1 by 4 in. lumber end plates and cross bracing. Steel studs to be min 3/8 in. wide by 1 1/2 in. deep channels spaced max 24 in. OC.
- Wallboard, Gypsum** — 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual UL300 or UL400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 1 1/2 in. in.
- Through Penetrants** — One nonmetallic pipe or conduit installed either concentrically or eccentrically within the firestop system. The annular space between pipe or conduit and periphery of opening shall be min 3/8 in. to max 1 in. Pipe and conduit to be rigidly supported on both sides of wall assembly. The following types and sizes of nonmetallic pipes or conduits may be used in closed (process or supply) or vented (drain, waste or vent) piping systems:
 - Nom 4 in. diam (or smaller) Schedule 40 polyvinyl chloride (PVC) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 polyethylene glycol (PE) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 solid core acrylonitrile butadiene styrene (ABS) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 (or heavier) fire retardant polypropylene (PPFP) pipe.
 - Nom 4 in. diam (or smaller) Rigid Nonmetallic Conduit formed of polypropylene (RNC).
 - Nom 1 in. diam (or smaller) Electrical Nonmetallic Tubing formed of PVC.
 - Nom 2 in. diam (or smaller) SDR11 (or heavier) polybutylene (PB) pipe.
 - Nom 3 in. diam (or smaller) SDR13.5 (or heavier) chlorinated polyvinyl chloride (CPVC) pipe.
 - Rigid Nonmetallic Conduit (DNZCT) and Electrical Nonmetallic Tubing (KHNLT) categories in Electrical Construction Materials Directory for names of manufacturers.
- Firestop System** — Installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the type and size of nonmetallic pipe or conduit as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

System No. W-L-1003
(Formerly System No. 140)
F Rating — 1 and 2 Hr (See Item 3)
T Ratings — 1 and 2 Hr (See Item 3)
I Rating At Ambient — 7 CFM/sq ft (See Item 3B)
I Rating At 600 F — less than 1 CFM/sq ft (See Item 3B)

1. **Wall Assembly** — The 1 or 2 hr fire-rated gypsum wallboard/ stud wall assembly shall be constructed of the materials and in the manner described in the individual UL300 or UL400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:

- Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with max 1 by 4 in. lumber end plates and cross bracing. Steel studs to be min 3/8 in. wide by 1 1/2 in. deep channels spaced max 24 in. OC.
- Wallboard, Gypsum** — 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual UL300 or UL400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 1 1/2 in. in.
- Through Penetrants** — One nonmetallic pipe or conduit installed either concentrically or eccentrically within the firestop system. The annular space between pipe or conduit and periphery of opening shall be min 3/8 in. to max 1 in. Pipe and conduit to be rigidly supported on both sides of wall assembly. The following types and sizes of nonmetallic pipes or conduits may be used in closed (process or supply) or vented (drain, waste or vent) piping systems:
 - Nom 4 in. diam (or smaller) Schedule 40 polyvinyl chloride (PVC) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 polyethylene glycol (PE) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 solid core acrylonitrile butadiene styrene (ABS) pipe.
 - Nom 4 in. diam (or smaller) Schedule 40 (or heavier) fire retardant polypropylene (PPFP) pipe.
 - Nom 4 in. diam (or smaller) Rigid Nonmetallic Conduit formed of polypropylene (RNC).
 - Nom 1 in. diam (or smaller) Electrical Nonmetallic Tubing formed of PVC.
 - Nom 2 in. diam (or smaller) SDR11 (or heavier) polybutylene (PB) pipe.
 - Nom 3 in. diam (or smaller) SDR13.5 (or heavier) chlorinated polyvinyl chloride (CPVC) pipe.
 - Rigid Nonmetallic Conduit (DNZCT) and Electrical Nonmetallic Tubing (KHNLT) categories in Electrical Construction Materials Directory for names of manufacturers.
- Firestop System** — Installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the type and size of nonmetallic pipe or conduit as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

System No. W-J-2037
F Rating — 2 Hr
T Rating — 2 Hr

1. **Wall Assembly** — Min 6-1/8 in. thick normal weight or lightweight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 3 1/4 in. in.

2. **Steel Stud** — Nom 4 in. by 28 in. (or smaller) No. 24 gauge (or heavier) galv steel stud to be installed either concentrically or eccentrically within the firestop system. The space between the steel stud and periphery of opening shall be min 3/8 in. to max 1 in. Pipe and conduit to be rigidly supported on both sides of wall assembly. The following types and sizes of nonmetallic pipes or conduits may be used in closed (process or supply) or vented (drain, waste or vent) piping systems:

- Nom 4 in. diam (or smaller) Schedule 40 polyvinyl chloride (PVC) pipe.
- Nom 4 in. diam (or smaller) Schedule 40 polyethylene glycol (PE) pipe.
- Nom 4 in. diam (or smaller) Schedule 40 solid core acrylonitrile butadiene styrene (ABS) pipe.
- Nom 4 in. diam (or smaller) Schedule 40 (or heavier) fire retardant polypropylene (PPFP) pipe.
- Nom 4 in. diam (or smaller) Rigid Nonmetallic Conduit formed of polypropylene (RNC).
- Nom 1 in. diam (or smaller) Electrical Nonmetallic Tubing formed of PVC.
- Nom 2 in. diam (or smaller) SDR11 (or heavier) polybutylene (PB) pipe.
- Nom 3 in. diam (or smaller) SDR13.5 (or heavier) chlorinated polyvinyl chloride (CPVC) pipe.
- Rigid Nonmetallic Conduit (DNZCT) and Electrical Nonmetallic Tubing (KHNLT) categories in Electrical Construction Materials Directory for names of manufacturers.

3. **Firestop System** — Installed symmetrically on both sides of wall assembly. The hourly T Rating of the firestop system is dependent upon the type and size of nonmetallic pipe or conduit as tabulated below:

Max Pipe or Conduit Diam in.	Annular Space	F Rating	T Rating
1	0 to 3/16	1 or 2	1 or 2
2	1/8 to 1/2	1 or 2	1 or 2
4	1/8 to 1/2	1 or 2	1 or 2
12	3/16 to 3/8	1 or 2	0

*When copper pipe is used, T Rating is 0.
MINNESOTA MINING & MFG CO — CP 25WB*
*Bearing the UL Classification Marking

System No. C-AJ-1017
F Rating — 3 Hr
T Rating — 0 Hr

1. **Floor or Wall Assembly** — Min 4 1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max area of opening is 364 sq in. with max dimensions of 50 sq in. with max width dimension of 14 in.

2. **Pipe or Conduit** — Nom 6 in. diam (or smaller) Schedule 10 (or heavier) steel pipe or steel conduit or nom 4 in. diam (or smaller) steel Duct or Type L (or heavier) copper tubing. Multiple pipes and/or conduits permitted in firestop system. The T Rating of the firestop system is dependent upon the max diam of opening, thickness of packing material and thickness of fill material.

3. **Firestop System** — The firestop system shall consist of the following:

- Packing Material** — Min 6 pcf mineral wool batt insulation or loose ceramic fiber insulation friction fitted into annular space of opening. Packing material to be recessed from top and bottom surfaces of floor or both surfaces of wall as required to accommodate the required thickness of fill material.
- Fill, Void or Cavity Material** — Sealant — Min 5/8 in. thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point contact location between through penetrant and gypsum wallboard, a min 3/8 in. diam bead of sealant shall be applied to the gypsum wallboard/through penetrant interface on both surfaces of wall assembly.

*Bearing the UL Classification Marking

System No. C-AJ-7008
F Rating — 1-1/2 Hr
T Rating — 1-1/2 Hr

1. **Floor or Wall Assembly** — Min 4 1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max area of opening is 364 sq in. with max dimensions of 50 sq in. with max width dimension of 14 in.

2. **Pipe or Conduit** — Nom 6 in. diam (or smaller) Schedule 10 (or heavier) steel pipe or steel conduit or nom 4 in. diam (or smaller) steel Duct or Type L (or heavier) copper tubing. Multiple pipes and/or conduits permitted in firestop system. The T Rating of the firestop system is dependent upon the max diam of opening, thickness of packing material and thickness of fill material.

3. **Firestop System** — The firestop system shall consist of the following:

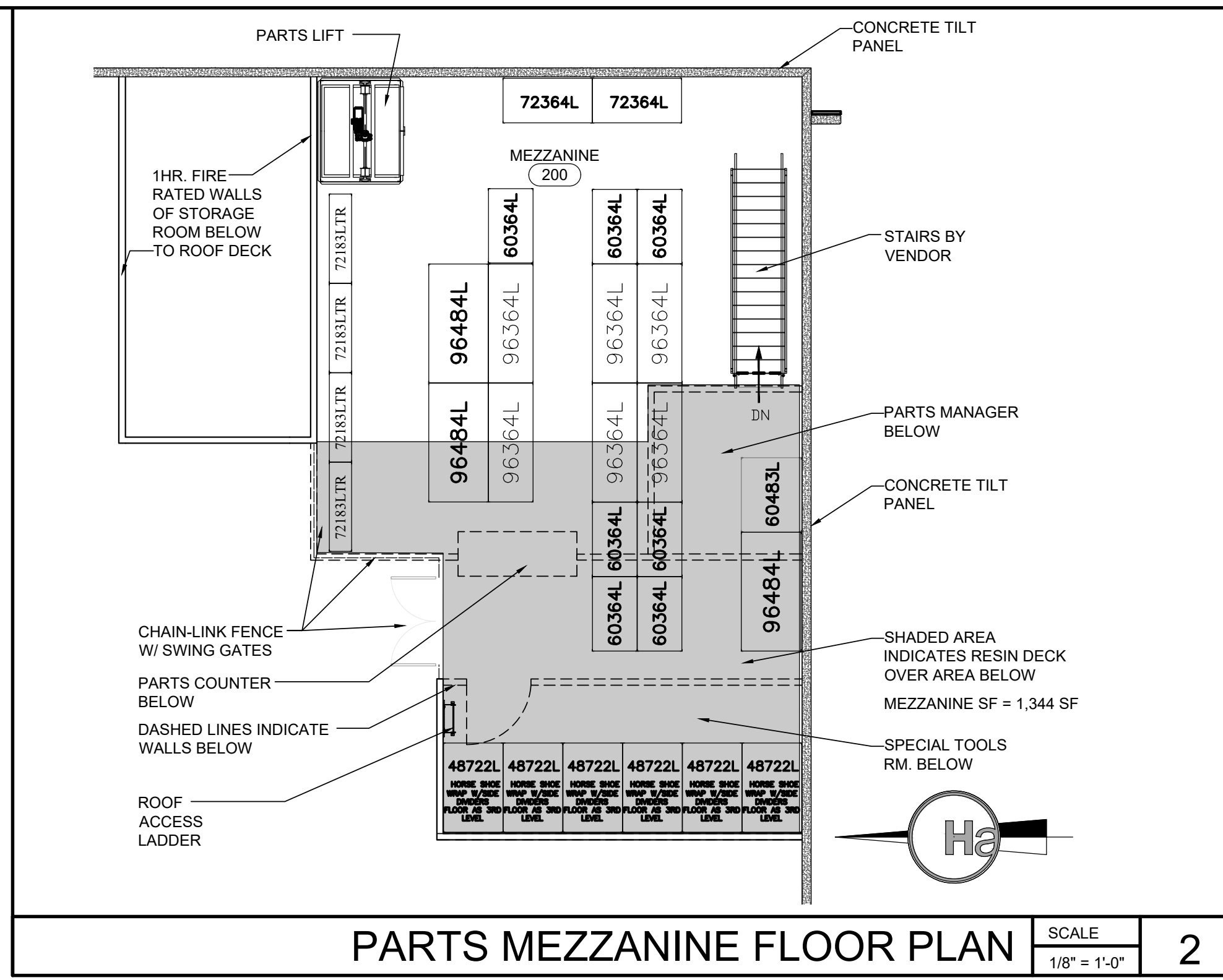
- Packing Material** — Min 6 pcf mineral wool batt insulation or loose ceramic fiber insulation friction fitted into annular space of opening. Packing material to be recessed from top and bottom surfaces of floor or both surfaces of wall as required to accommodate the required thickness of fill material.
- Fill, Void or Cavity Material** — Sealant — Min 5/8 in. thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point contact location between through penetrant and gypsum wallboard, a min 3/8 in. diam bead of sealant shall be applied to the gypsum wallboard/through penetrant interface on both surfaces of wall assembly.

*Bearing the UL Classification Marking

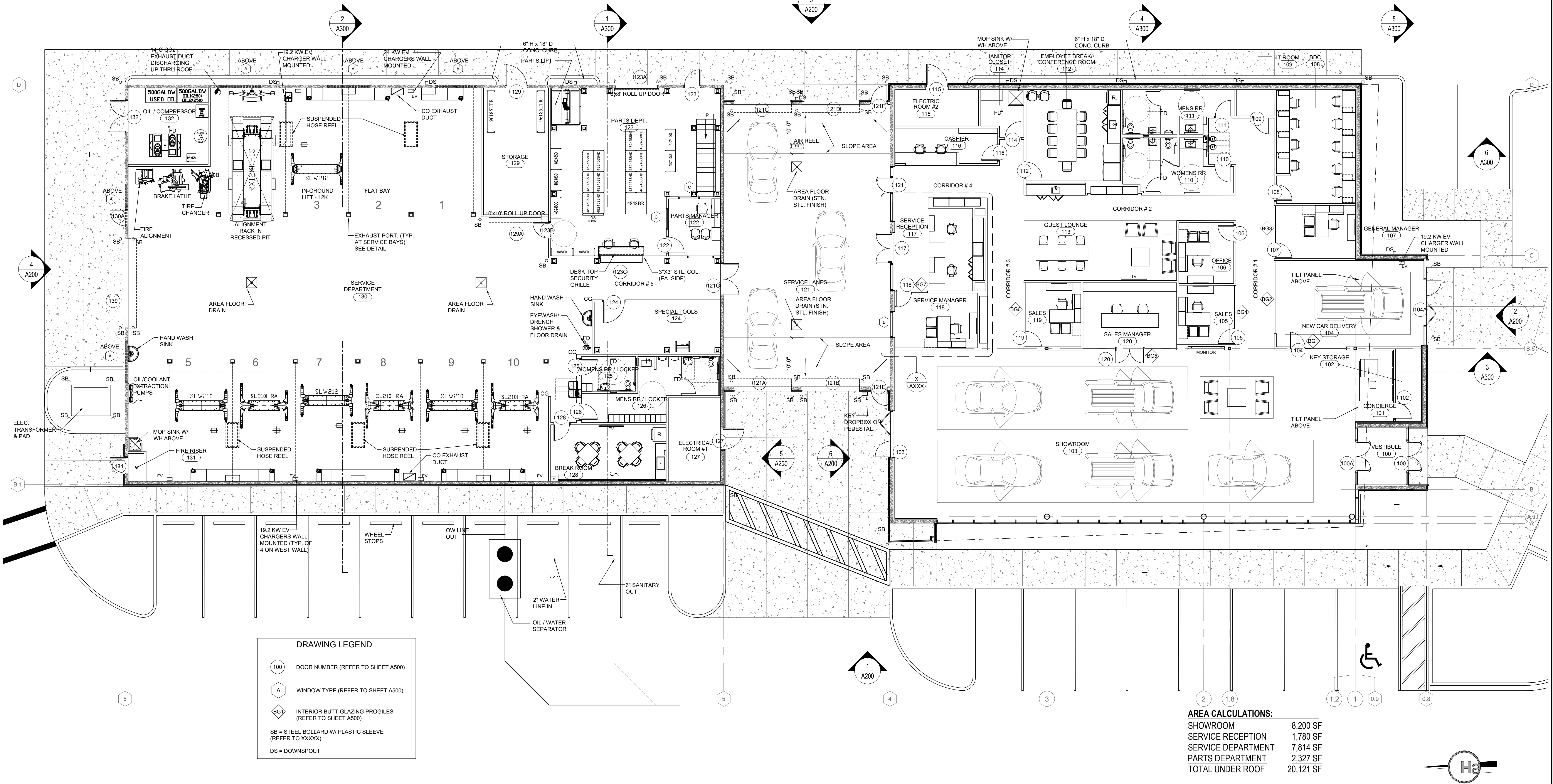
System No. C-AJ-1003
(Formerly System No. 63)
F Rating — 3 Hr
T Rating — 0 or 3/4 Hr (See Item 3B)

1. **Floor or Wall Assembly** — Min 4 1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max area of opening is

NOTE:
 SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THESE DRAWINGS OR SPECIFICATIONS, THE BETTER QUALITY, GREATER QUANTITY AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED, UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM OR CONTRACT TIME.



PARTS MEZZANINE FLOOR PLAN SCALE 1/8" = 1'-0" 2



DRAWING LEGEND

- (100) DOOR NUMBER (REFER TO SHEET A500)
- (A) WINDOW TYPE (REFER TO SHEET A500)
- (BG1) INTERIOR BUTT-GLAZING PROFILES (REFER TO SHEET A500)
- SB = STEEL BOLLARD W/ PLASTIC SLEEVE (REFER TO XXXXX)
- DS = DOWNSPOUT

AREA CALCULATIONS:

SHOWROOM	8,200 SF
SERVICE RECEPTION	1,780 SF
SERVICE DEPARTMENT	7,814 SF
PARTS DEPARTMENT	2,327 SF
TOTAL UNDER ROOF	20,121 SF

REFERENCE FLOOR PLAN SCALE 1/8" = 1'-0" 1

architecture design planning

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 architecture inc.

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 Tampa, Florida 33609
 813.251.2190
 ARO9622

Project Name

MIKE ERDMAN CADILLAC
 4750 Highway 520
 Cocoa, FL 32926

Sheet Title

REFERENCE FLOOR PLAN

Revisions

State Registration

Richard Hartmann AIA, LEED AP
 A R 09622

This document has been electronically signed and sealed by Richard Hartmann, AIA, using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

To the best of the knowledge of the architects & engineers, said plans and specifications comply with the applicable building codes and minimum fire safety standards.

Project Number

22026

Drawn By

RCK/RLH

Checked By

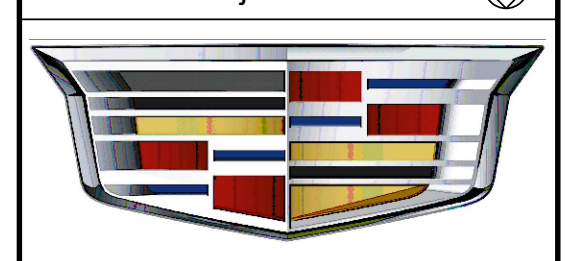
RJH

Issue Date

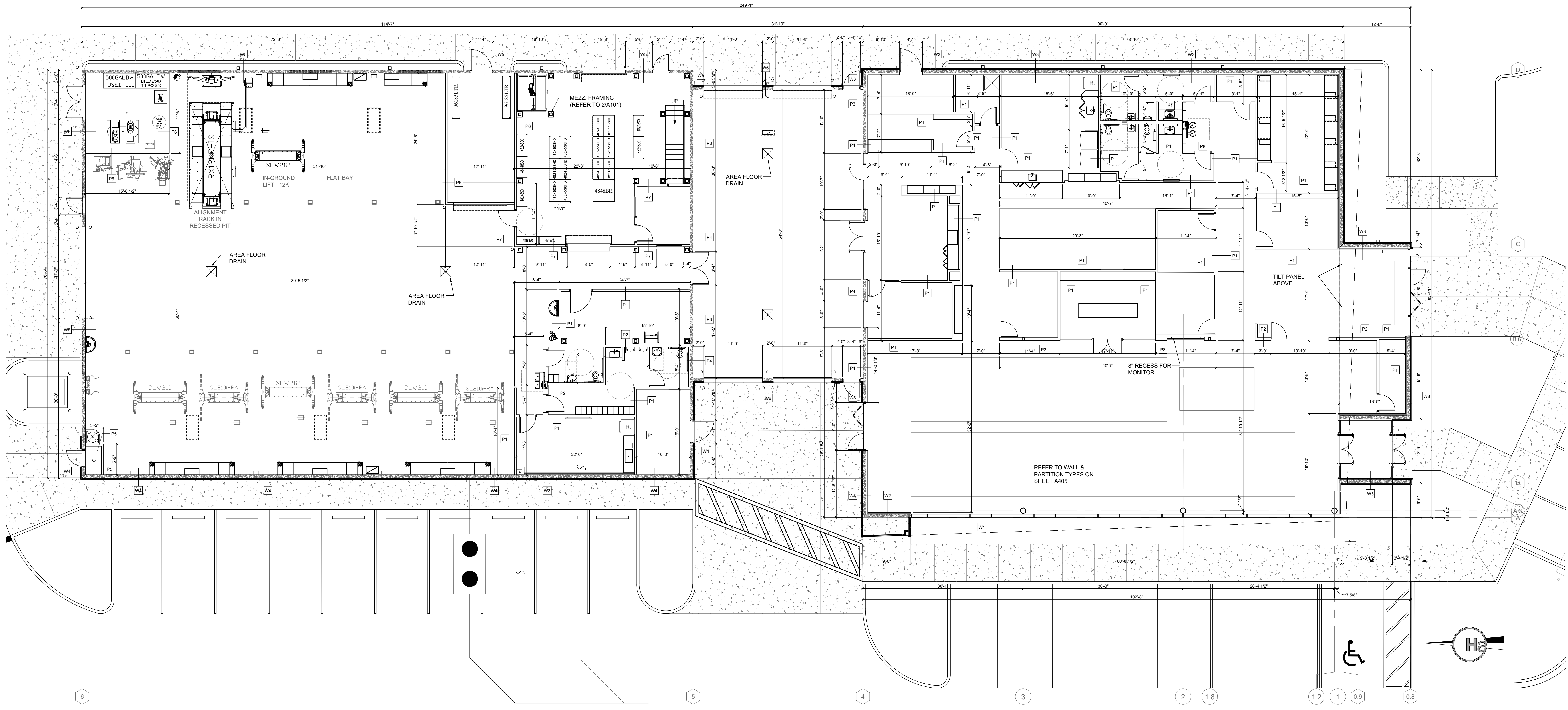
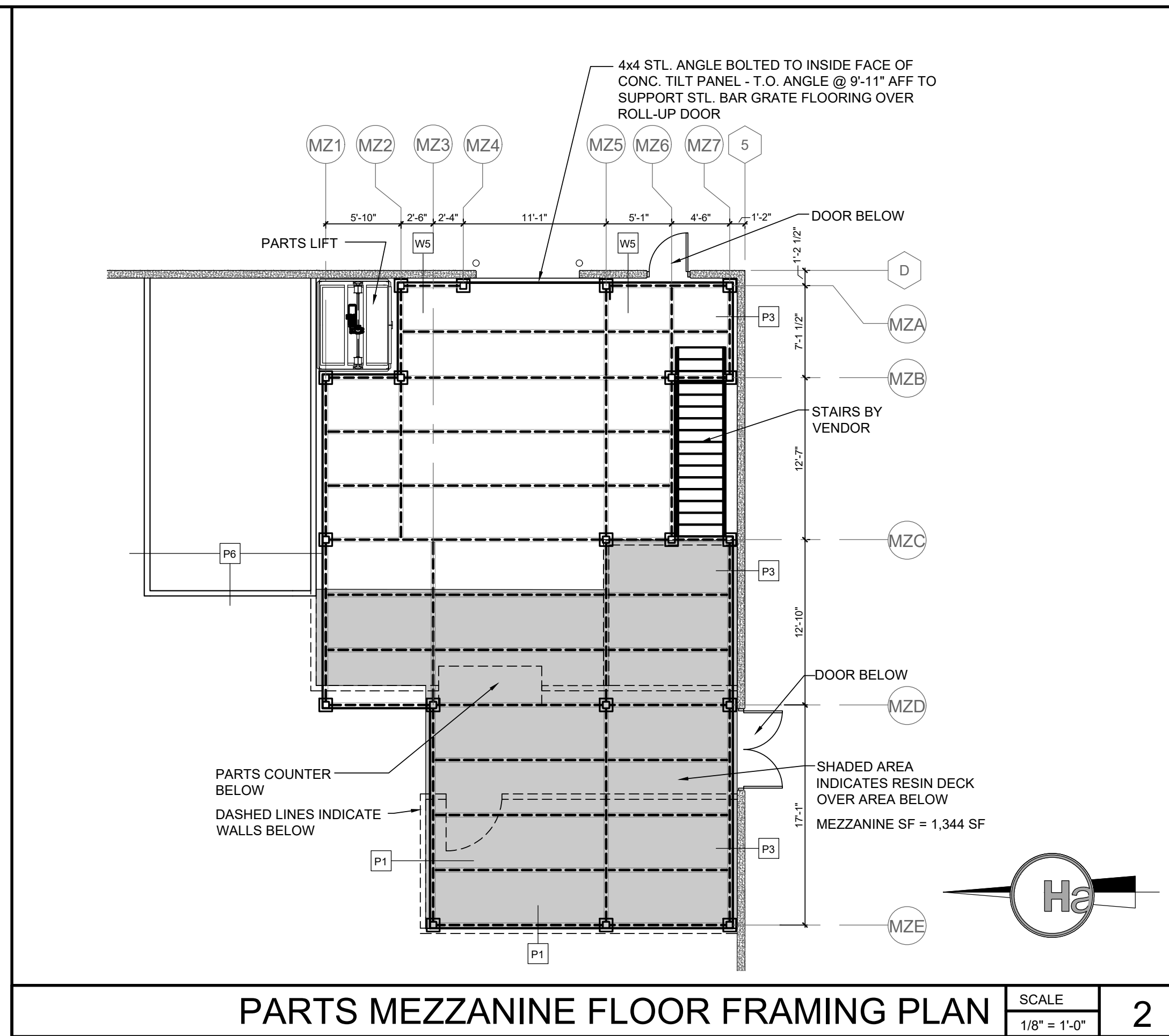
02.09.24

Sheet Number

A100

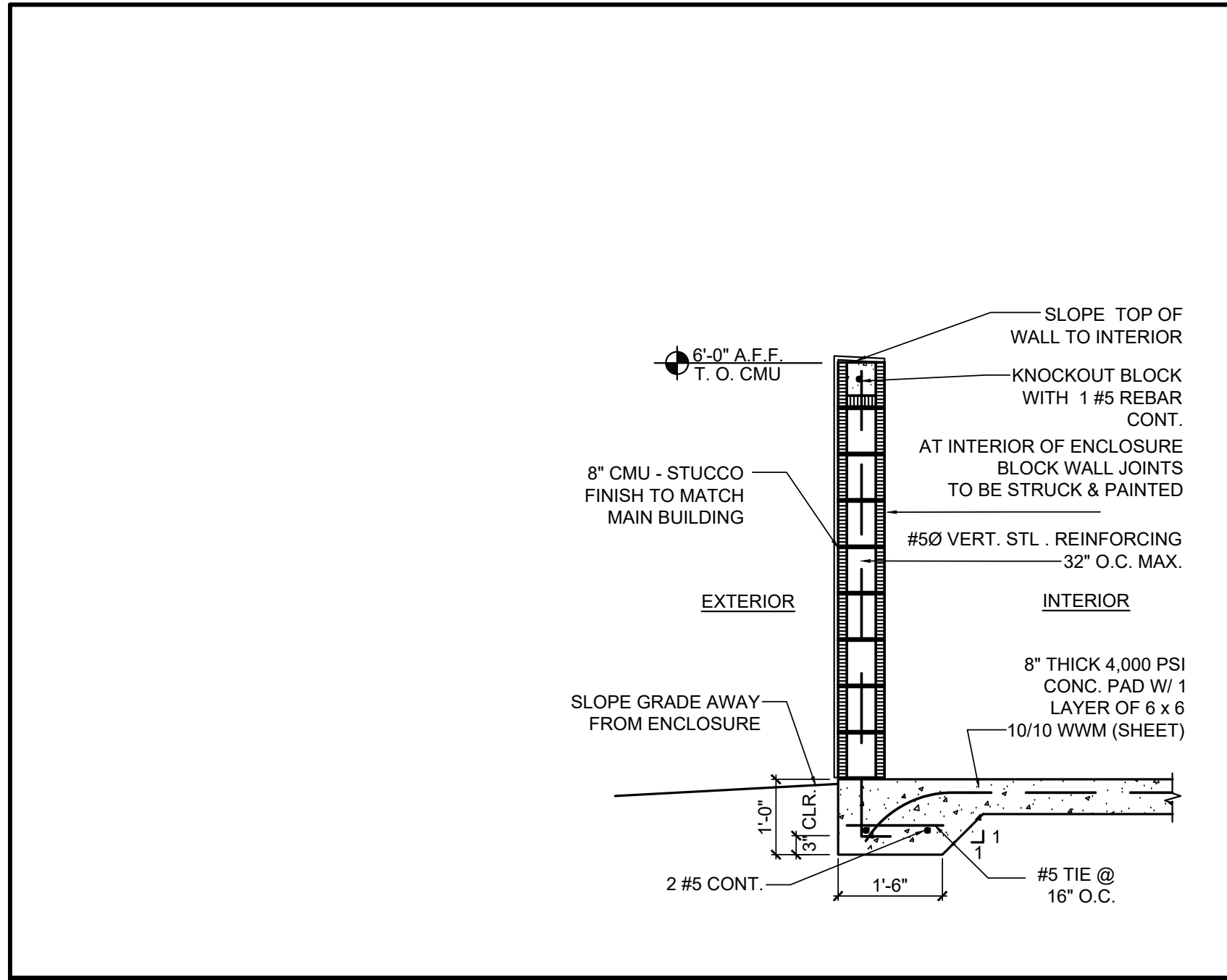


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Cocoa, FL 32926

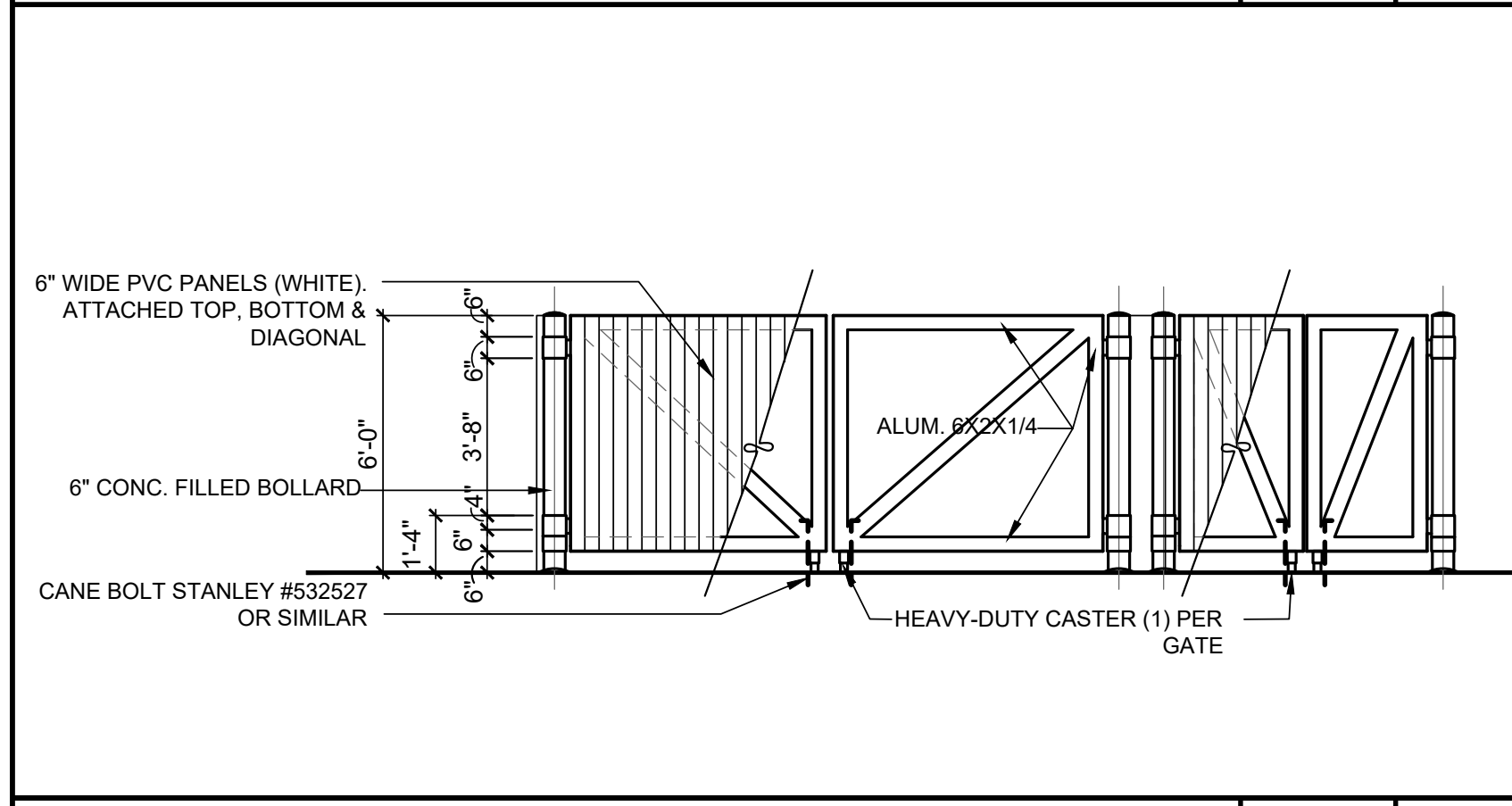


Sheet Title	
DIMENSION PLAN	
Revisions	
State Registration	Richard Hartmann AIA, LEED AP AR 09622
<small>This document has been electronically signed and sealed by Richard Hartmann, AIA, using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.</small>	
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	

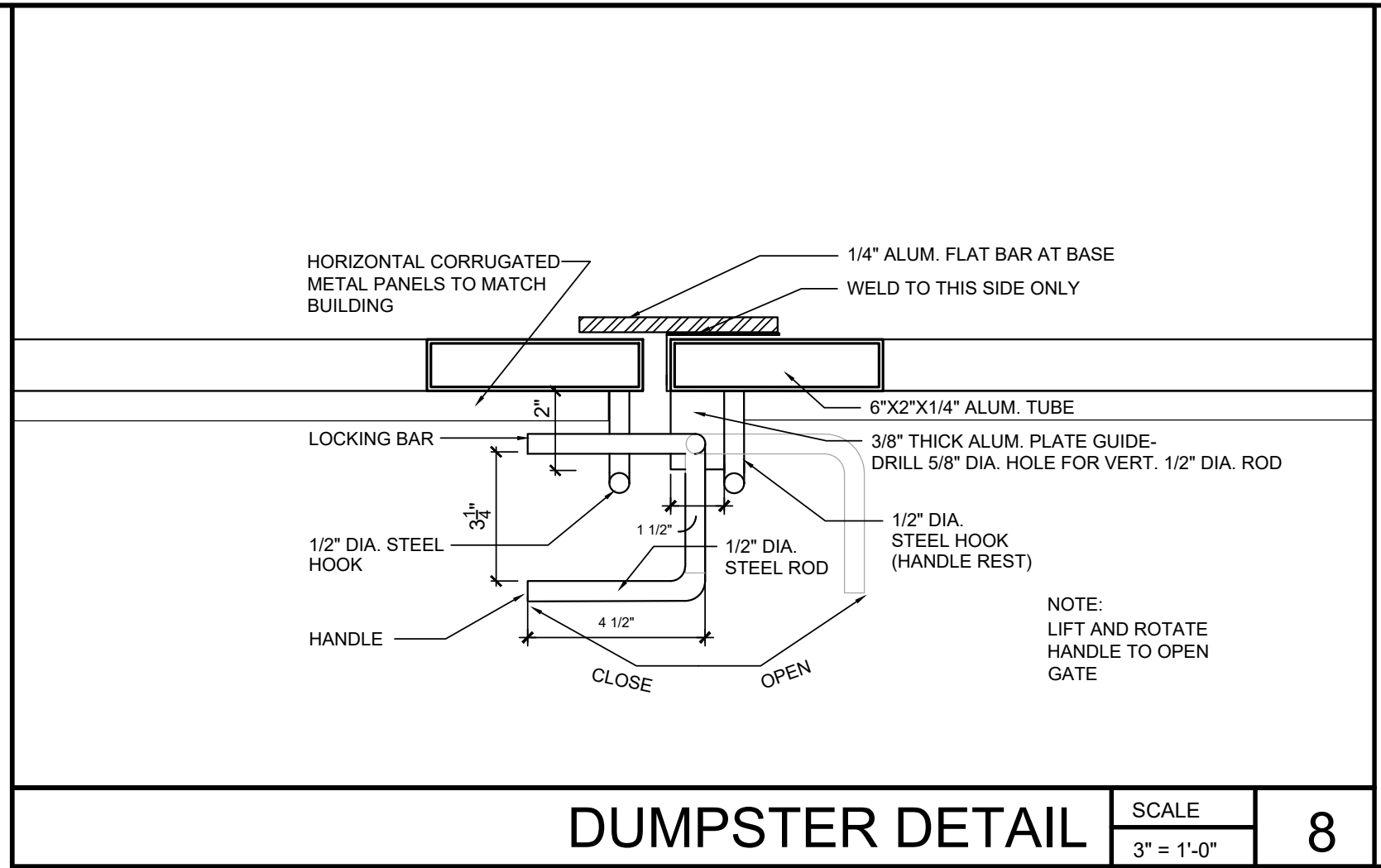
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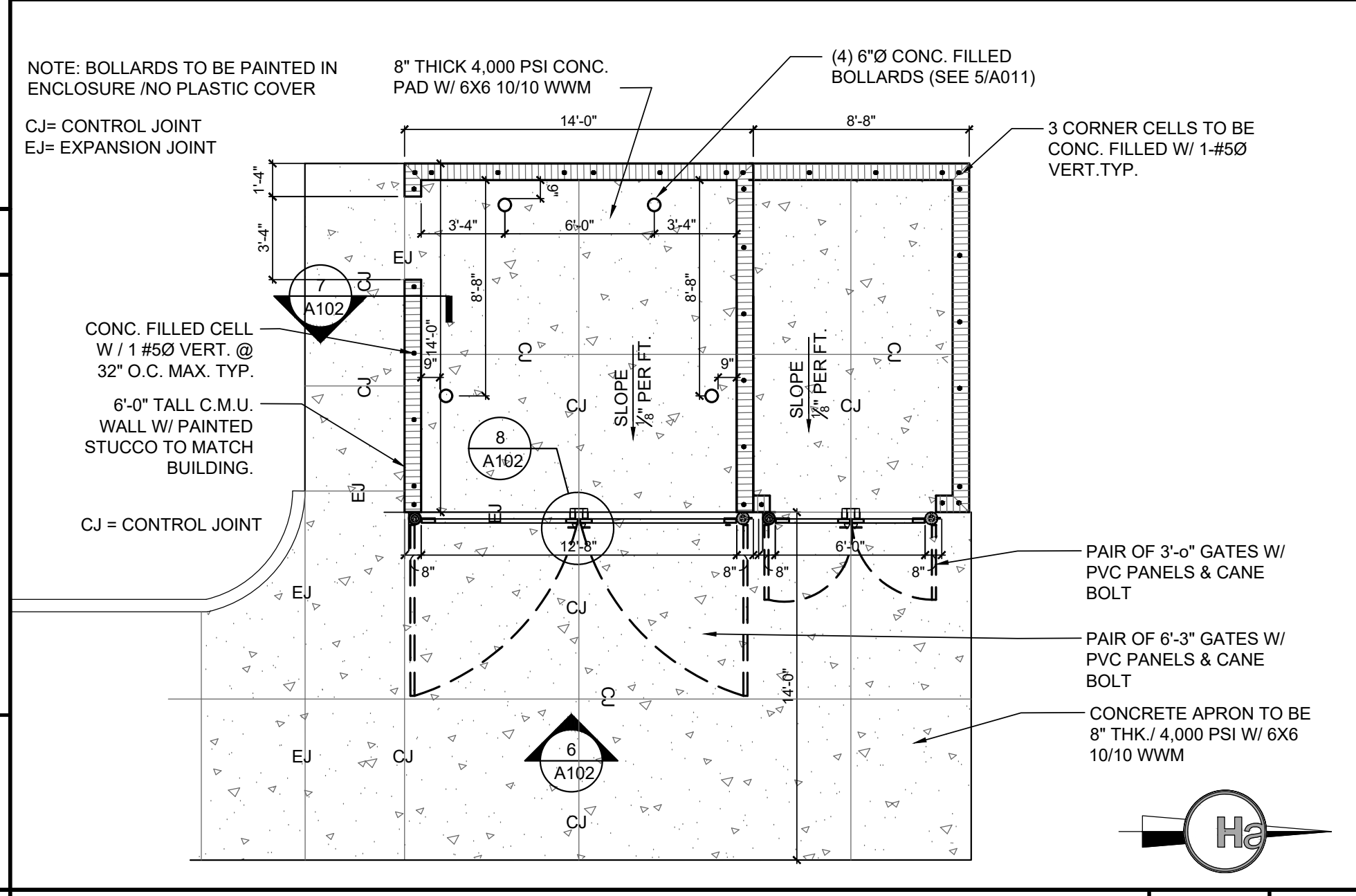
DUMPSTER SECTION SCALE 1/2" = 1'-0" 7



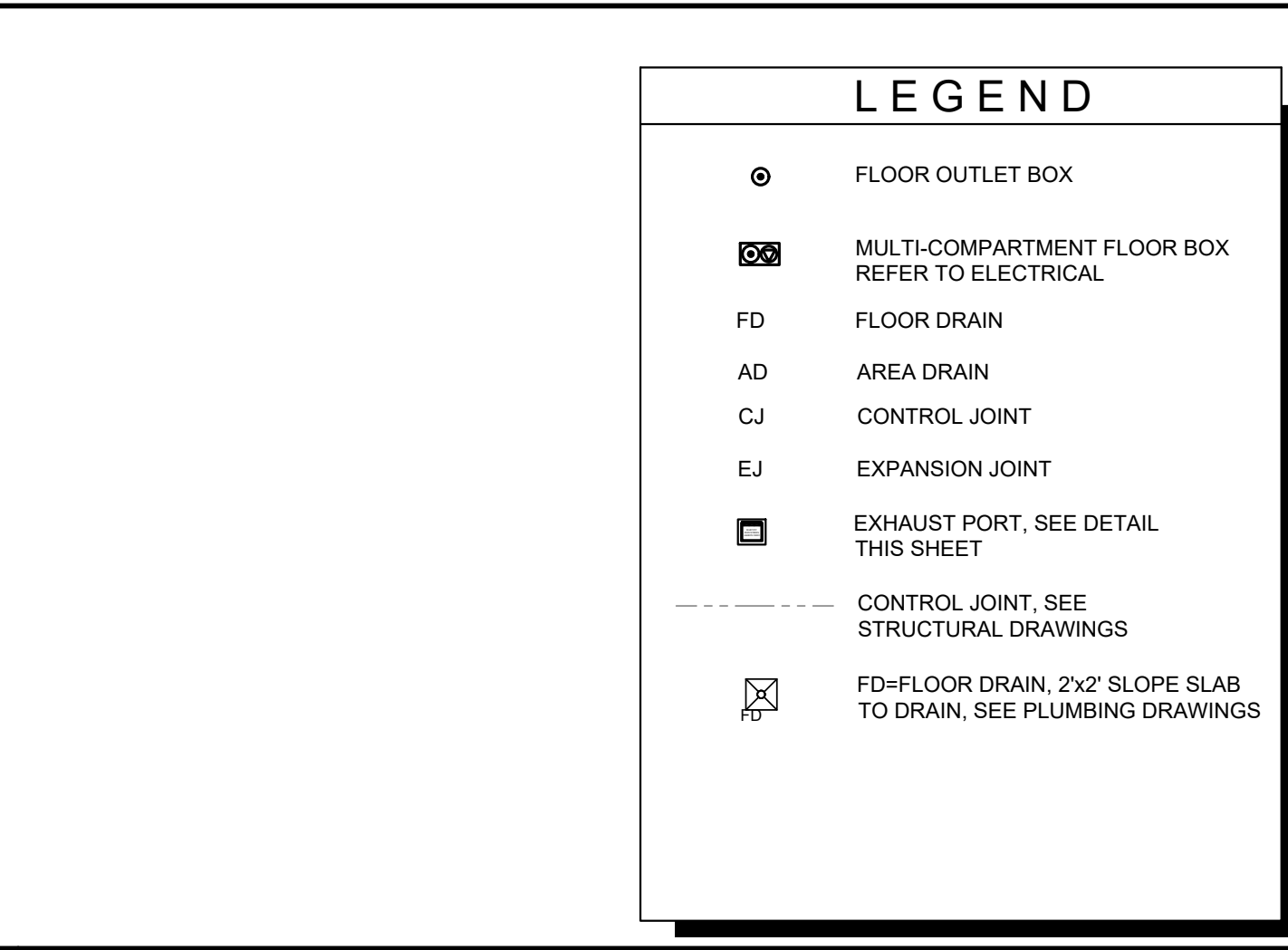
DUMPSTER ELEVATION SCALE 1/4" = 1'-0" 6



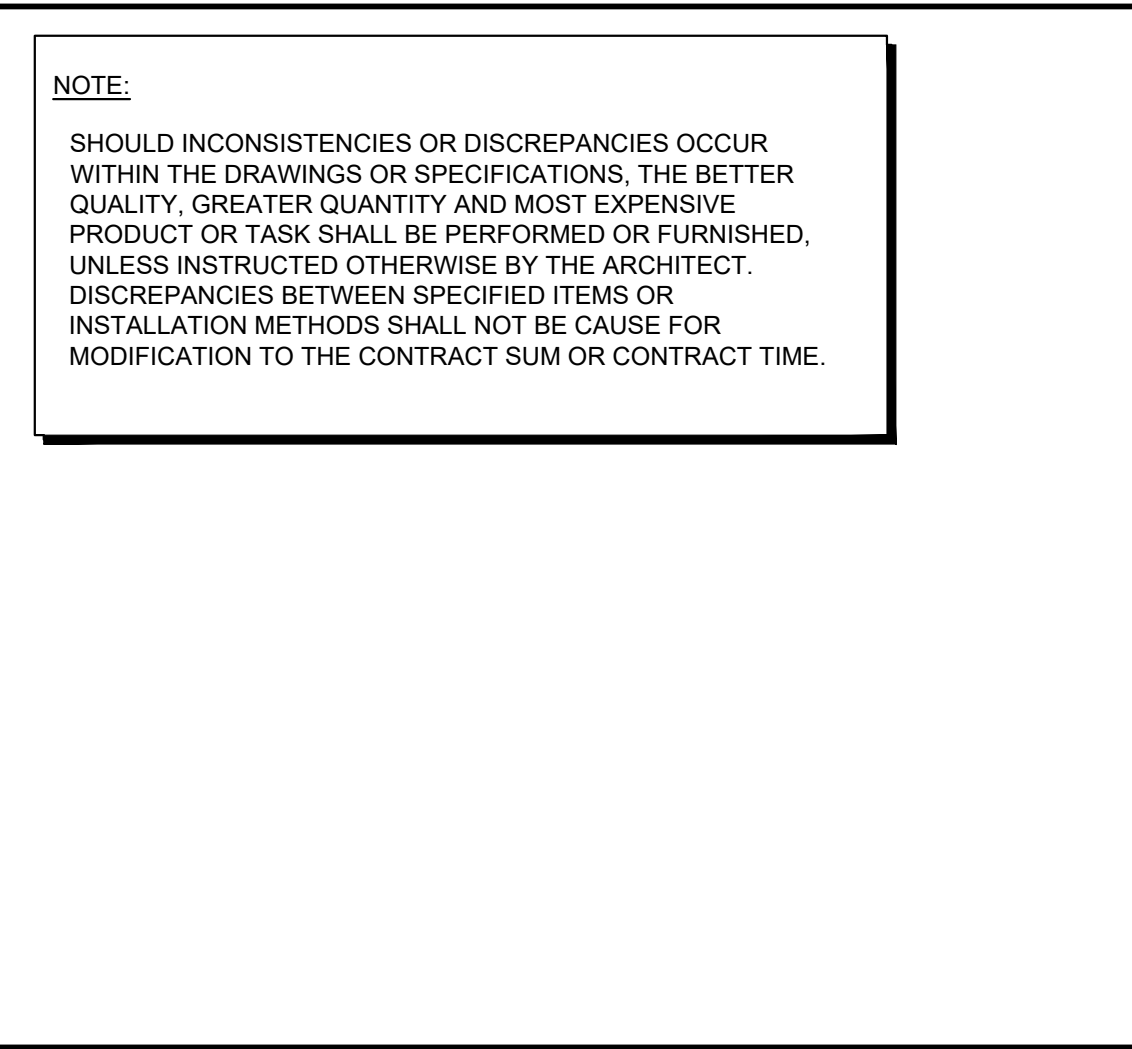
DUMPSTER DETAIL SCALE 3" = 1'-0" 8



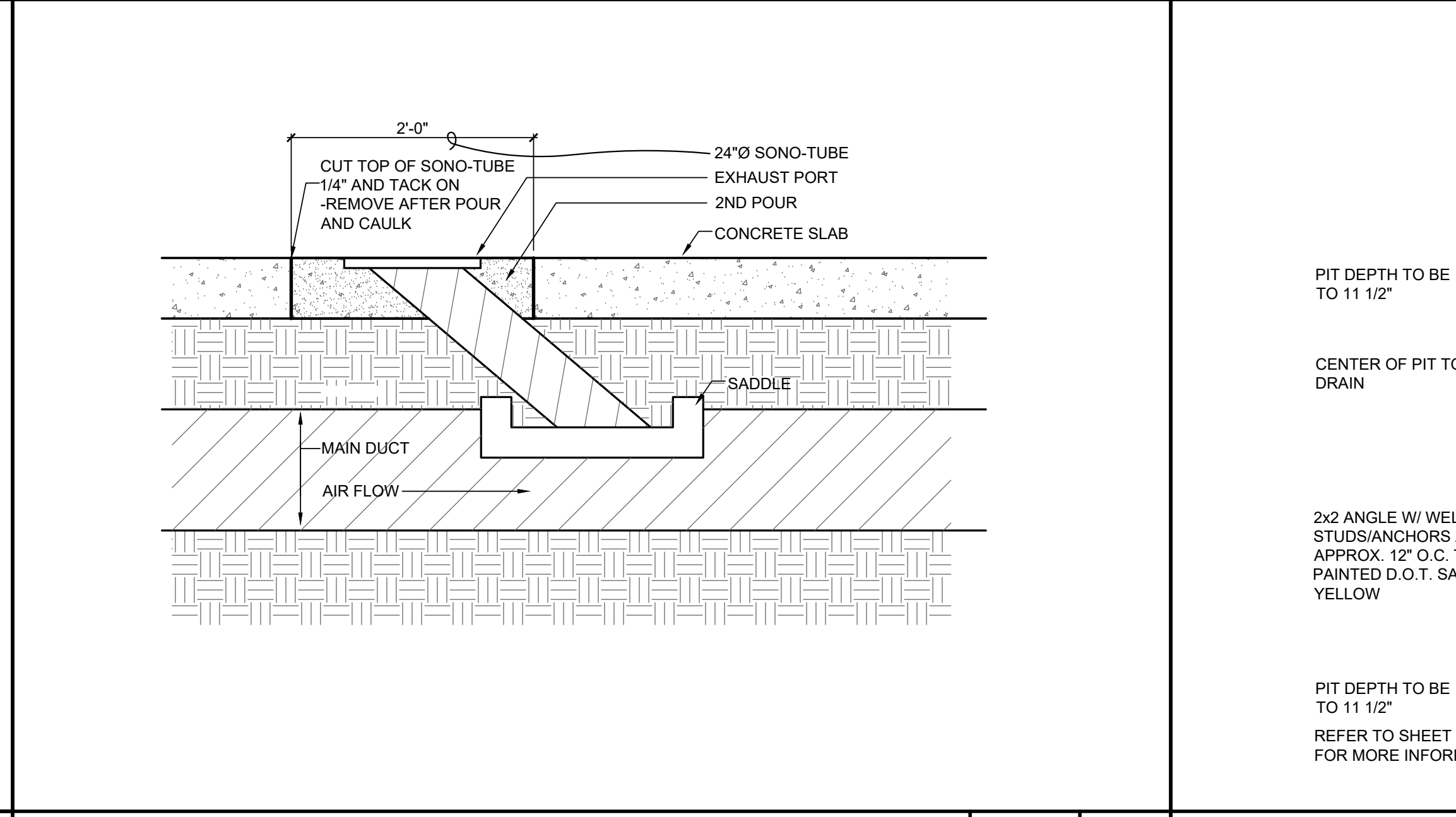
DUMPSTER ENCLOSURE PLAN SCALE 3/16" = 1'-0" 4



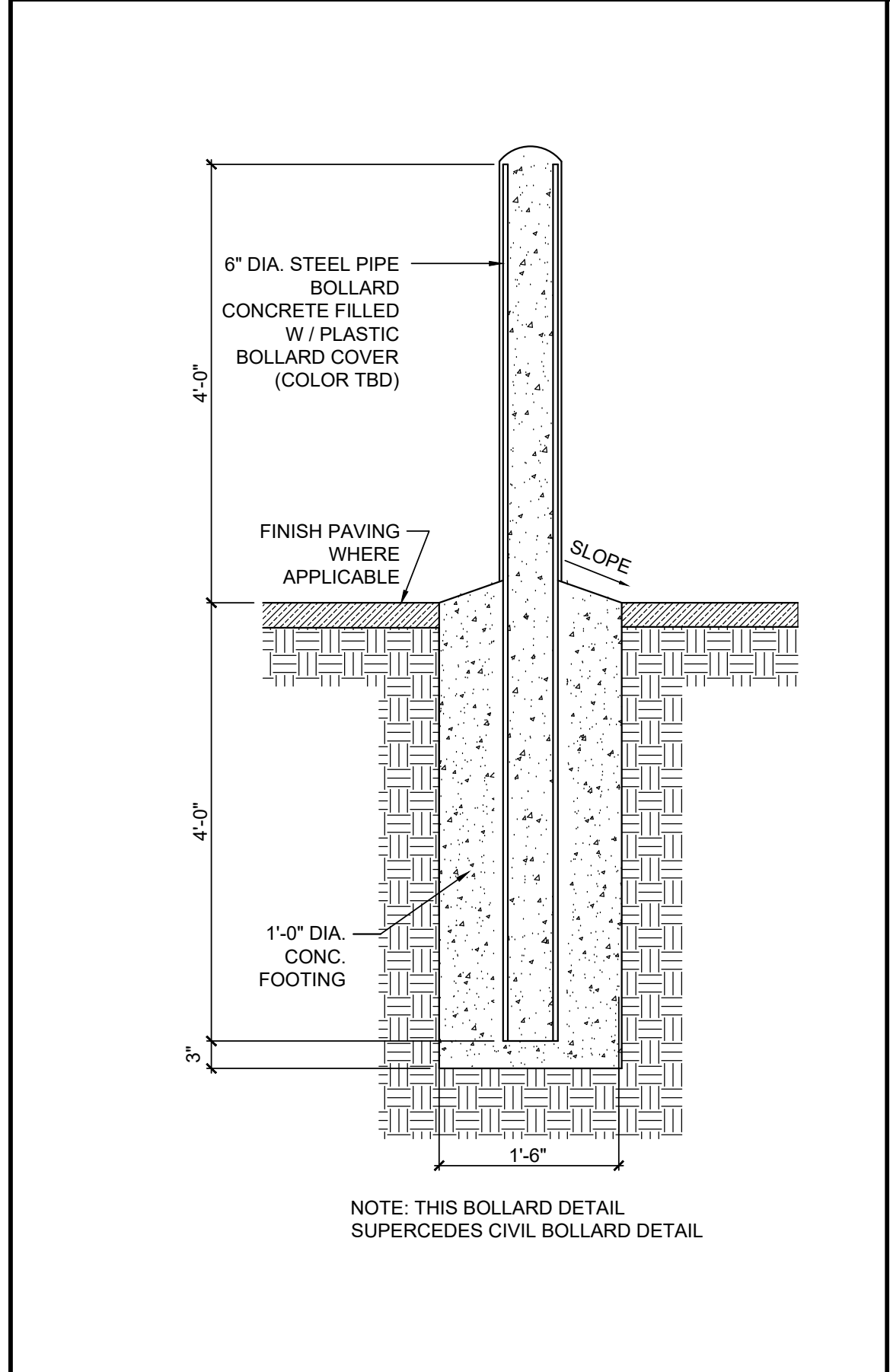
NOTE:
 1) LOCATIONS OF FLOOR OUTLET BOXES AND MULTI-COMPARTMENT FLOOR BOXES ARE FOR REFERENCE ONLY. G.C. TO COORDINATE WITH FURNITURE SUPPLIER / INSTALLER.
 2) REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON ALL SLAB CONTROL JOINT LOCATIONS.



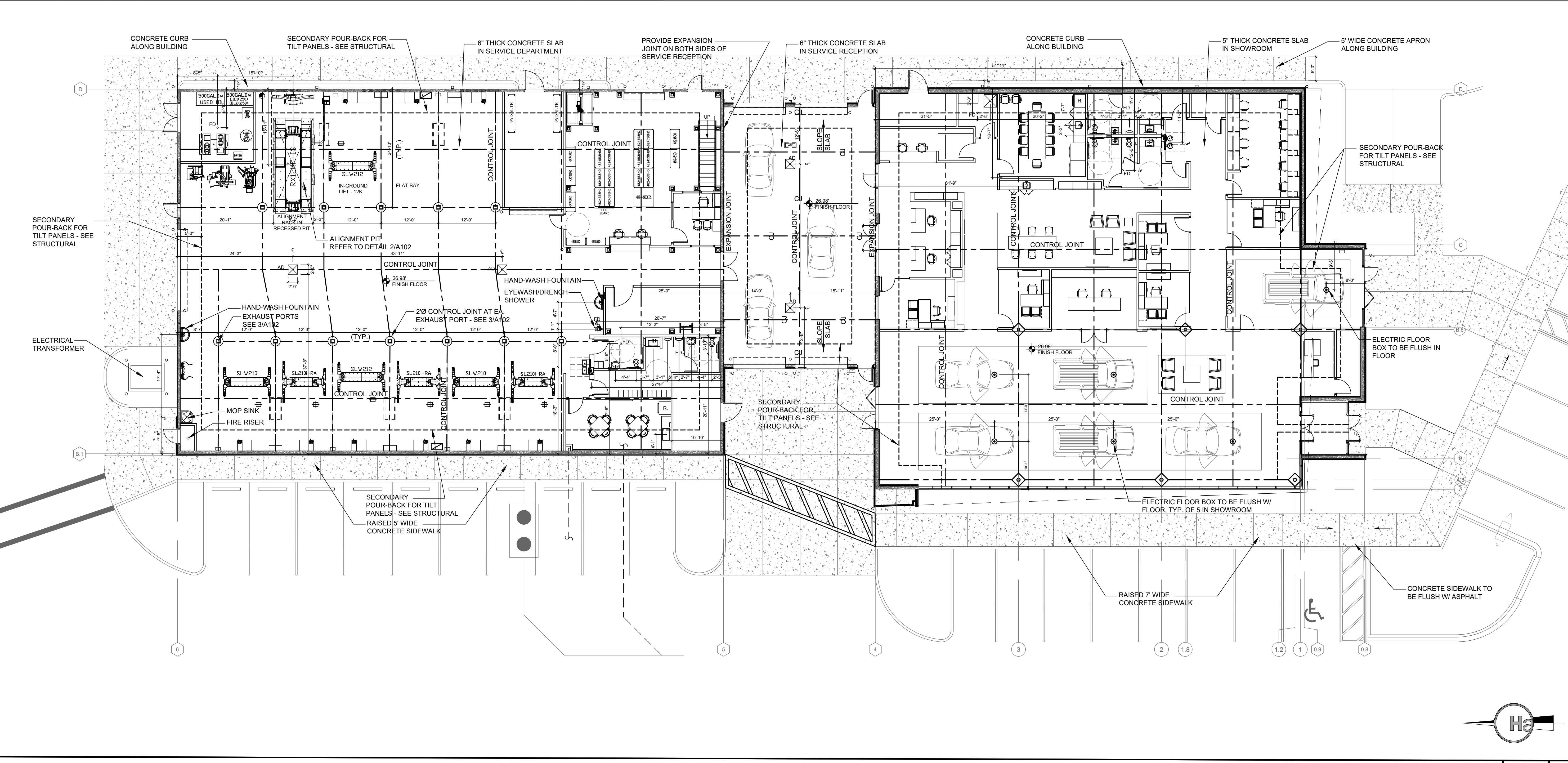
ALIGNMENT RACK PIT SCALE 1/4" = 1'-0" 2



EXHAUST PORT DETAIL SCALE 1" = 1'-0" 3



BOLLARD DETAIL SCALE 3/4" = 1'-0" 5



SLAB COORDINATION PLAN SCALE 3/32" = 1'-0" 1

architecture design planning

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Project Name

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Sheet Title

SLAB COORDINATION PLAN

Revisions

State Registration
Richard Hartmann AIA, LEED AP
AR 09622

This document has been electronically signed and sealed by Richard Hartmann, AIA, using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

To the best of the knowledge of the architect & engineers, said plans and specifications comply with the applicable building codes and minimum fire safety standards.

Project Number
22026

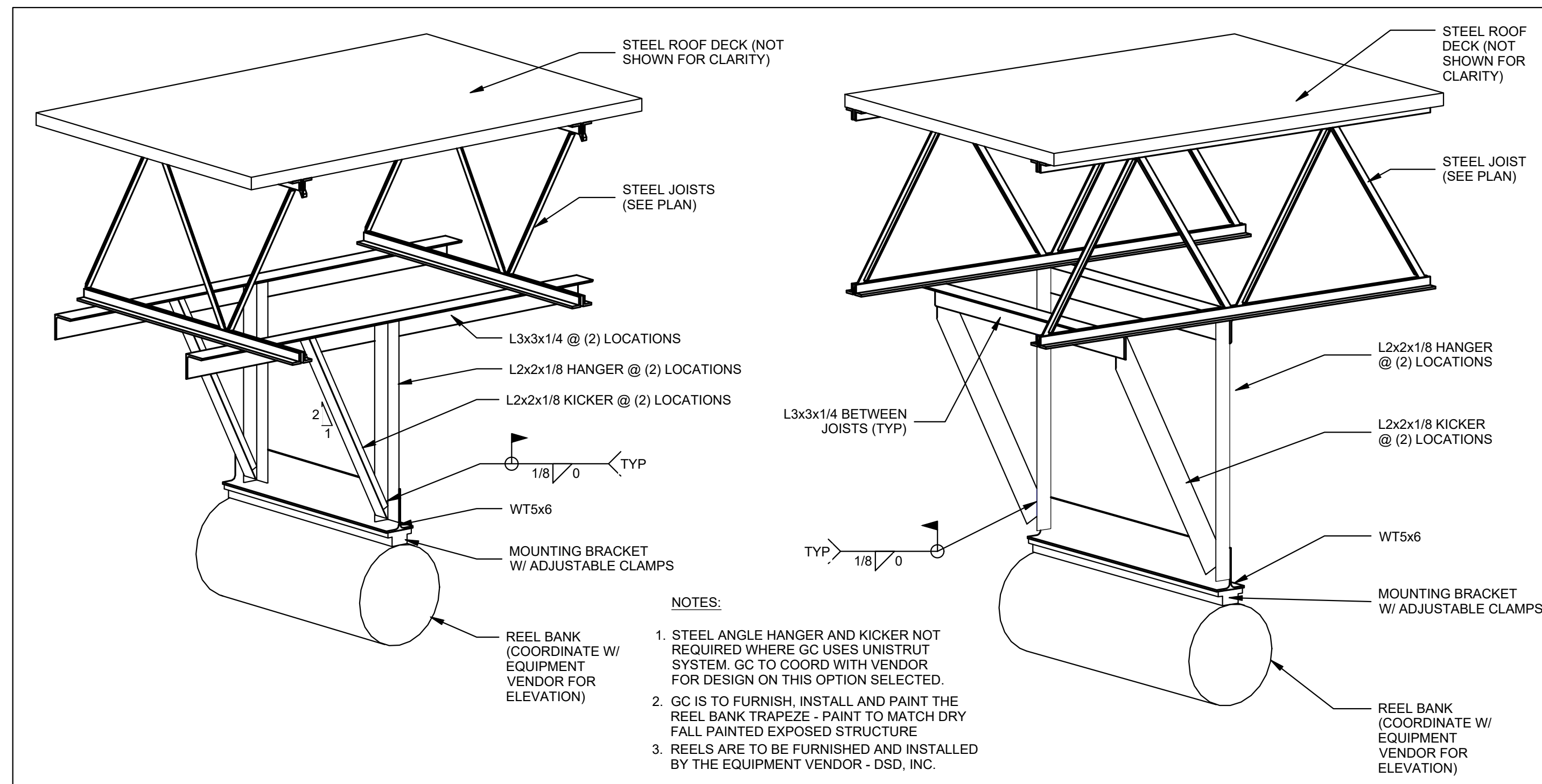
Drawn By
RCK/RLH

Checked By
RJH

Issue Date
12.12.23

Sheet Number

A102



REEL BANK TRAPEZE DETAIL

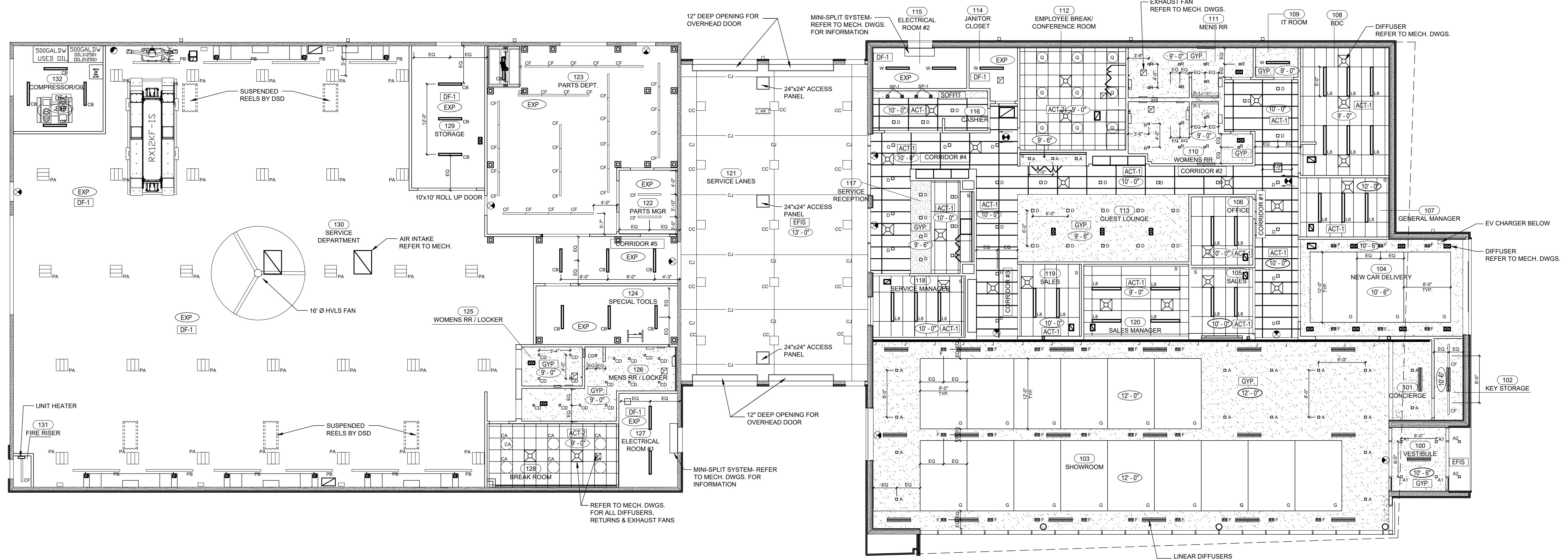
SCALE 1" = 1'-0"

3

MEZZANINE RCP

SCALE 1/8" = 1'-0"

2

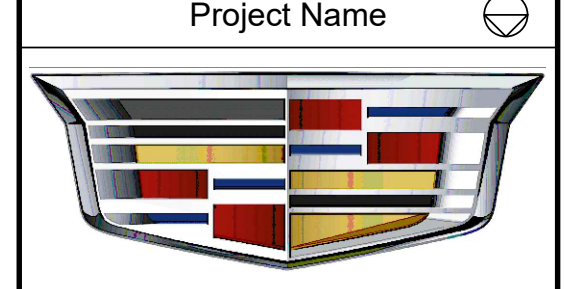


NOTES:
1. ARCHITECTURAL REFLECTED CEILING PLAN IS DIAGRAMMATIC. SEE ELECTRICAL & MECHANICAL FOR MORE INFORMATION
2. REFER TO ID DRAWINGS FOR ACT SPECIFICATIONS & GWP PAINT COLORS
3. REFER TO LIFE SAFETY PLANS (A020) & ELECTRICAL DWGS. FOR EXIT LIGHTS AND EMERGENCY LIGHTING.

NOTE: PROVIDE 3 1/2" SOUND ATTENUATION BATTS ABOVE CEILING IN ROOMS AS FOLLOWS:
105 - SALES
106 - OFFICE
107 - GENERAL MANAGER
108 - BDC
110 - WOMEN'S RR
111 - MEN'S RR
118 - SERVICE MANAGER
119 - SALES
120 - EMPLOYEE BREAK ROOM
125 - WOMEN'S TECH LOCKER
126 - MEN'S TECH LOCKER

NOTE:
SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THE DRAWINGS OR SPECIFICATIONS, THE BETTER QUALITY, GREATER QUANTITY AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED, UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM OR CONTRACT TIME.

Sheet Title	REFLECTED CEILING PLAN
Revisions	
State Registration	Richard Hartmann AIA, LEED AP AR 09622
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	A110

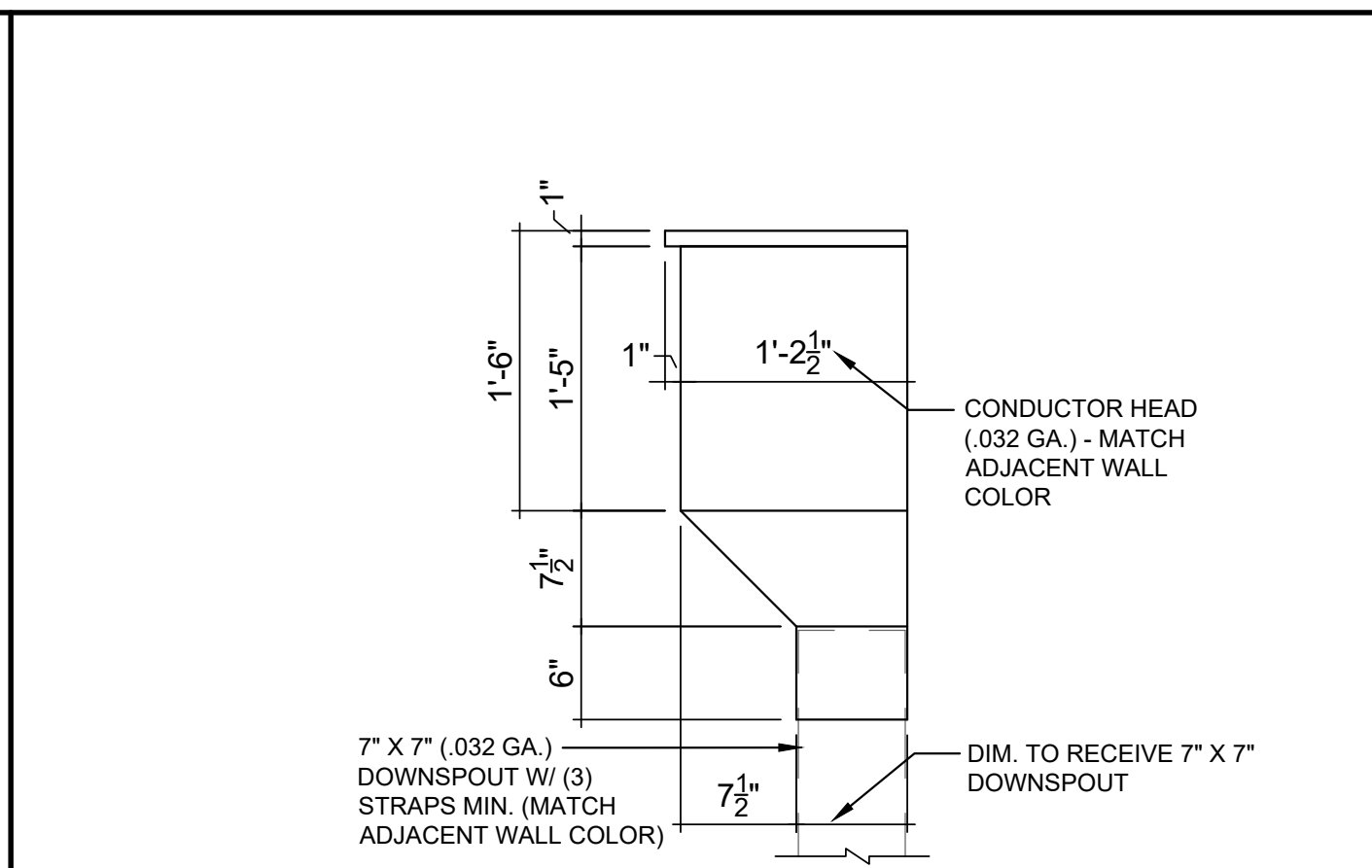


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4650 Highway 520
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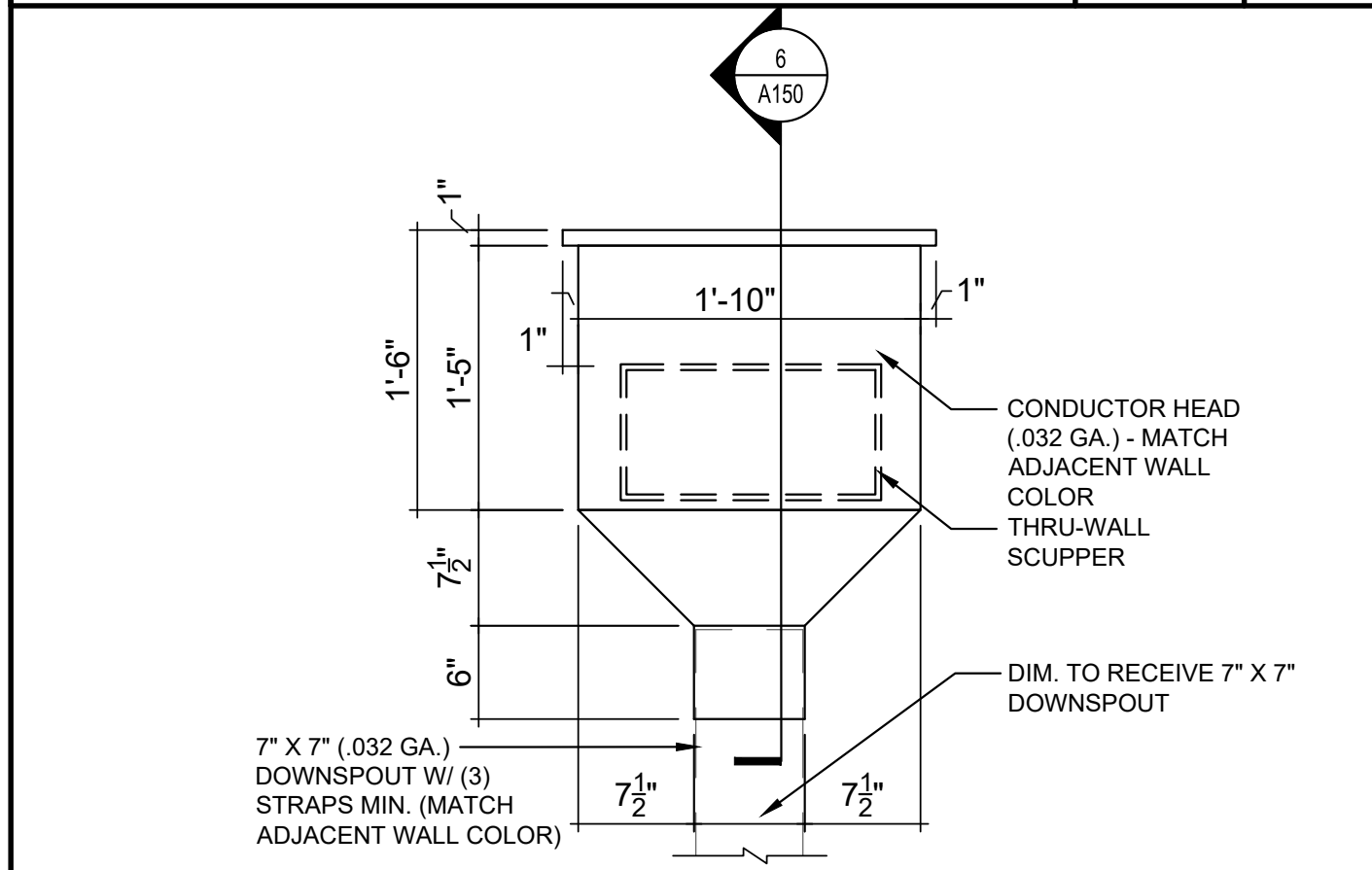
Sheet Title	ROOF PLAN
Revisions	
State Registration	Richard Hartmann AIA, LEED AP A.R.09622
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	A150

A150

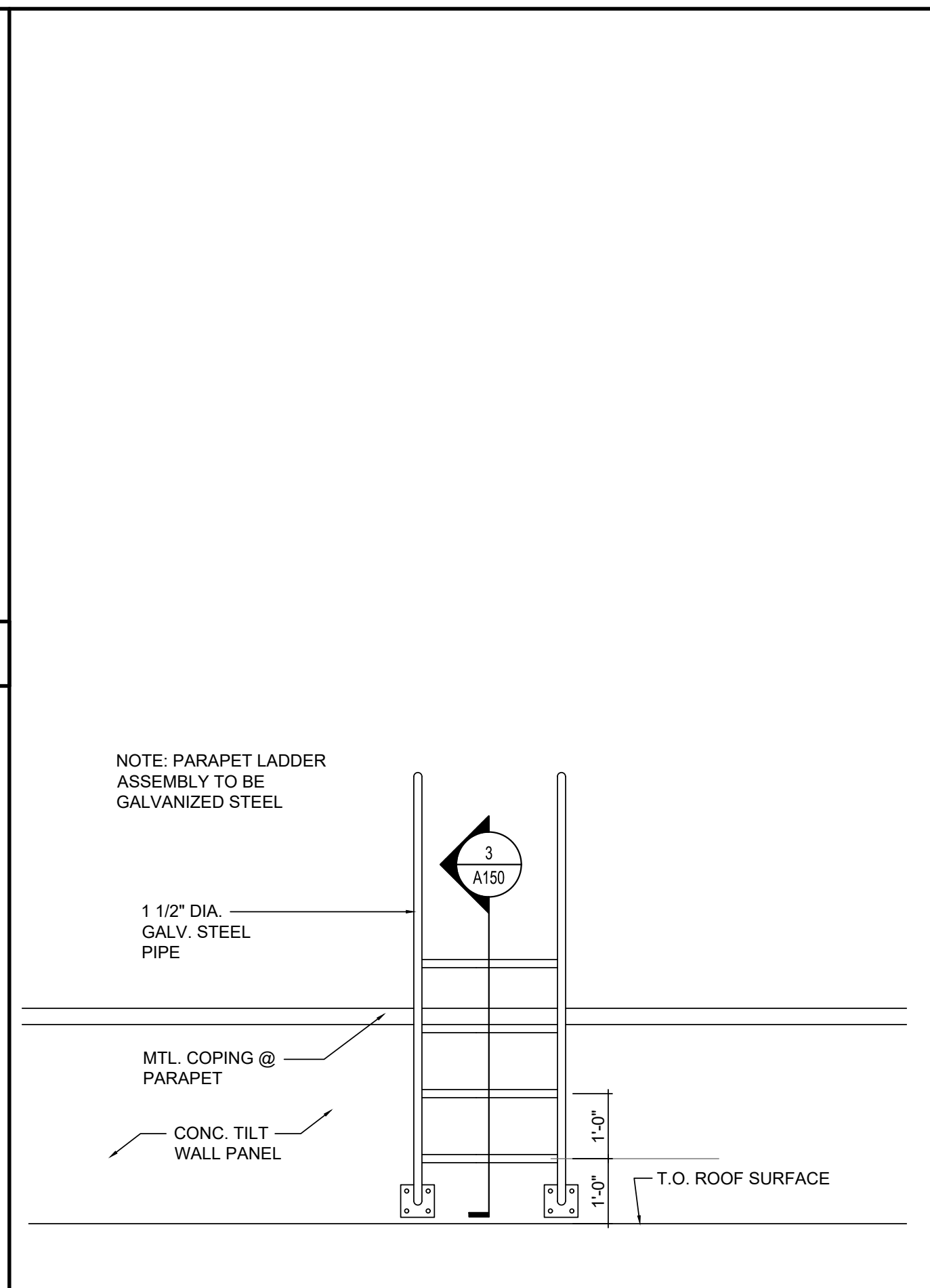
NOTE:
SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THESE DRAWINGS OR SPECIFICATIONS, THE BETTER QUALITY, GREATER QUANTITY AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED, UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM OR CONTRACT TIME.



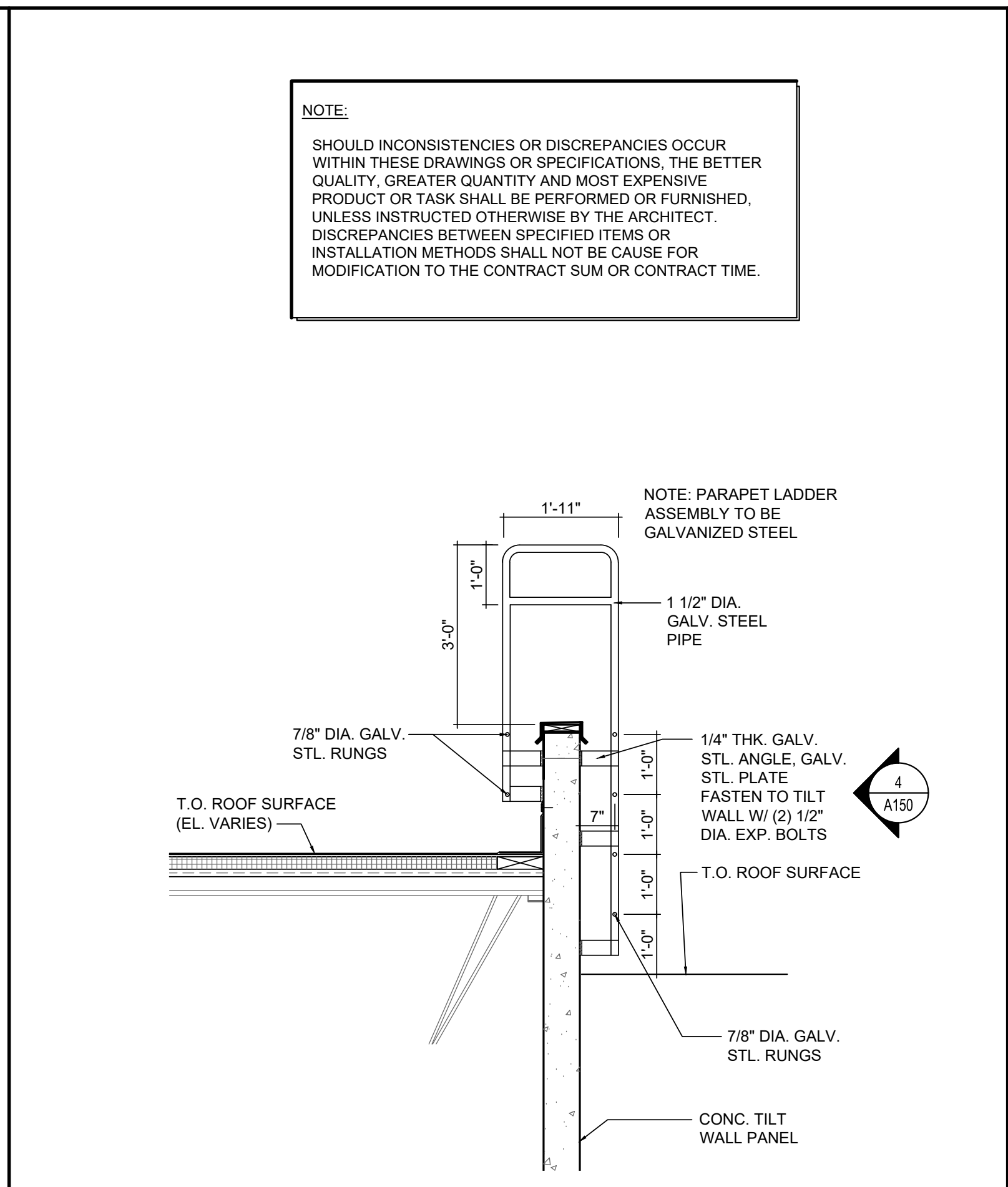
CONDUCTOR HEAD SECTION SCALE 1"=1'-0" 6



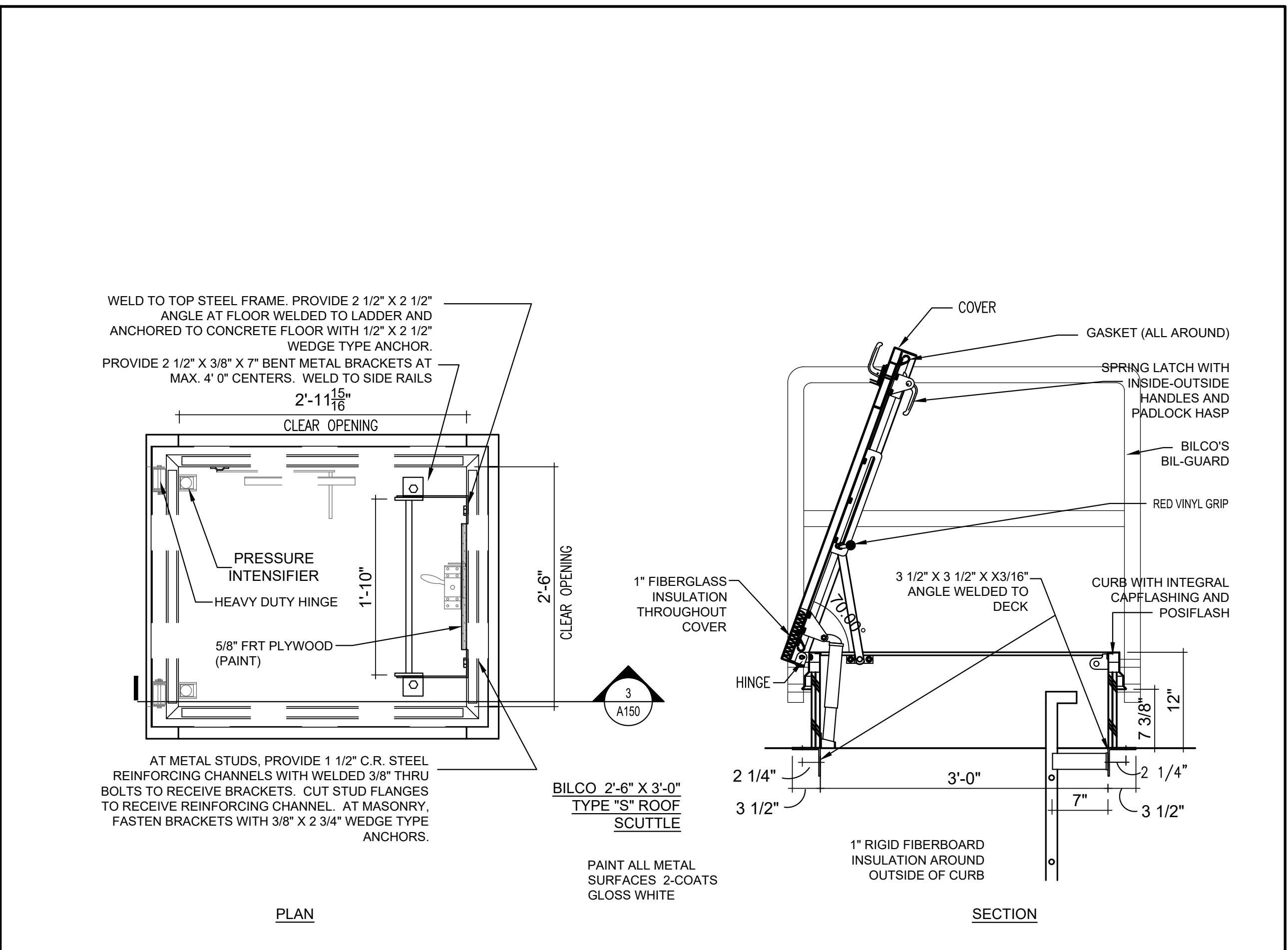
CONDUCTOR HEAD ELEVATION SCALE 1"=1'-0" 5



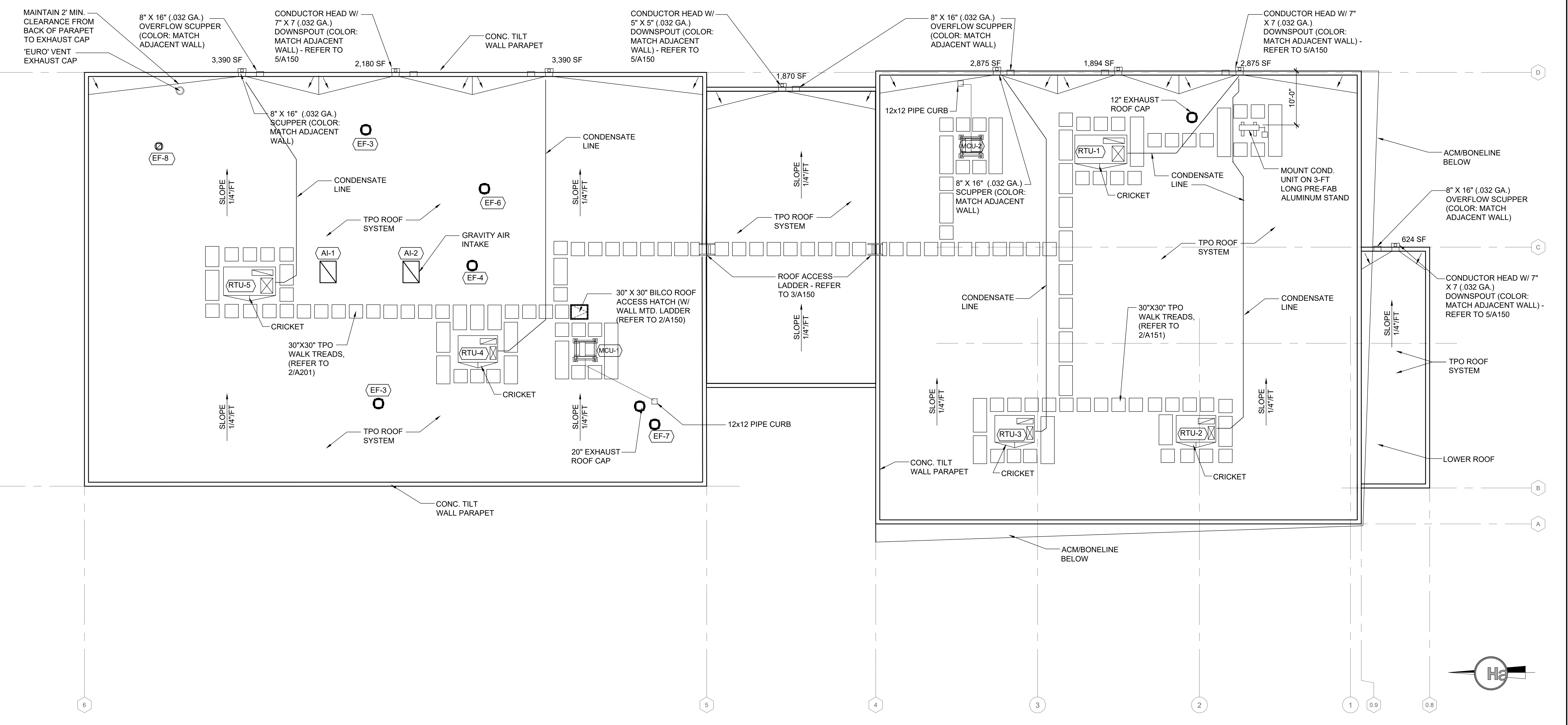
PARAPET LADDER ELEVATION SCALE 1/2"=1'-0" 4



PARAPET LADDER SECTION DETAIL SCALE 1/2"=1'-0" 3



ROOF ACCESS HATCH DETAILS SCALE 1"=1'-0" 2

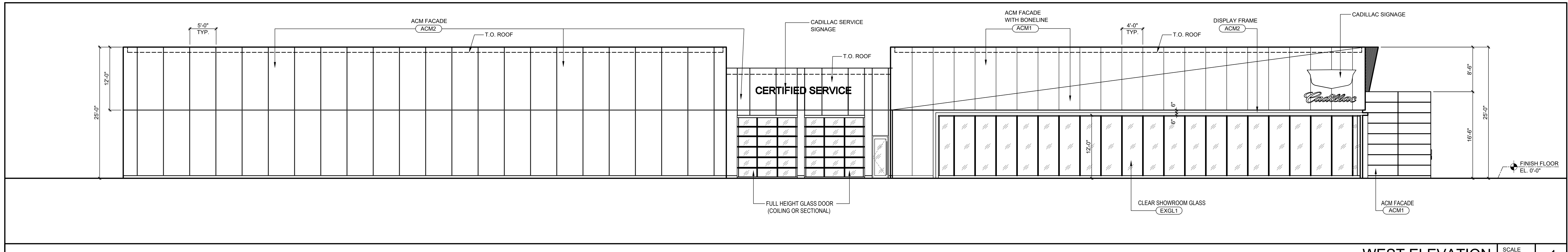


ROOF PLAN SCALE 1/8"=1'-0" 1

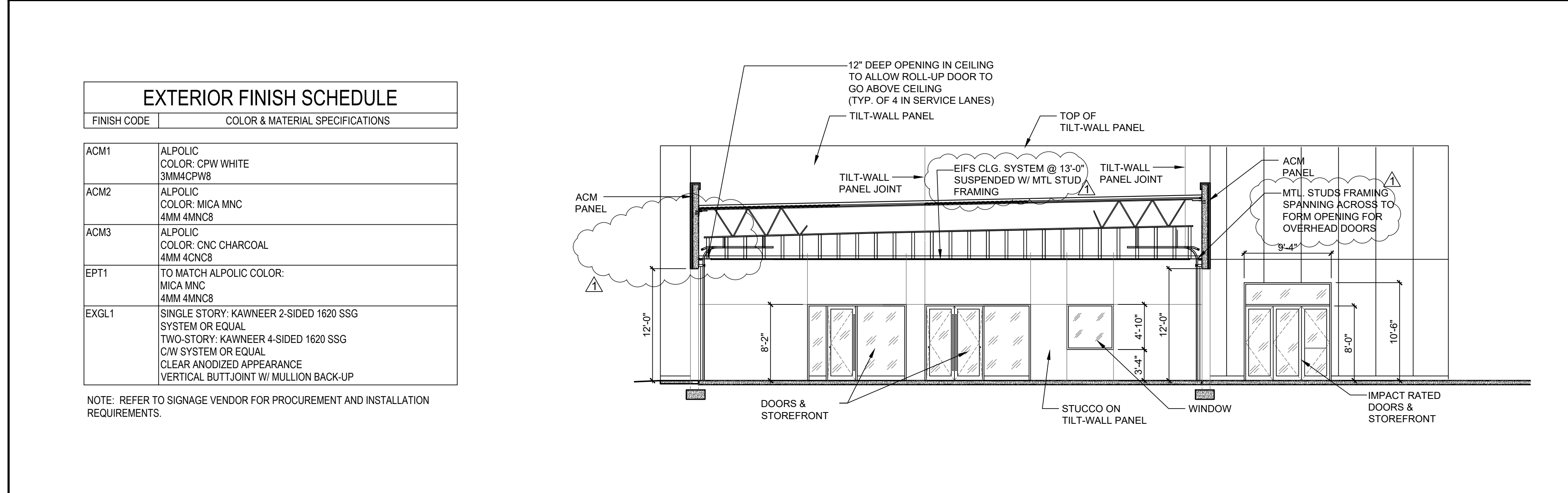
SPILL ALL CD. (CONDENSATE) PIPING

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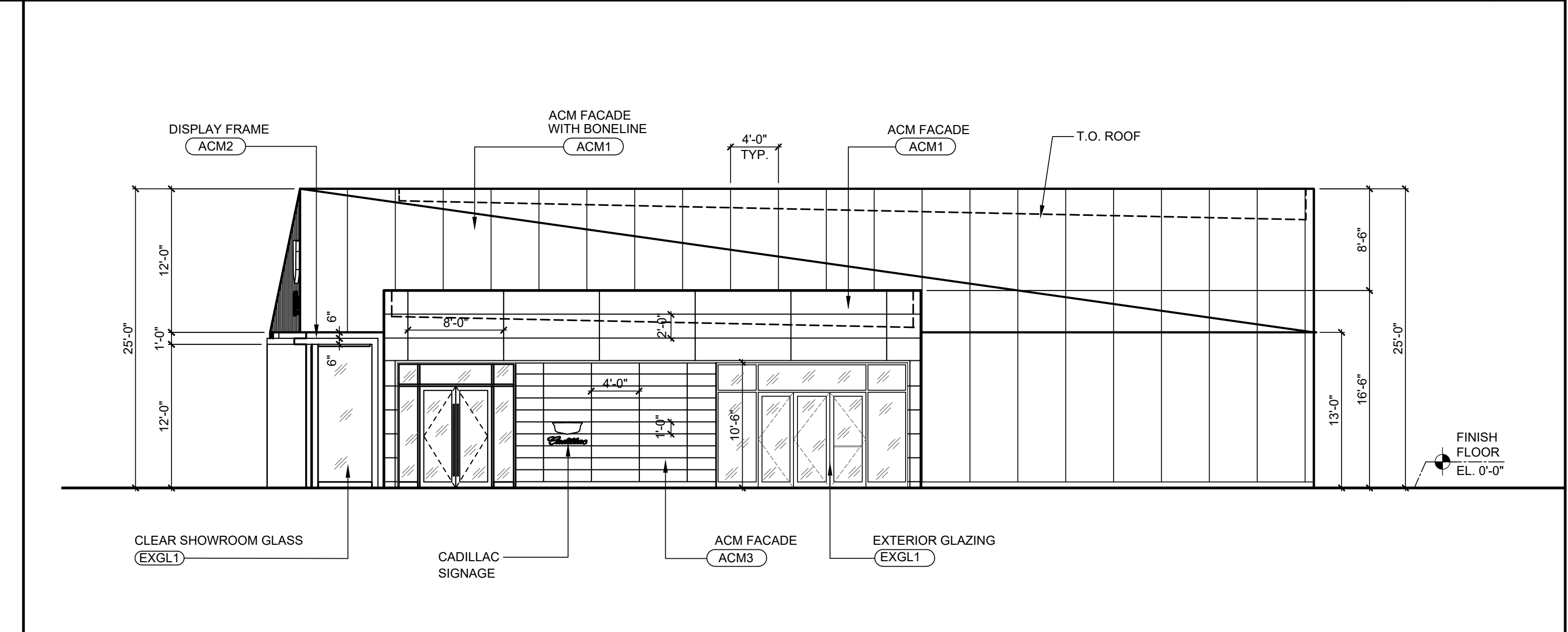
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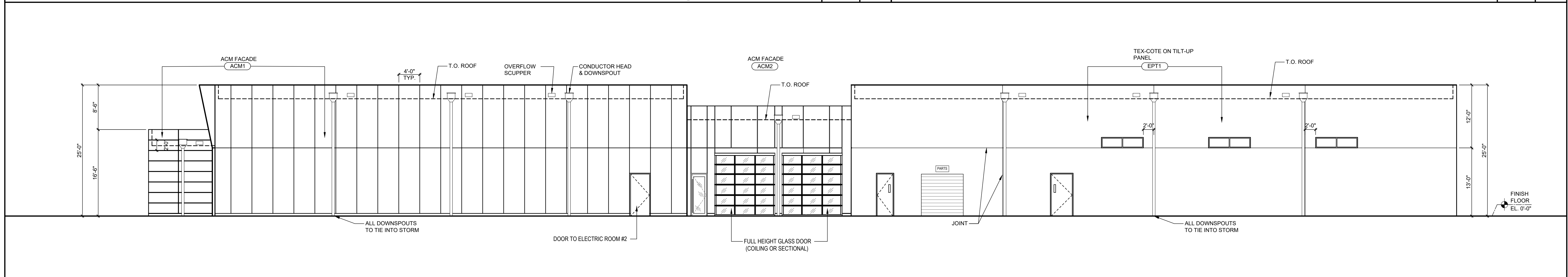
WEST ELEVATION SCALE 1/8"=1'-0" 1



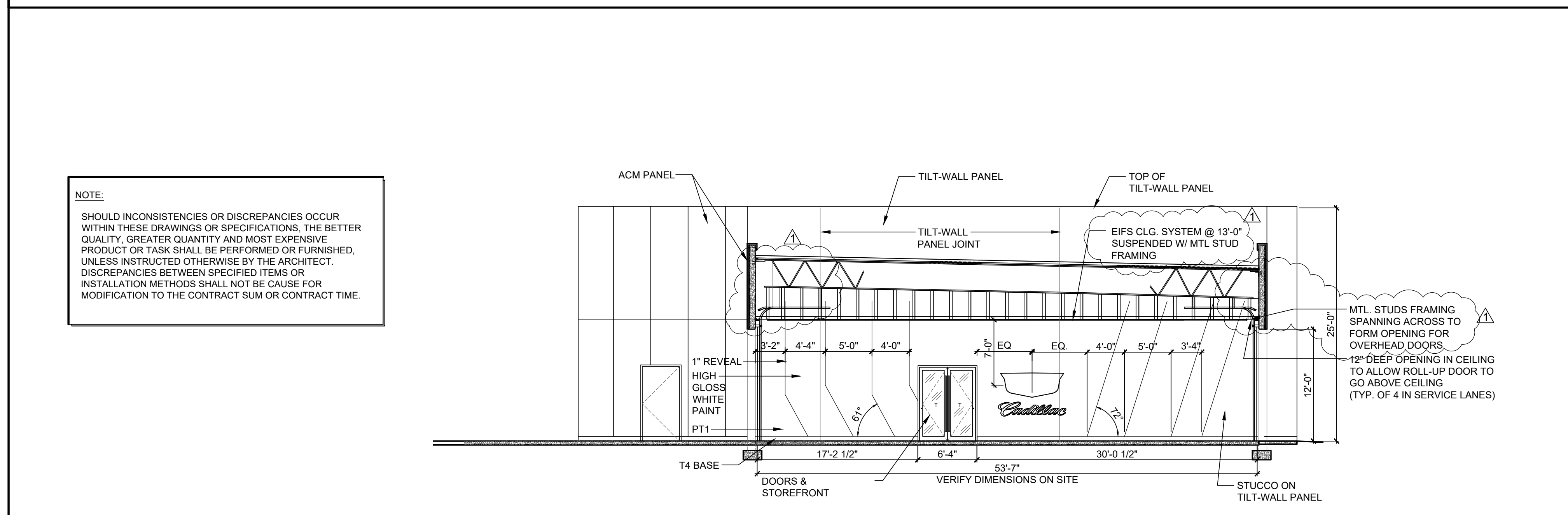
SOUTH ELEVATION @ SERVICE LANES SCALE 1/8"=1'-0" 6



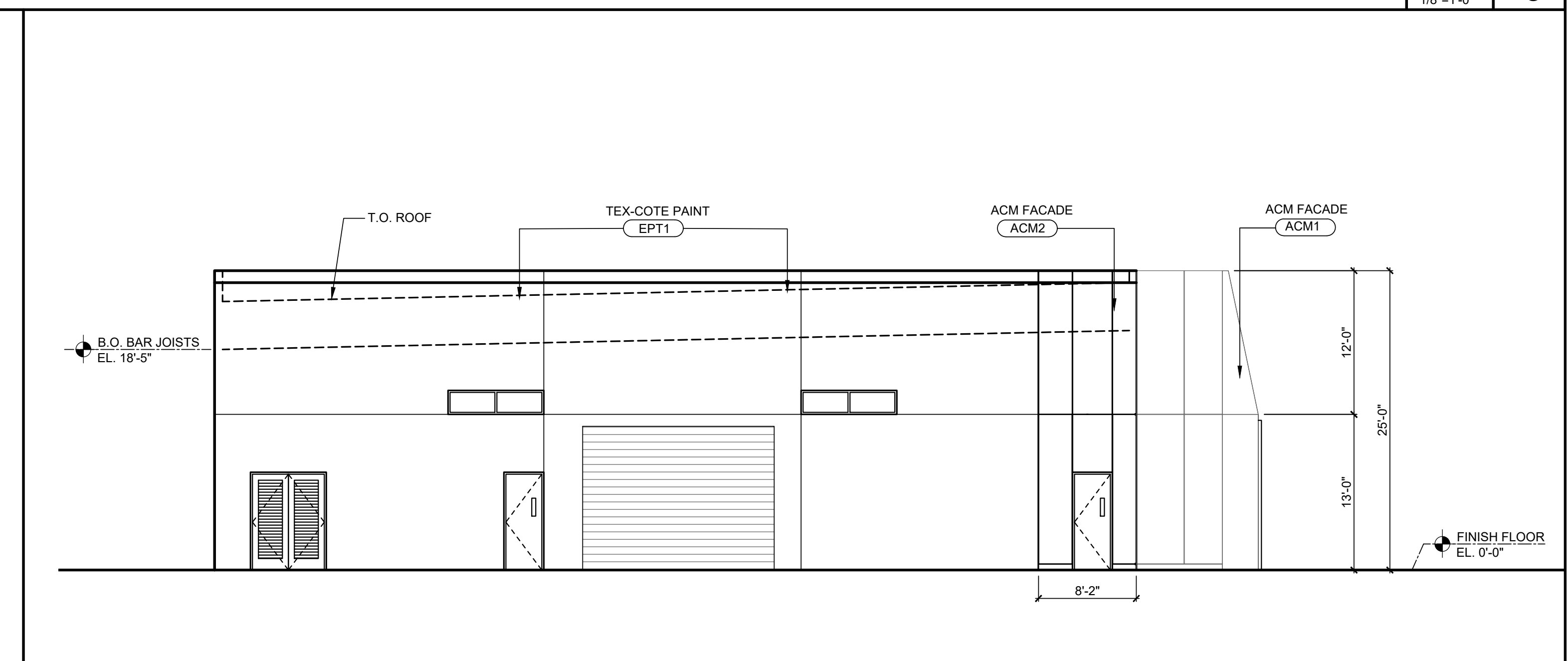
SOUTH ELEVATION SCALE 1/8"=1'-0" 2



EAST ELEVATION SCALE 1/8"=1'-0" 3



NORTH ELEVATION @ SERVICE LANES SCALE 1/8"=1'-0" 5



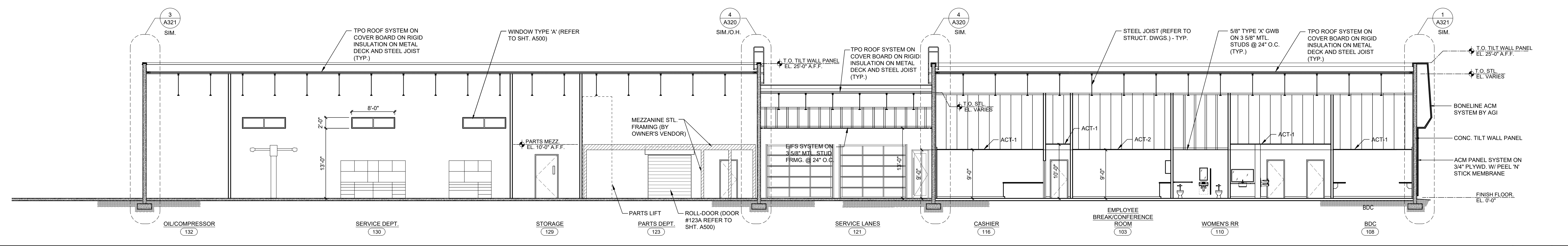
NORTH ELEVATION SCALE 1/8"=1'-0" 4

EXTERIOR FINISH SCHEDULE

FINISH CODE	COLOR & MATERIAL SPECIFICATIONS
ACM1	ALPOLIC COLOR: CPW WHITE 3MHC/PWB
ACM2	ALPOLIC COLOR: MICA MNC 4MM 4MNC8
ACM3	ALPOLIC COLOR: CNC CHARCOAL 4MM 4MNC8
EPT1	TO MATCH ALPOLIC COLOR: MICA MNC 4MM 4MNC8
EXGL1	SINGLE STORY: KAWNEER 2-SIDED 1620 SSG SYSTEM OR EQUAL TWO-STORY: KAWNEER 4-SIDED 1620 SSG C/W SYSTEM OR EQUAL CLEAR ANODIZED APPEARANCE VERTICAL BUTT JOINT W/ MULLION BACK-UP

NOTE: REFER TO SIGNAGE VENDOR FOR PROCUREMENT AND INSTALLATION REQUIREMENTS.

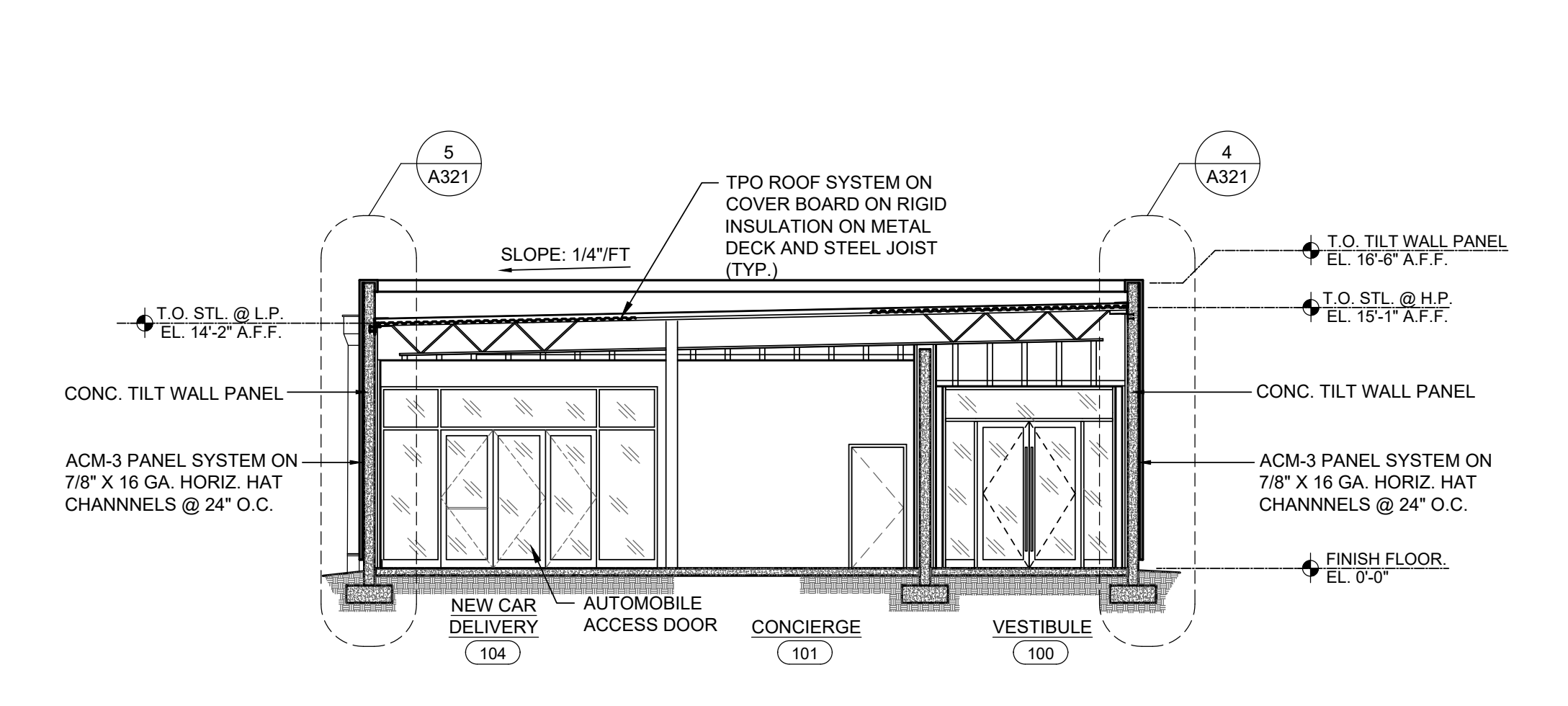
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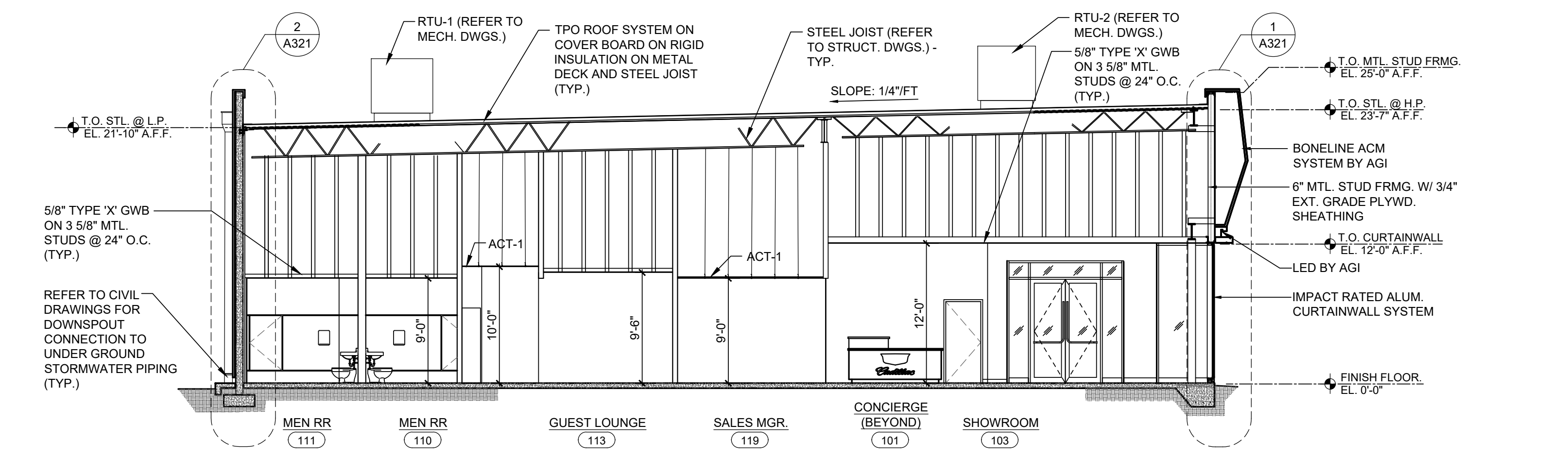
BUILDING SECTION /NORTH-SOUTH SCALE 1/8"=1'-0" 6

EXTERIOR FINISH SCHEDULE	
FINISH CODE	COLOR & MATERIAL SPECIFICATIONS
ACM1	ALPOLIC COLOR: CPW WHITE 3MM MCPWB
ACM2	ALPOLIC COLOR: MICA MNC 4MM 4MNC8
ACM3	ALPOLIC COLOR: CNC CHARCOAL 4MM 4CNC8
EPT1	TO MATCH ALPOLIC COLOR: MICA MNC 4MM 4MNC3
EXGL1	SINGLE STORY: KAWNEER 2-SIDED 1620 SSG SYSTEM OR EQUAL TWO-STOREY: KAWNEER 4-SIDED 1620 SSG SYSTEM OR EQUAL CLEAR ANODIZED APPEARANCE VERTICAL BUTTJOINT W/ MULLION BACK-UP

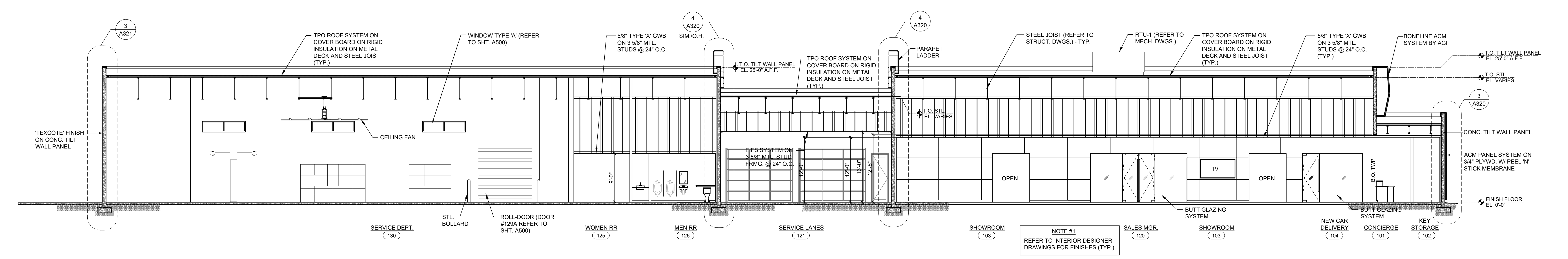
NOTE: REFER TO SIGNAGE VENDOR FOR PROCUREMENT AND INSTALLATION REQUIREMENTS.



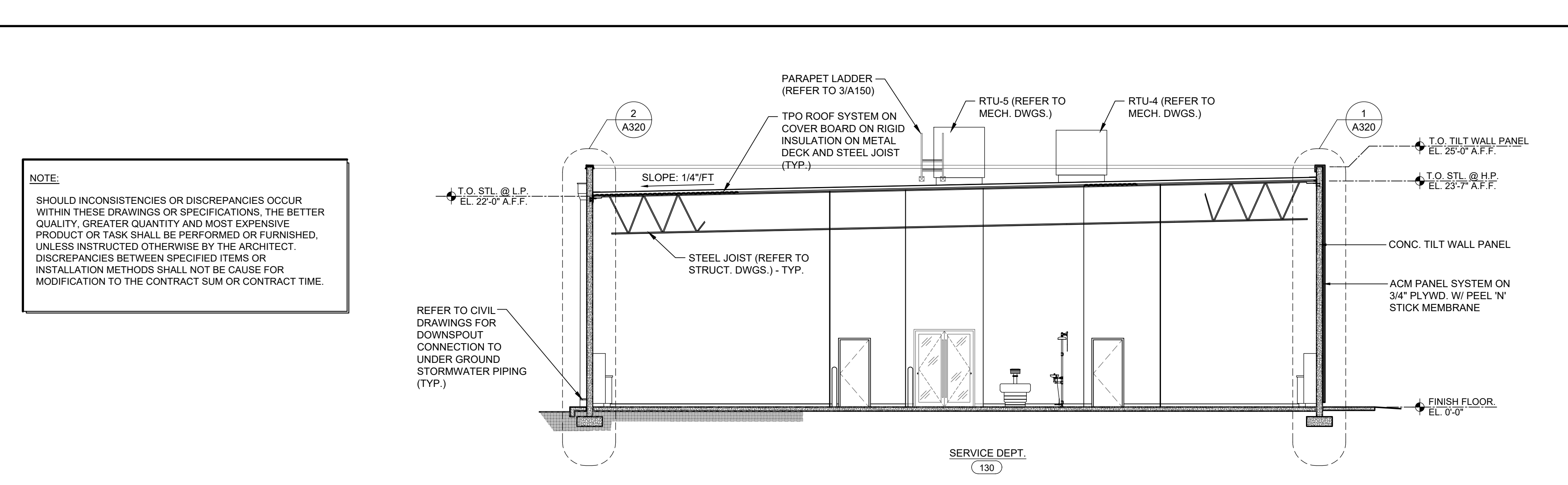
BUILDING SECTION /EAST-WEST SCALE 1/8"=1'-0" 5



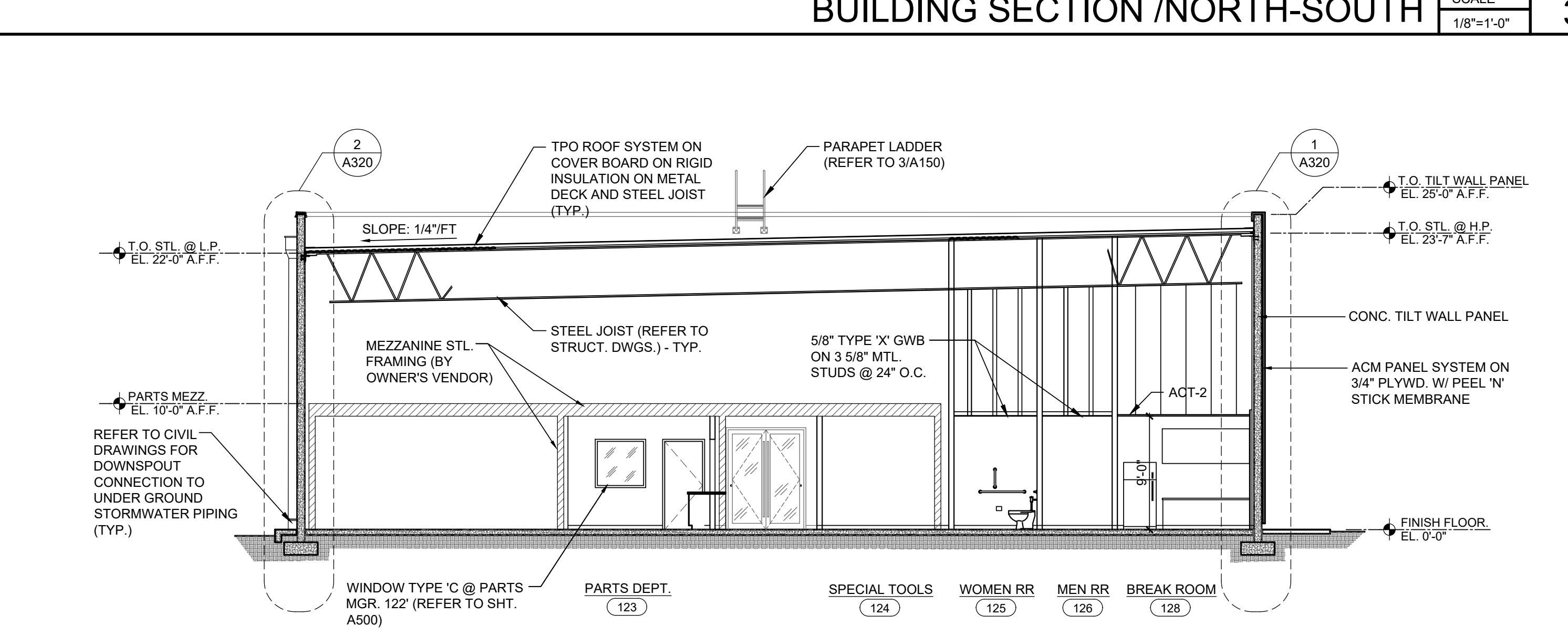
BUILDING SECTION /EAST-WEST SCALE 1/8"=1'-0" 4



BUILDING SECTION /NORTH-SOUTH SCALE 1/8"=1'-0" 3

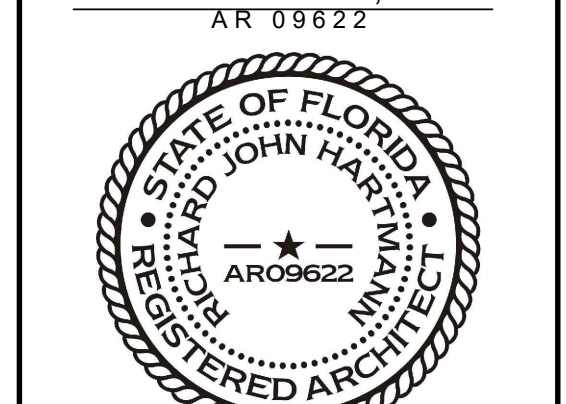


BUILDING SECTION /EAST-WEST SCALE 1/8"=1'-0" 2



BUILDING SECTION /EAST-WEST SCALE 1/8"=1'-0" 1

Sheet Title	BUILDING SECTIONS
Revisions	
State Registration	Richard Hartmann AIA, LEED AP AR 09622
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	A300



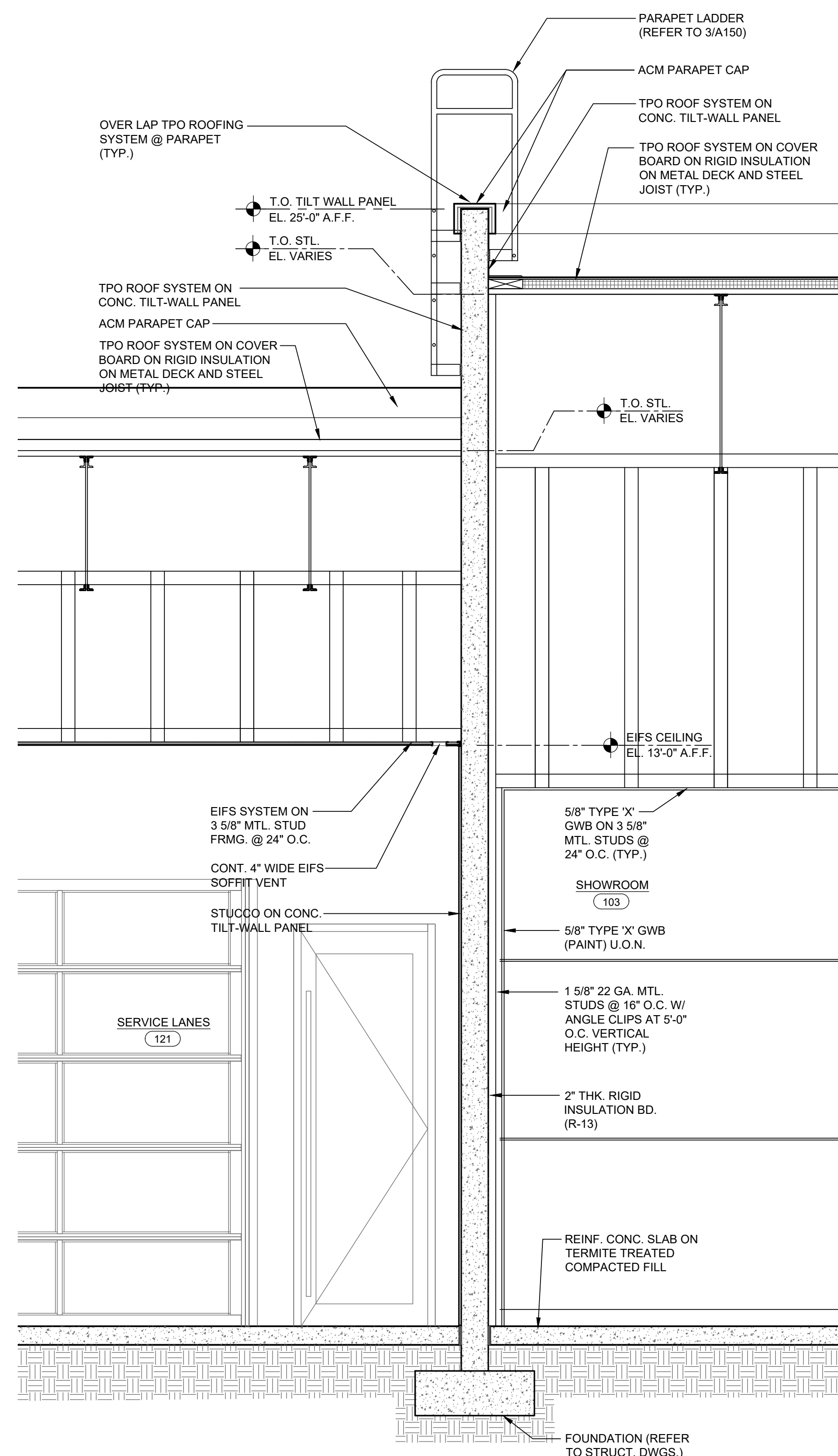
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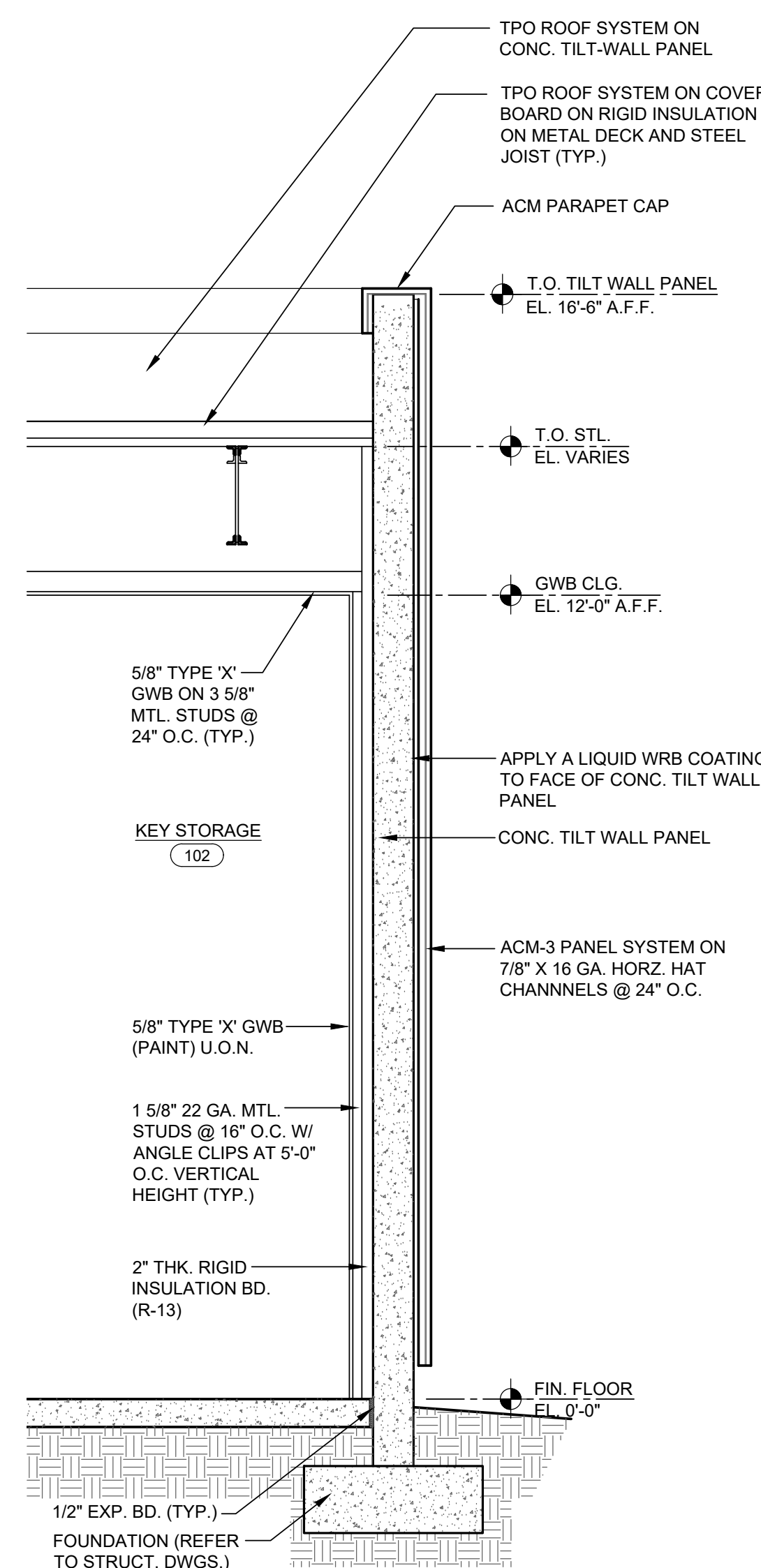


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Cocoa, FL 32926

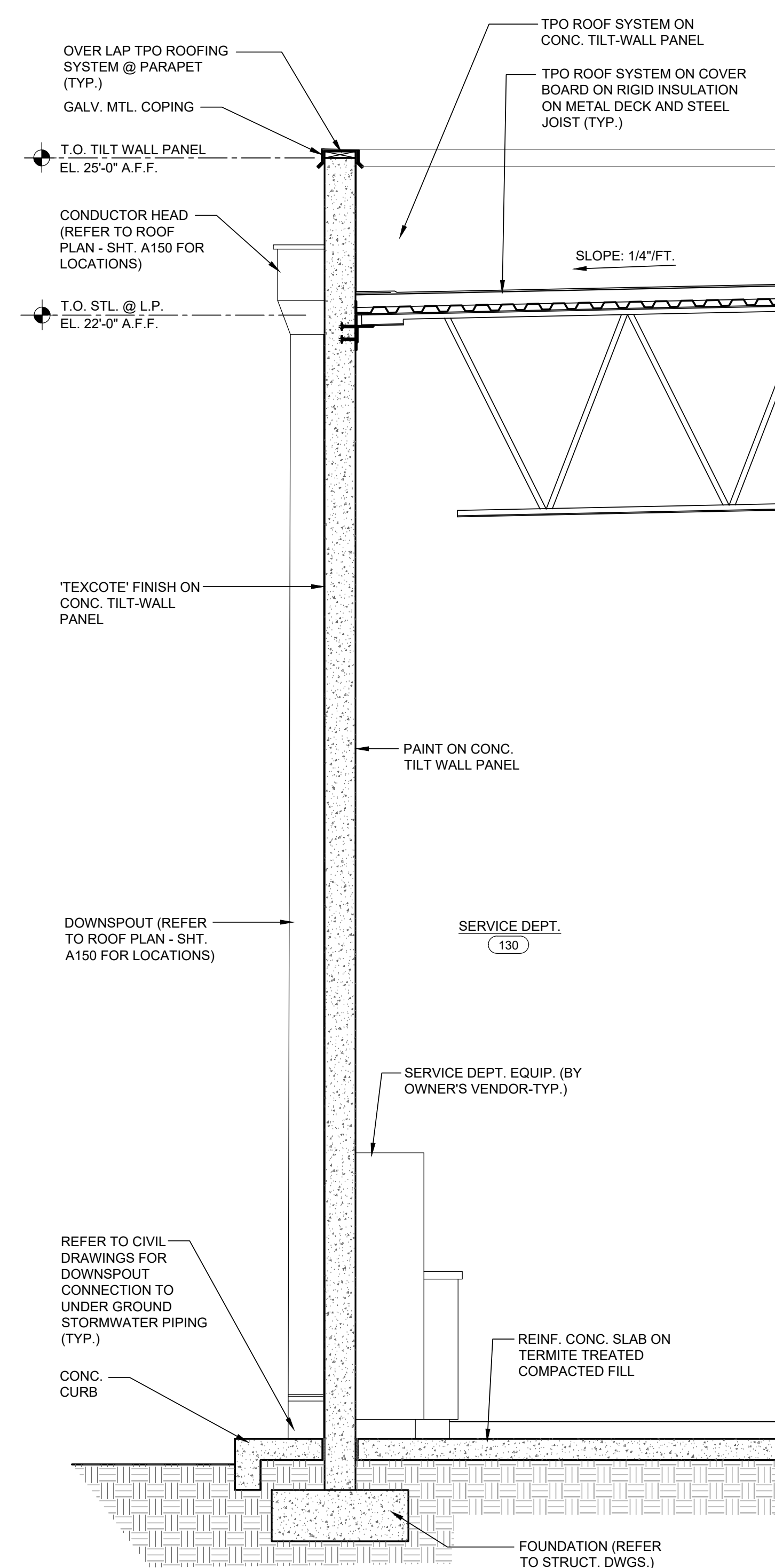
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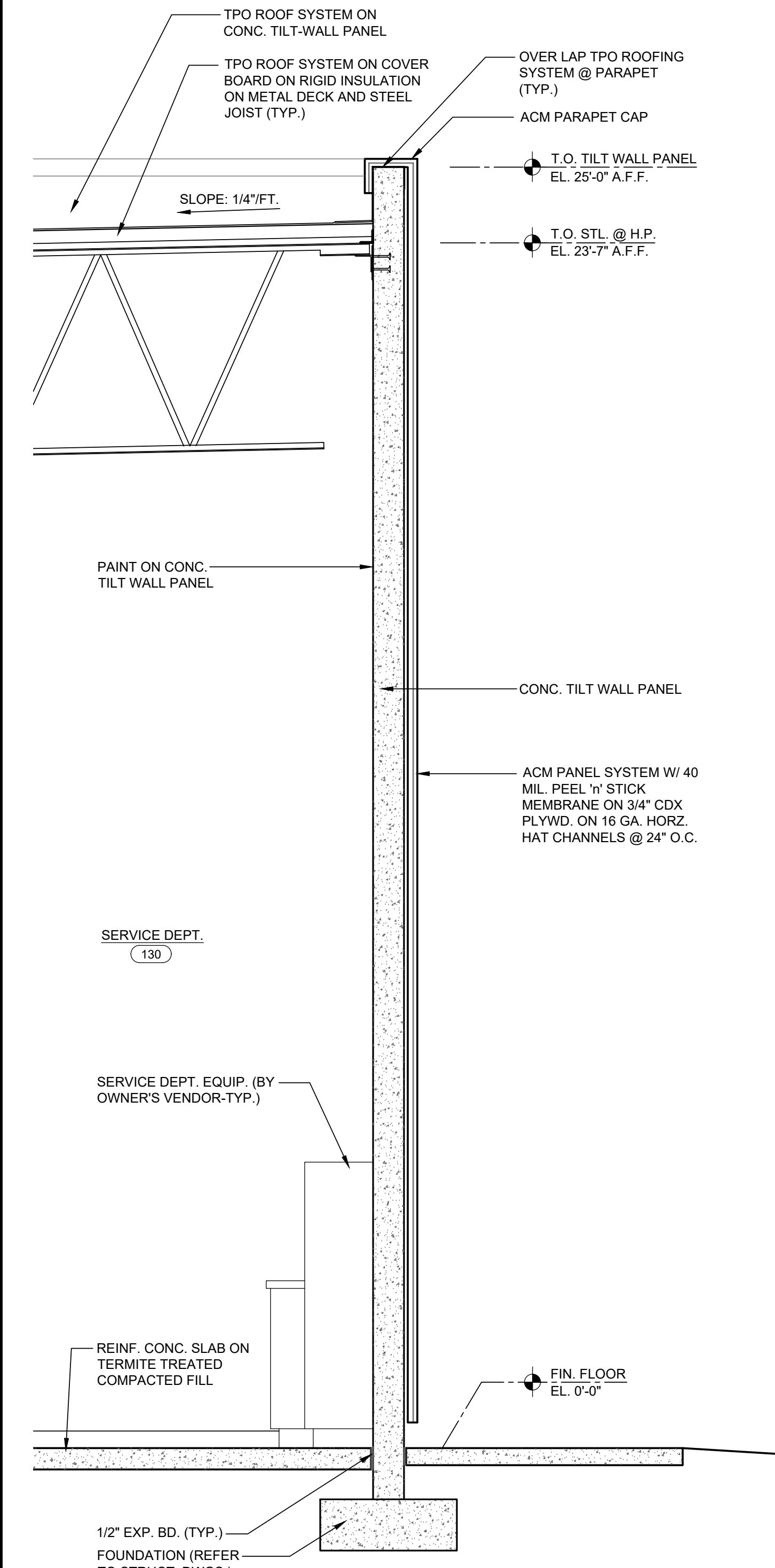
WALL SECTION SCALE 1/2"=1'-0" 4



WALL SECTION SCALE 1/2"=1'-0" 3



WALL SECTION SCALE 1/2"=1'-0" 2



WALL SECTION SCALE 1/2"=1'-0" 1

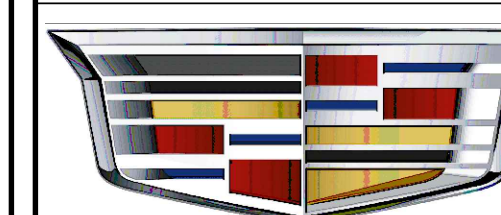
Sheet Title	WALL SECTIONS
Revisions	
State Registration	Richard Hartmann AIA, LEED AP A/R 09622
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	A320



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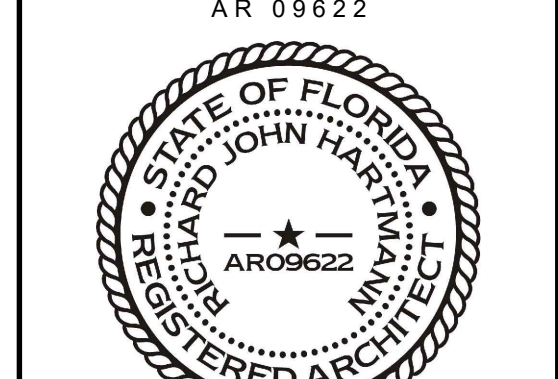
Sheet Title

WALL SECTIONS

Revisions

State Registration

Richard Hartmann AIA, LEED AP
 ARO9622



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Project Number

22026

Drawn By

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Checked By

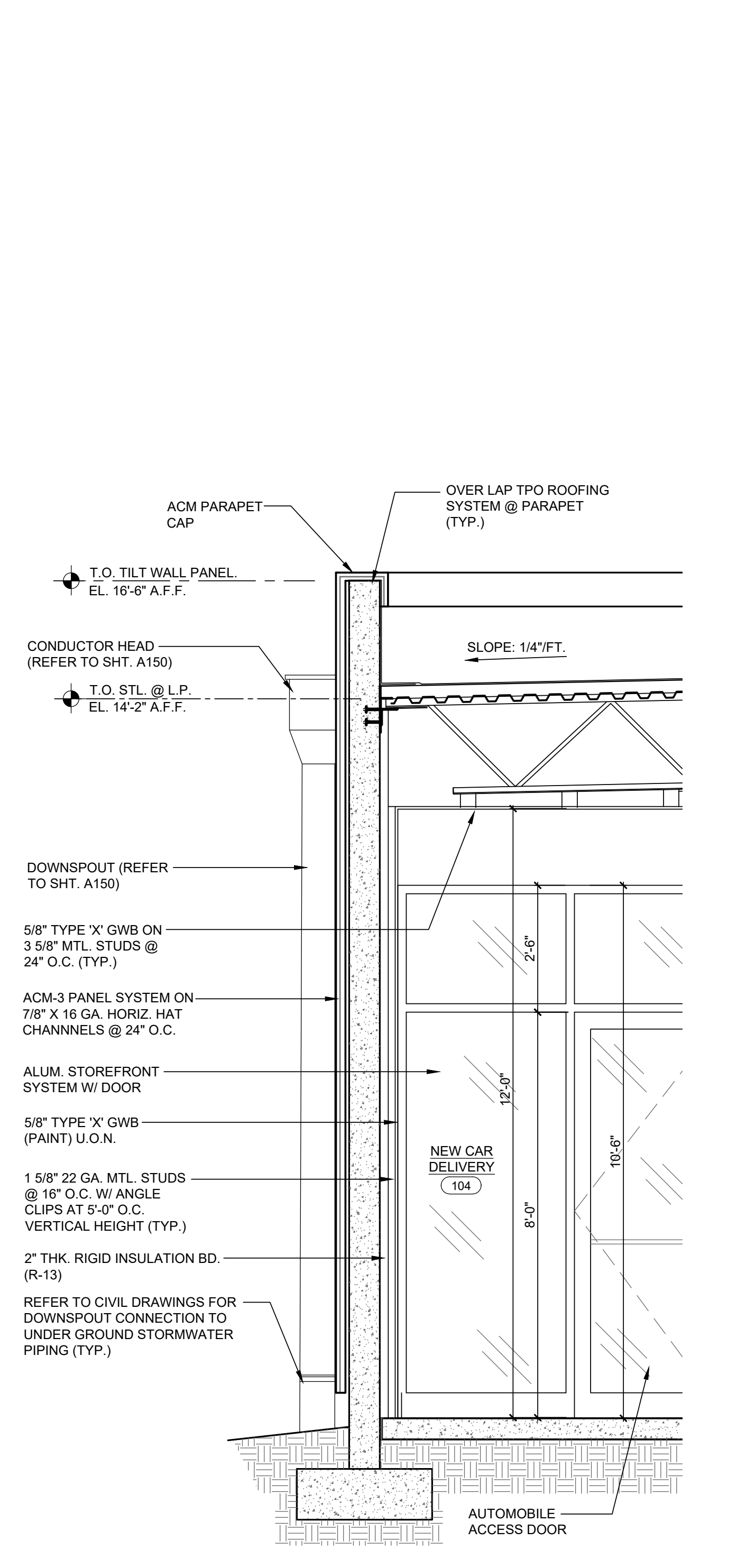
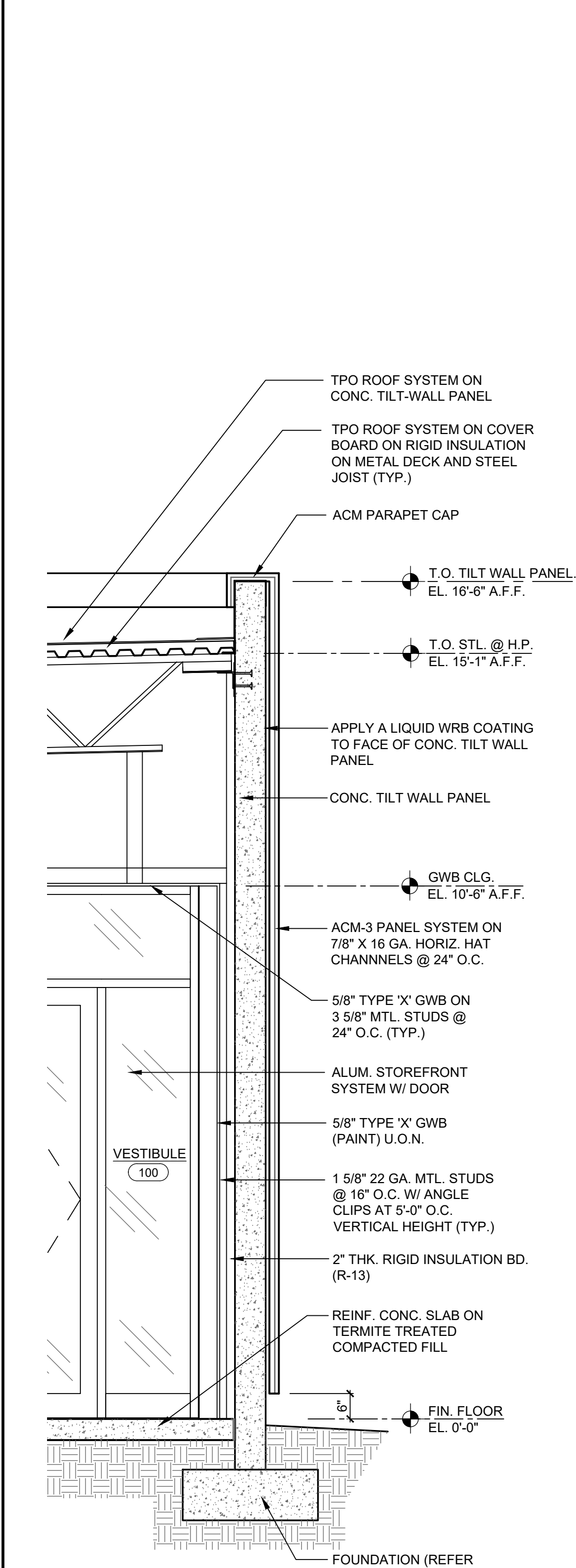
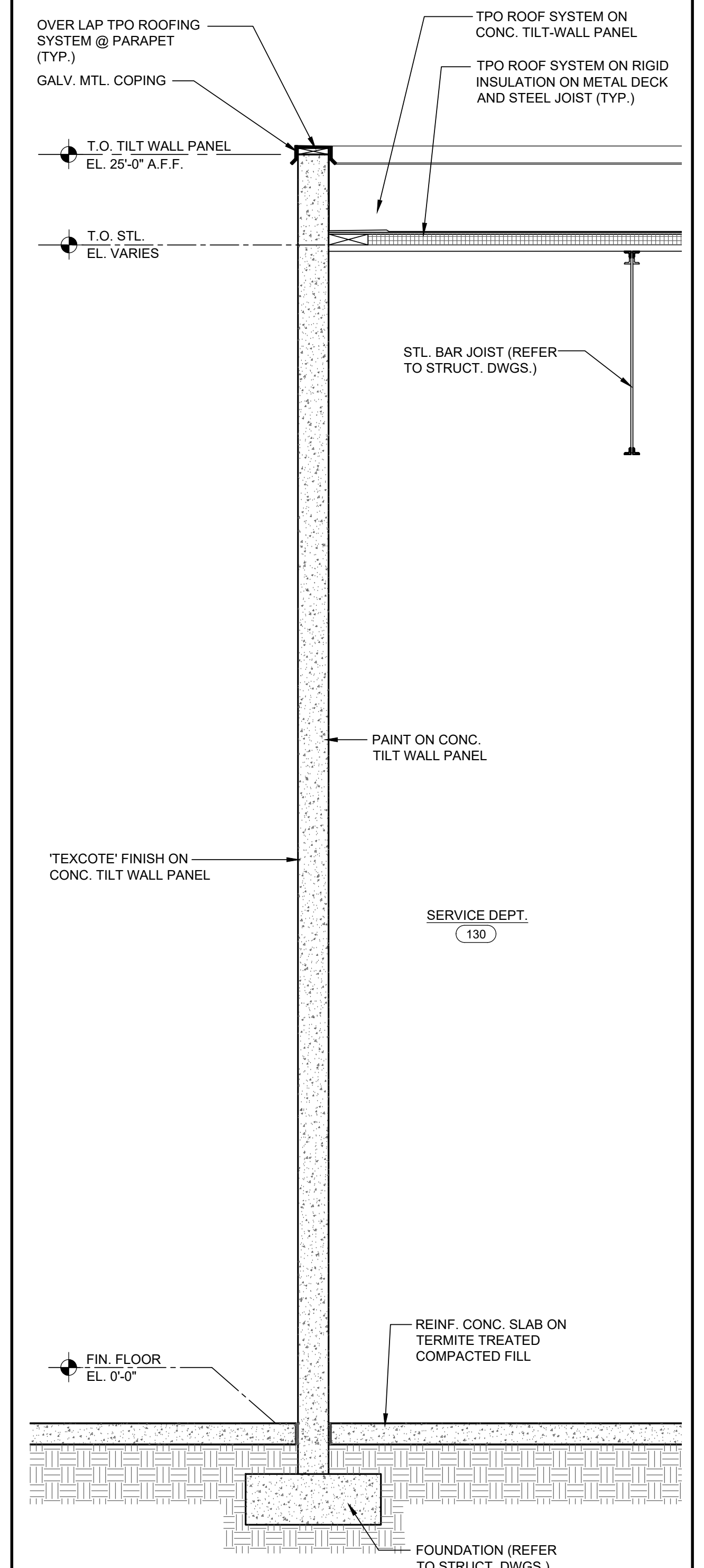
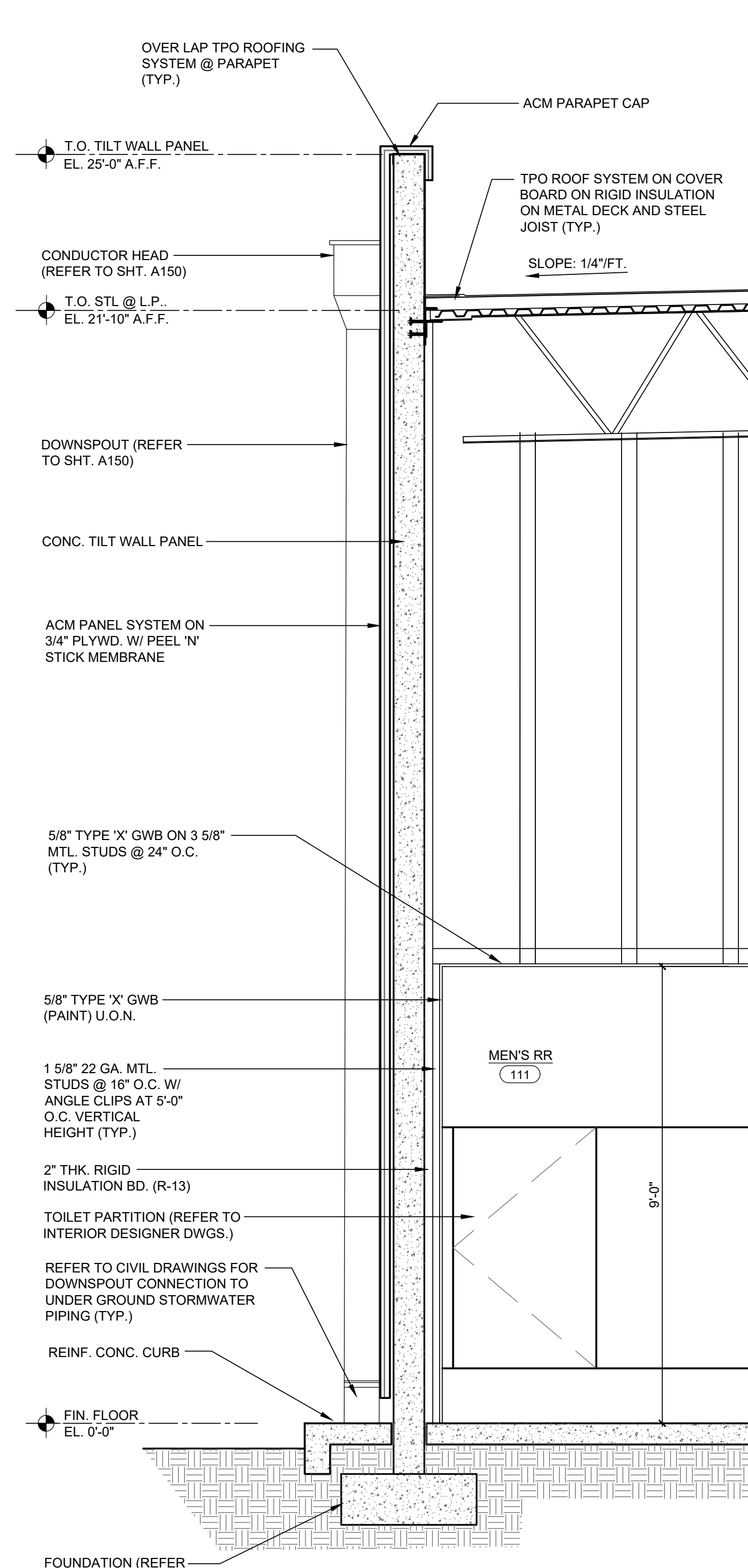
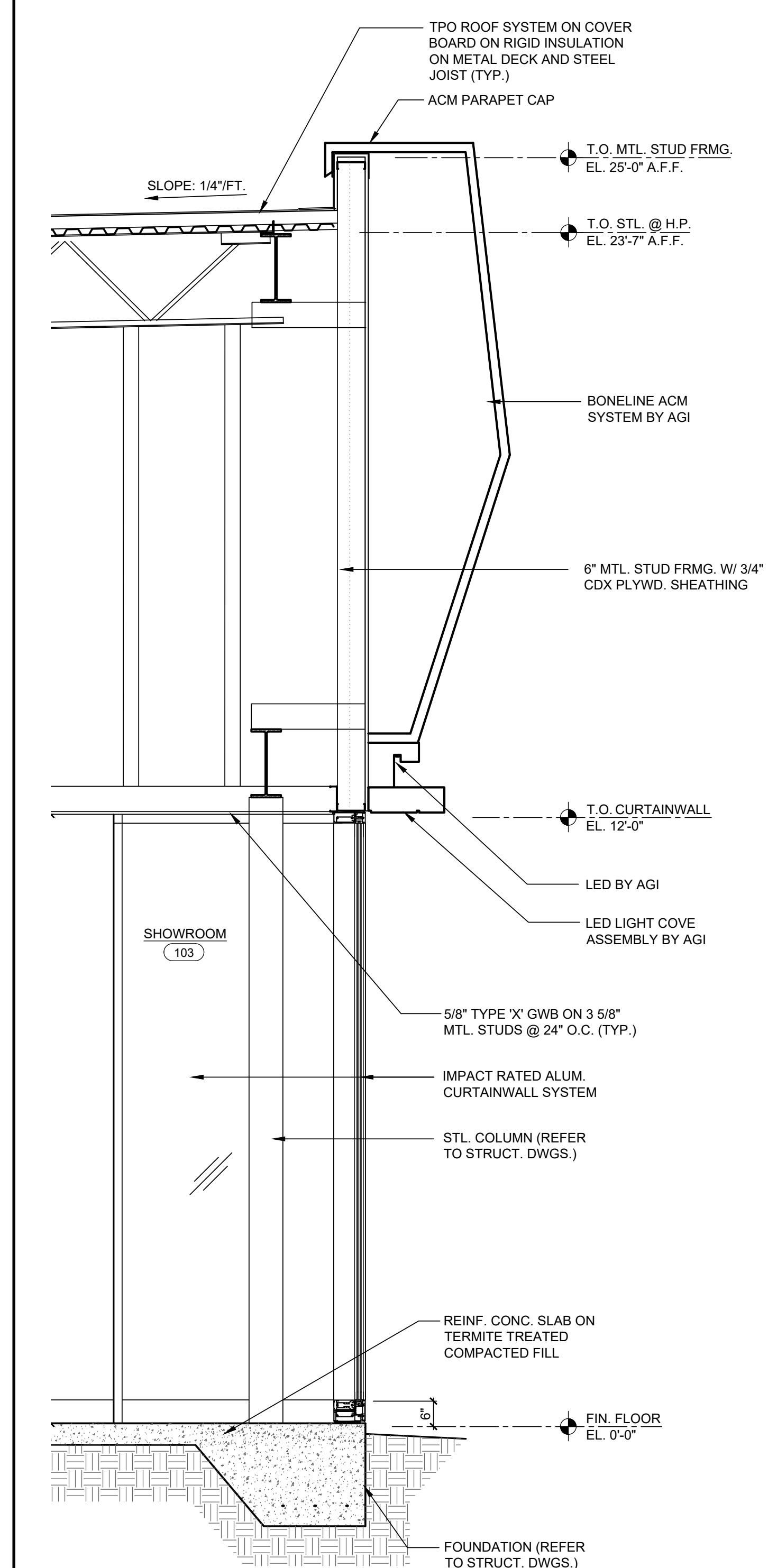
RJH

Issue Date

02.09.24

Sheet Number

A321



WALL SECTION SCALE 1/2"=1'-0" 5

WALL SECTION SCALE 1/2"=1'-0" 4

WALL SECTION SCALE 1/2"=1'-0" 3

WALL SECTION SCALE 1/2"=1'-0" 2

WALL SECTION SCALE 1/2"=1'-0" 1

3400 CORPORATE WAY SUITE A
 DULUTH, GA 30096
 770 - 274 - 3500 OFFICE
 770 - 349 - 3461 FAX

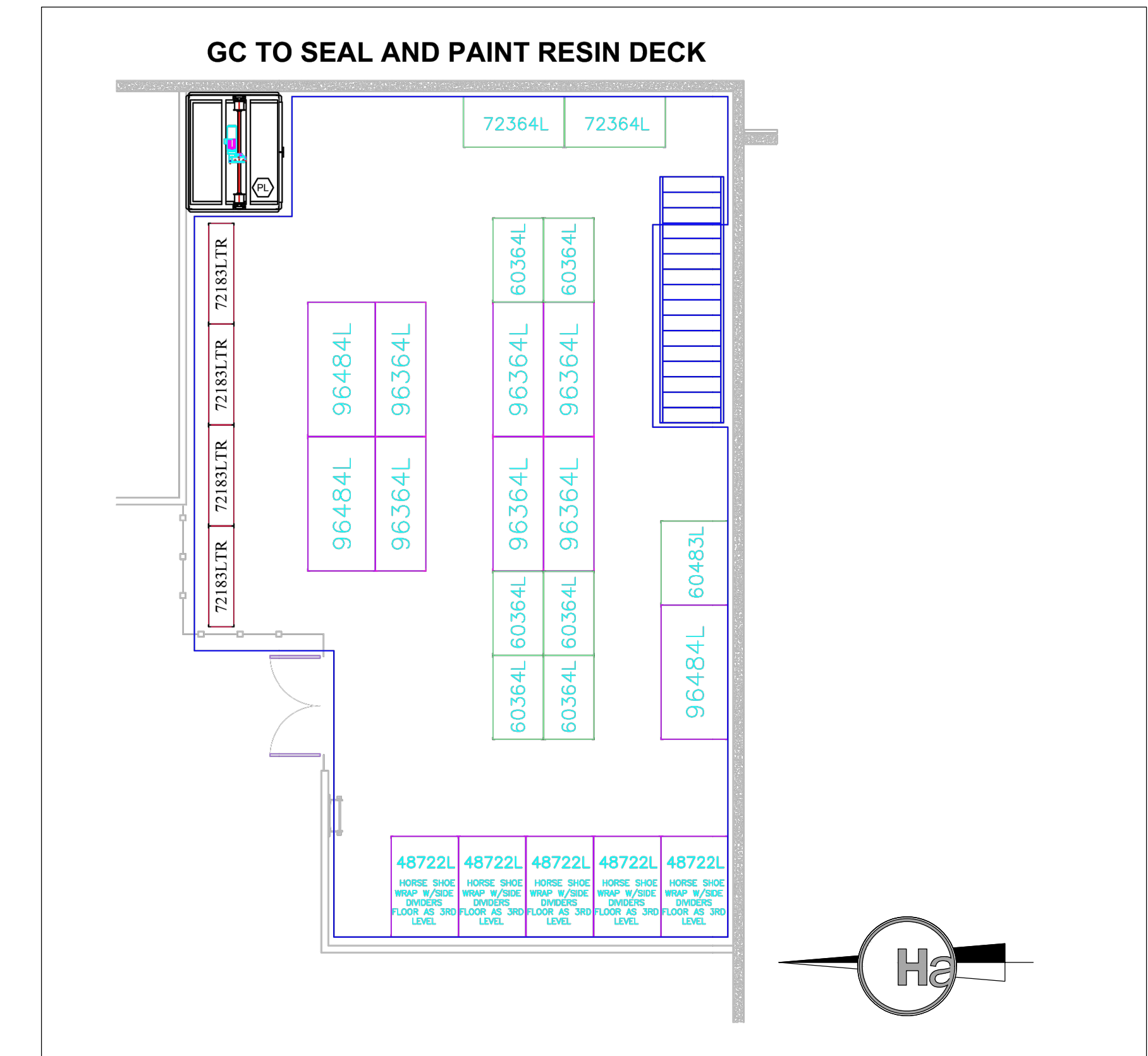


OWNER EQUIPMENT VENDOR

**** FOR REFERENCE ONLY**

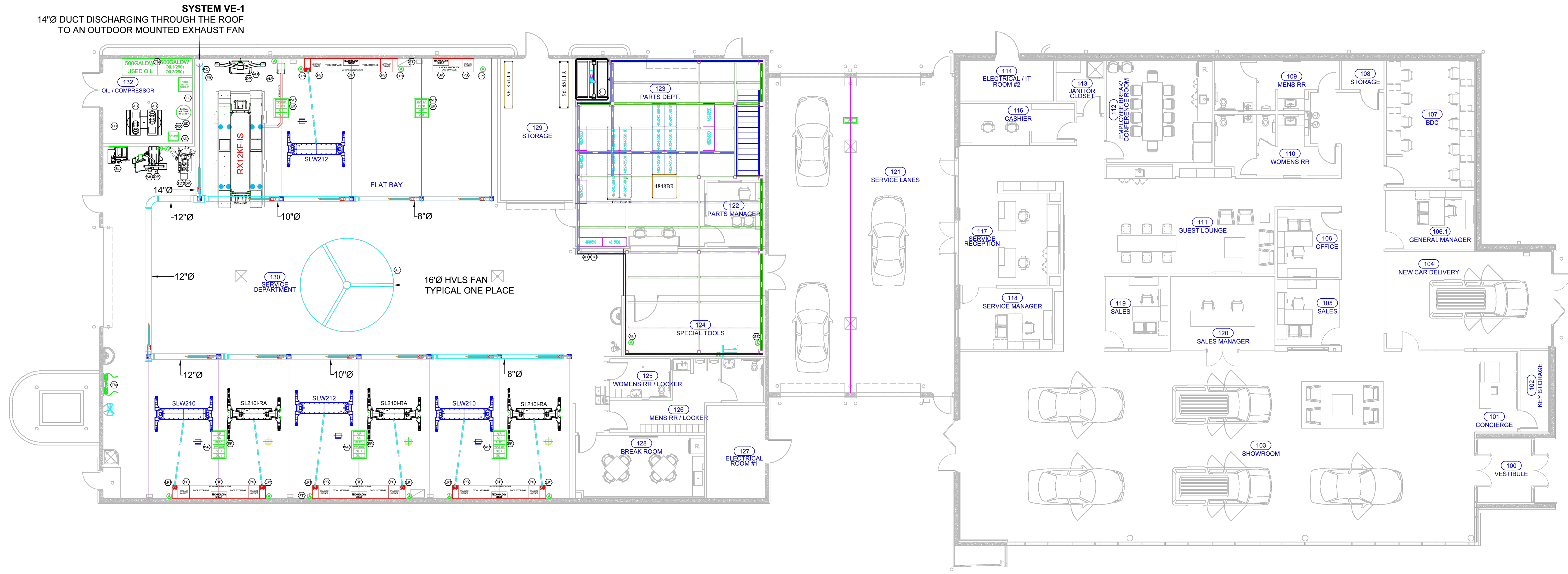
****NOTE: STEEL HOSE REEL
 BRACKETS BY G.C.
 COORDINATE W/ EQUIPMENT
 VENDOR - SEE 3/A110**

MEP SCHEDULE FOR Dealer Solutions and Design						
Symbols	Equipment	Manufacturer	Voltage	Phase	HP/Amp	Comments
AC	Air Compressor	Saylor Beall	230	3	5hp/16A	2- Connections by GC. Disconnects per local code. Includes Mag Starters mounted and prewired to motors
AD	Air Dryer 20-165CFM	Saylor Beall	115	1	9 A	Quad Outlet. Disconnects per local code.
AF	Air Fan 16-24'	Eurovent	460	3	3 A	Connections by GC. Fused Disconnect.
AFC	Air Fan Controller	Eurovent				Conduit in the wall down to a J-Box 60" AFF. Cat 5 cable to be ran by DSD to fans.
ALP	Align Lift Power	Hunter Engineering	208 / 230	1	26 A	Connections by GC. Disconnects per local code.
AM	Align Machine	Hunter Engineering	115	1	6 A	Duplex Outlet. Isolated Ground. Data Jack Required
BL	Brake Lathe	Hunter Engineering	115	1	15 A	Duplex Outlet.
DP	Data Port					Data Jack Required. By GC
EB	Exhaust Blower	Eurovent	460	3	3hp / 4 A	Connections by GC. Disconnects per local code.
EBC	Exhaust Blower Control	Eurovent	460	3	3hp / 4 A	Mag Starter provided by DSD. Installed by GC.
ED	Electric Drain	Saylor Beall	115	1	2A	Quad Outlet
ER	Electric Reel	Graco	115	1	25 A	Duplex Outlet mounted on reel bank. GFCI Breaker Req
FD	Floor Drain					Floor Drain by GC
FT	Pulse Hub	Graco	115	1	15 A	Duplex Outlet, Data Jack, & Iso Ground Required. 96" AFF
LP1	Lift Power Unit	Rotary Lift	208 / 230	1	2hp / 20 A	Connections by GC. Disconnects per local code.
PL	Parts Lift	CIP	460	3	5 A	Connections by GC. Disconnects per local code.
PS	Power Strip	Shure	115	1	25 A	Duplex Outlet
RC	Roof Curb	GC				Specs for curbing in Specification Book
SE	Small Equipment	Various	115	1	15 A	Duplex Outlet
TC1	Tire Changer	Hunter Engineering	208 / 230	1	15 A	Use NEMA Recepticle L6-20R
TM	Tank Monitor	BJ Enterprises	115	1	2 A	Duplex Outlet 72" AFF
WB	Wheel Balancer	Hunter Engineering	208 / 230	1	10 A	Use NEMA Recepticle L6-20R
WR	Water Reel	GC				3/4" Water supply w/ Ball Valve, 3/4" NPT



EQUIPMENT VENDOR REFERENCE PLAN - MEZZANINE SCALE NTS 2

NOTE:
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EQUIPMENT VENDOR REFERENCE PLAN SCALE NTS 1

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 4427 W. Kennedy Blvd. Suite 250
 Tampa, Florida 33609
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 ARO9622
 Project Name

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 Cocoa, FL 32926

Sheet Title	EQUIPMENT VENDOR REFERENCE PLAN
Revisions	
State Registration	Richard Hartmann AIA, LEED AP ARO9622
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	A350

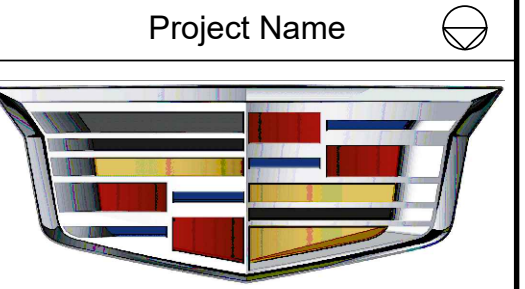
A350

GENERAL NOTES:
 1. ALL PANEL ELEVATIONS ARE 1'-4" BELOW GRADE, U.O.M.
 2. DIMENSIONS ARE TO THE BOTTOM OF HORIZONTAL REVEALS & THE CENTERLINE OF VERTICAL REVEALS, TYP.
 3. ALL VERTICAL REVEALS TO END 3" BELOW TOP OF PANEL, TYP.
 4. IT IS THE RESPONSIBILITY OF THE PANEL CONTRACTOR TO DETERMINE PANEL JOINT LOCATIONS. DIMENSIONS ARE FOR LAYOUT PURPOSES. CONTRACTOR IS TO VERIFY AND PROVIDE SHOP DRAWINGS.
 5. COORDINATE ALL HVAC OPENINGS W/ MECH. DWGS & HVAC SUBCONTRACTOR.
 6. VERIFY ALL SCUPPER & OVERFLOW SCUPPER OPENING SIZE AND LOCATION WITHIN PANEL PRIOR TO CONSTRUCTION.
 7. ALL CONDUITS/PIPING TO BE COORDINATED TO BE WITHIN TILT PANELS - NO EXPOSED CONDUITS ON PANELS U.N.O.
 8. COORDINATION MEETING WITH ALL DISCIPLINES WILL PROVIDE FINAL UTILITY & PANEL LAYOUT PRIOR TO CONSTRUCTION.

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Cocoa, FL 32926

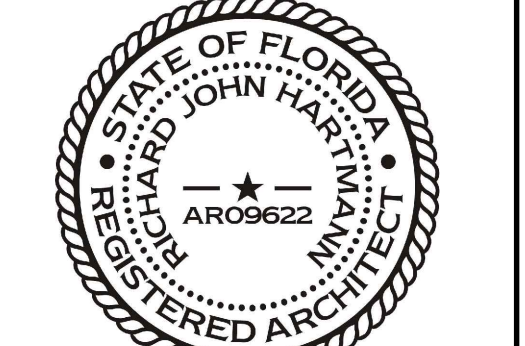
Sheet Title

CONC. TILT WALL PANEL ELEVATIONS

Revisions

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Richard Hartmann AIA, LEED AP
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Project Number

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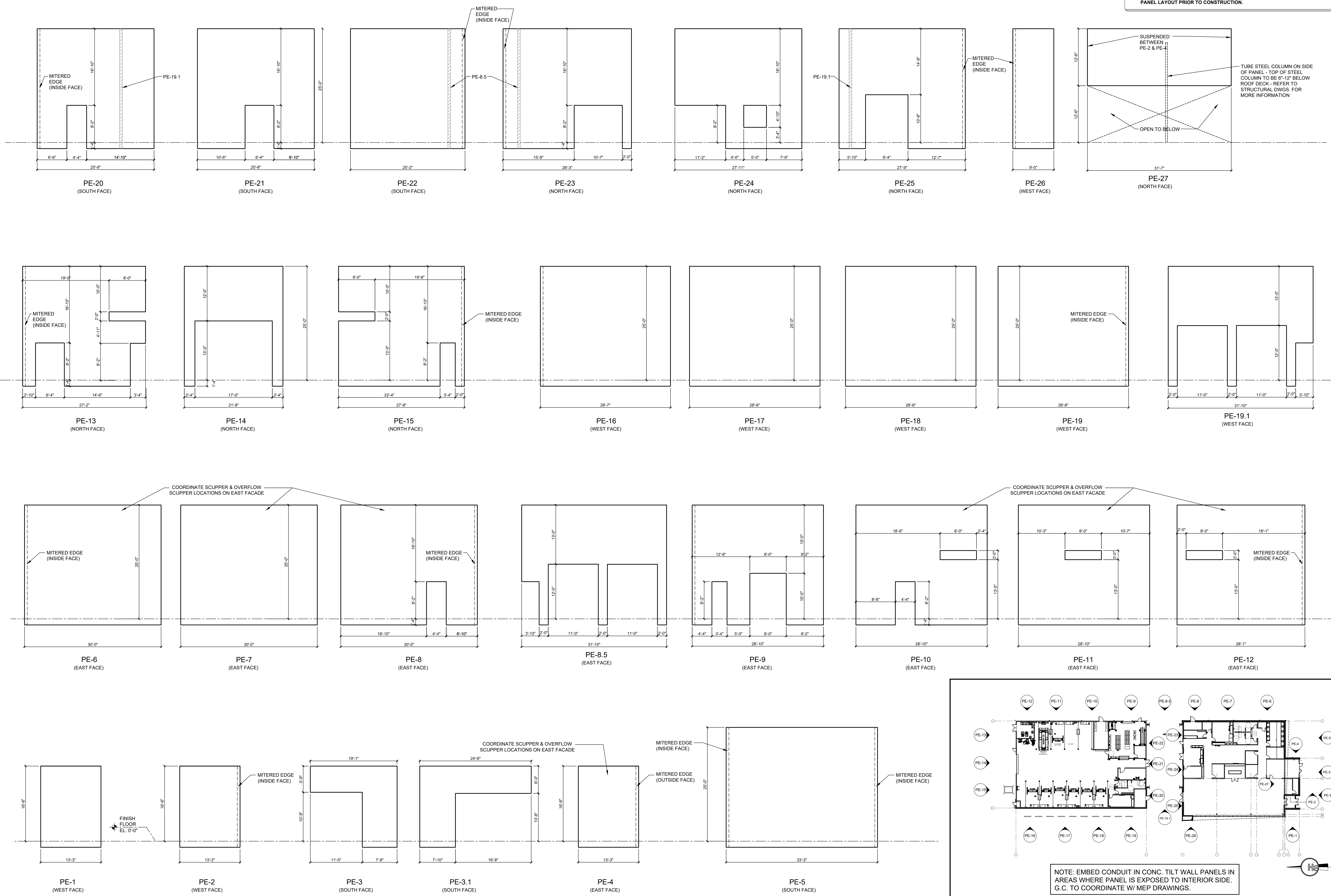
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Issue Date

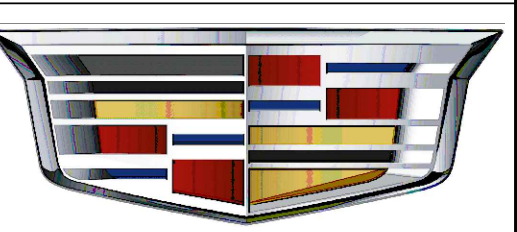
12.12.23

Sheet Number

A375



NOTE: EMBED CONDUIT IN CONC. TILT WALL PANELS IN AREAS WHERE PANEL IS EXPOSED TO INTERIOR SIDE. G.C. TO COORDINATE W/ MEP DRAWINGS.

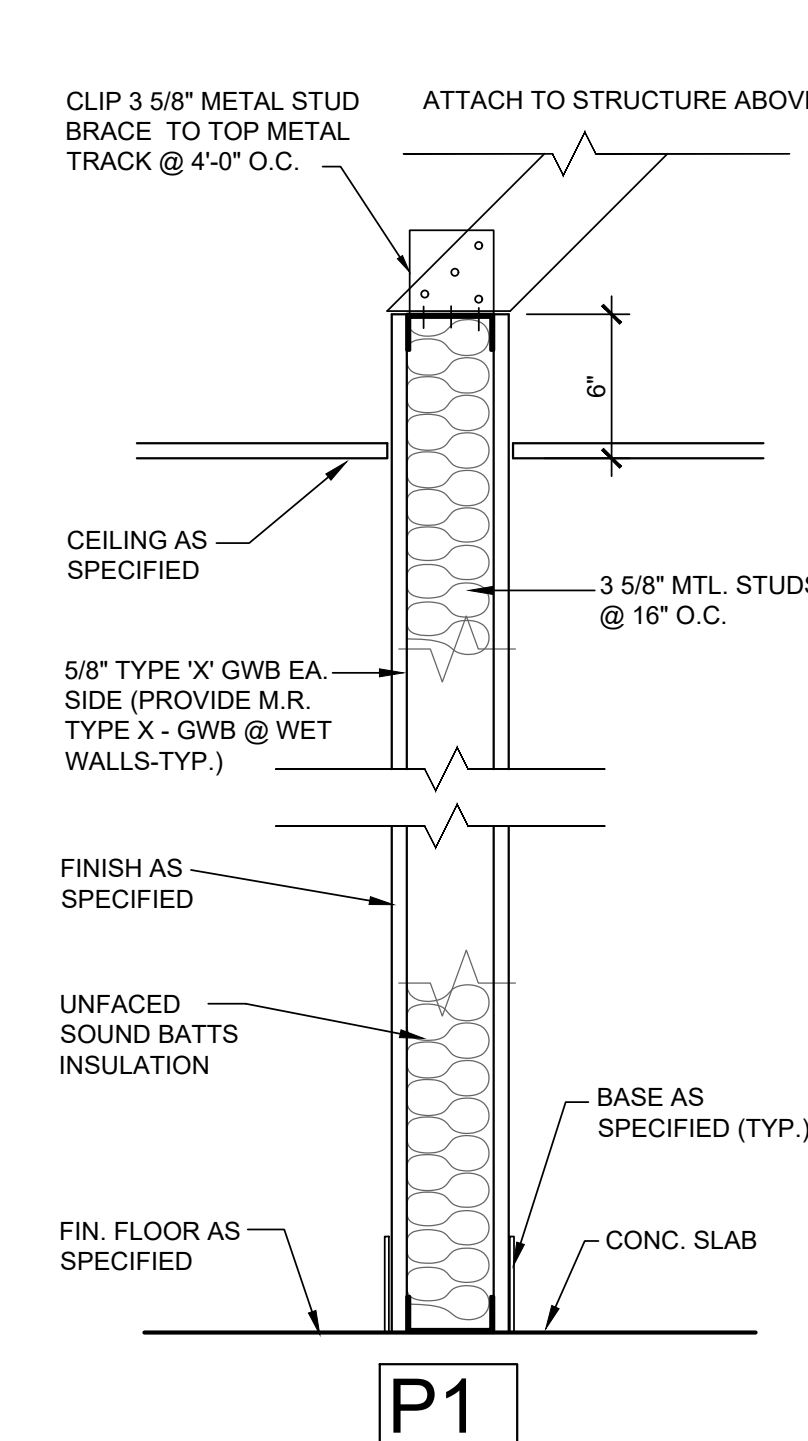
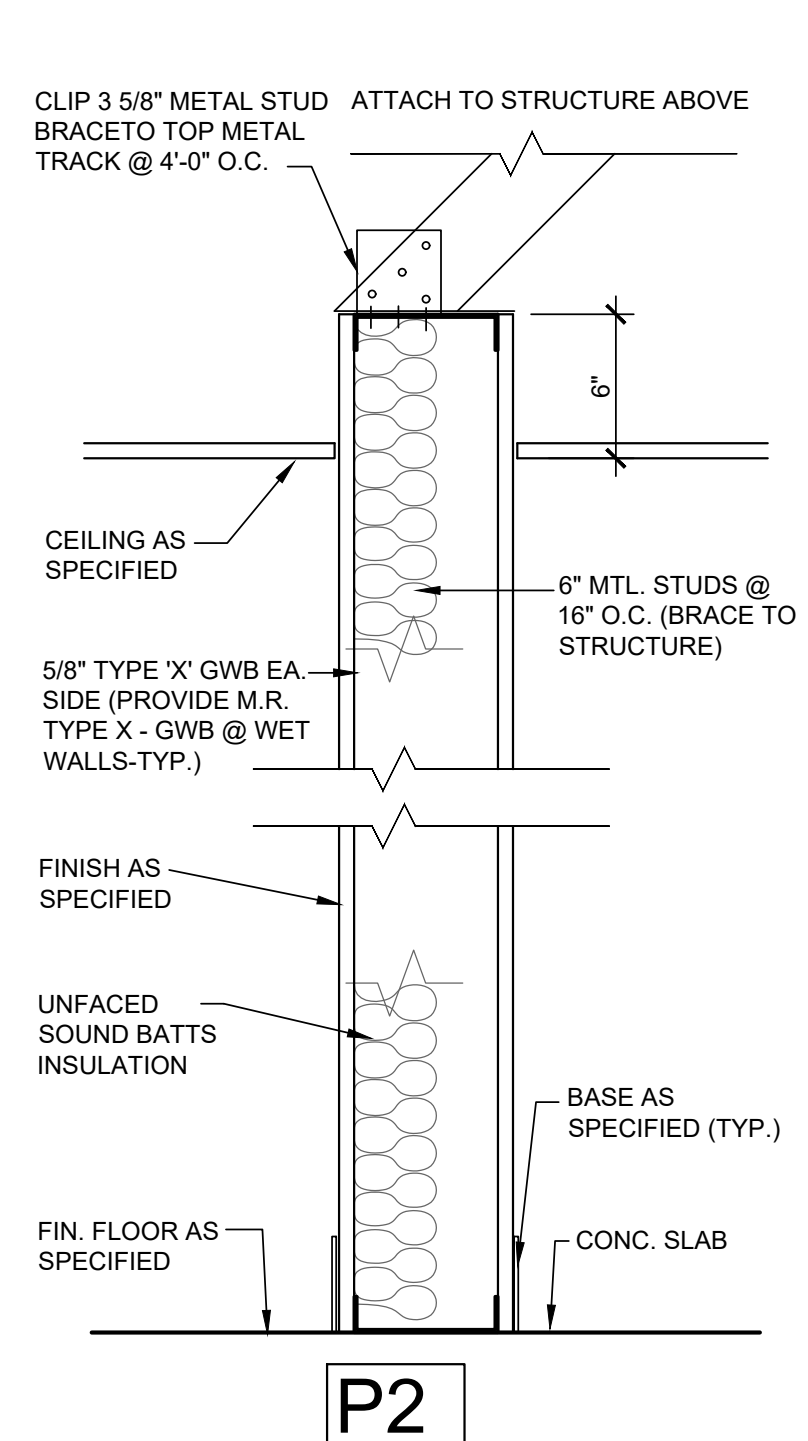
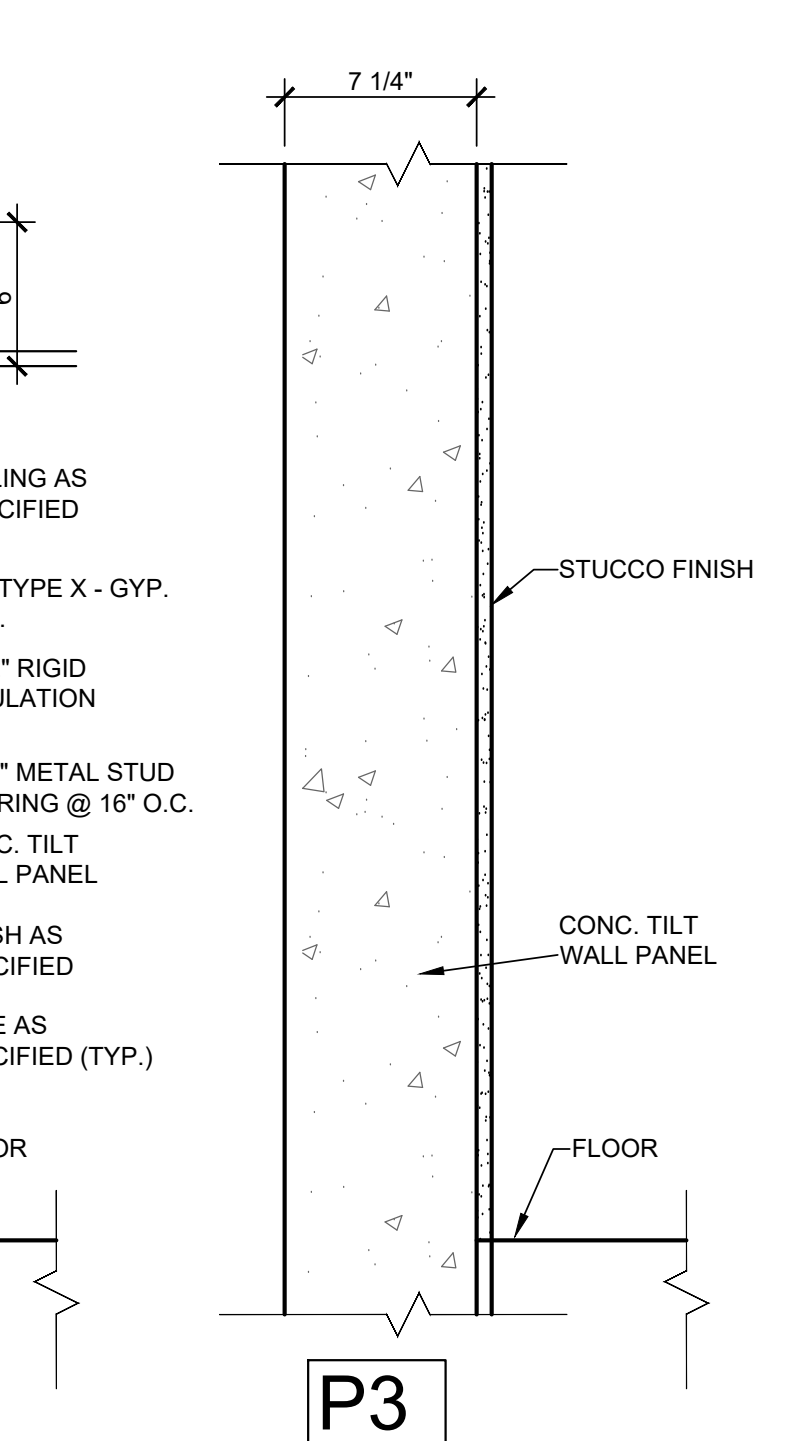
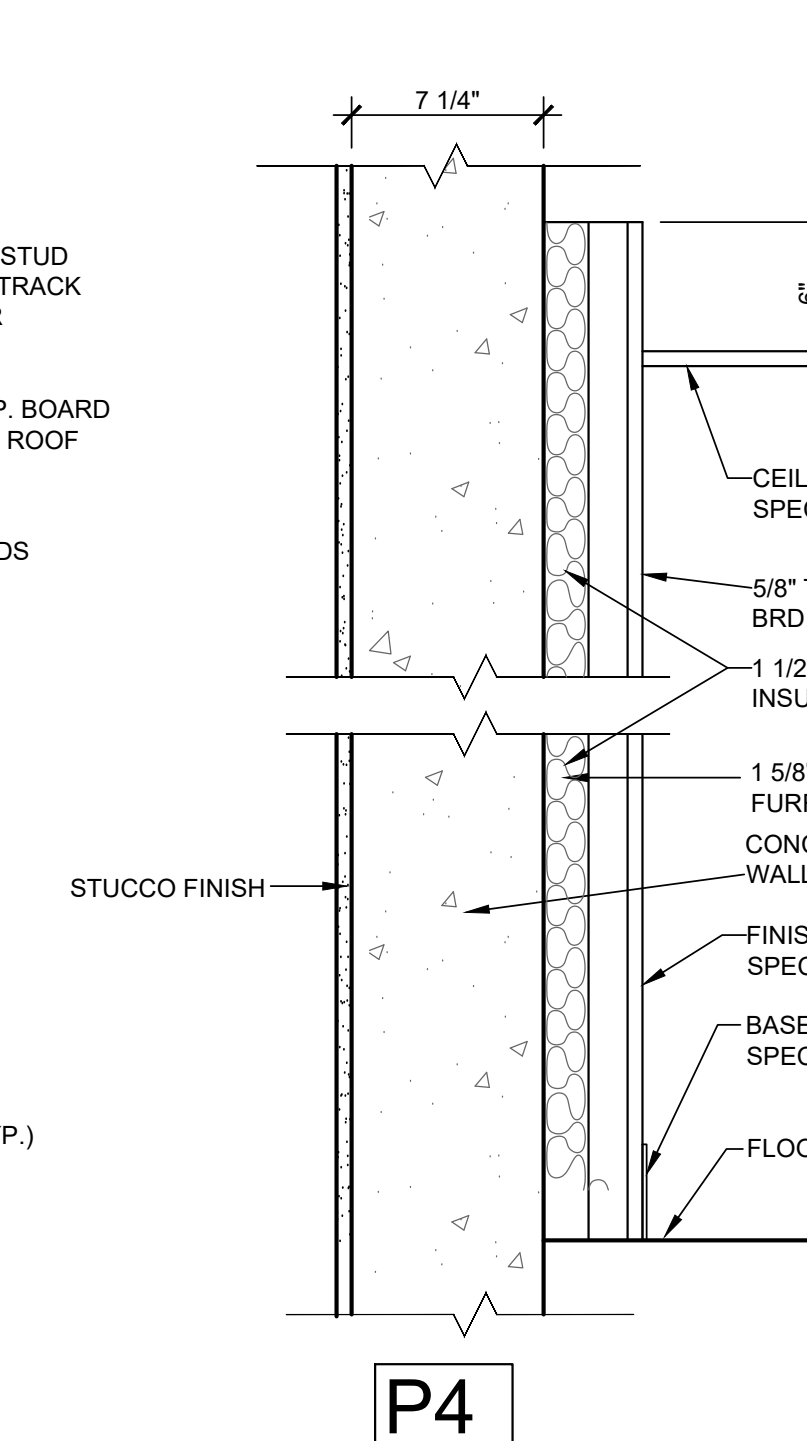
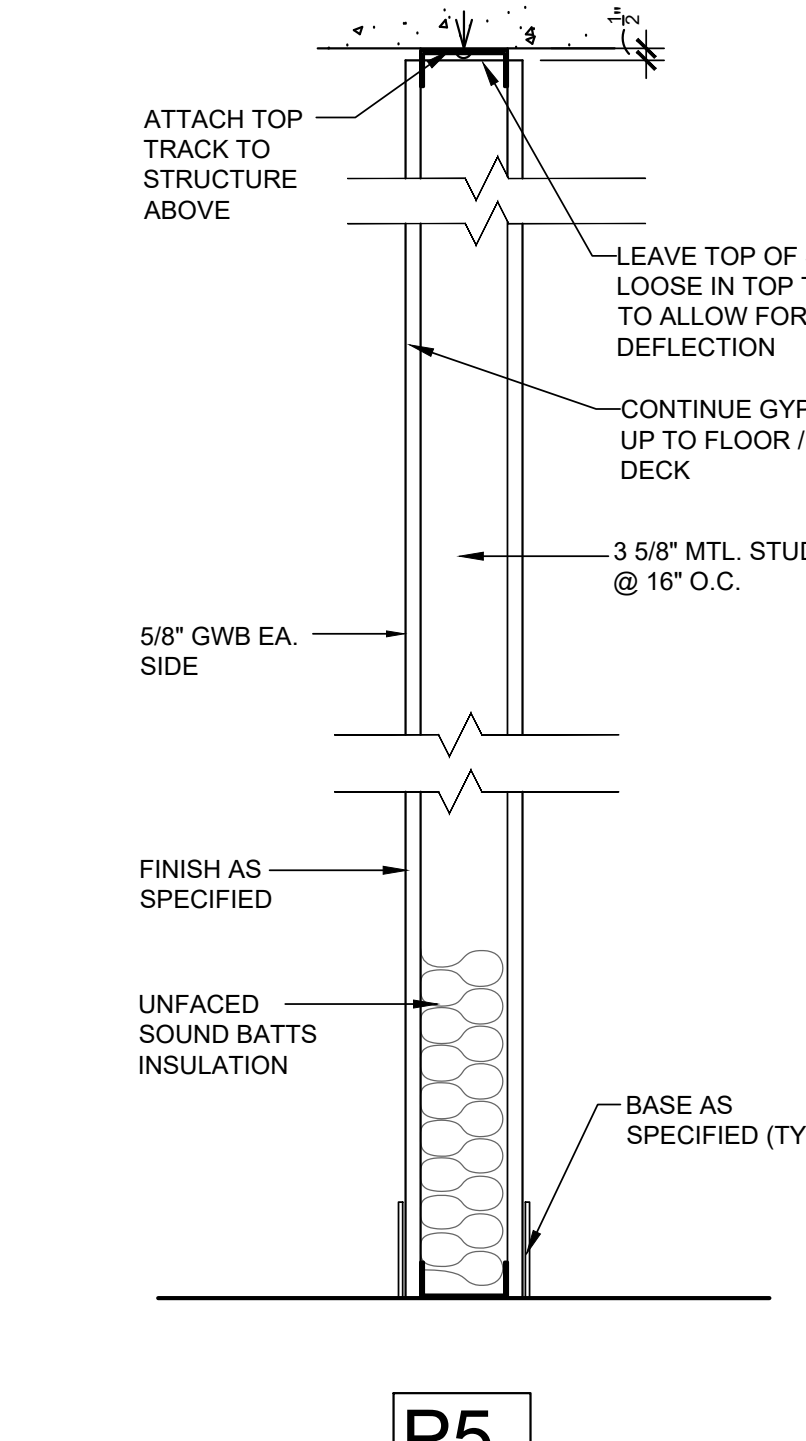
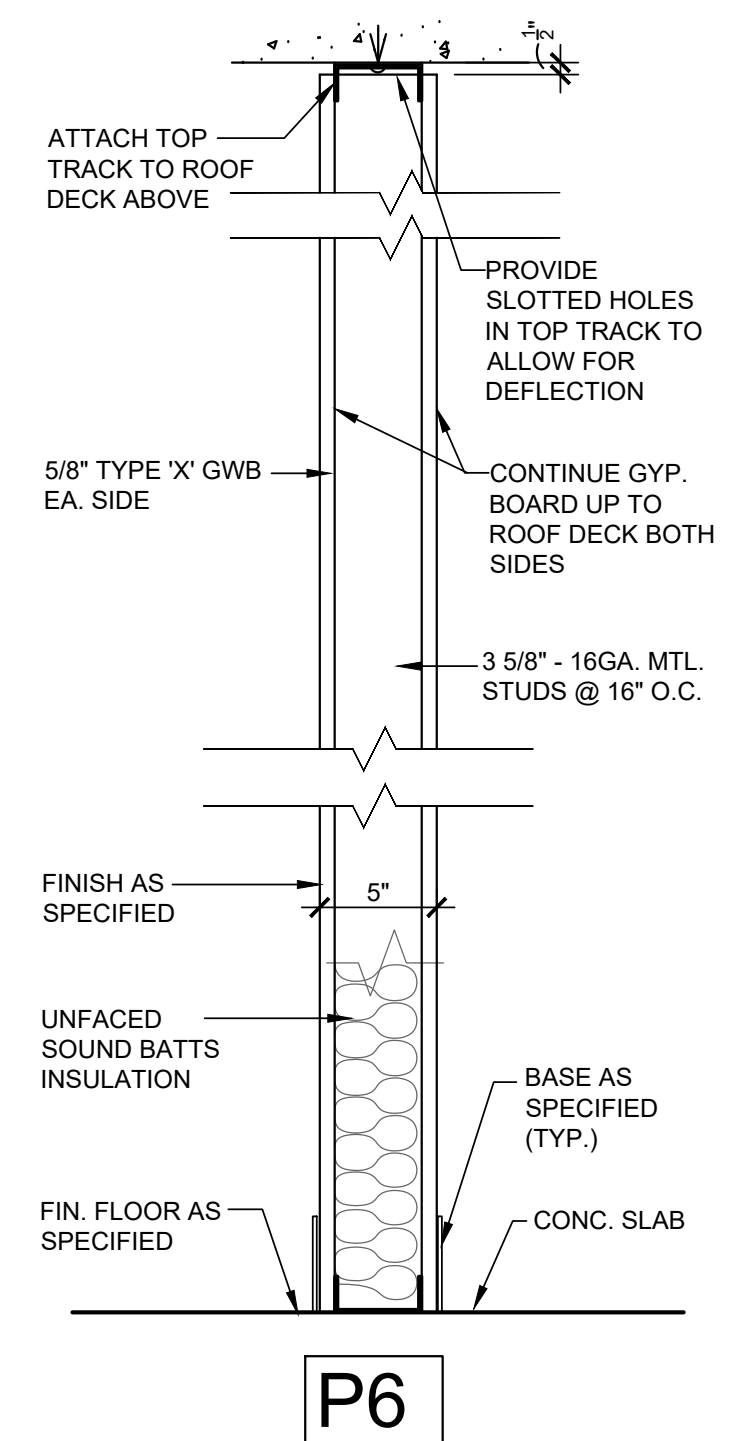
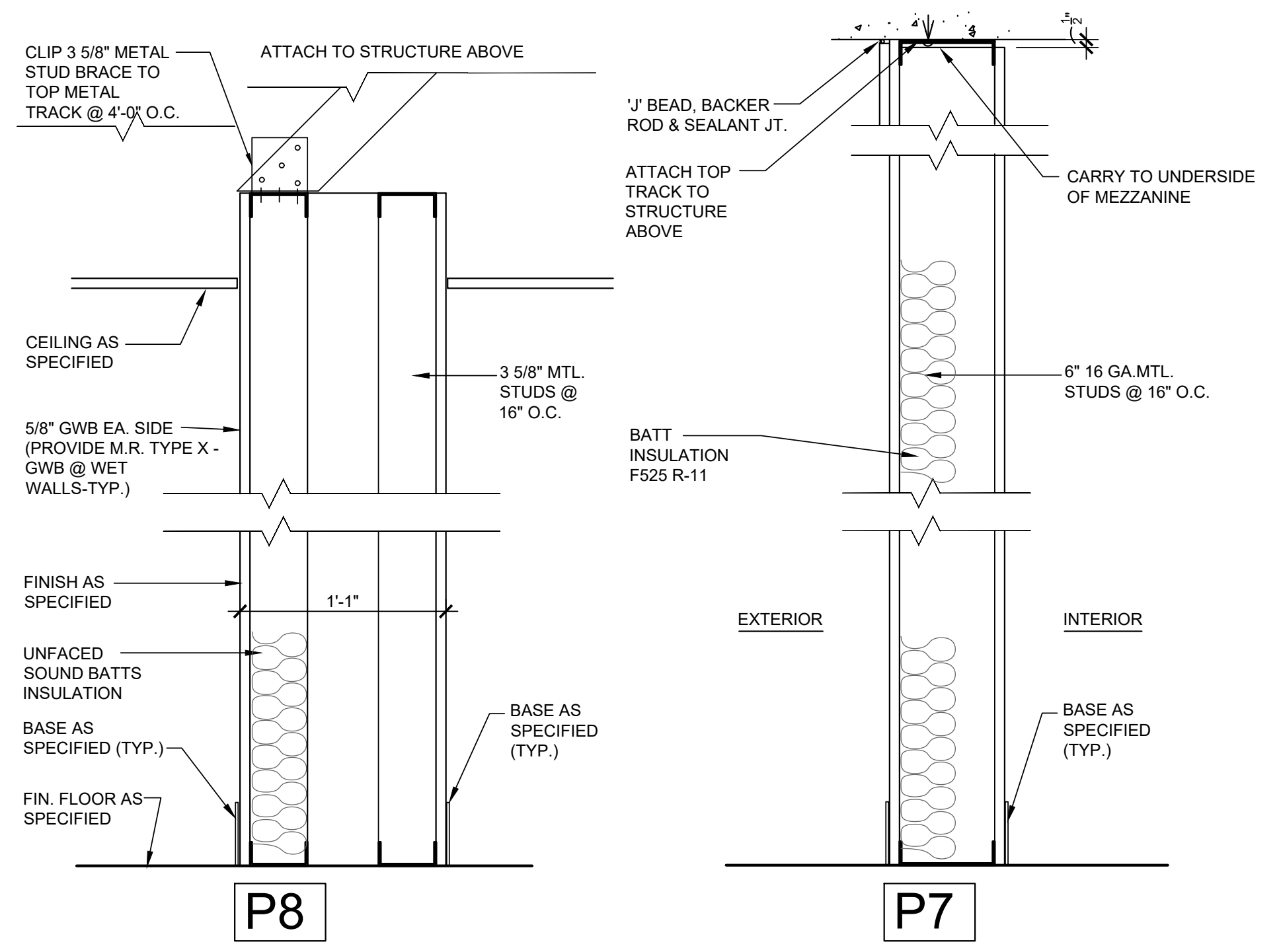
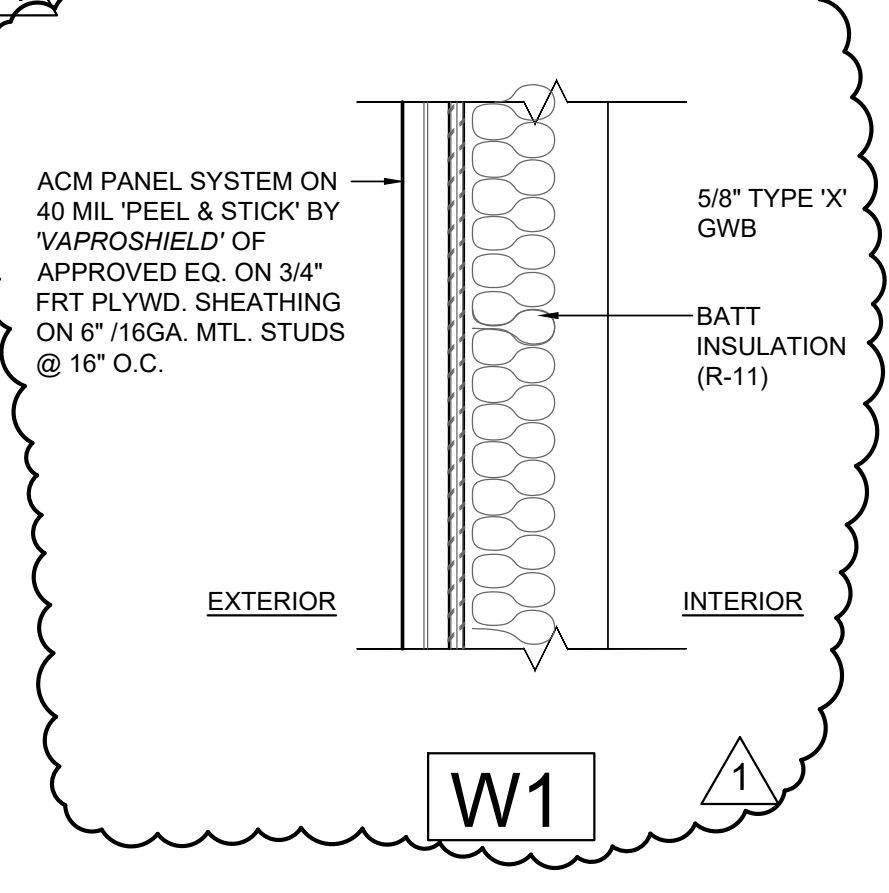
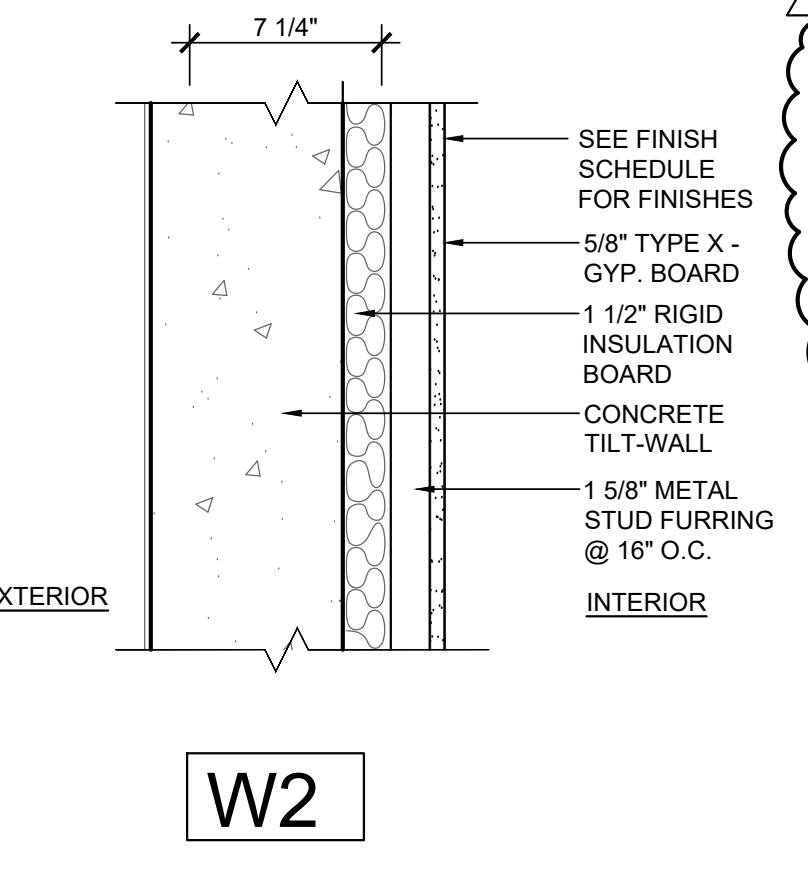
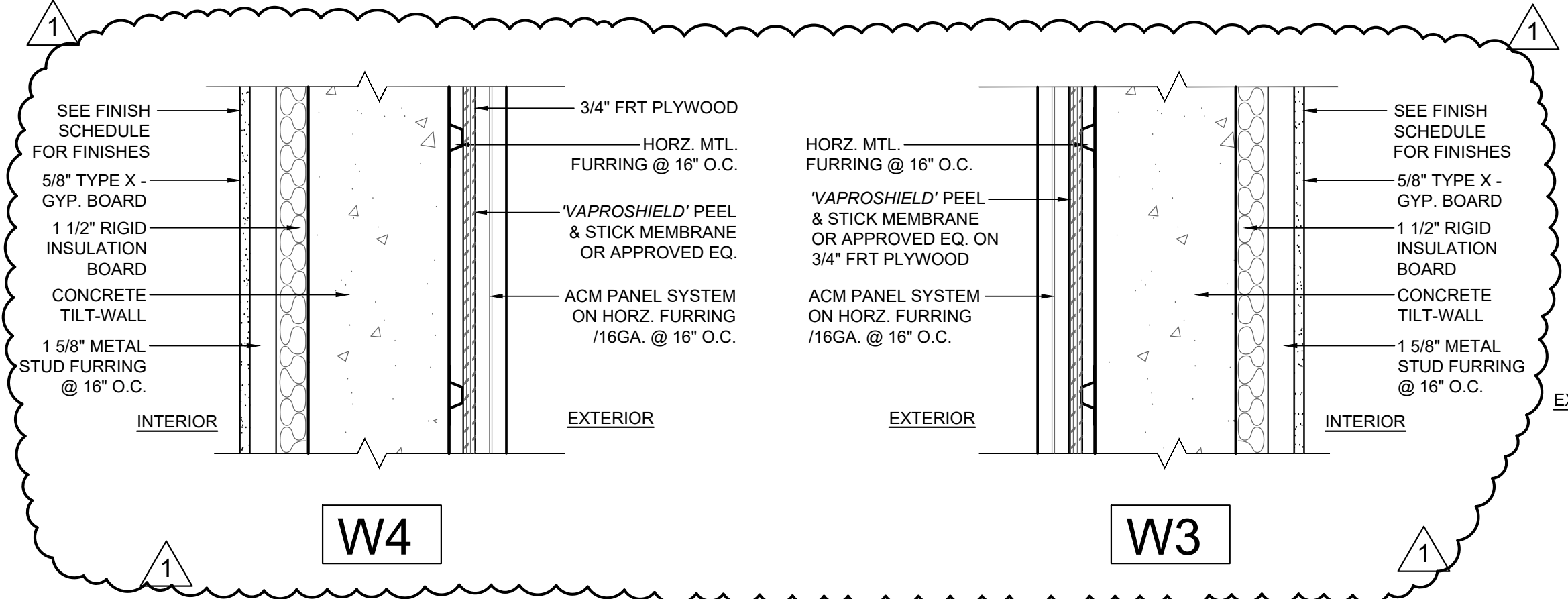
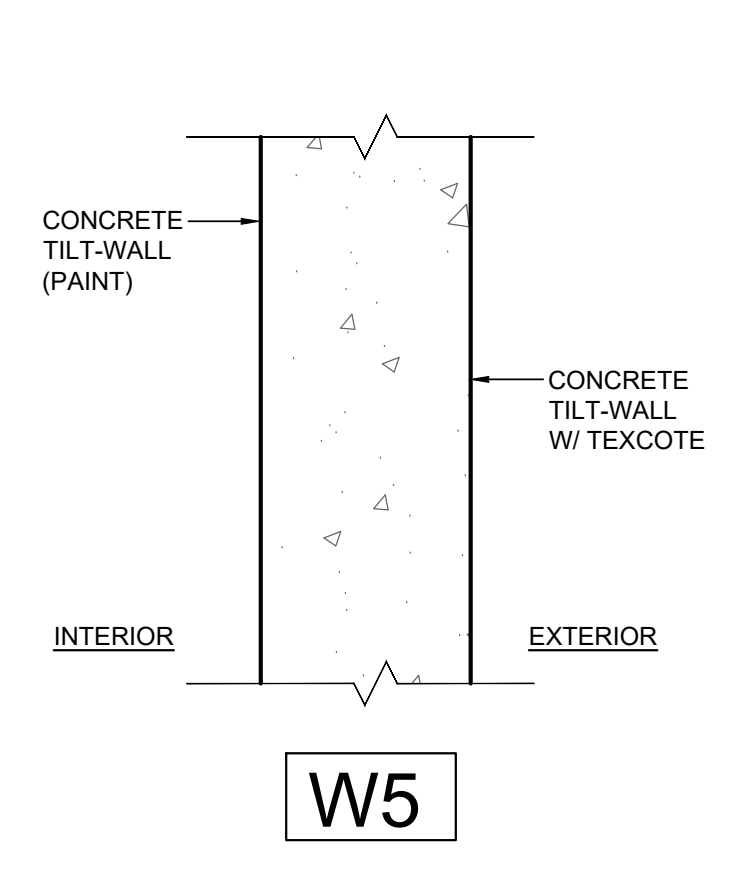
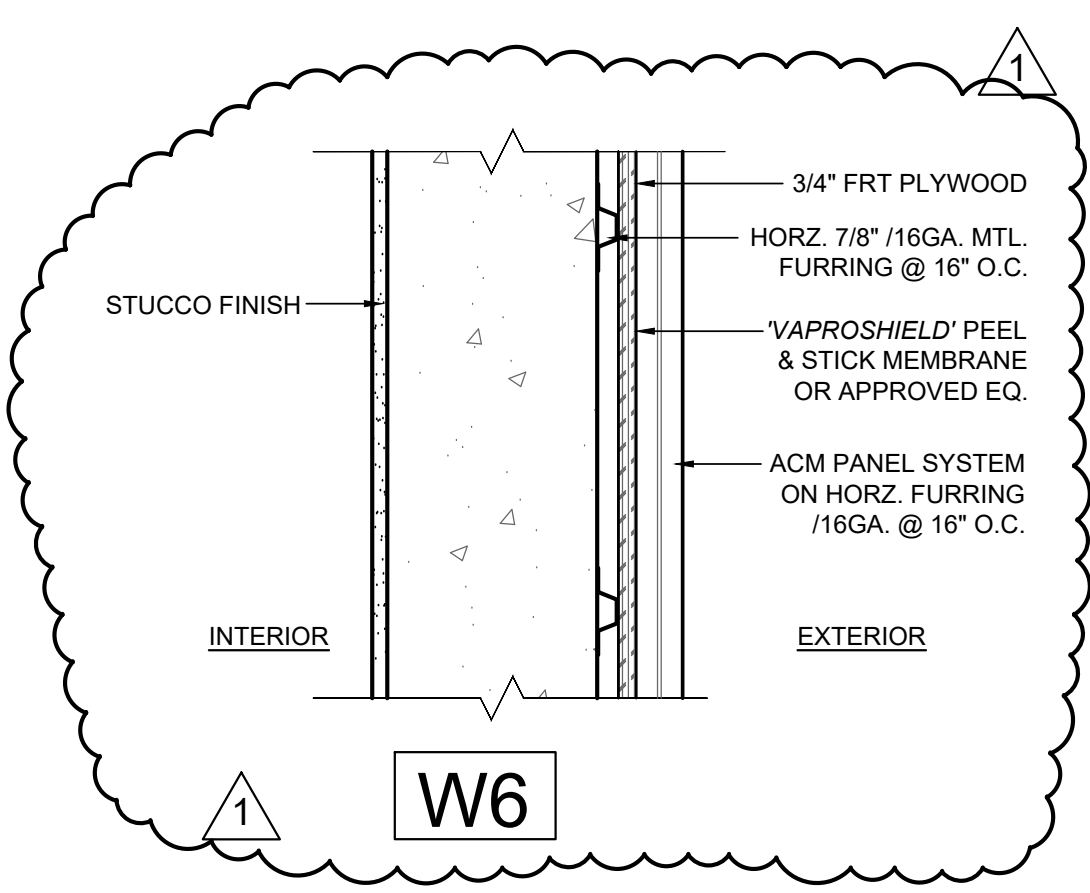


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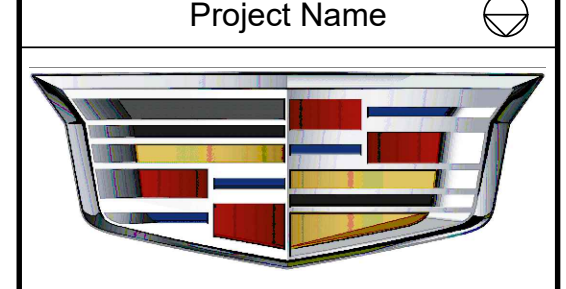
NOTE:
SEE SHEET A024 FOR UL ASSEMBLIES. ALL MASONRY FIRE WALLS SHALL BE SECURED AT TOP (HEAD OF WALL) UL SYSTEM No. HW-D-0007. ALL STUD WALLS SHALL BE SECURED AT TOP (HEAD OF WALL) UL SYSTEM No. HW-D-0001. SEE NOTES ON SHEET A024 FOR MORE INFORMATION.

PROVIDE CEMENT BACKER BOARD IN LIEU OF GWB AT ALL PARTITIONS TO RECEIVE TILE FINISH (SEE ROOM FINISH SCHEDULE ID1.0).

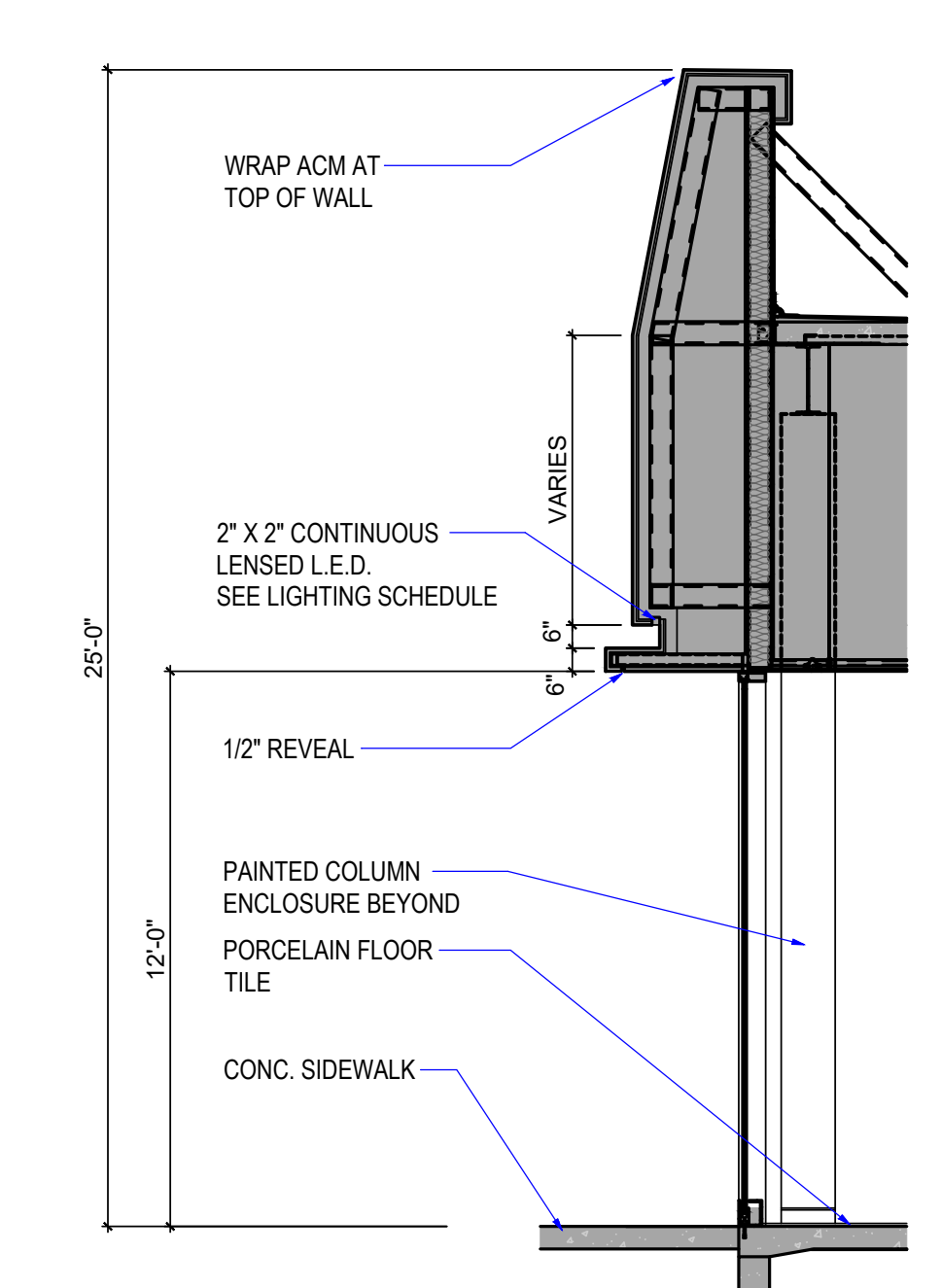


Sheet Title	WALL & PARTITION TYPES
Revisions	
MISC. REVISIONS	02.15.23
State Registration	Richard Hartmann AIA, LEED AP A/R 09622
Project Number	22026
Drawn By	RCK/RLH
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Sheet Number	1

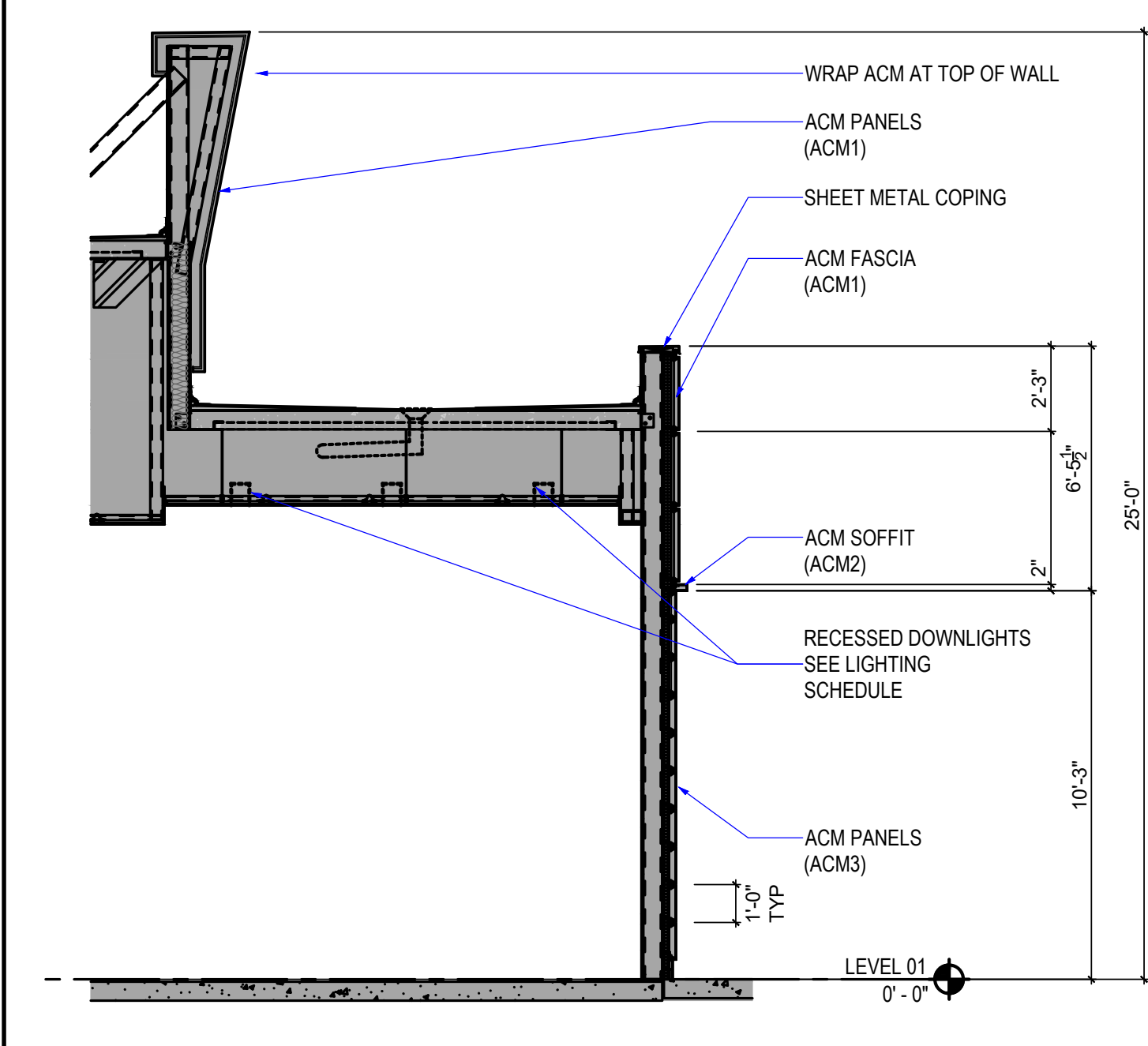
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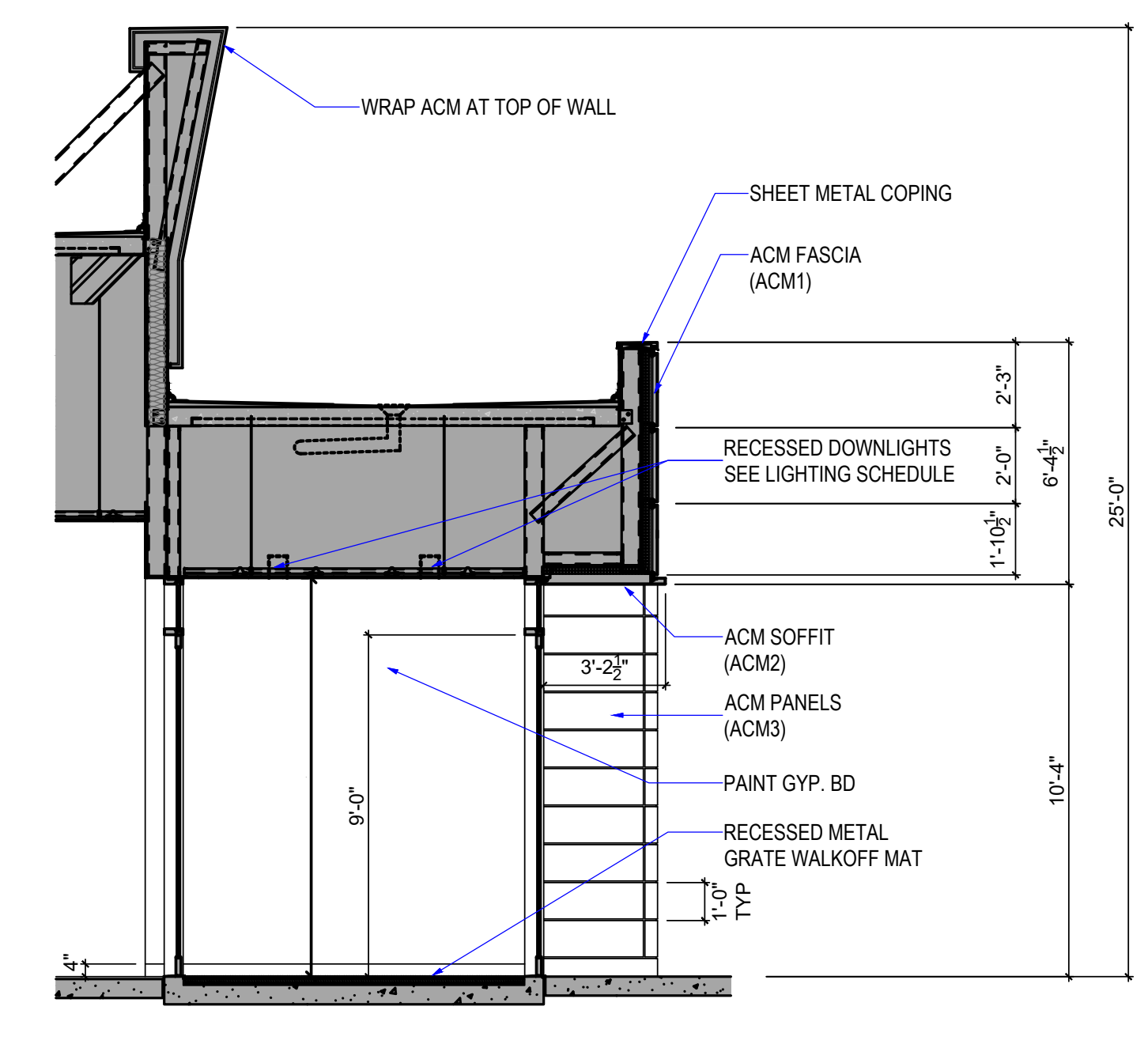
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4750 Highway 520
Cocoa, FL 32926



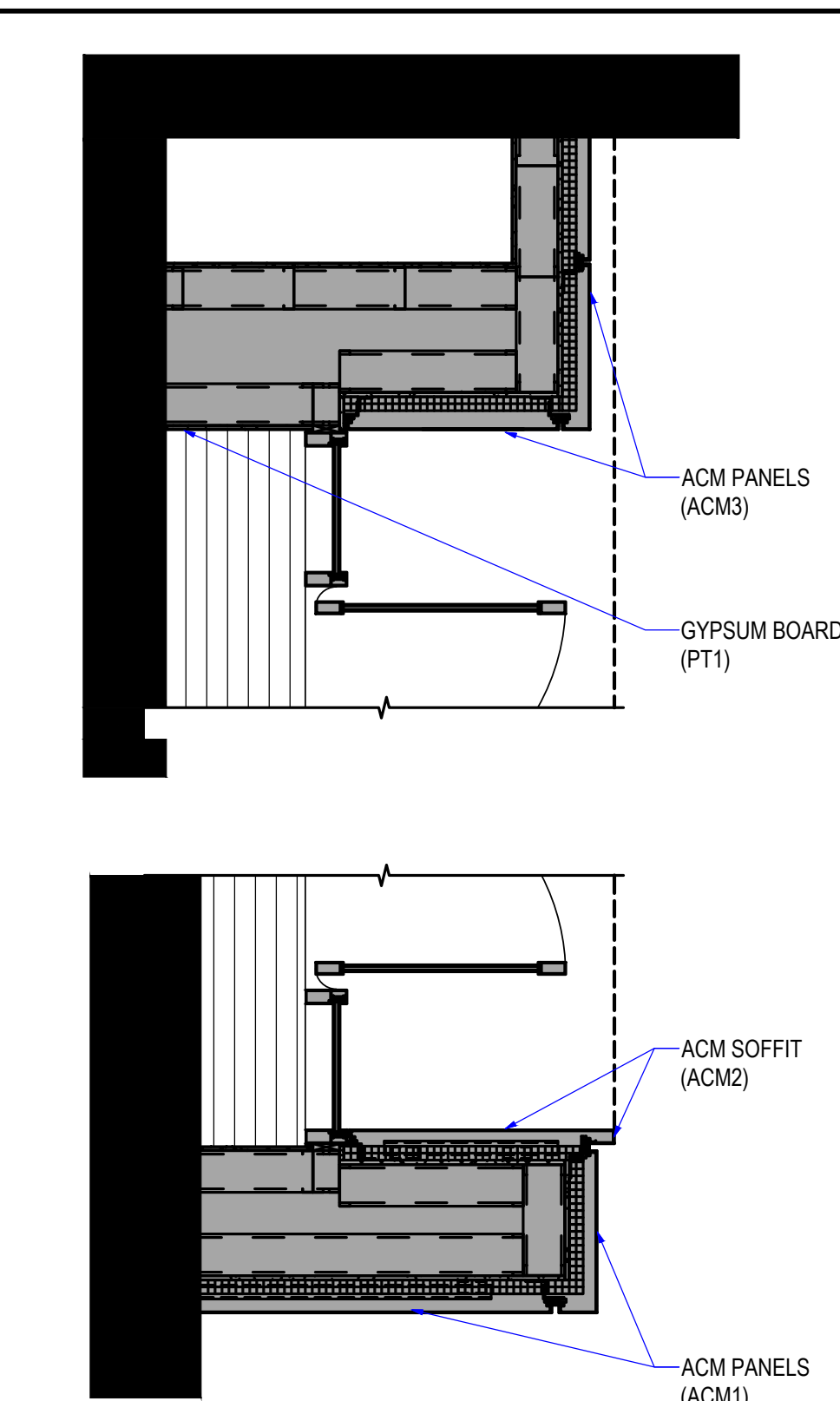
SECTION-FRONT FACADE (TYP.) SCALE 1/4"=1'-0" 7



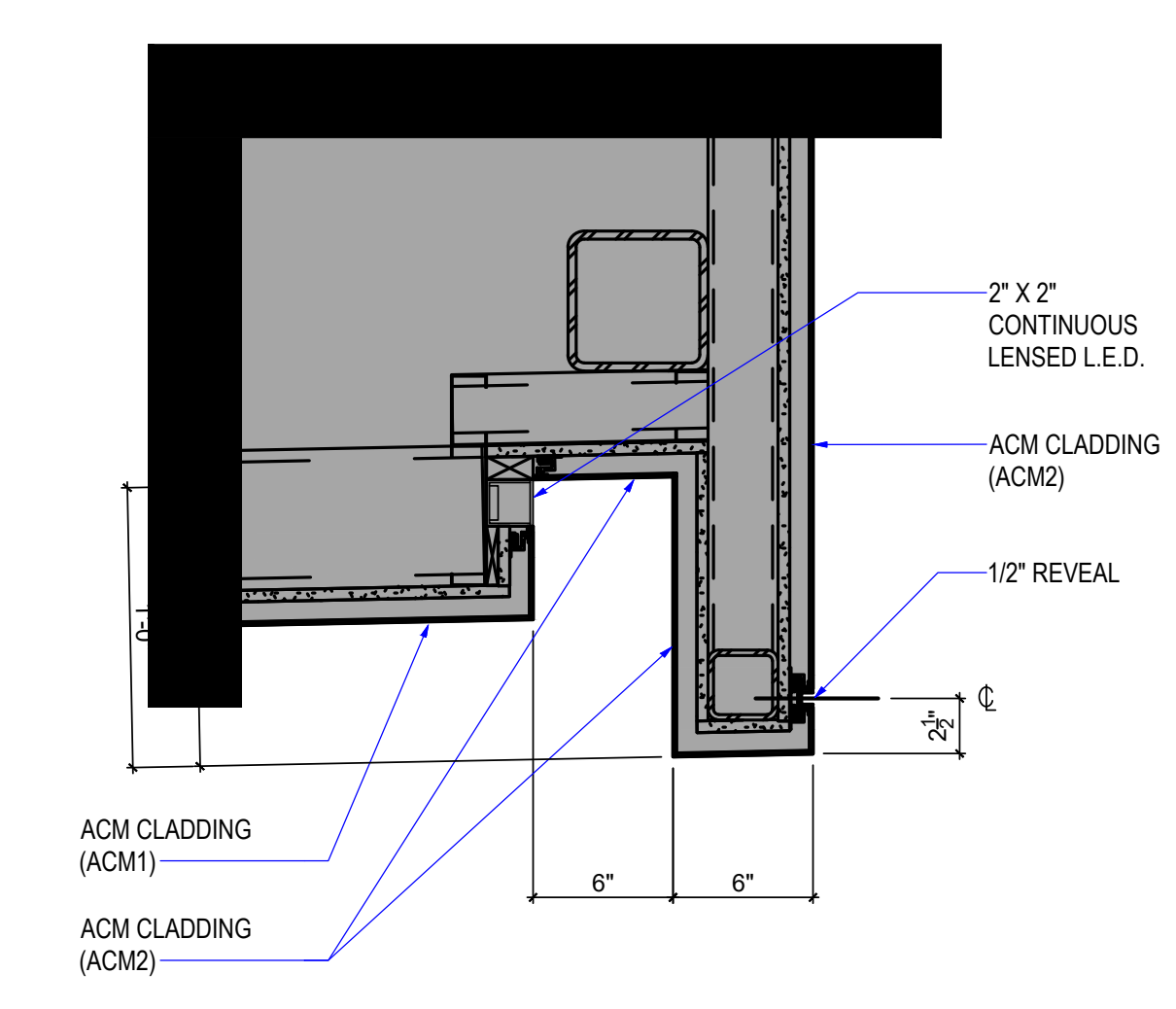
SECTION-ACM ACCENT (SIDE ENTRY) SCALE 1/4"=1'-0" 5



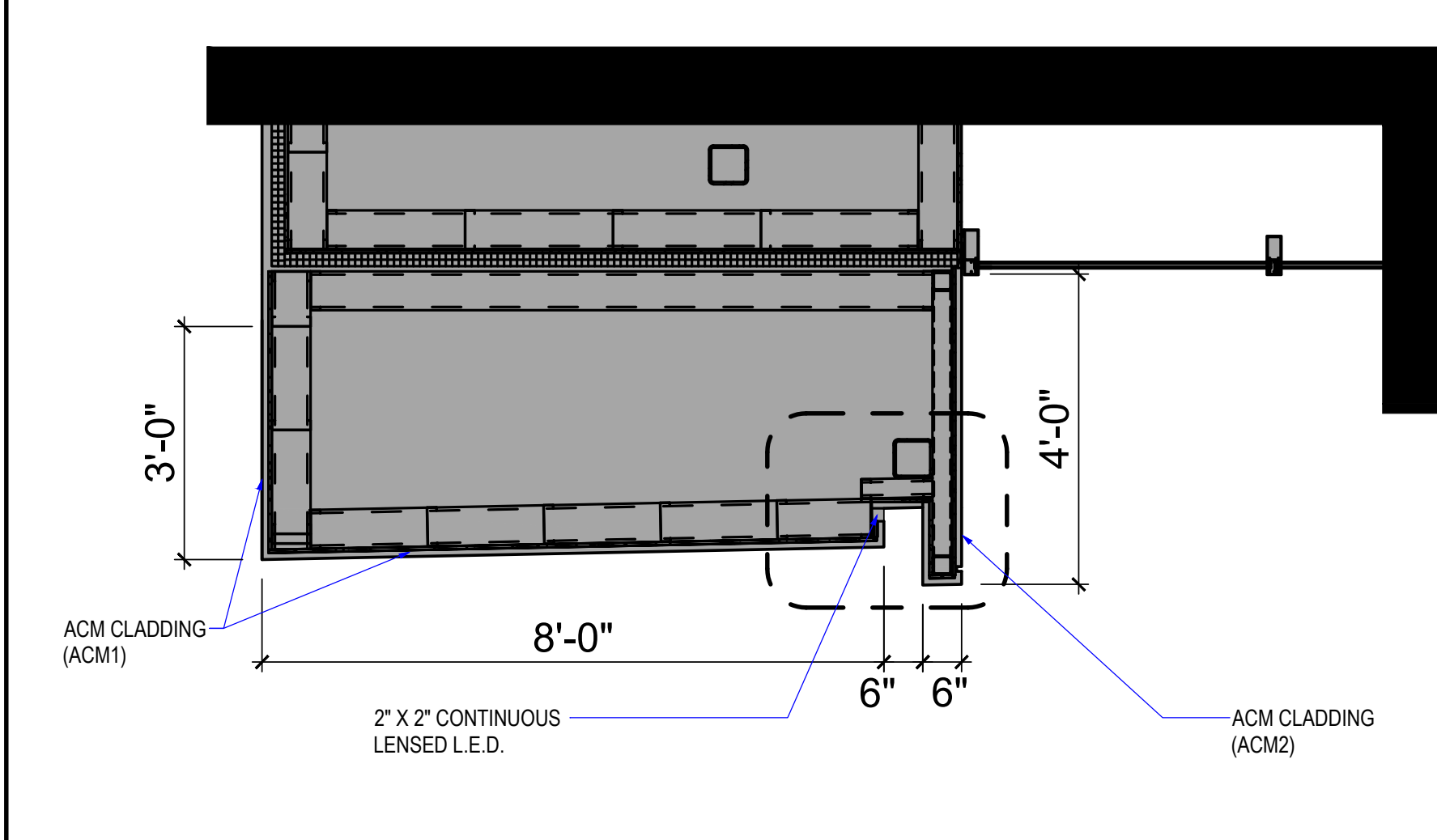
SECTION-VESTIBULE SIDE ENTRY SCALE 1/4"=1'-0" 3



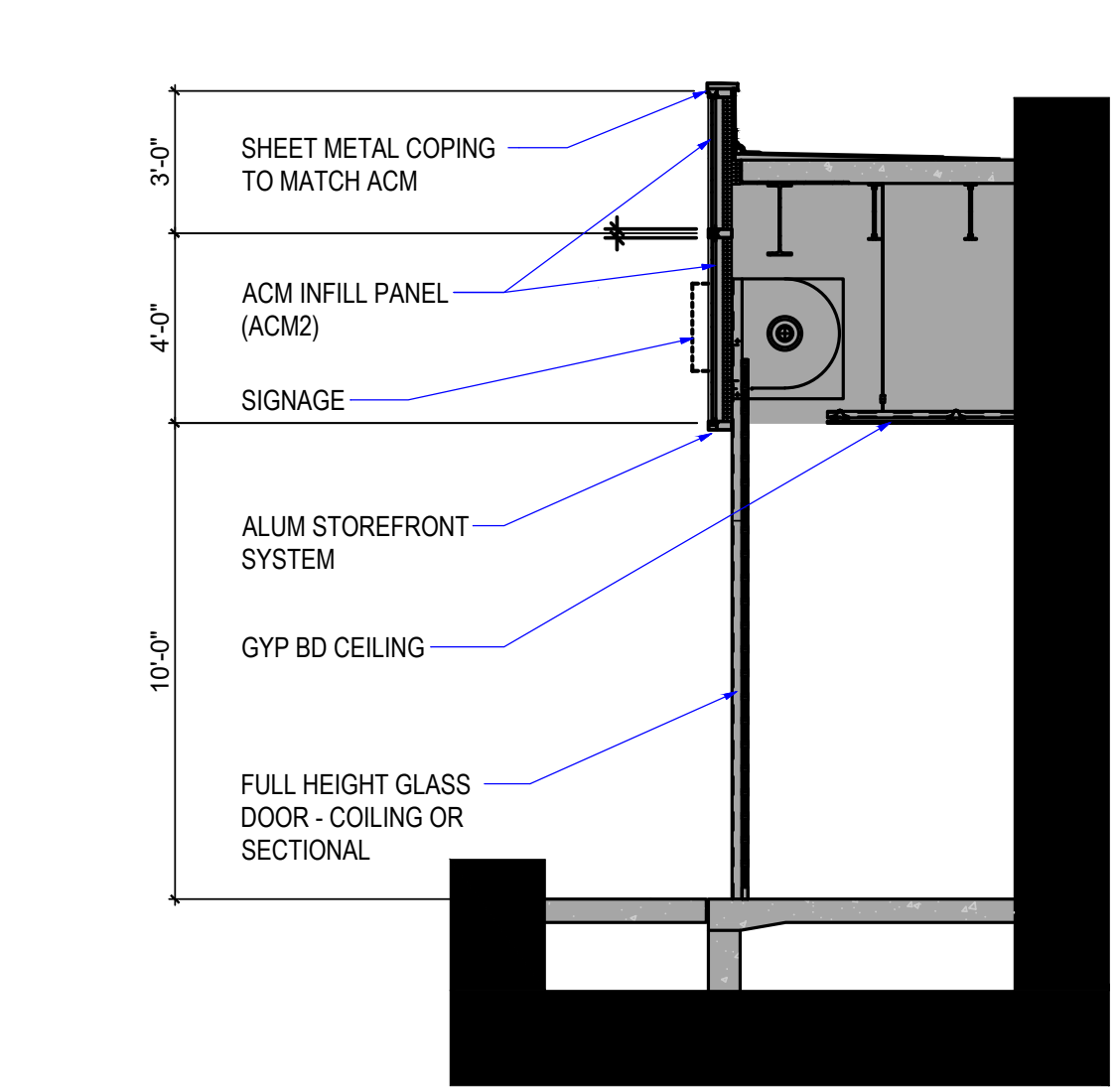
PLAN DTL.-VESTIBULE SIDE ENTRY SCALE 1/2"=1'-0" 1



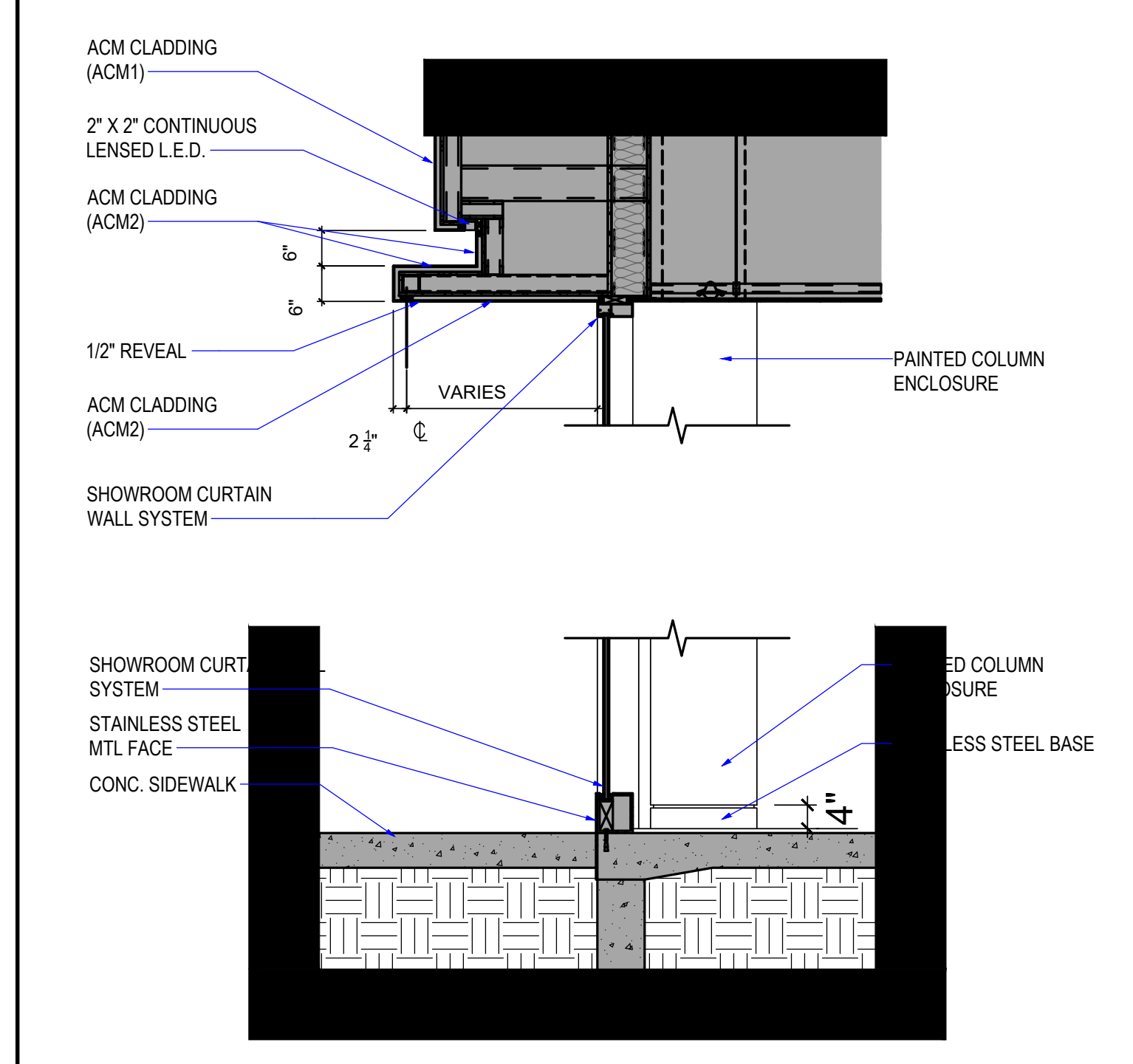
PLAN DTL.-REVEAL LED LIGHT (TYPICAL) SCALE 1-1/2"=1'-0" 8



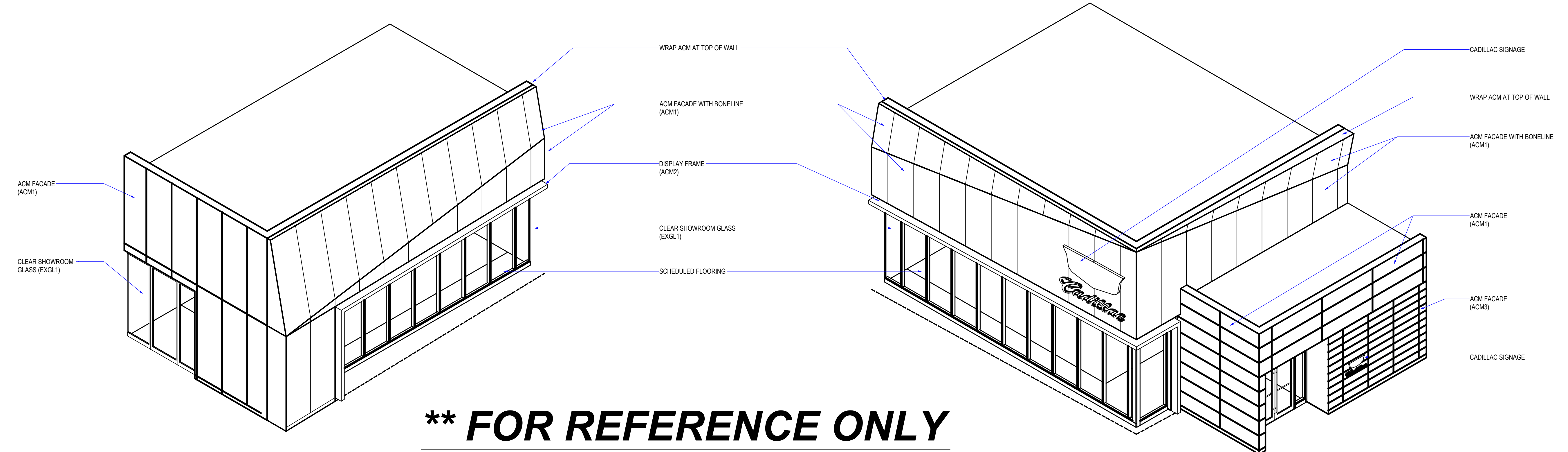
PLAN DTL.-VESTIBULE (FRONT ENTRY) SCALE 1/2"=1'-0" 6



SECTION-SERVICE DRIVE SCALE 1/4"=1'-0" 4



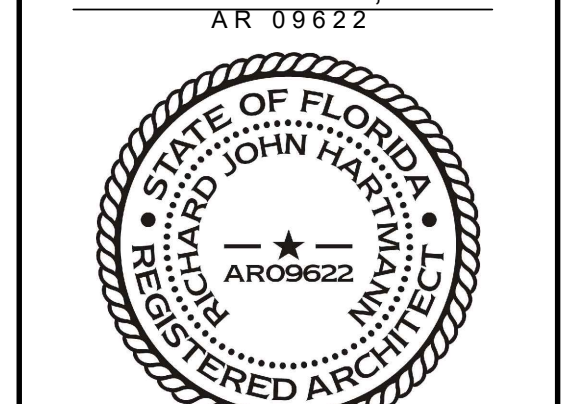
SECTION-FRONT FACADE(HEAD/SILL) SCALE 1/2"=1'-0" 2



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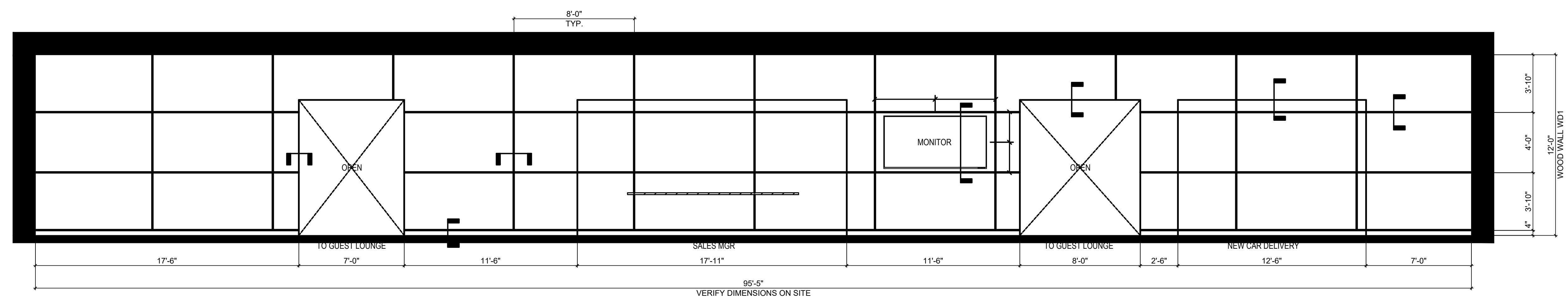
BONELINE CORNER AXON SCALE 9

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Checked By	RJH
Issue Date	02.09.24
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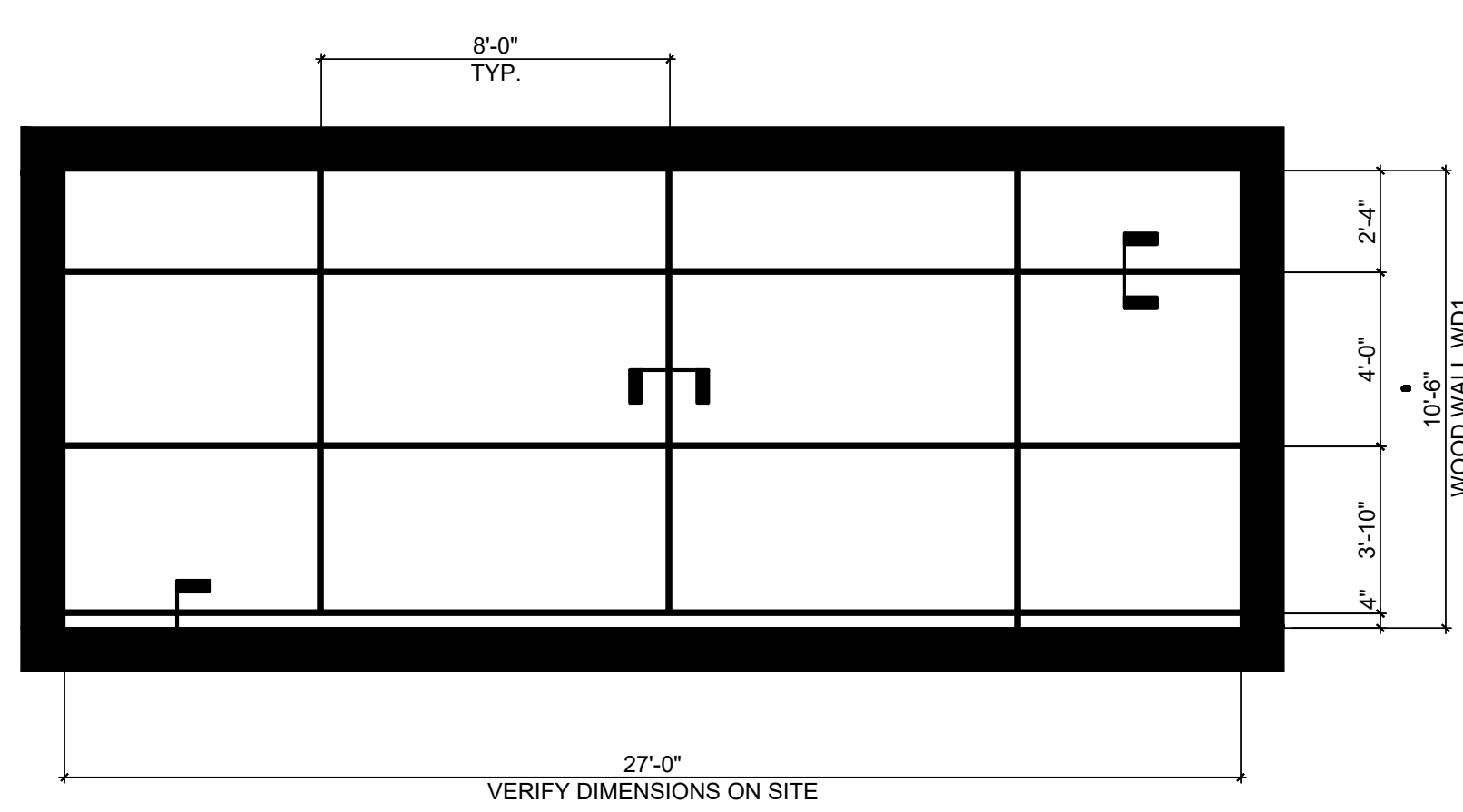
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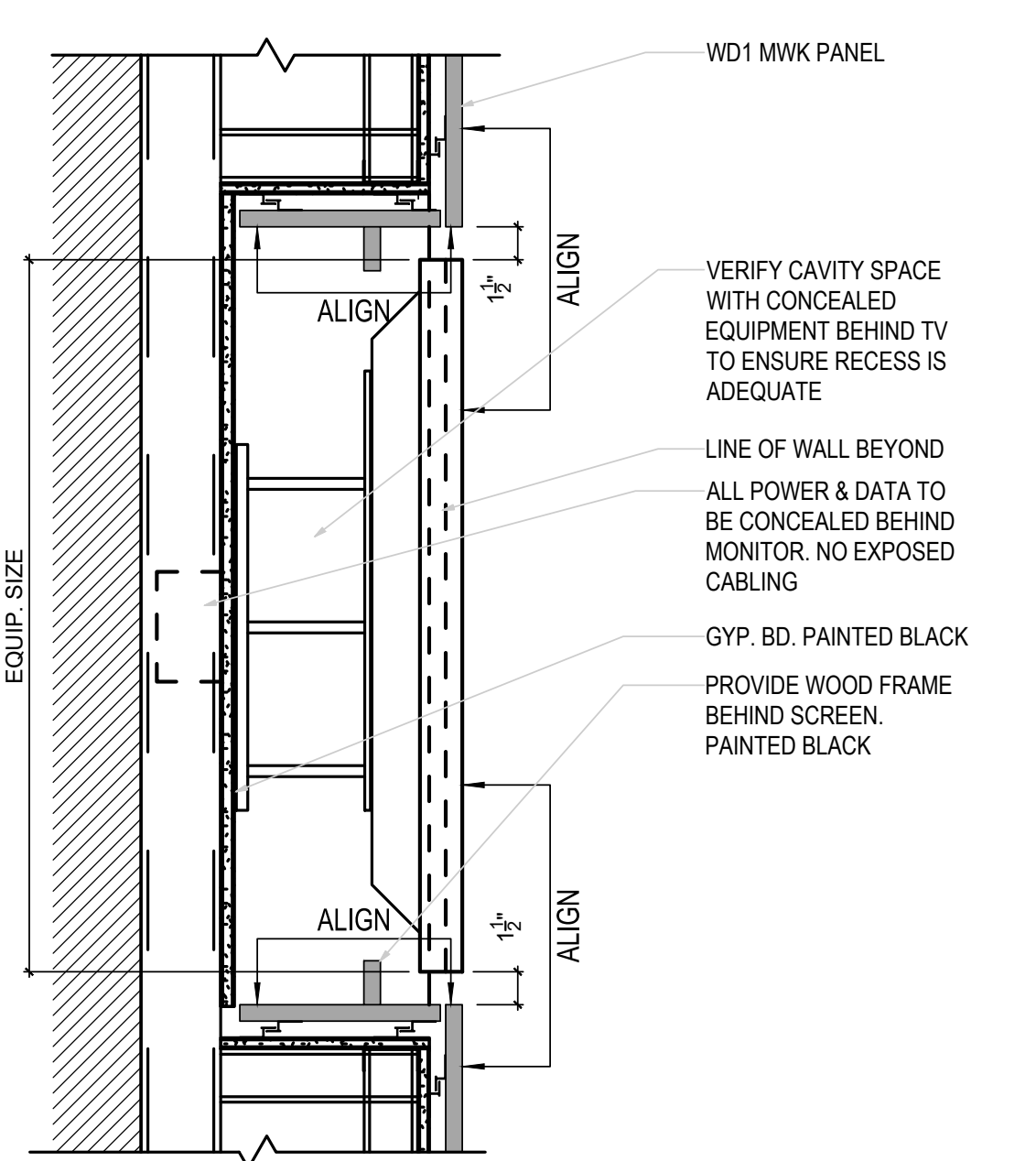


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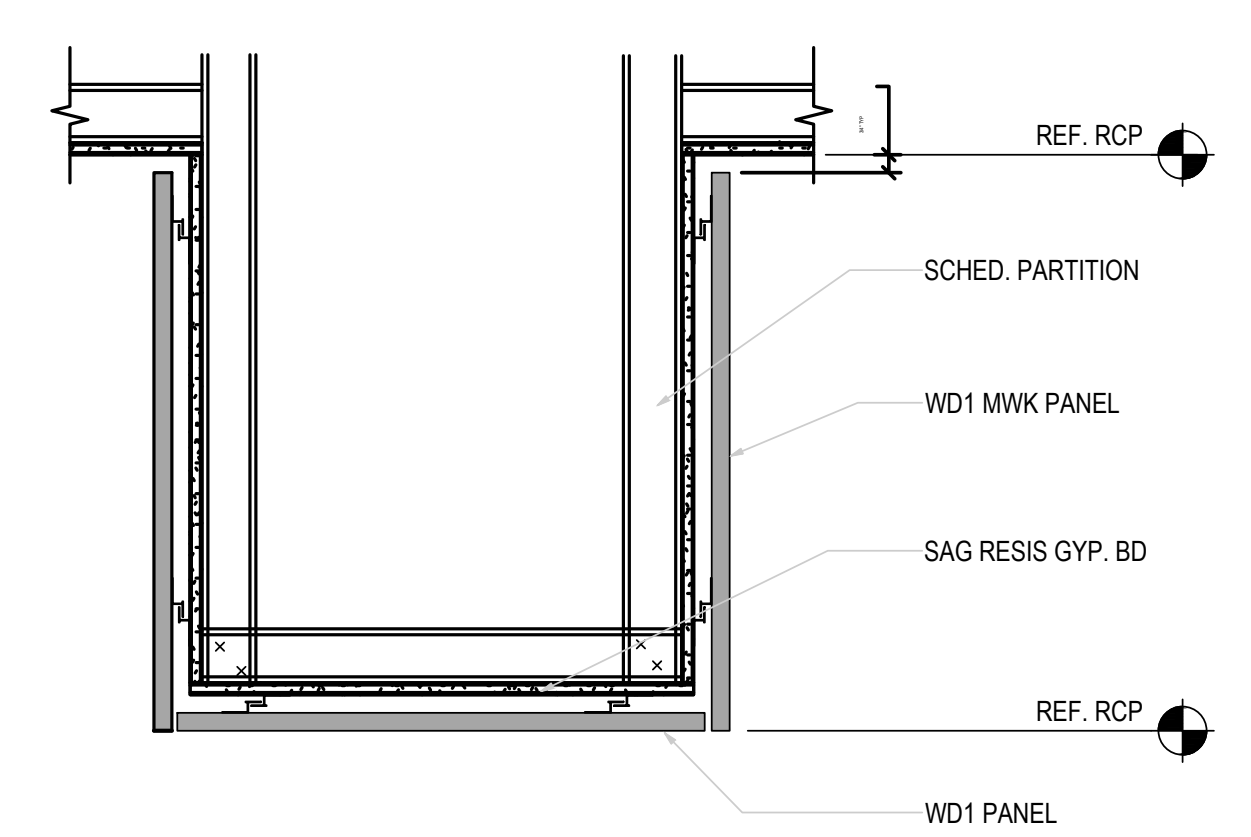
SHOWROOM WOOD WALL ELEVATION SCALE 1/4" = 1'-0" 1



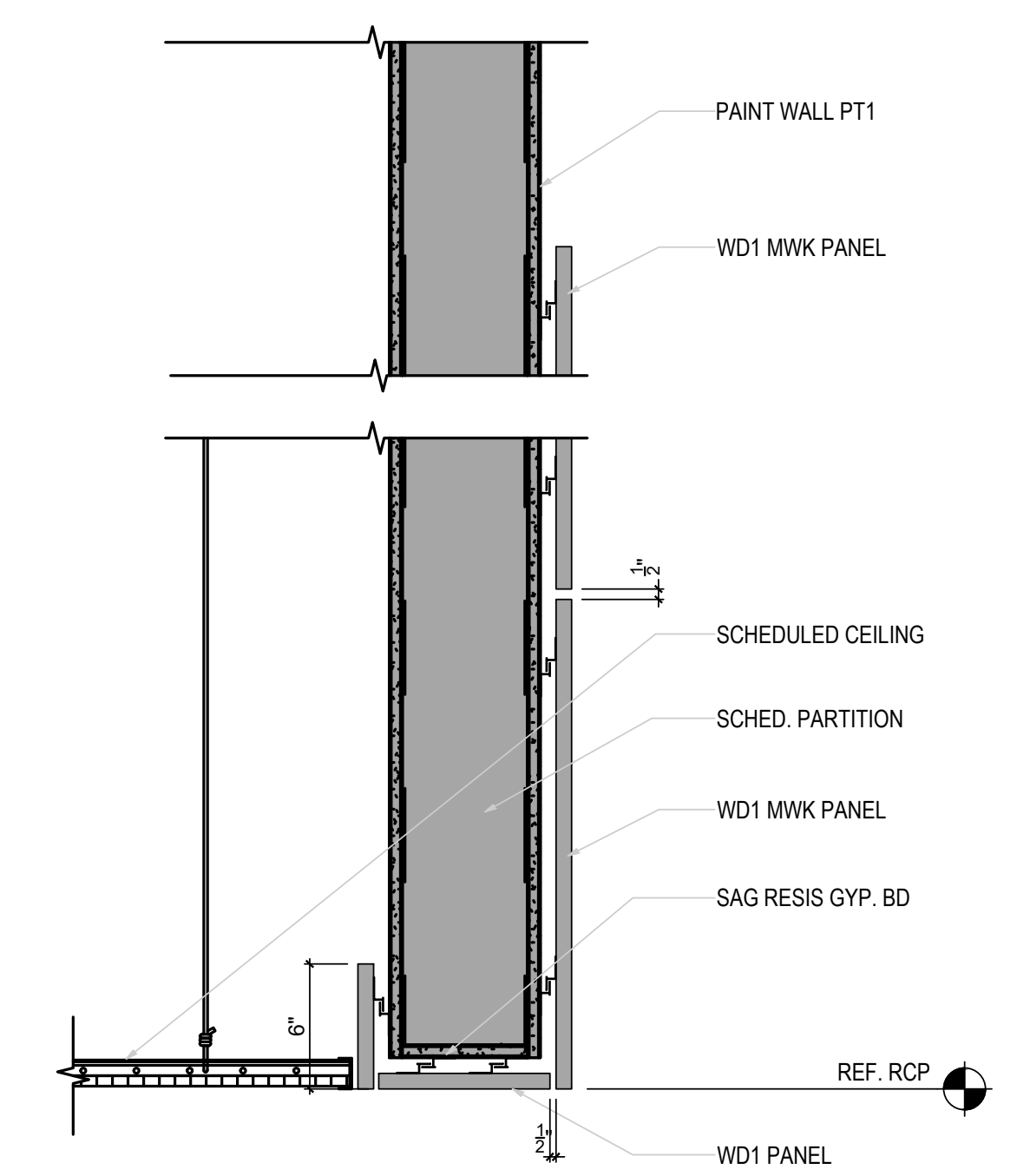
NEW CAR DELIVERY- WOOD WALL ELEVATION SCALE 1/4" = 1'-0" 9



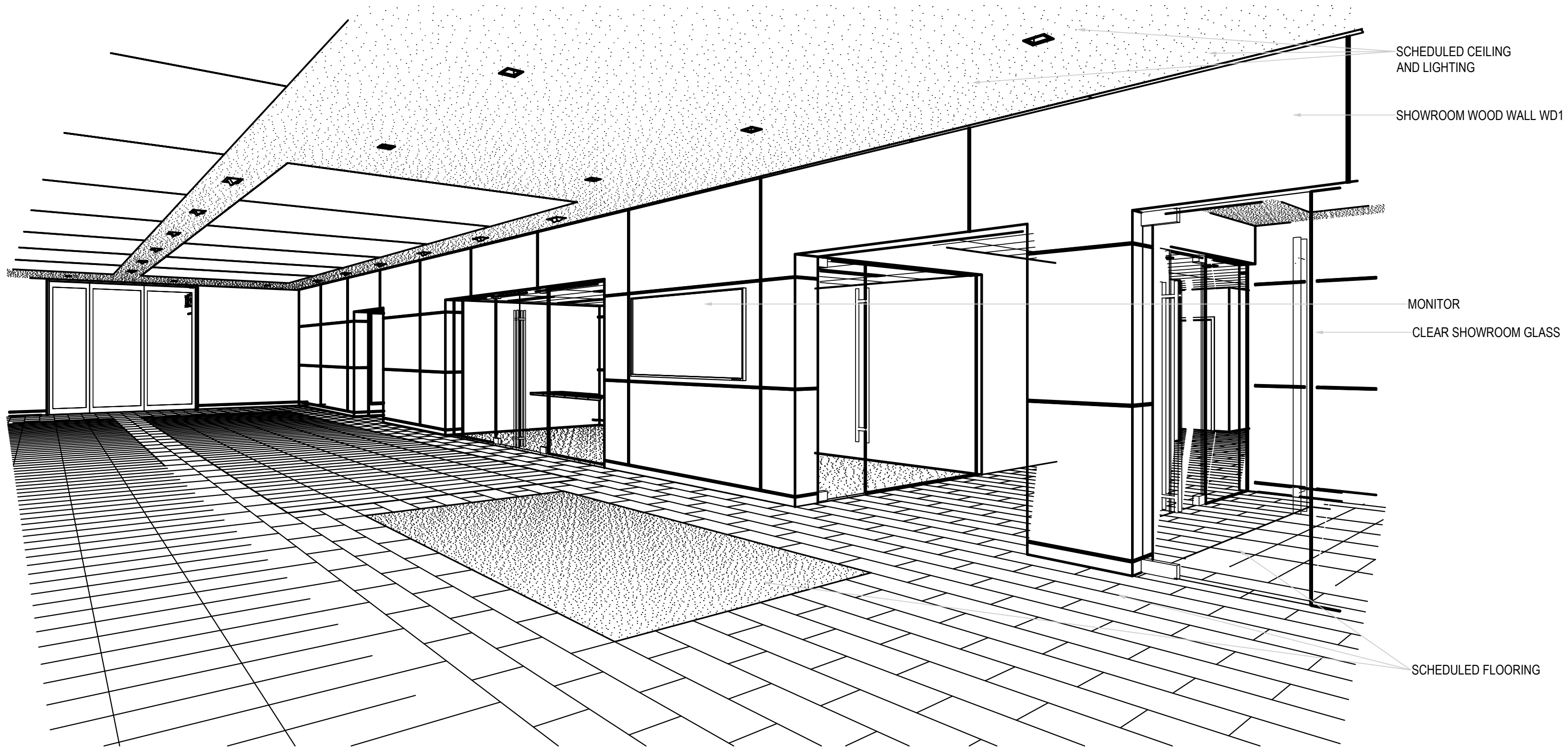
WOOD WALL- MONITORS (TYPICAL) SCALE 1 1/2" = 1'-0" 8



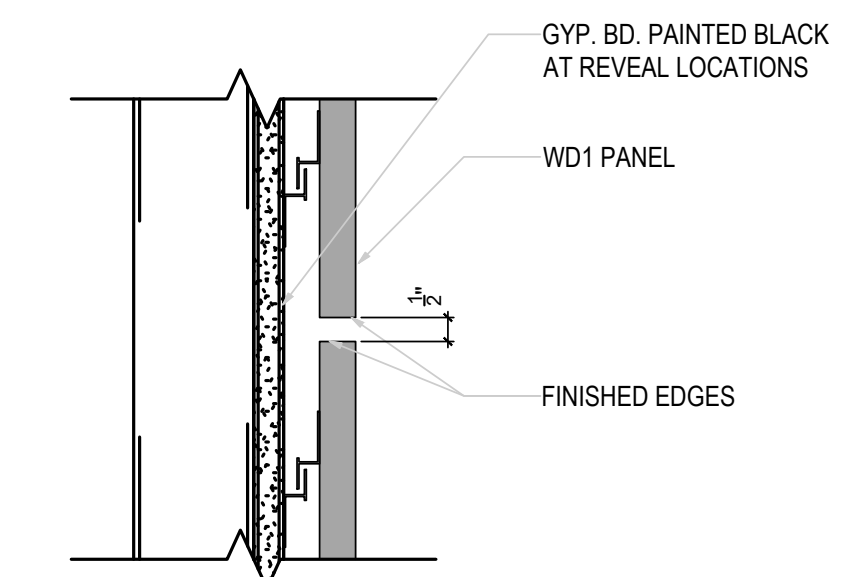
WOOD WALL- HEADER (CORRIDORS) SCALE 1 1/2" = 1'-0" 5



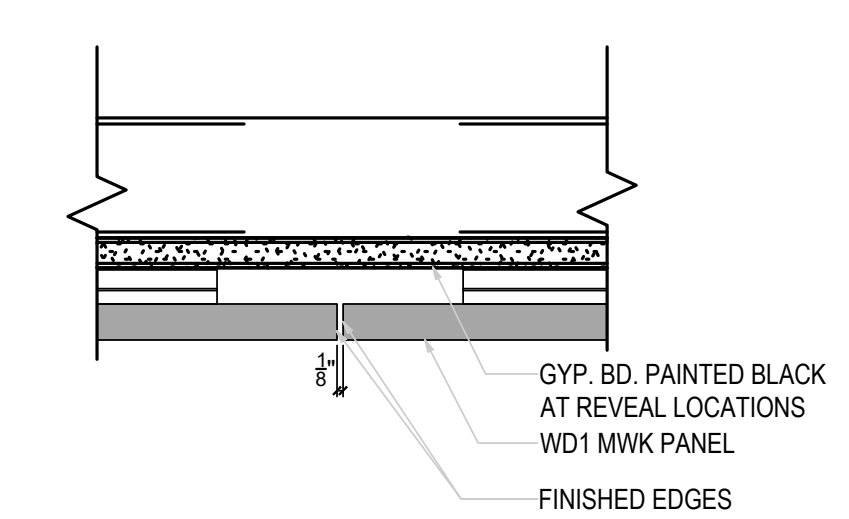
WOOD WALL- HEADER (OFFICES) SCALE 1 1/2" = 1'-0" 2



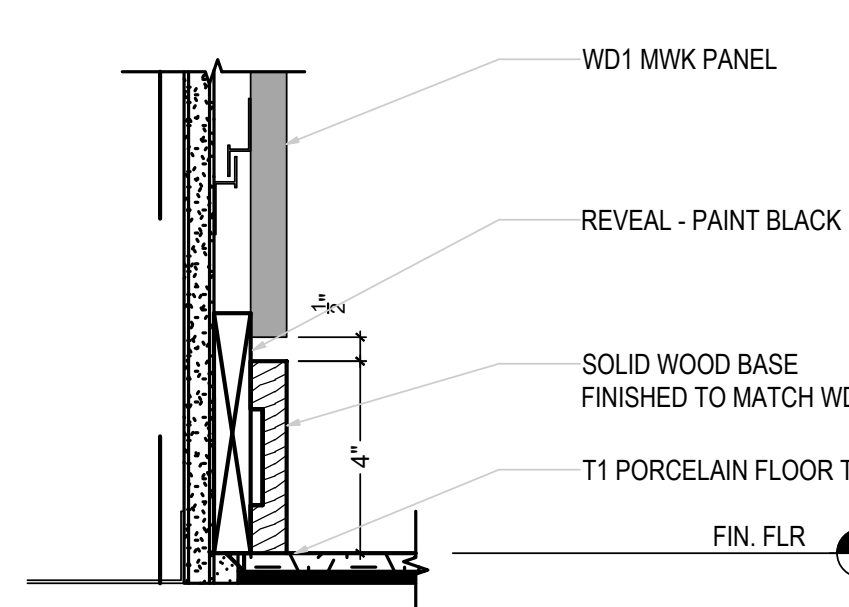
SHOWROOM PERSPECTIVE SCALE 10



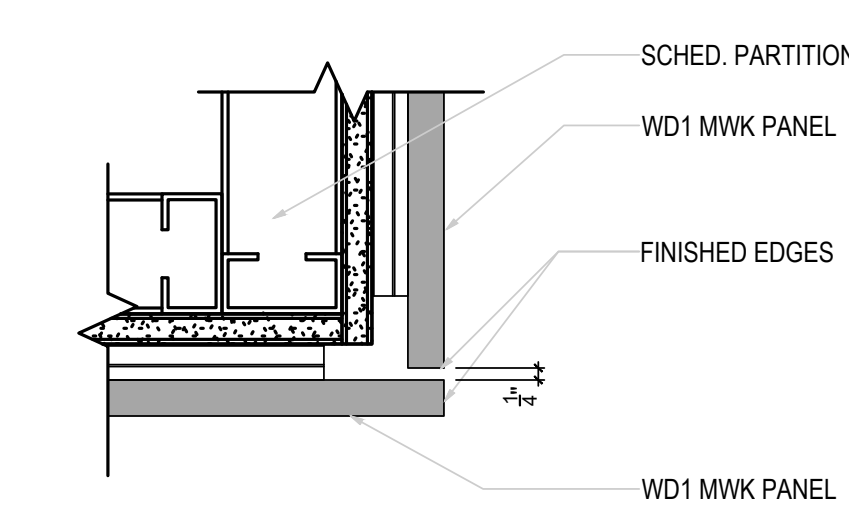
WOOD WALL- HORIZ. REVEAL (TYP.) SCALE 3" = 1'-0" 6



WOOD WALL- VERT. REVEAL (TYP.) SCALE 3" = 1'-0" 3



WOOD WALL- BASE (TYP.) SCALE 3" = 1'-0" 7



WOOD WALL- CORNER (TYP.) SCALE 3" = 1'-0" 4

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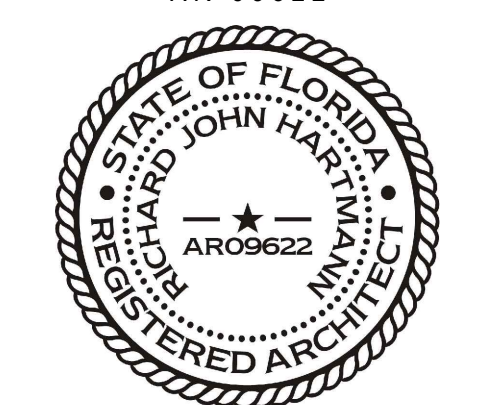
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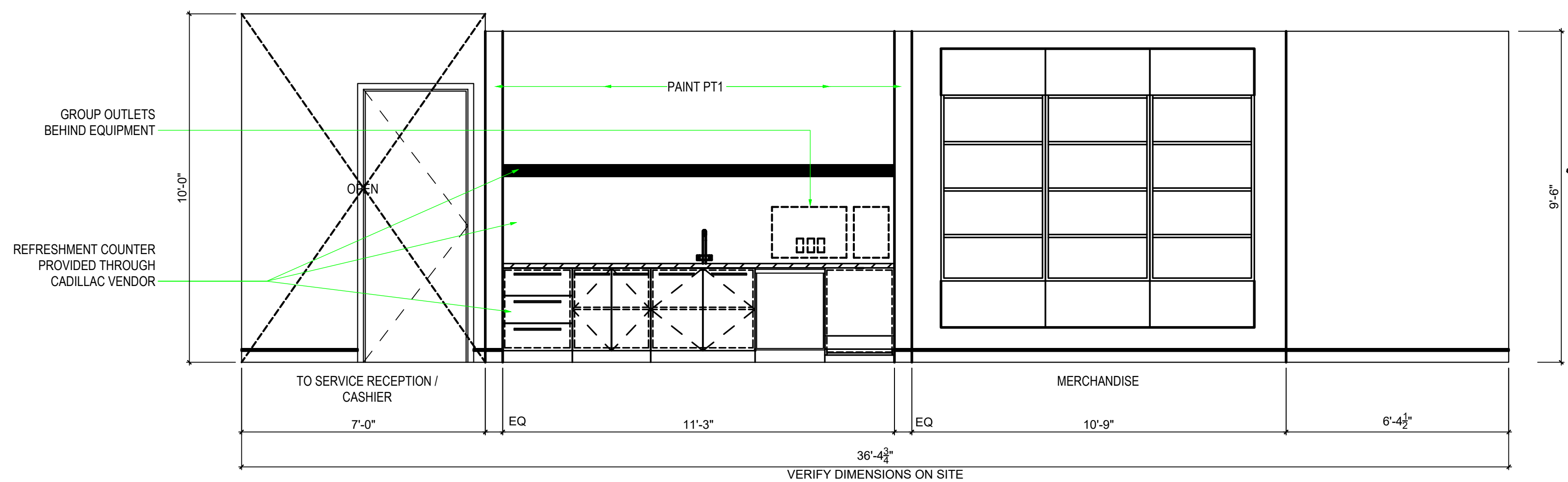


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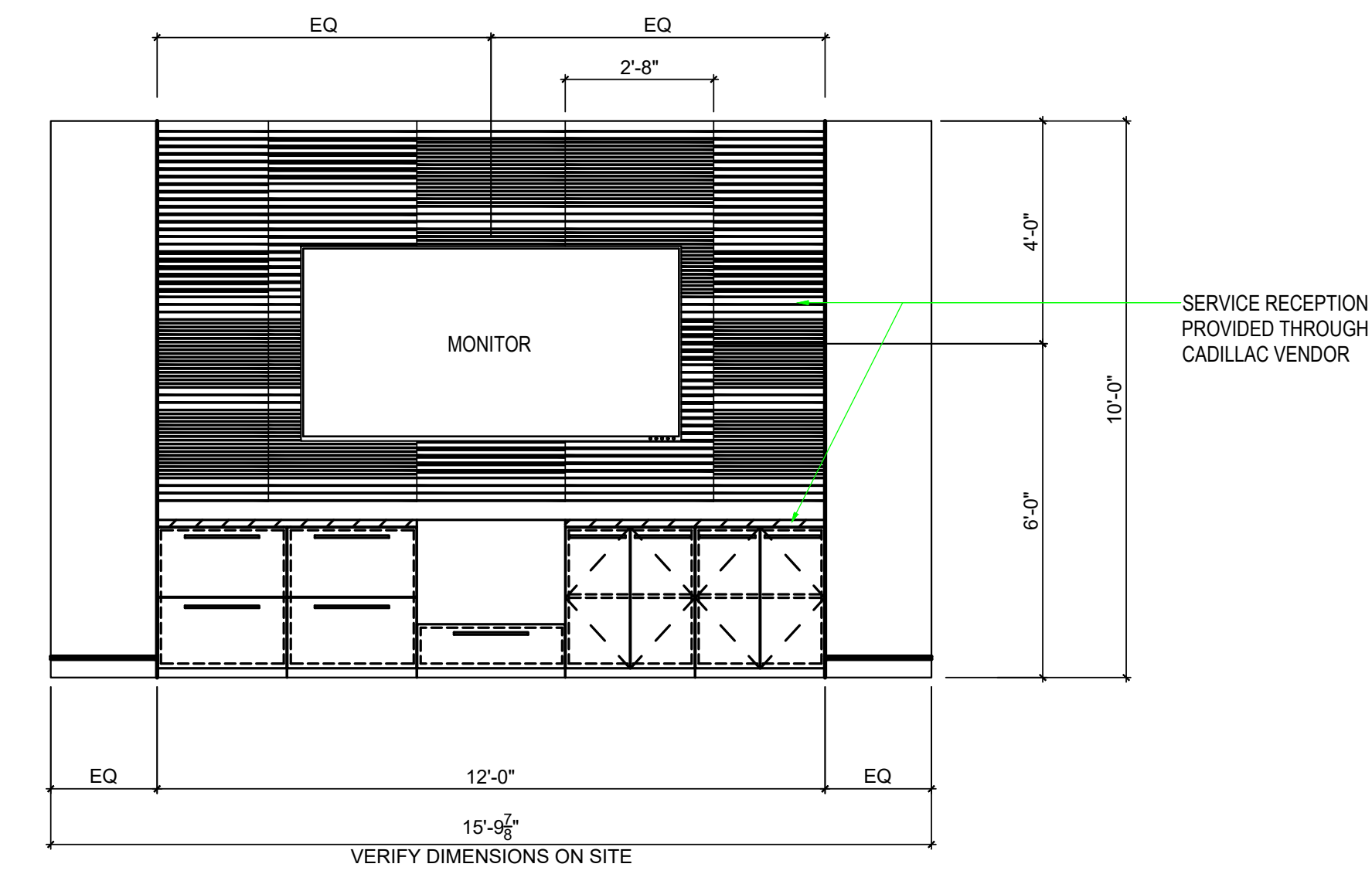
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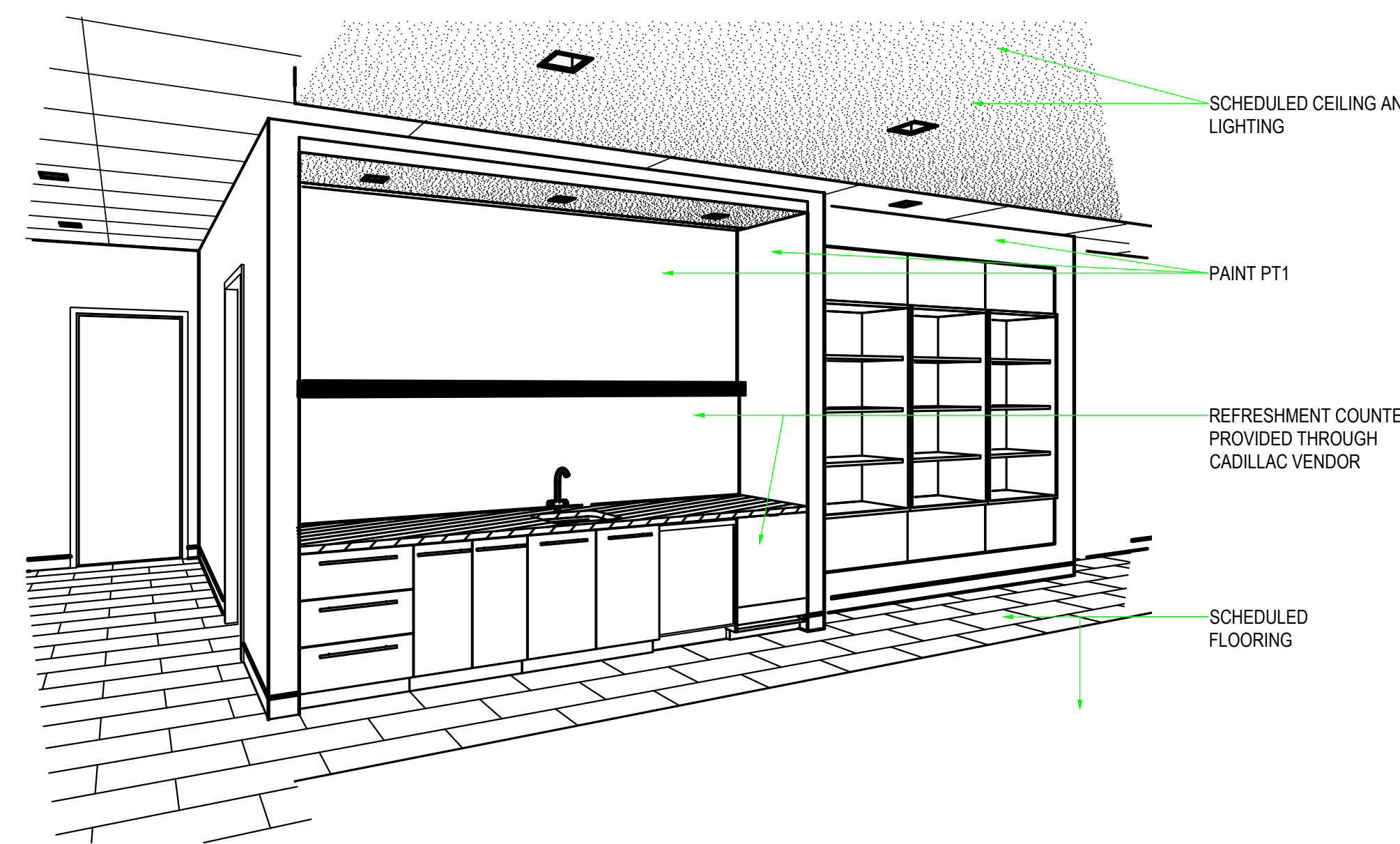


RECEPTION COUNTER ELEVATION

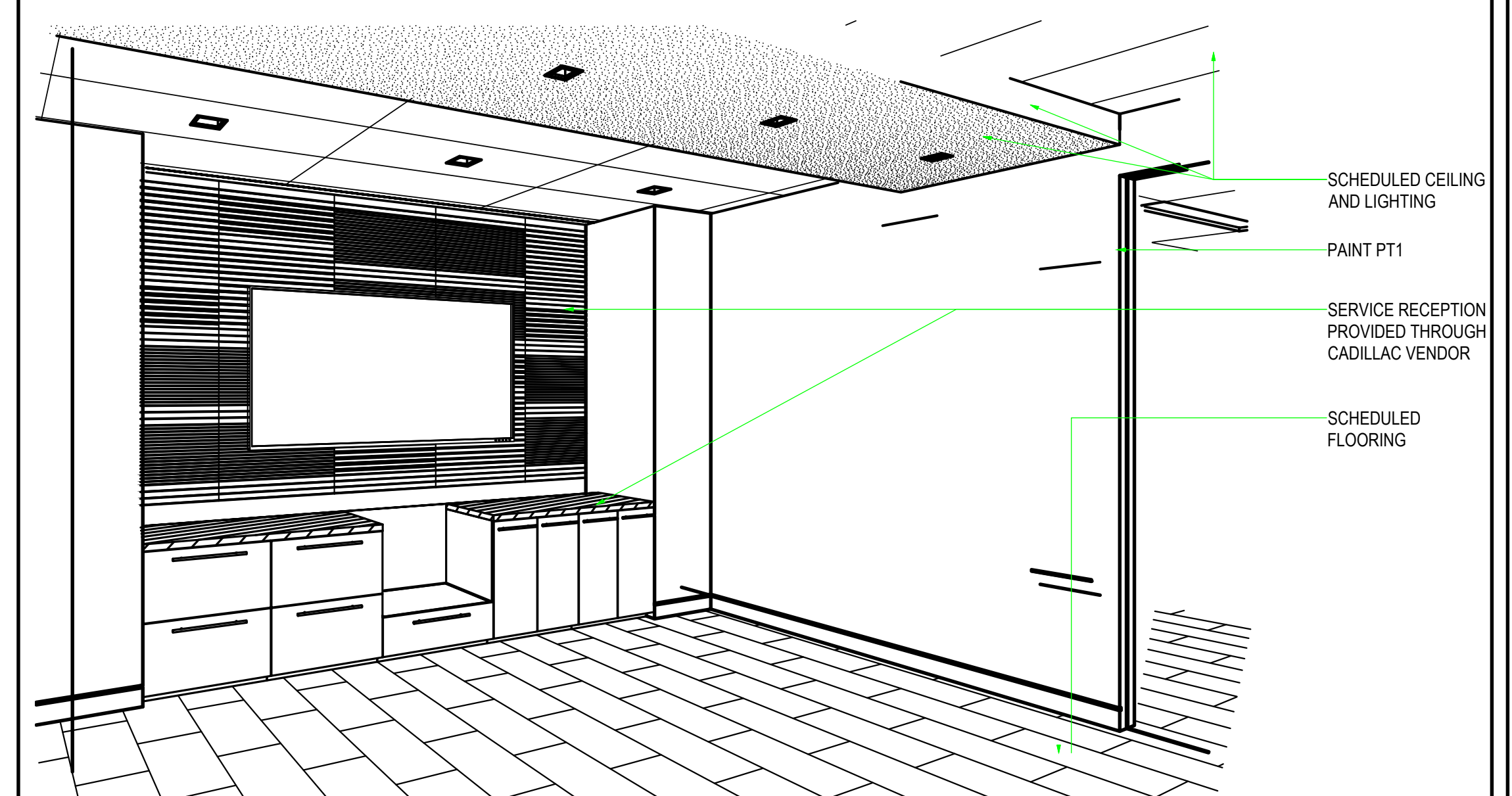


SERVICE RECEPTION ELEVATION

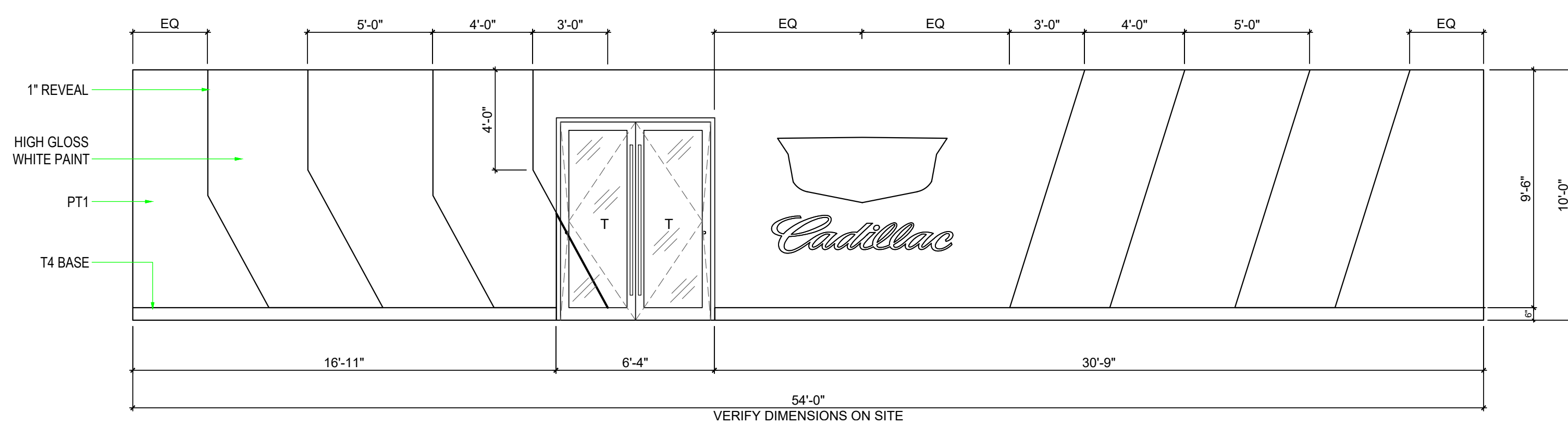
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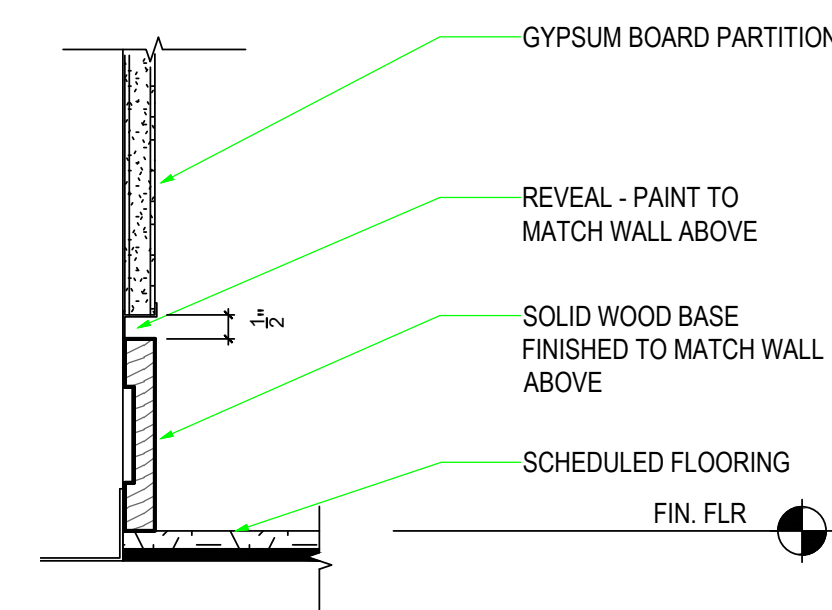
SERVICE RECEPTION PERSPECTIVE



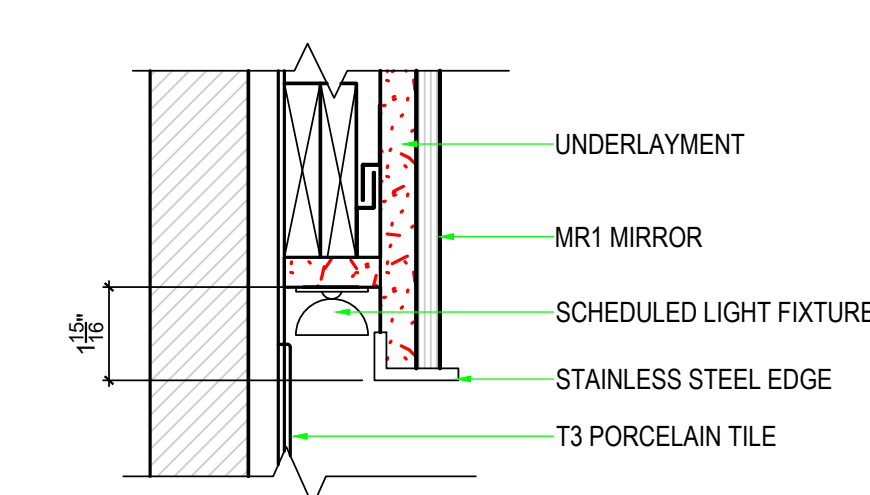
SERVICE RECEPTION PERSPECTIVE



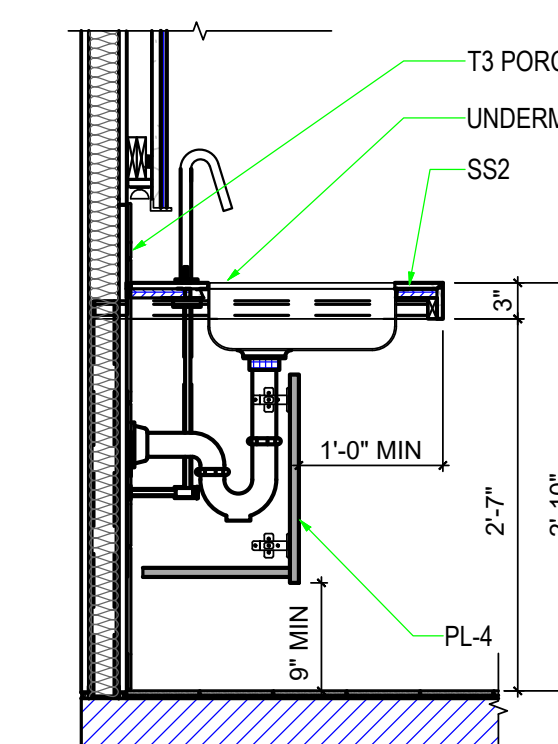
SERVICE LANE ELEVATION



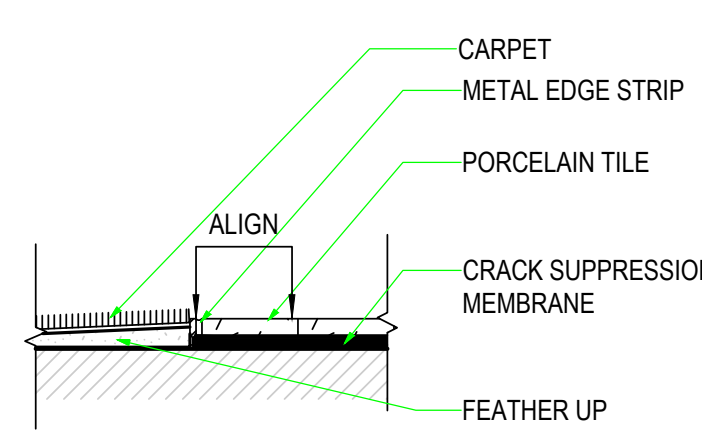
GYPSUM WALL BASE (TYP.)



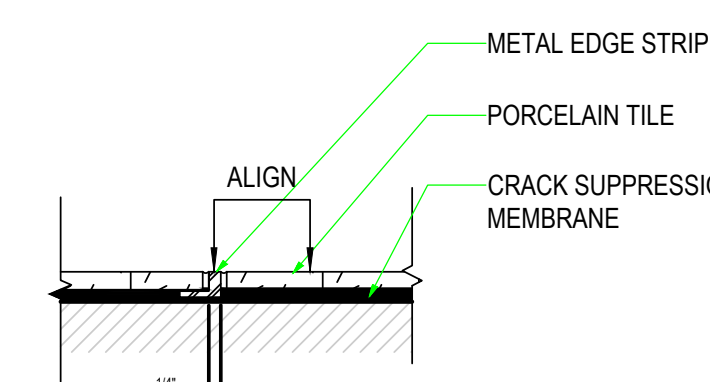
DETAIL-RESTROOM MIRROR



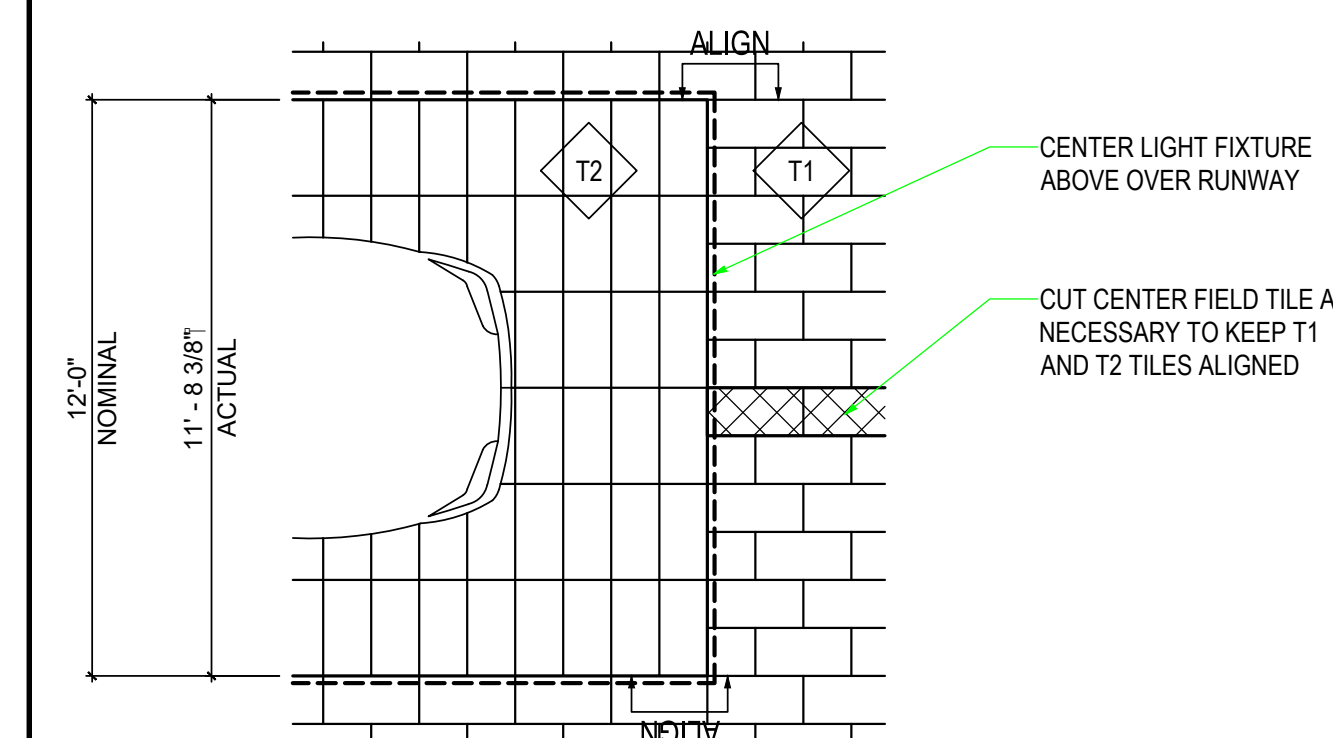
SECTION-RESTROOM SINK



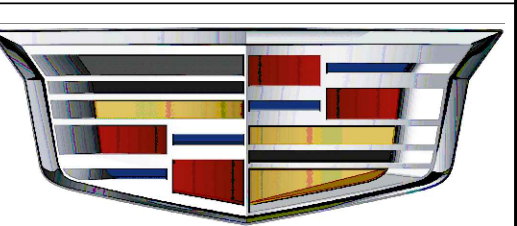
TILE FLOOR TO TILE FLOOR



TILE FLOOR TO CARPET



RUNWAY TILE @ FIELD TILE



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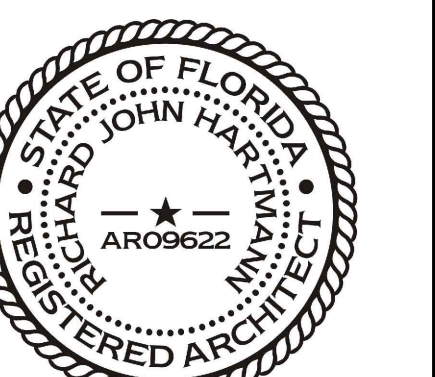
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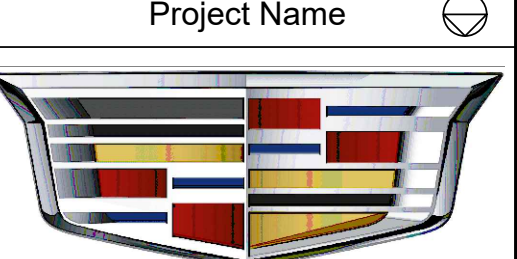
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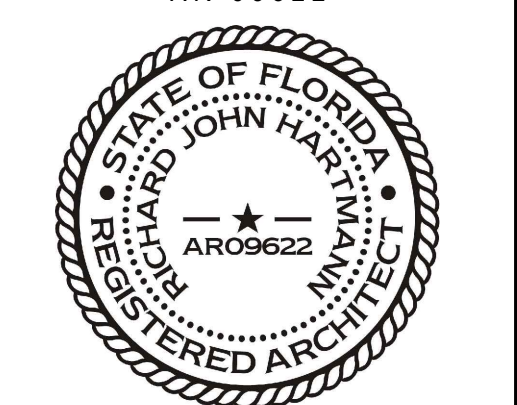
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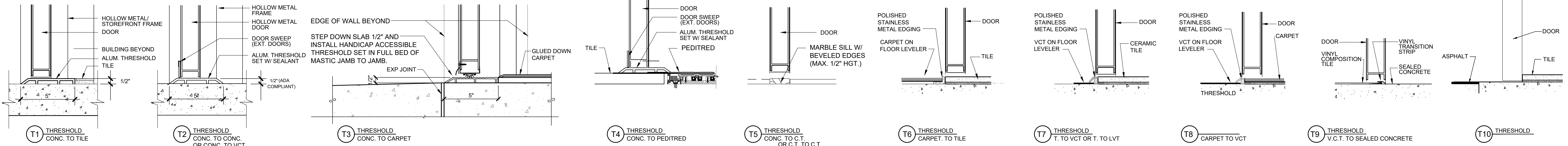
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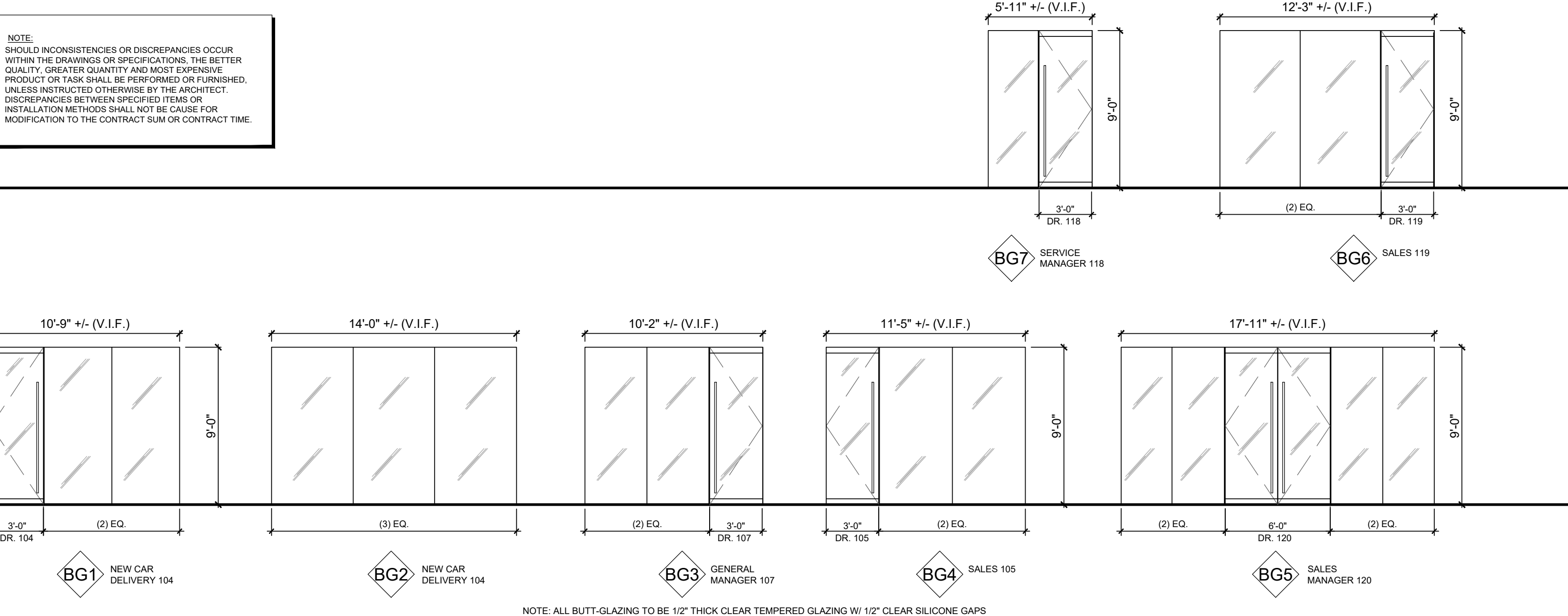
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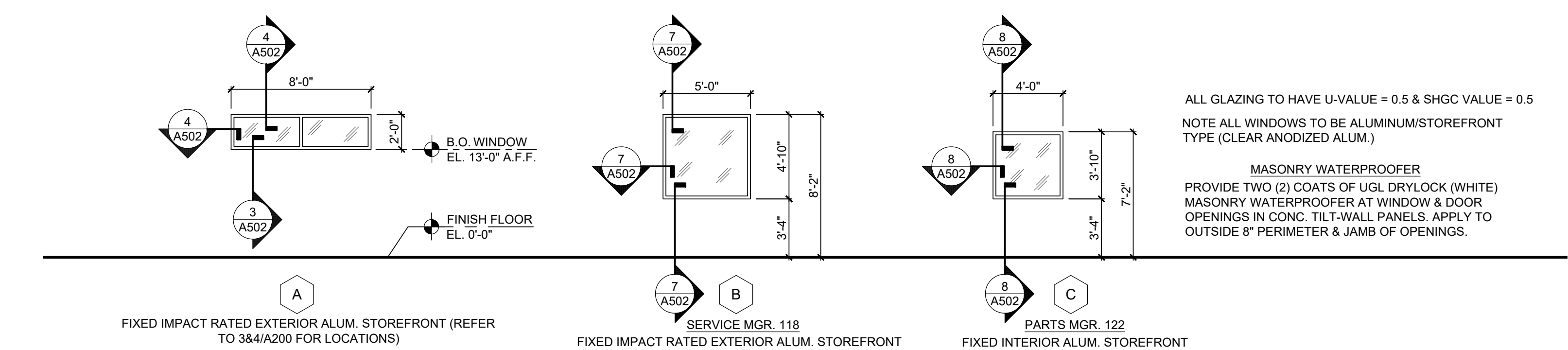
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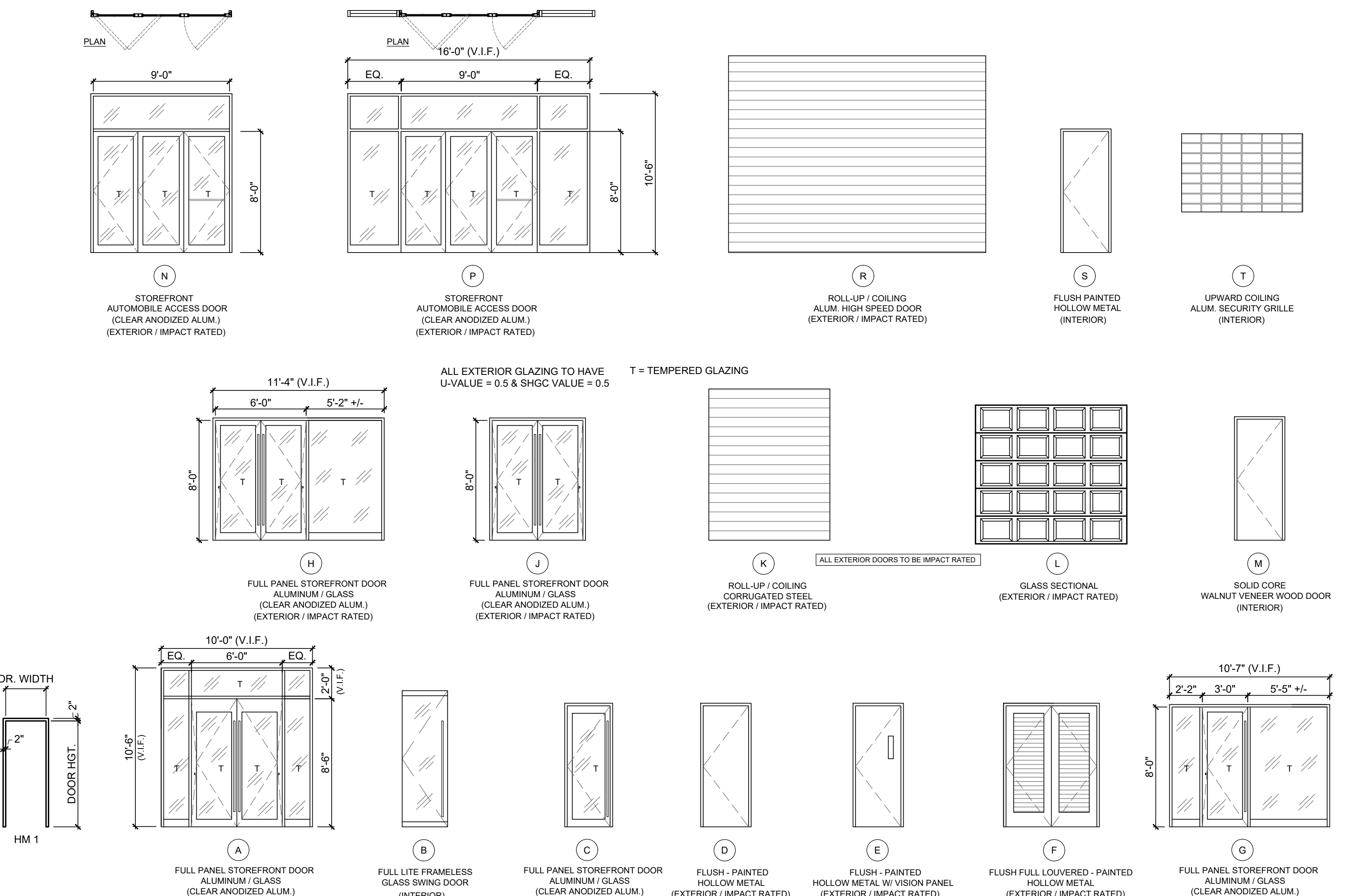
TRANSITION TYPES SCALE N.T.S. 5



INTERIOR BUTT-GLAZING PROFILES SCALE 3/16"=1'-0" 4



WINDOW TYPES SCALE 3/16"=1'-0" 3



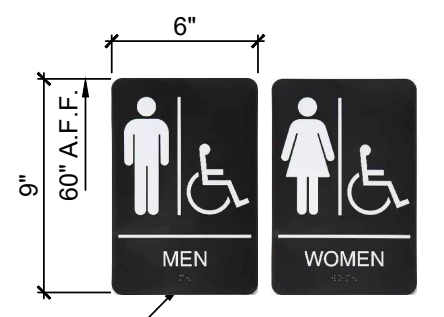
DOOR & FRAME TYPES SCALE 3/16"=1'-0" 2

DOOR SCHEDULE

DOOR							FRAME		DETAIL			FINISH			
DOOR#	DOOR TYPE	WIDTH	HEIGHT	THK	MAT'L	RATING	HDW	TYPE	MAT'L	HEAD	JAMB	THRESH/SILL	DR	FRAME	
100	A	(2) 3'-0"	8'-6"	1-3/4"	SF		AL 01	ALUM.	SF	5/A502			ALUM.	ALUM.	LADDER PULLS / IMPACT RATED
100A	A	(2) 3'-0"	8'-6"	1-3/4"	SF		AL 01	ALUM.	SF	6/A502			ALUM.	ALUM.	LADDER PULLS / IMPACT RATED
102	M	3'-0"	8'-0"	1-3/4"	SC WD		13	ALUM.	SF	10/A501	10/A501		PAINT	PAINT	
103	N	(3) 3'-0"	8'-0"	1-3/4"	SF		AL 01			16/A501	15/A501		ALUM.	ALUM.	AUTO ACCESS DOOR / LADDER / IMPACT RATED
104	B	3'-0"	9'-0"	1-3/4"	GLASS		AL 01	FRAMELESS	HM 1				-	-	FRAMELESS, GLASS SWING DOOR / LADDER PULLS
104A	P	(3) 3'-0"	8'-0"	1-3/4"	SF		AL 01		HM 1	16/A501	15/A501		ALUM.	ALUM.	AUTO ACCESS DOOR / ARCH. TUBULAR PULLS / IMPACT RATED
105	B	3'-0"	9'-0"	1-3/4"	GLASS		AL 01	FRAMELESS	HM 1				-	-	FRAMELESS, GLASS SWING DOOR / LADDER PULL
106	M	3'-0"	8'-0"	1-3/4"	SC WD		10	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
107	B	3'-0"	9'-0"	1-3/4"	GLASS		AL 01	FRAMELESS							FRAMELESS, GLASS SWING DOOR / LADDER PULL
108	M	3'-0"	8'-0"	1-3/4"	SC WD		09	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
109	M	3'-0"	8'-0"	1-3/4"	SC WD		14	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
110	M	3'-0"	8'-0"	1-3/4"	SC WD		11	HM	HM 1	10/A501	10/A501		PAINT	PAINT	UNDERCUT 1" / ADA SIGNAGE
111	M	3'-0"	8'-0"	1-3/4"	SC WD		11	HM	HM 1	10/A501	10/A501		PAINT	PAINT	UNDERCUT 1" / ADA SIGNAGE
112	M	3'-0"	8'-0"	1-3/4"	SC WD		10	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
114	M	3'-0"	8'-0"	1-3/4"	SC WD		13	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
115	D	4'-0"	8'-0"	1-3/4"	HM		02	HM	HM 1	11/A501	11/A501		PAINT	PAINT	
116	M	3'-0"	8'-0"	1-3/4"	SC WD		10	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
117	H	(2) 3'-0"	8'-0"	1-3/4"	SF		AL 01	ALUM.	SF	12/A501	12/A501		ALUM.	ALUM.	LADDER PULLS
118	B	3'-0"	8'-0"	1-3/4"	GLASS		AL 01	FRAMELESS							FRAMELESS, GLASS SWING DOOR / LADDER PULL
119	B	3'-0"	9'-0"	1-3/4"	GLASS		AL 01	FRAMELESS							FRAMELESS, GLASS SWING DOOR / LADDER PULL
120	B	(2) 3'-0"	9'-0"	1-3/4"	GLASS		AL 01	FRAMELESS							FRAMELESS, GLASS SWING DOOR / LADDER PULLS
121	G	3'-0"	8'-0"	1-3/4"	SF		AL 01	ALUM.	SF	12/A501	12/A501		ALUM.	ALUM.	LADDER PULLS
121A	L	11'-6"	12'-0"	-	AL/GLASS								ALUM.	ALUM.	POWERED ROLL-UP W/ FULL VISION PANELS / IMPACT RATED
121B	L	11'-6"	12'-0"	-	AL/GLASS								ALUM.	ALUM.	POWERED ROLL-UP W/ FULL VISION PANELS / IMPACT RATED
121C	L	11'-6"	12'-0"	-	AL/GLASS								ALUM.	ALUM.	POWERED ROLL-UP W/ FULL VISION PANELS / IMPACT RATED
121D	L	11'-6"	12'-0"	-	AL/GLASS								ALUM.	ALUM.	POWERED ROLL-UP W/ FULL VISION PANELS / IMPACT RATED
121E	C	3'-0"	8'-0"	1-3/4"	SF		AL 01	ALUM.	SF	1/A502	1&2/A502		ALUM.	ALUM.	LADDER PULL / IMPACT RATED
121F	C	3'-0"	8'-0"	1-3/4"	SF		AL 01	ALUM.	SF	1/A502	1&2/A502		ALUM.	ALUM.	LADDER PULL / IMPACT RATED
121G	J	(2) 3'-0"	8'-0"	1-3/4"	SF		AL 01	ALUM.		4/A501	4/A501		ALUM.	ALUM.	LADDER PULLS
122	S	3'-0"	7'-0"	1-3/4"	SC WD		10	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
123	E	3'-0"	8'-0"	1-3/4"	HM		03	HM	HM 1	3/A501	3/A501		PAINT	PAINT	
123A	K	8'-0"	8'-0"	-	STL		01	STL	STL	2/A501	1/A501		STL	STL	POWERED ROLL-UP
123B	S	3'-0"	7'-0"	1-3/4"	SC WD		06	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
123C	T	8'-0"	4'-2"	-	STL			STL	STL	7/A501	5/A501	6/A501	FACTORY		POWERED SECURITY GRILLE (FIELD VERIFY OPENING SIZE)
124	S	4'-0"	7'-0"	1-3/4"	SC WD		07	HM	HM 1	10/A501	10/A501		PAINT	PAINT	
125	S	3'-0"	7'-0"	1-3/4"	SC WD		12	HM	HM 1	10/A501	10/A501		PAINT	PAINT	UNDERCUT 1" / ADA SIGNAGE
126	S	3'-0"	7'-0"	1-3/4"	SC WD		11	HM	HM 1	10/A501	10/A501		PAINT	PAINT	UNDERCUT 1" / ADA SIGNAGE
127	D	4'-0"	8'-0"	1-3/4"	HM		02	HM	HM 1	11/A501	11/A501		PAINT	PAINT	
128	S	3'-0"	7'-0"	1-3/4"	SC WD		08	HM	HM 1	10/A501	10/A501				
129	D	4'-0"	8'-0"	1-3/4"	HM		04	HM	HM 1	3/A501	3/A501		PAINT	PAINT	
129A	K	10'-0"	10'-0"	-	STL	45 MIN.	01	STL	STL	8/A501	9/A501		STL	STL	POWERED ROLL-UP / FUSIBLE LINK / NON-IMPACT RATED
130	R	16'-0"	12'-0"	-	STL		01	STL	STL	2/A501	1/A501		STL	STL	POWERED ROLL-UP / HIGH SPEED
130A	E	3'-0"	8'-0"	1-3/4"	HM		03	HM	HM 1	3/A501	3/A501		PAINT	PAINT	
131	D	3'-0"	8'-0"	1-3/4"	HM		04	HM	HM 1	3/A501	3/A501		PAINT	PAINT	IMPACT RATED
132	F	(2) 3'-0"	8'-0"	1-3/4"	HM		05	HM	HM 1	3/A501	3/A501		PAINT	PAINT	

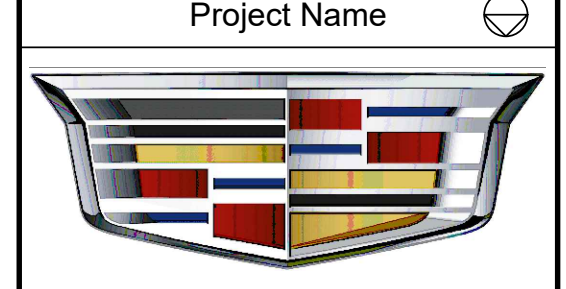
GENERAL NOTES

- INTERIOR WOOD FLUSH DOORS TO BE PAINT GRADE WOOD DOORS, PAINT ALL SIDES/ INCLUDING TOP & BOTTOM.
- EXTERIOR HOLLOW METAL DOORS TO BE PAINTED BLACK ANODIZED TO MATCH WINDOW FINISH.
- HOLLOW METAL FRAMES AT ALL DOORS TO BE PAINTED BLACK.
- PROVIDE SIGNAGE AT MEN'S & WOMEN'S PUBLIC TOILETS W/ RAISED BRAILLE. LOCATE ADJACENT TO LATCH SIDE OF EACH RESTROOM DOOR IN COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND LOCAL CODES. SIGNAGE TO INCLUDE BOTH RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOLS. CL OF SIGNAGE TO BE 60" AFF.
- PAINT TOPS & BOTTOMS OF ALL WOOD DOORS.
- REFER TO SHEET A500A & A500B FOR DOOR SPECIFICATIONS & HARDWARE.
- ALL WINDOW & EXTERIOR DOOR GLAZING TO BE DBL PANE LOW E (0.5 SHGC / U-VALUE 0.5)



FOR ALL WOMEN'S & MEN'S RESTROOMS PROVIDE ADA COMPLIANT RESTROOM SIGN CENTERED 9" FROM LATCH SIDE OF DOOR. SIGN TO BE ACRYLIC, WHITE LETTERS ON BLACK BACKGROUND.

DOOR SCHEDULE SCALE NA 1

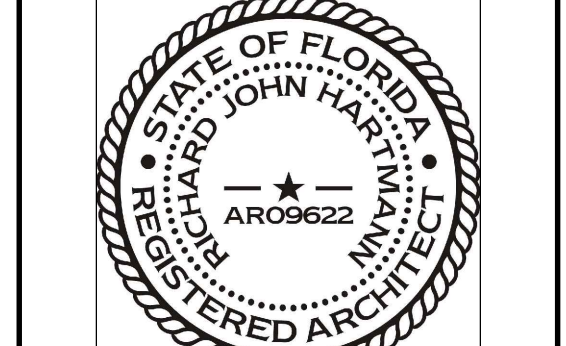


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Cocoa, FL 32926

Sheet Title
DOOR AND WINDOW DETAILS

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MISC. REVISIONS 02.15.23

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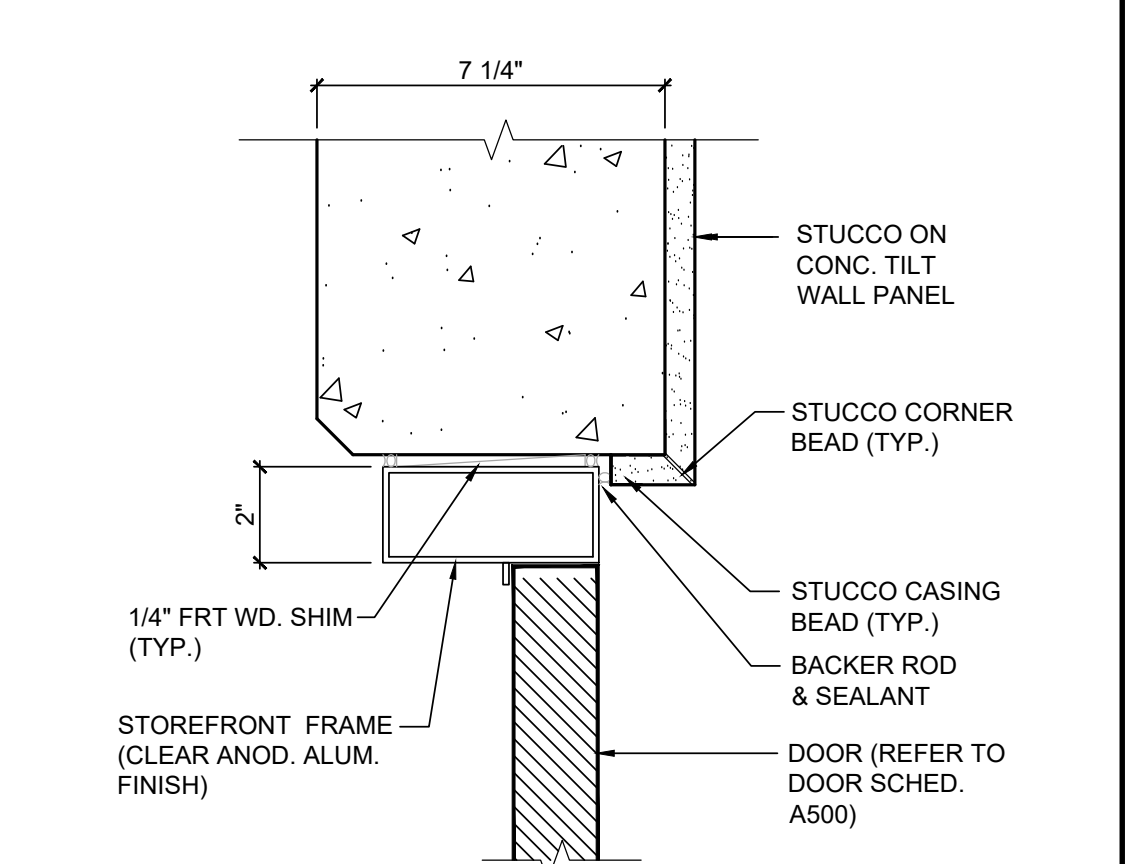
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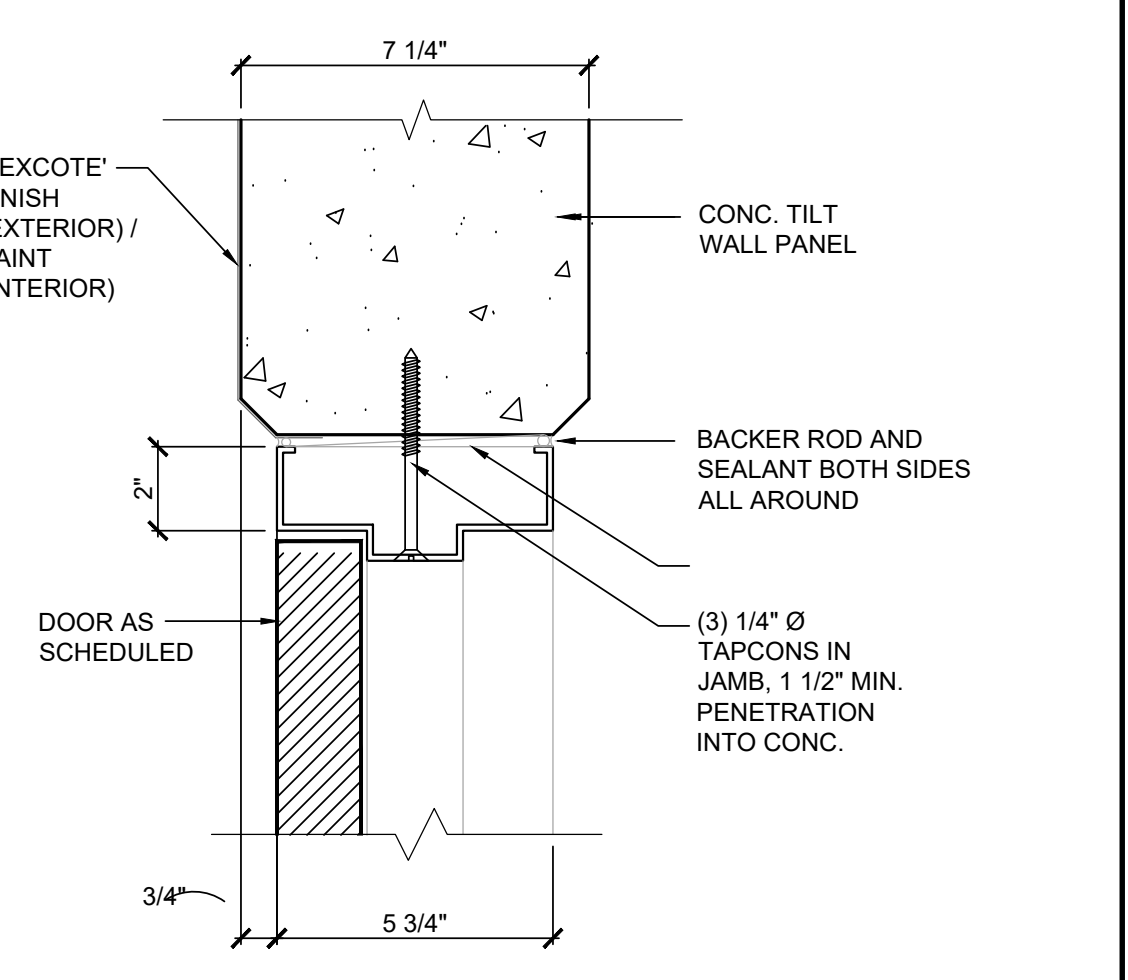
Sheet Number

A501

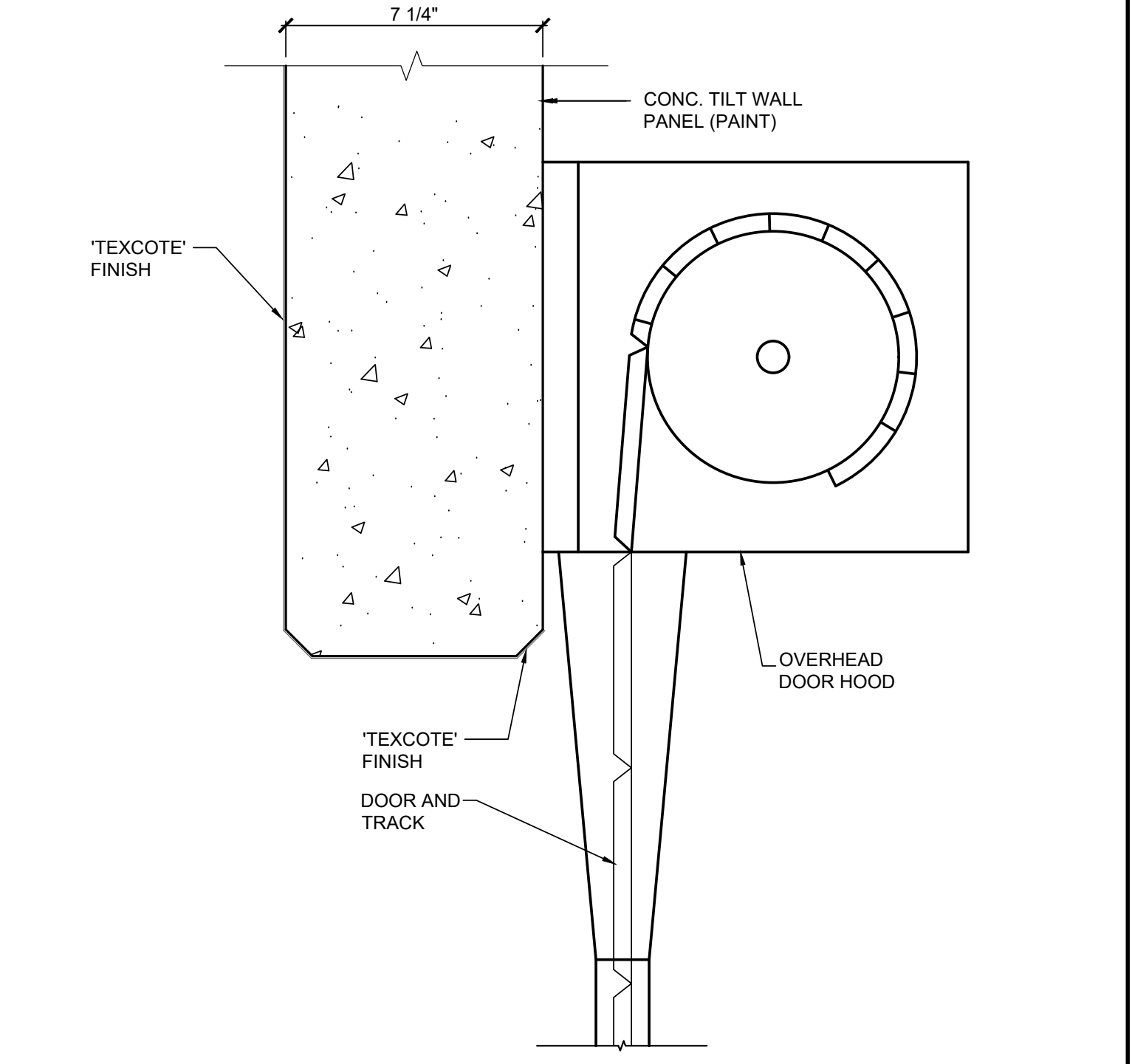
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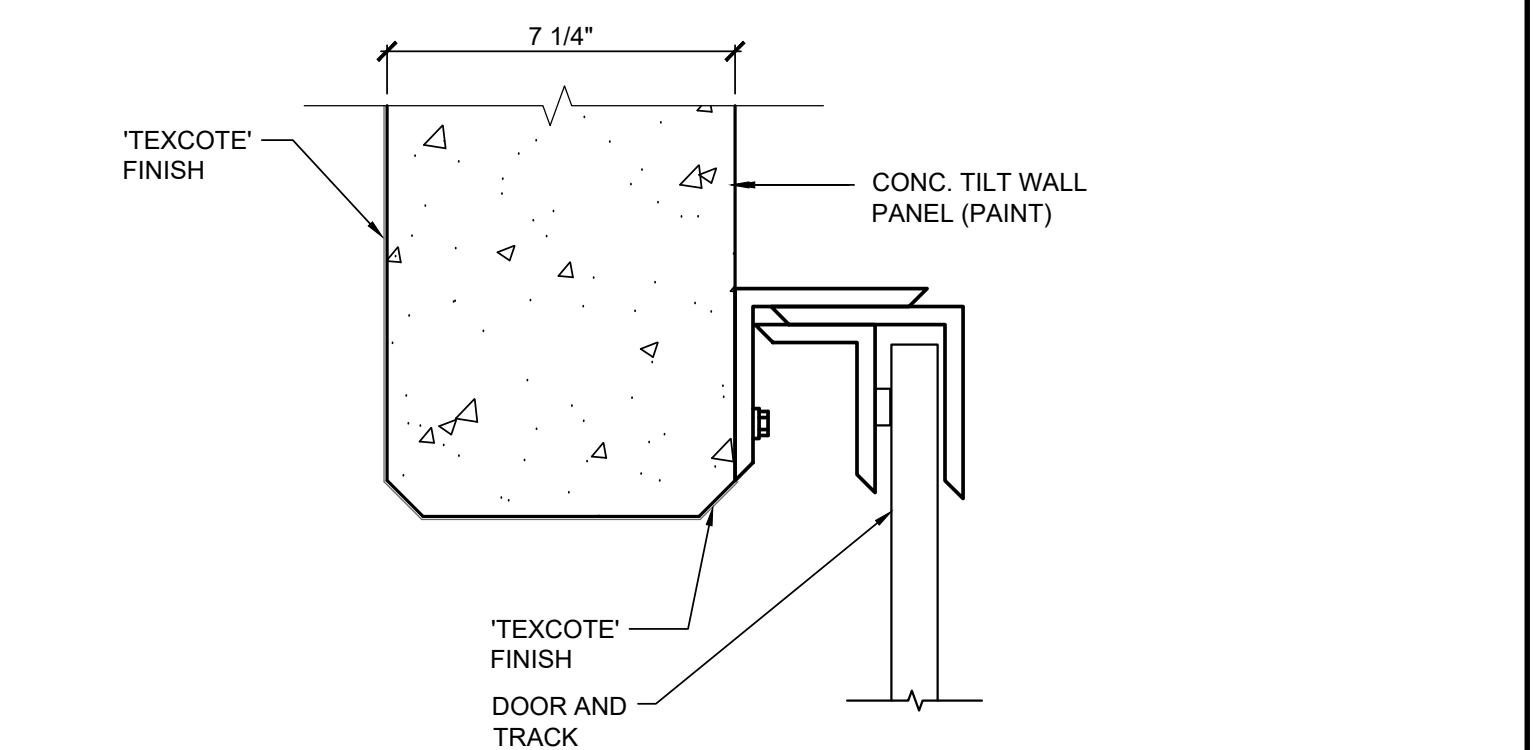
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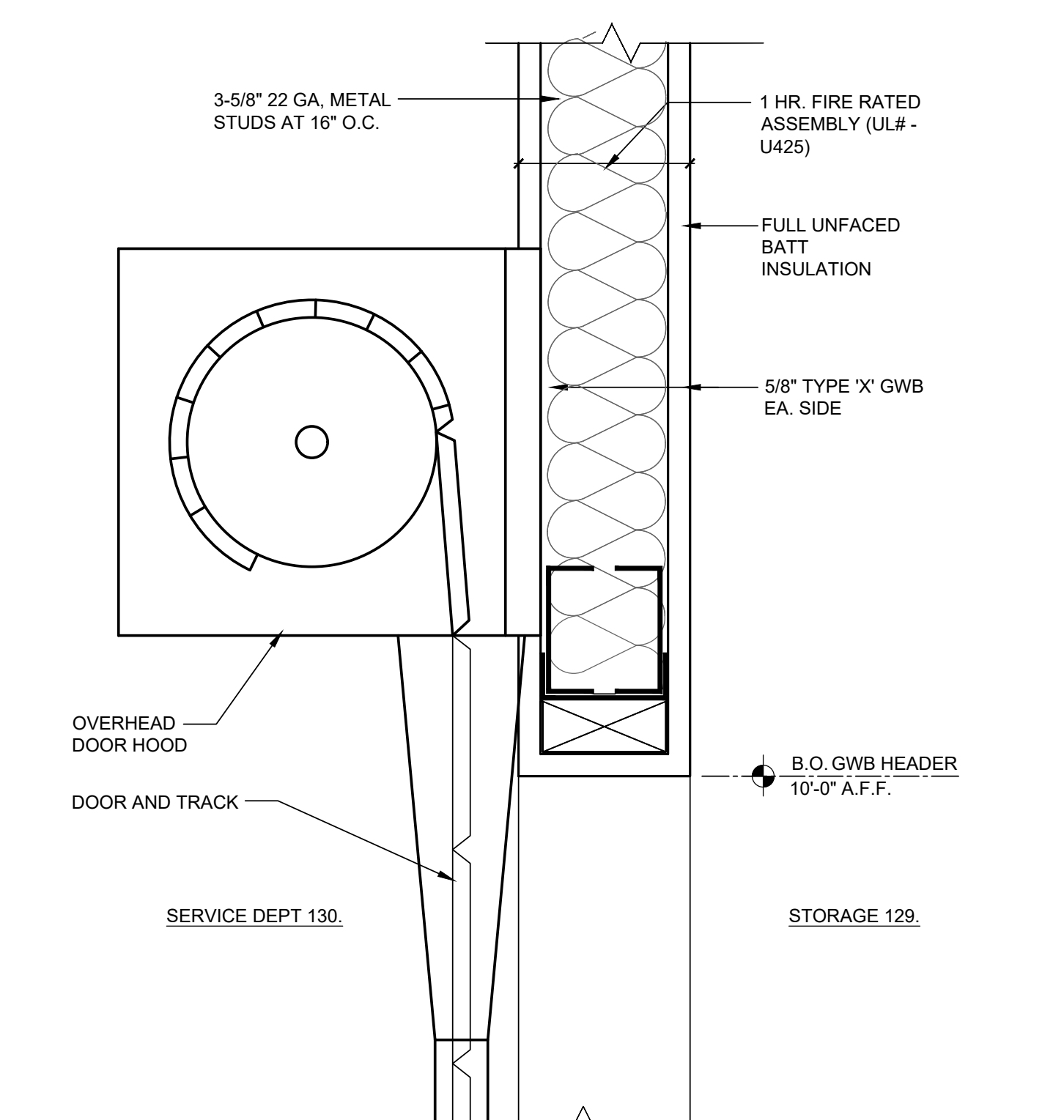
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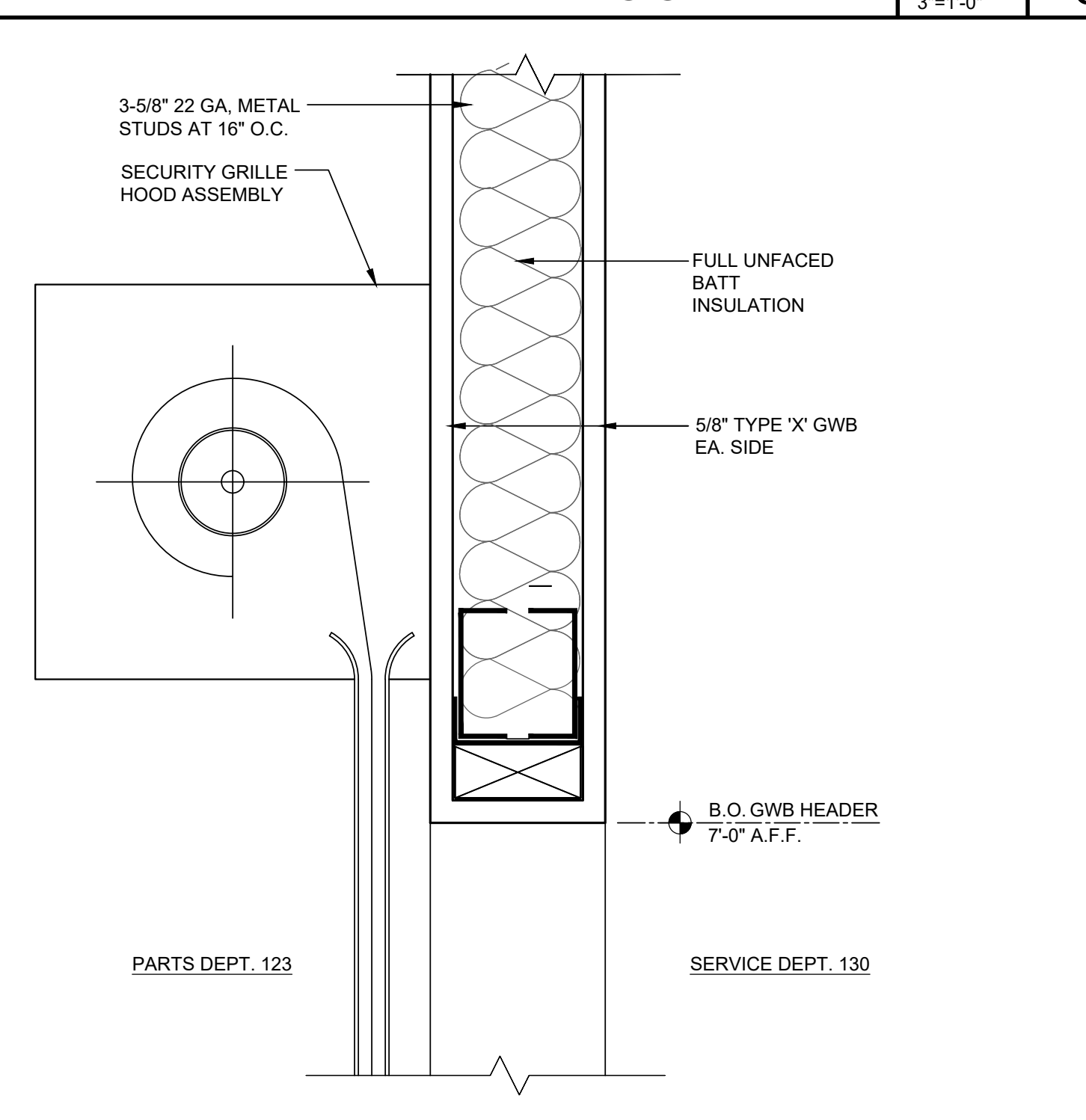
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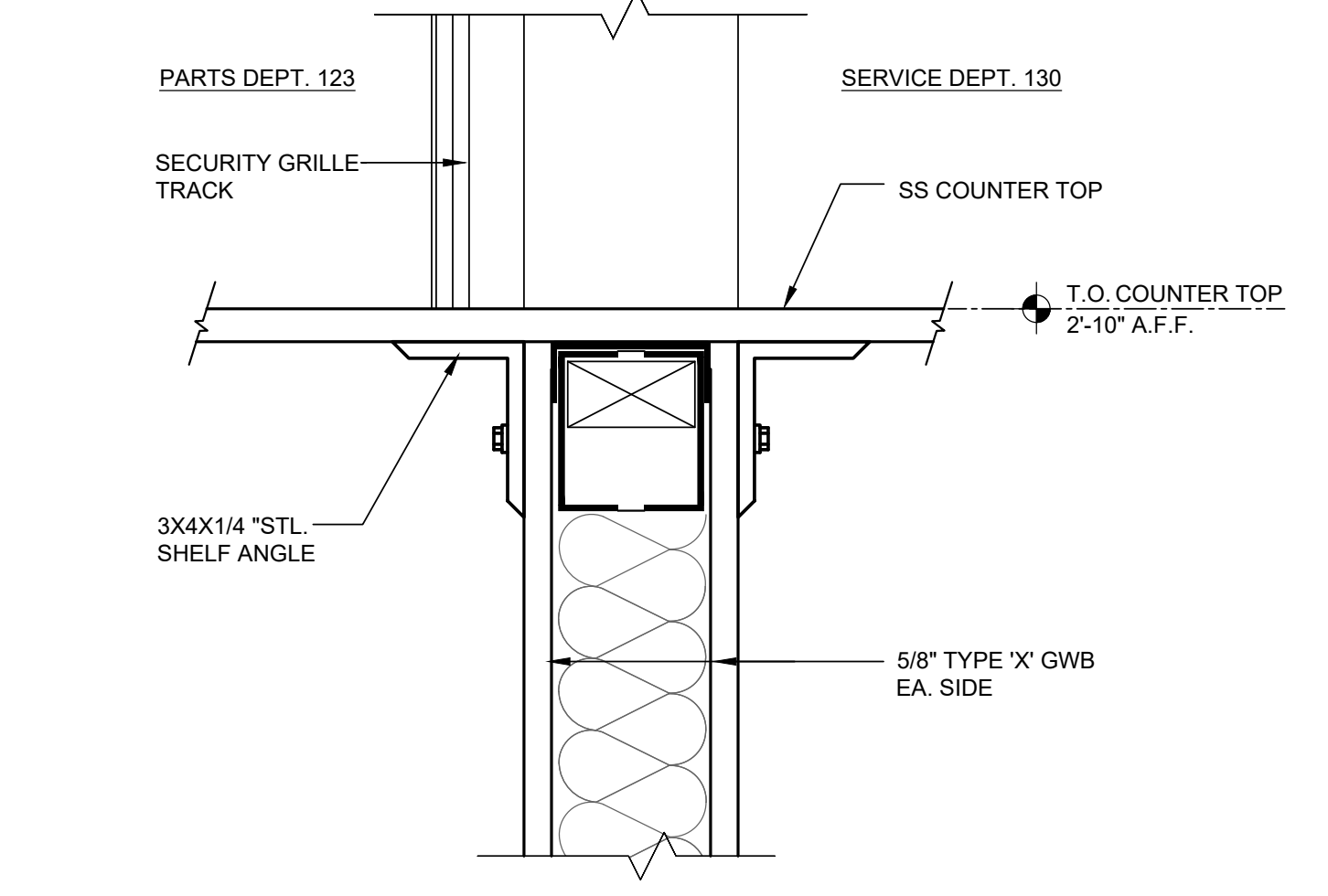
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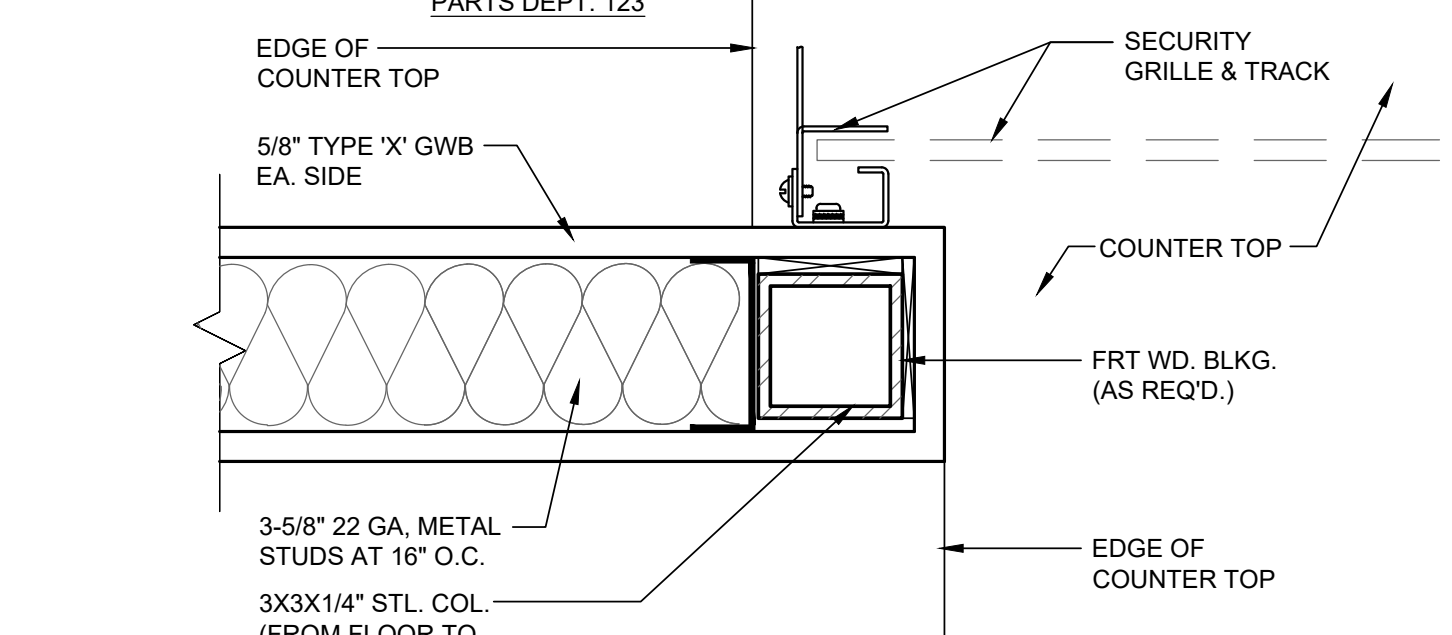
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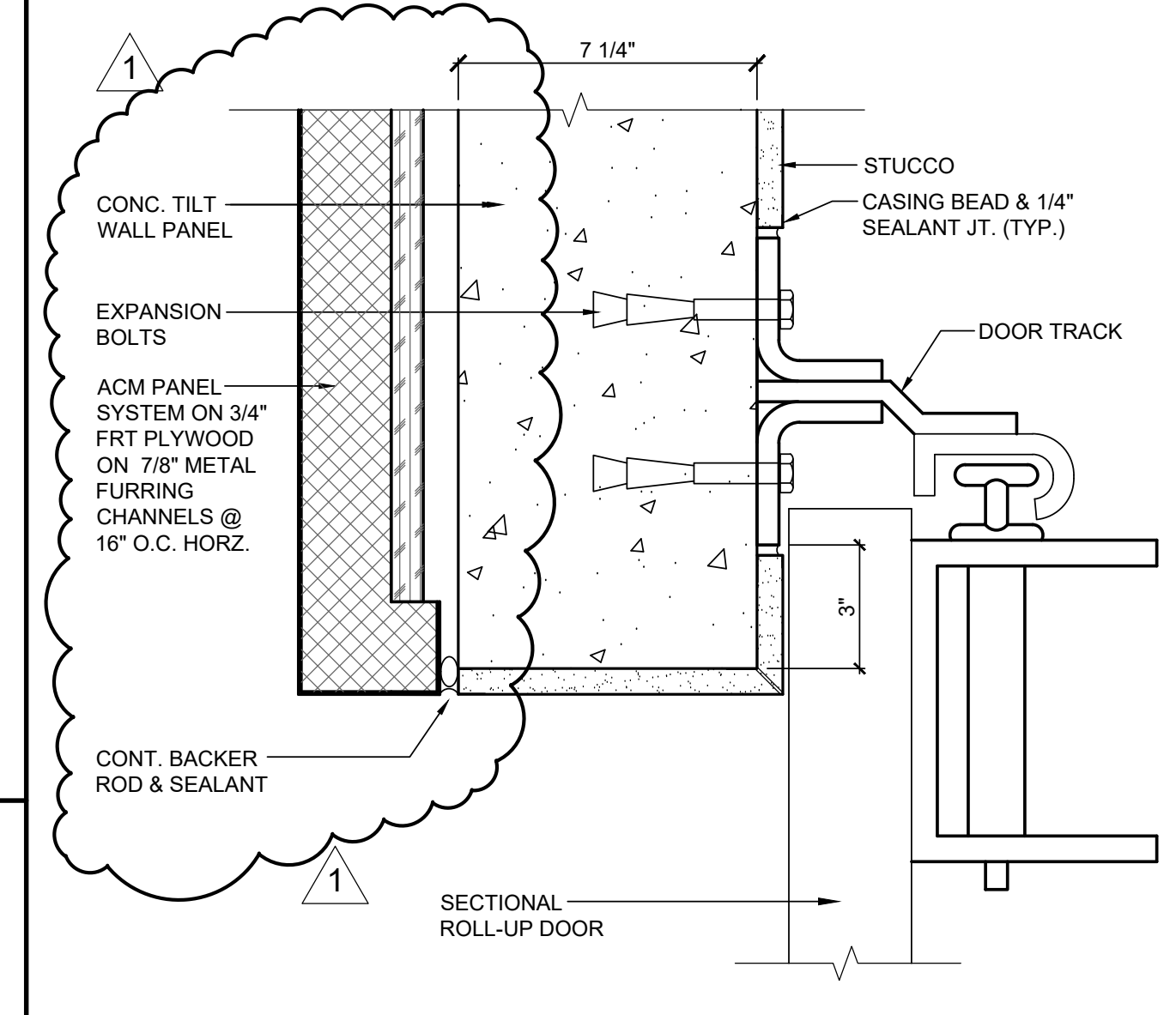
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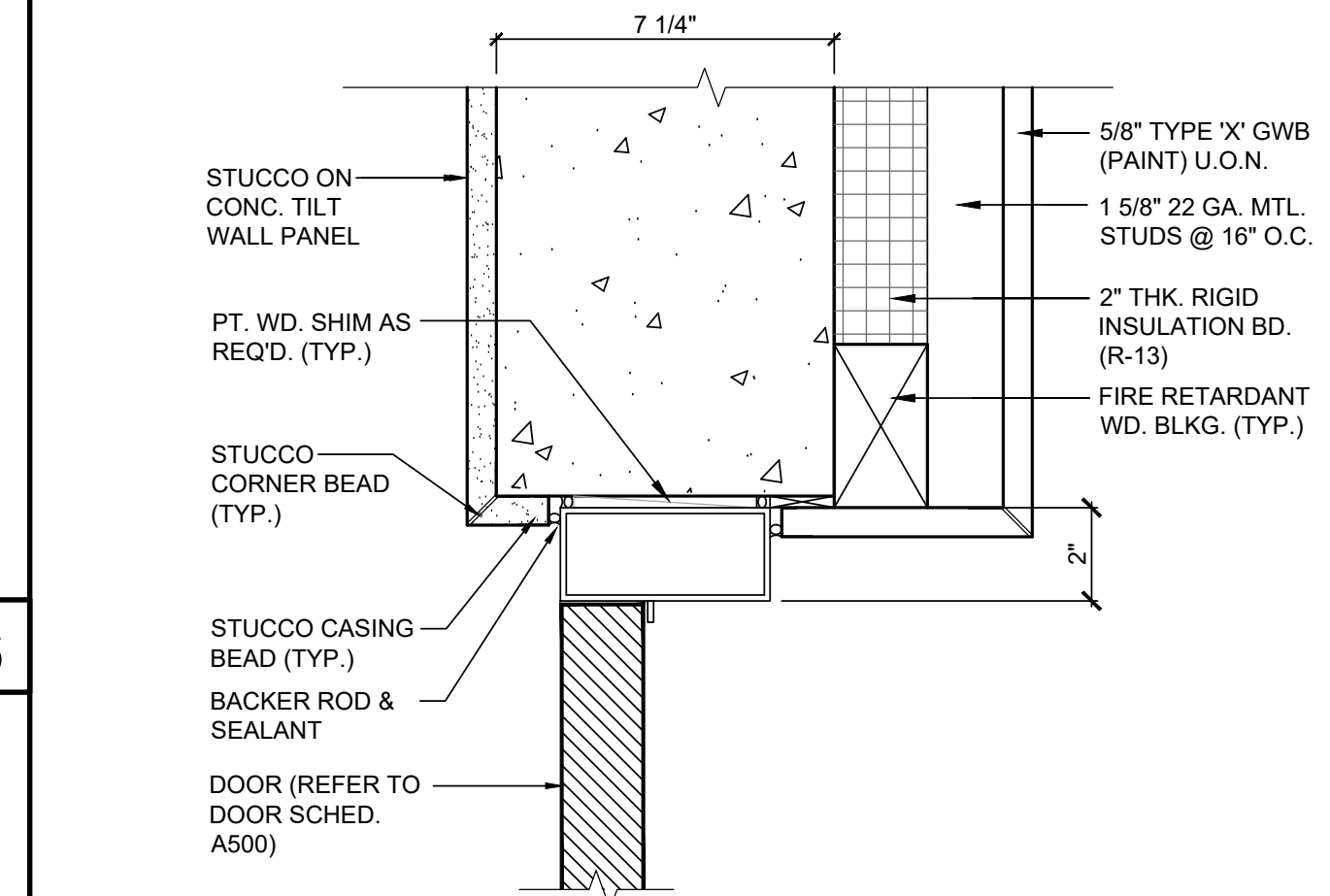
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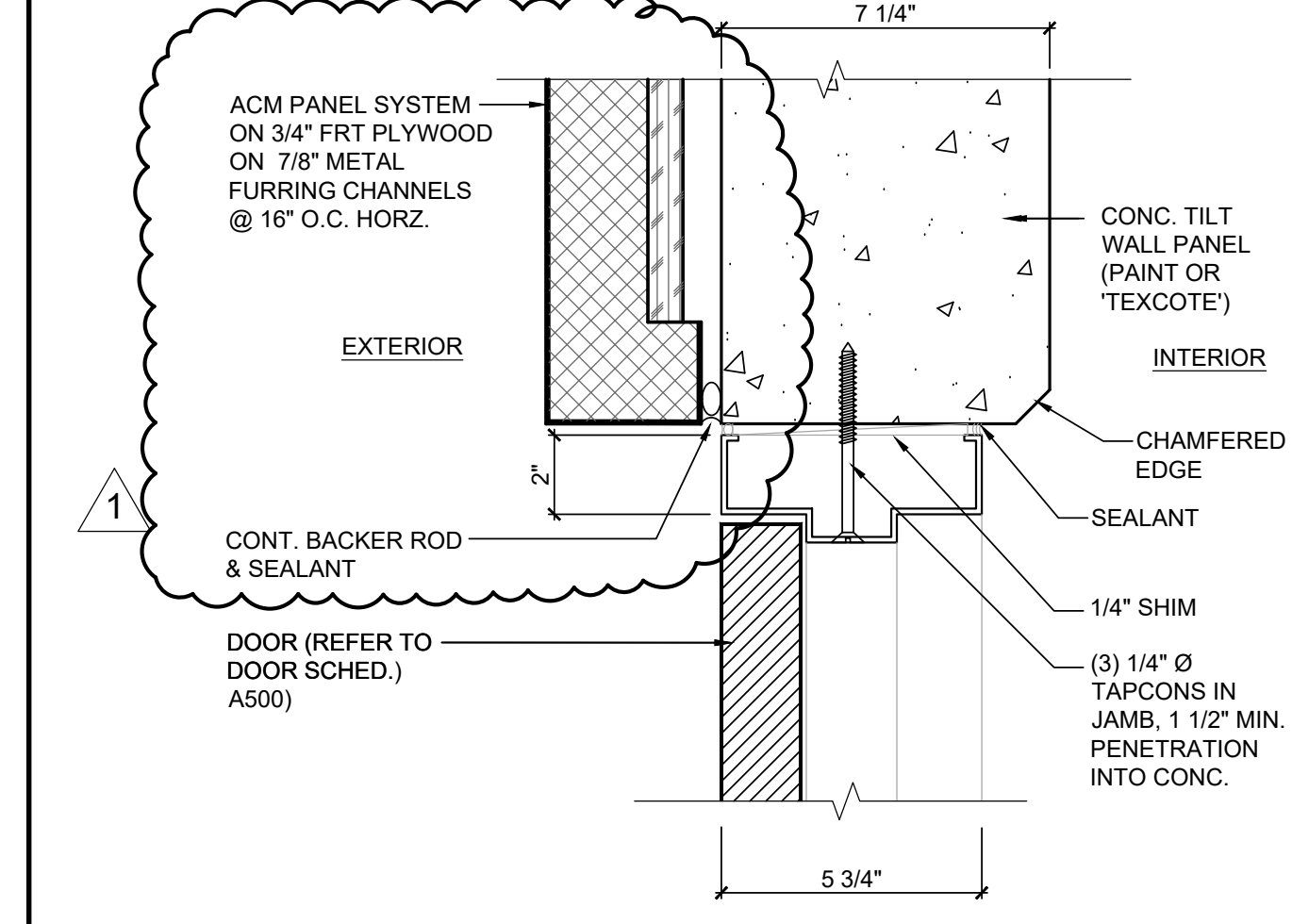
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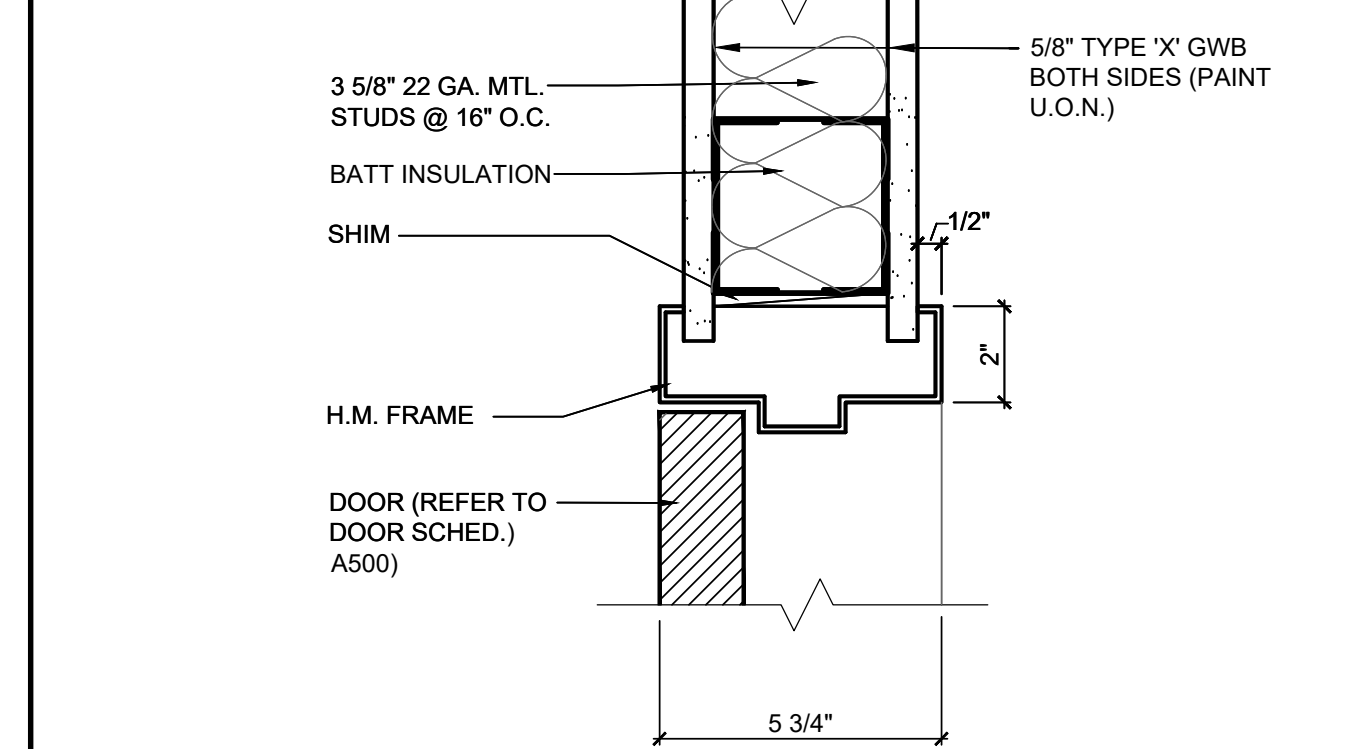
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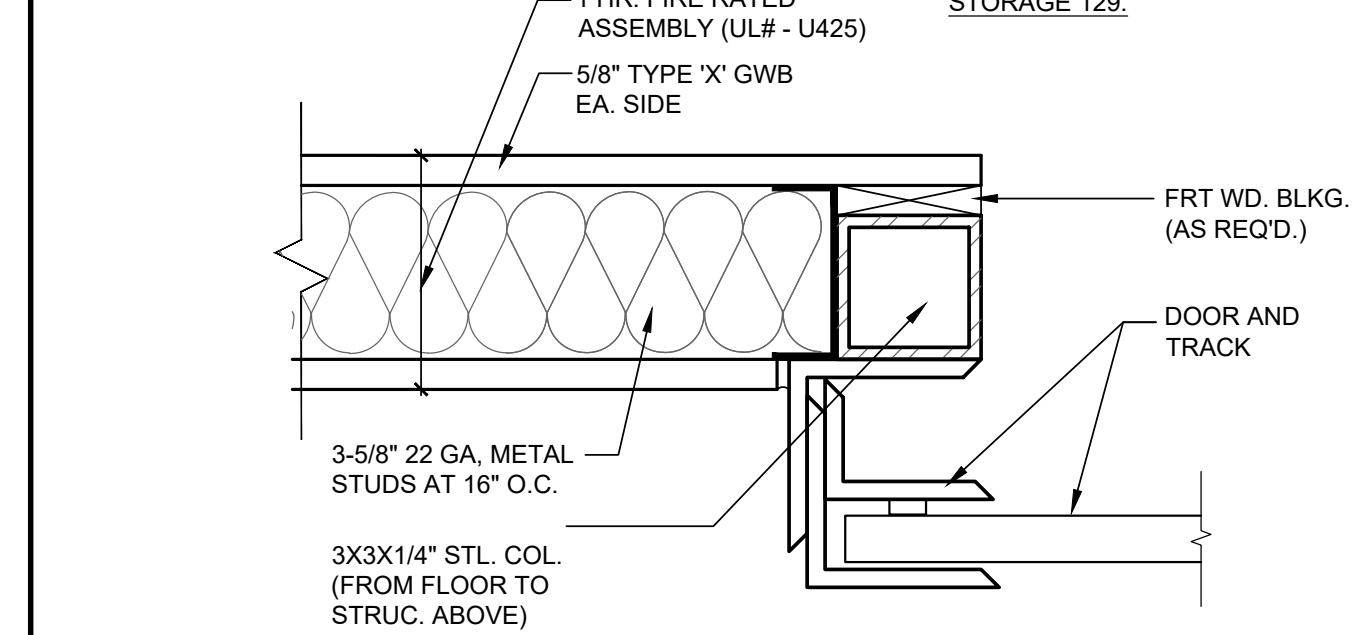
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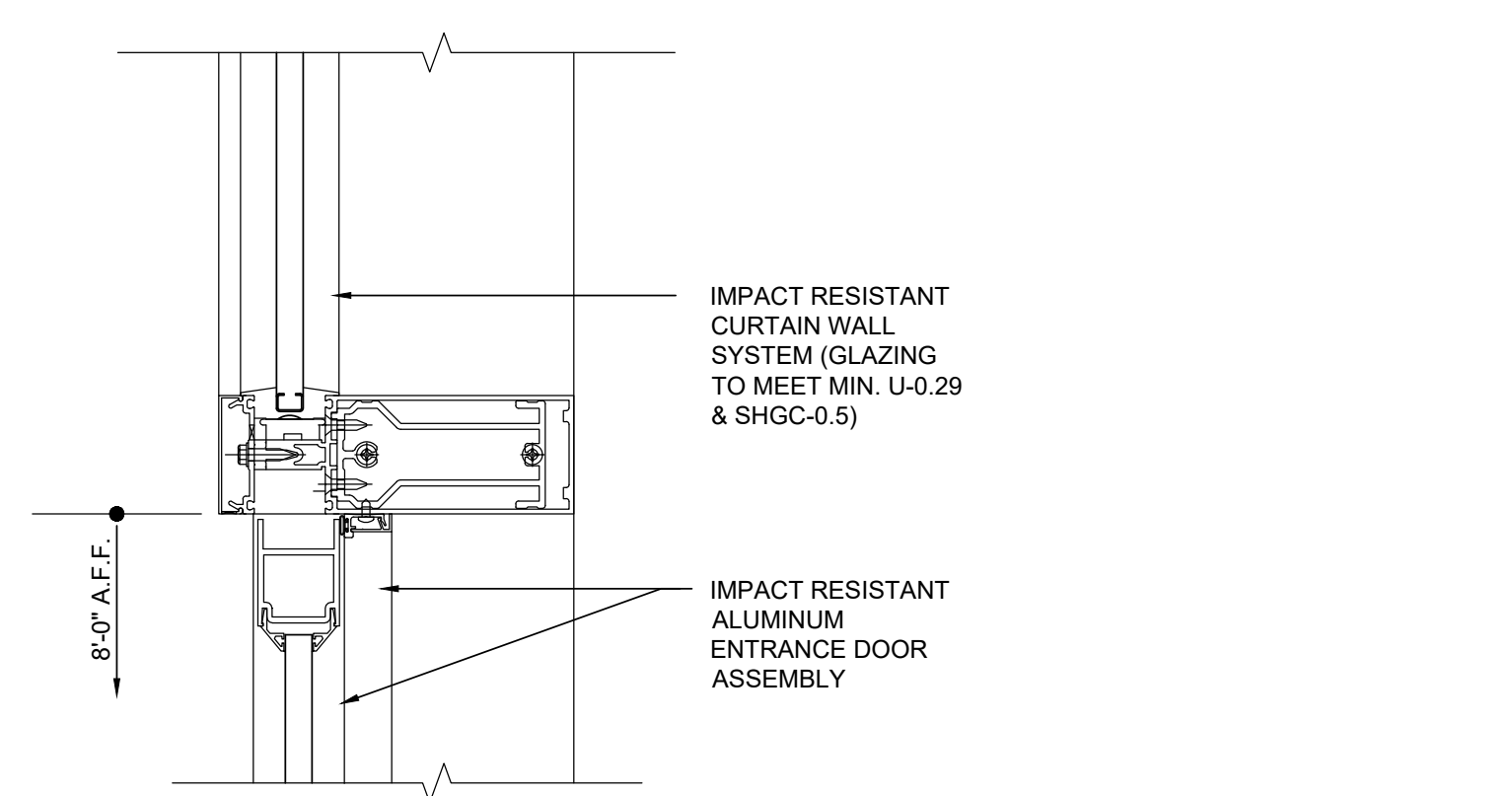
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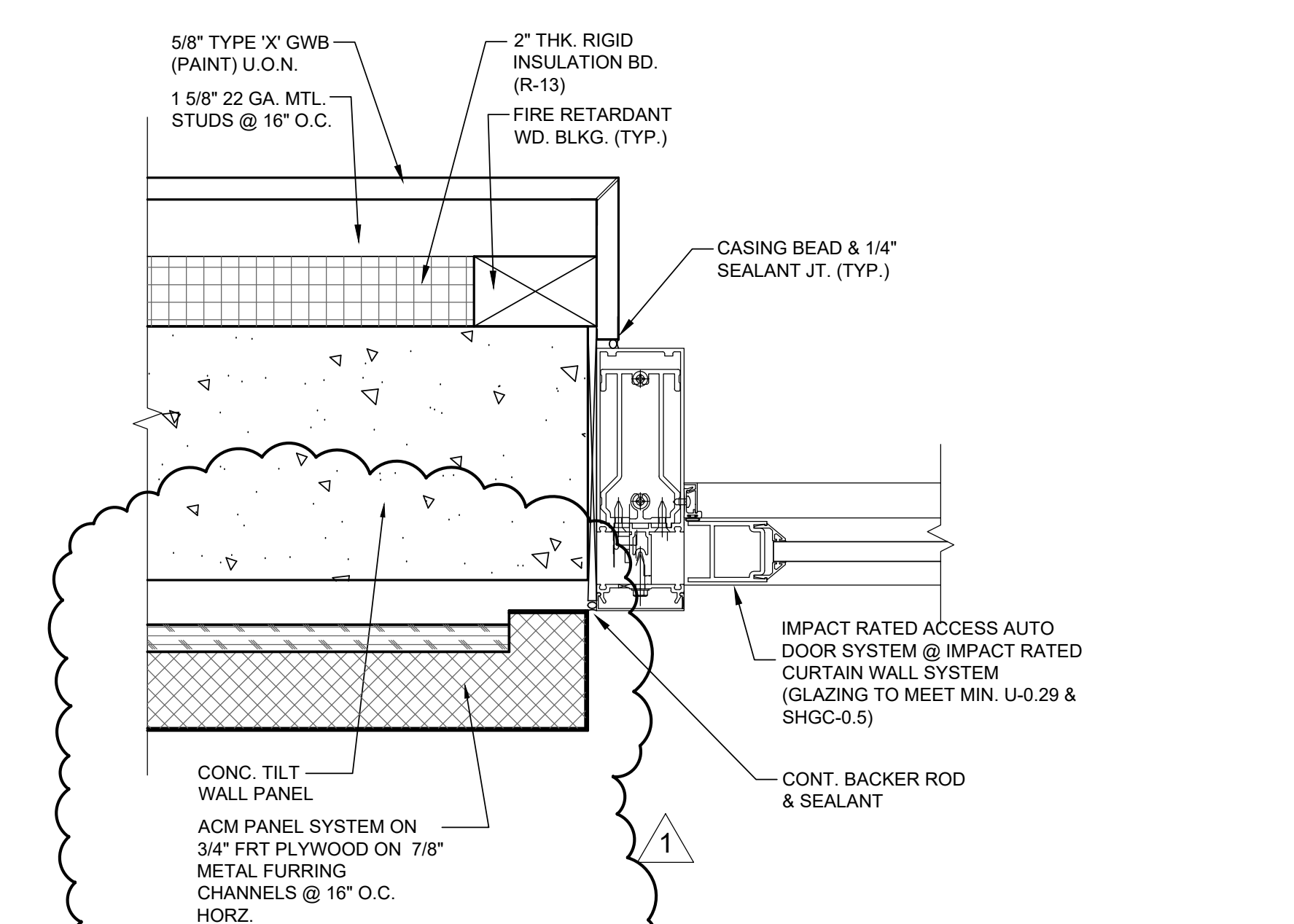
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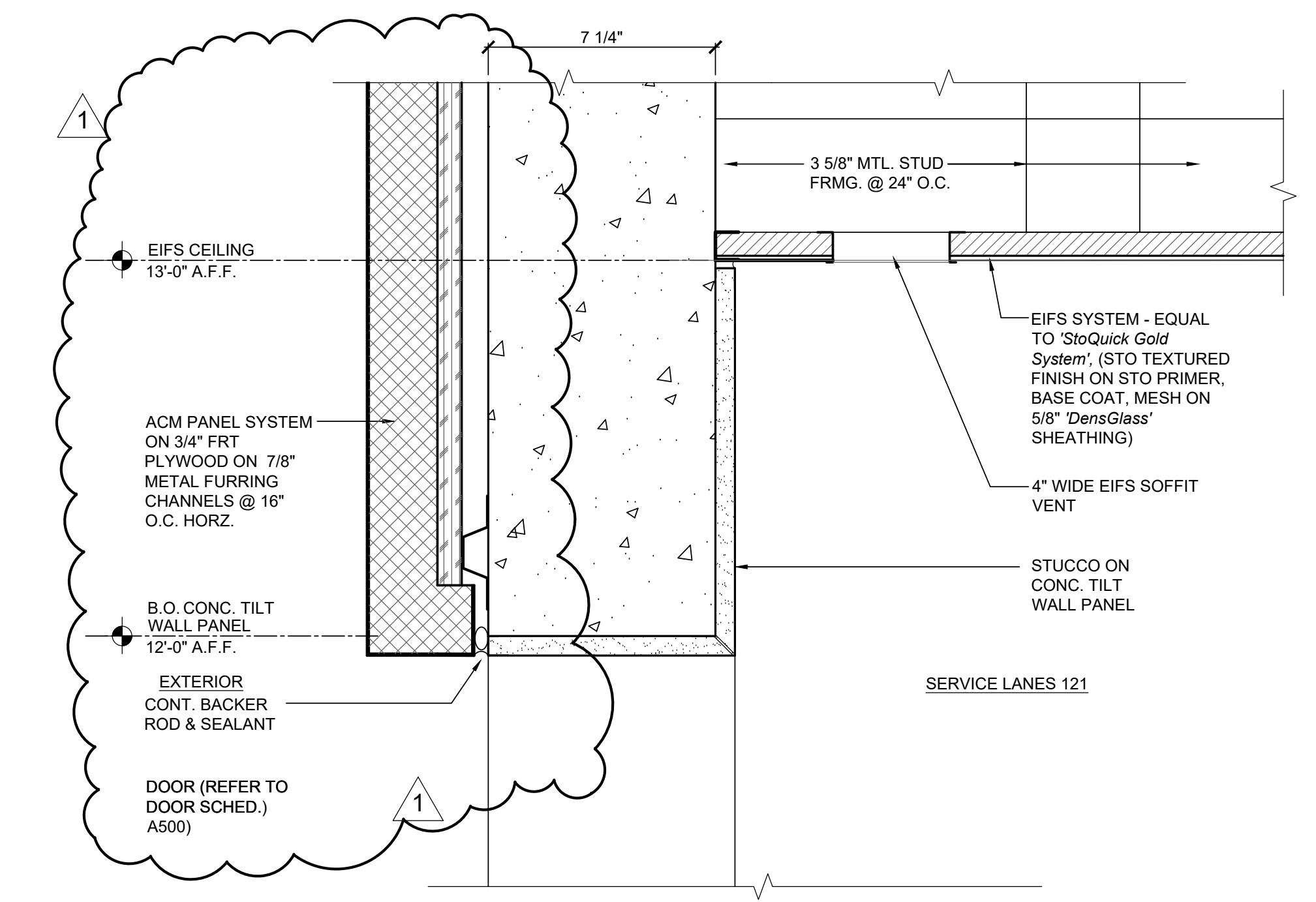
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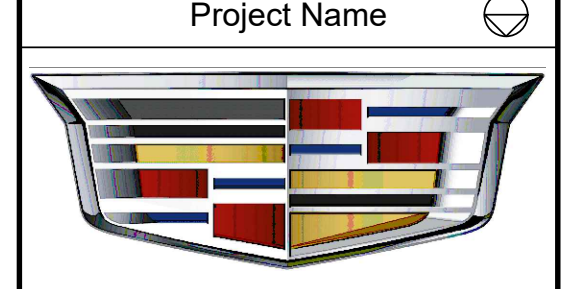
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DOOR JAMB SCALE 3\"/>



DOOR HEAD SCALE 3\"/>



MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

Project Name

Sheet Title

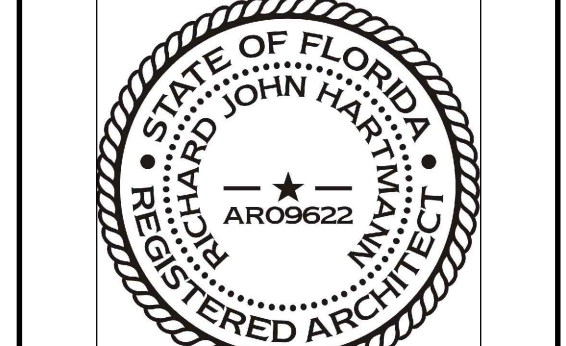
DOOR AND WINDOW DETAILS

Revisions

▲ MISC. REVISIONS 02.15.23

State Registration

Richard Hartmann AIA, LEED AP
AR 09622



This document has been electronically signed and sealed by Richard Hartmann, AIA, using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

To the best of the knowledge of the architect & engineers, said plans and specifications comply with the applicable building codes and minimum fire safety standards.

Project Number
22026

Drawn By
RCK/RLH

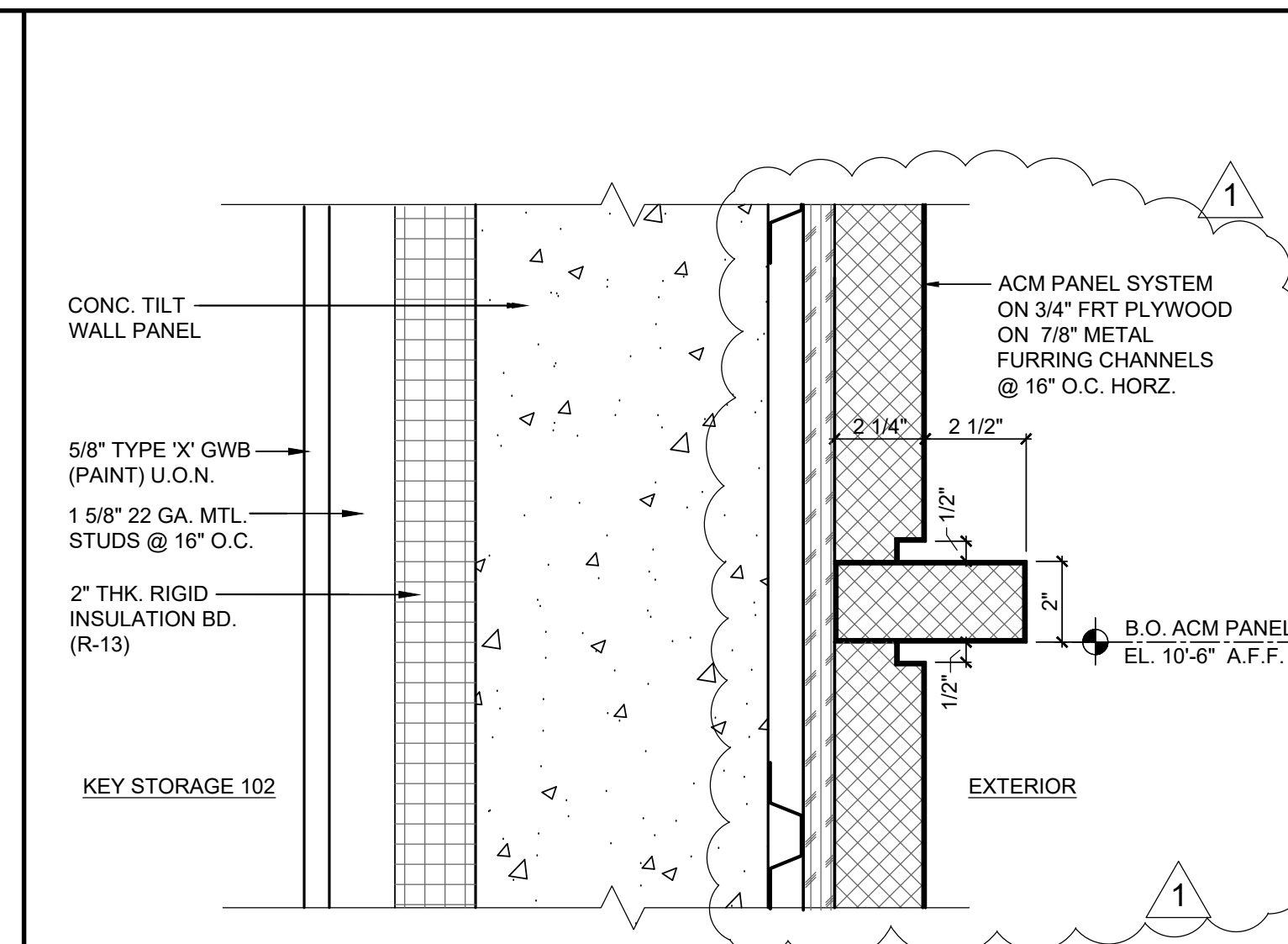
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RJH

Issue Date
02.09.24

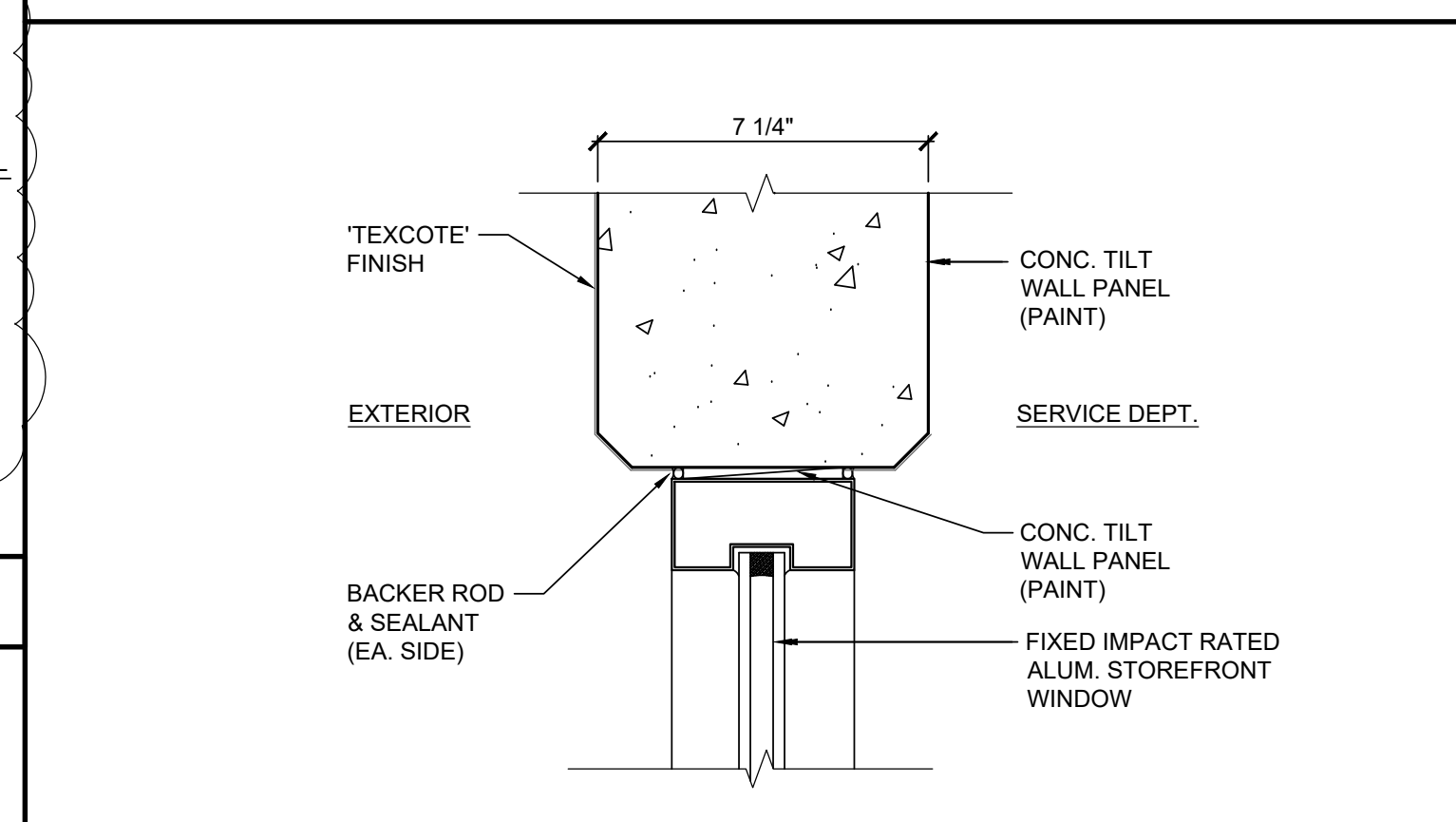
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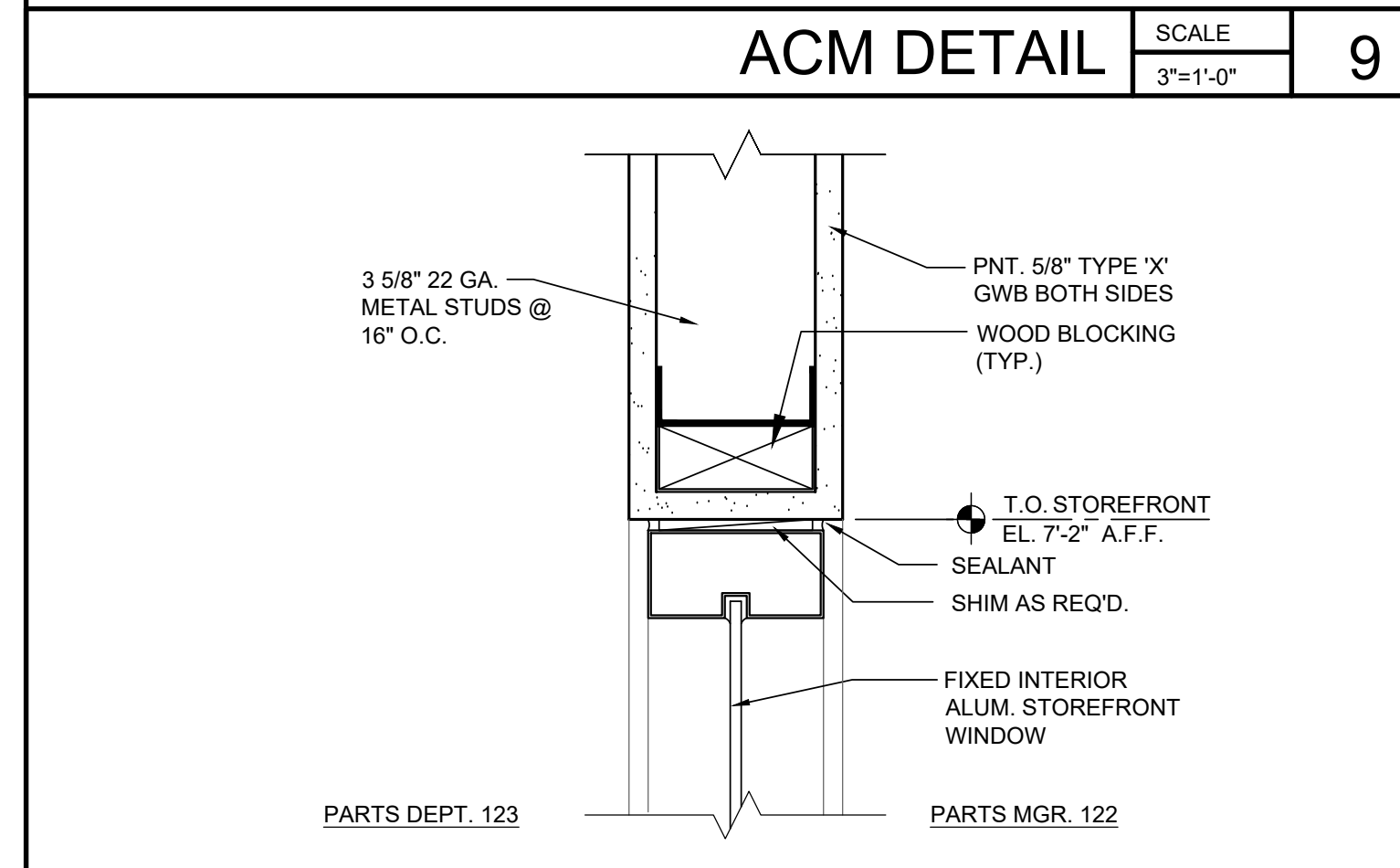
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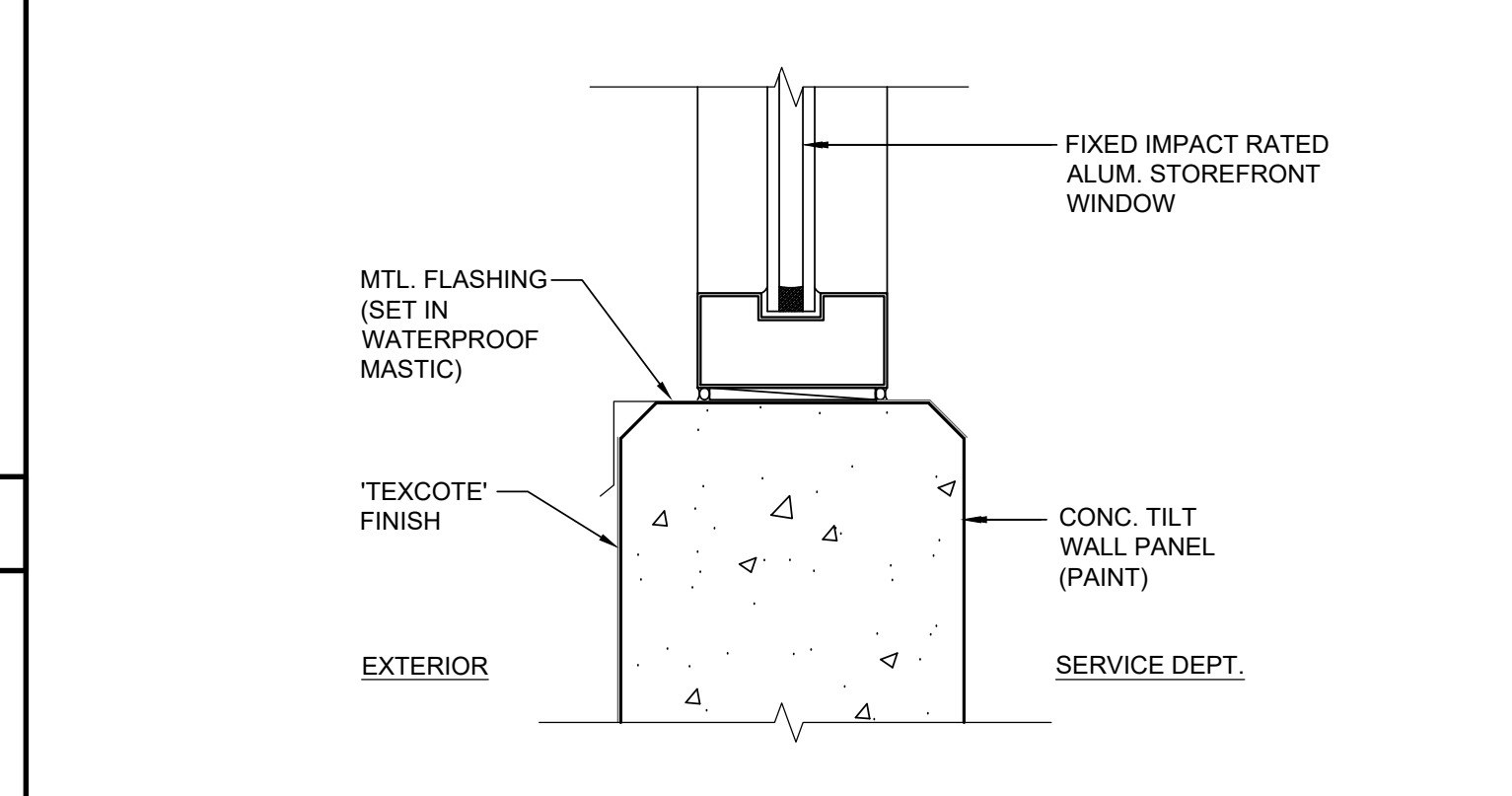
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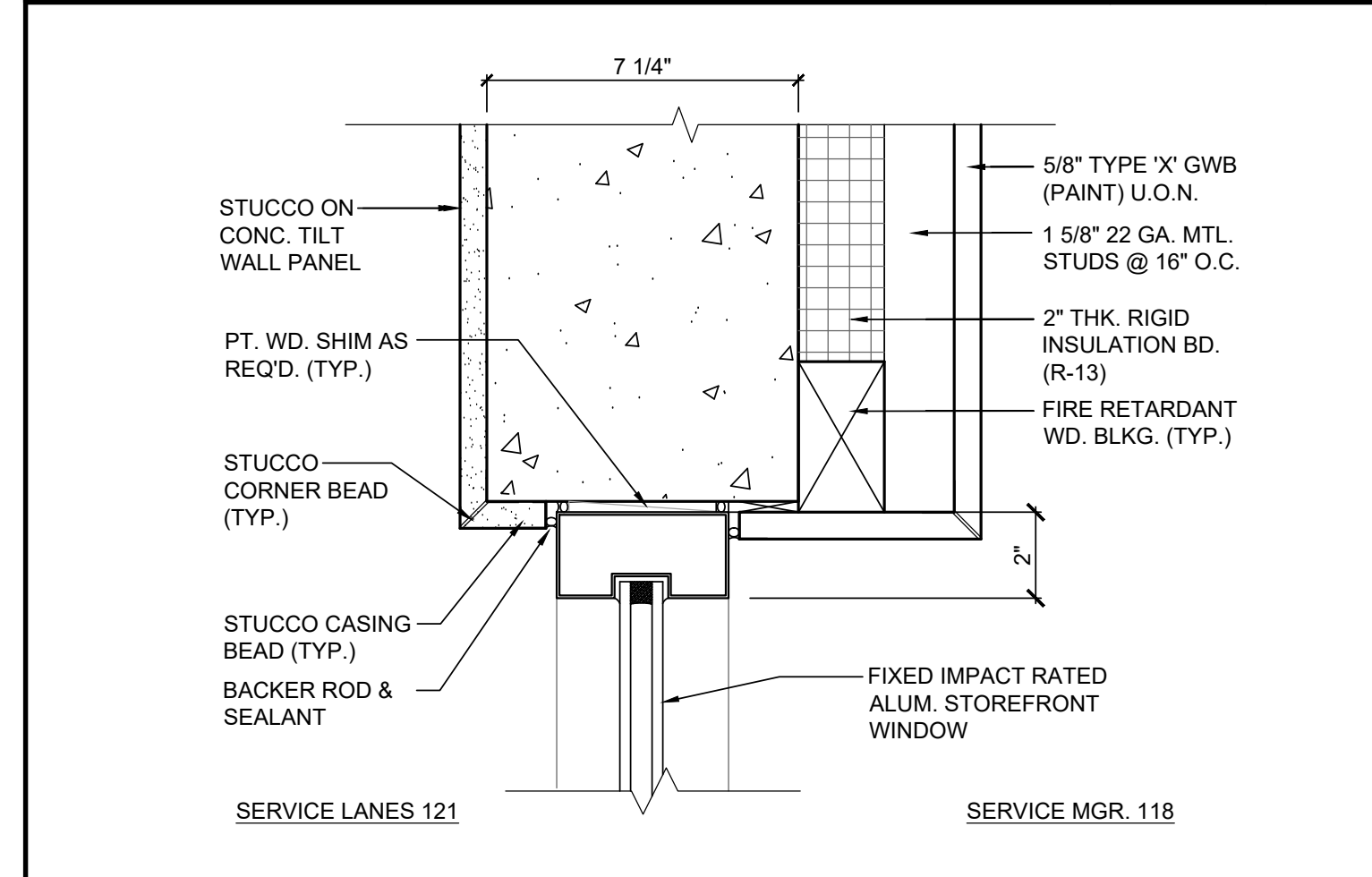
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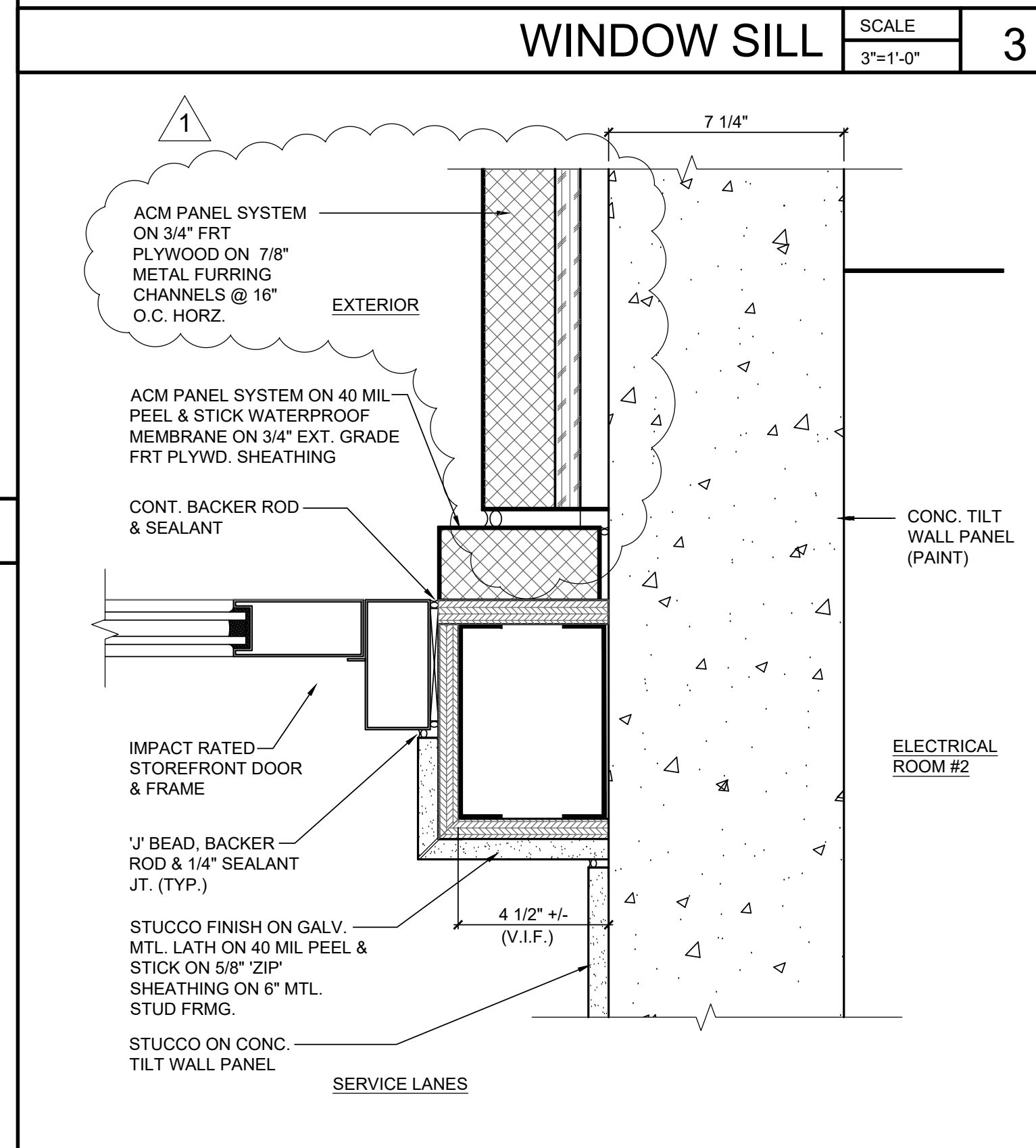
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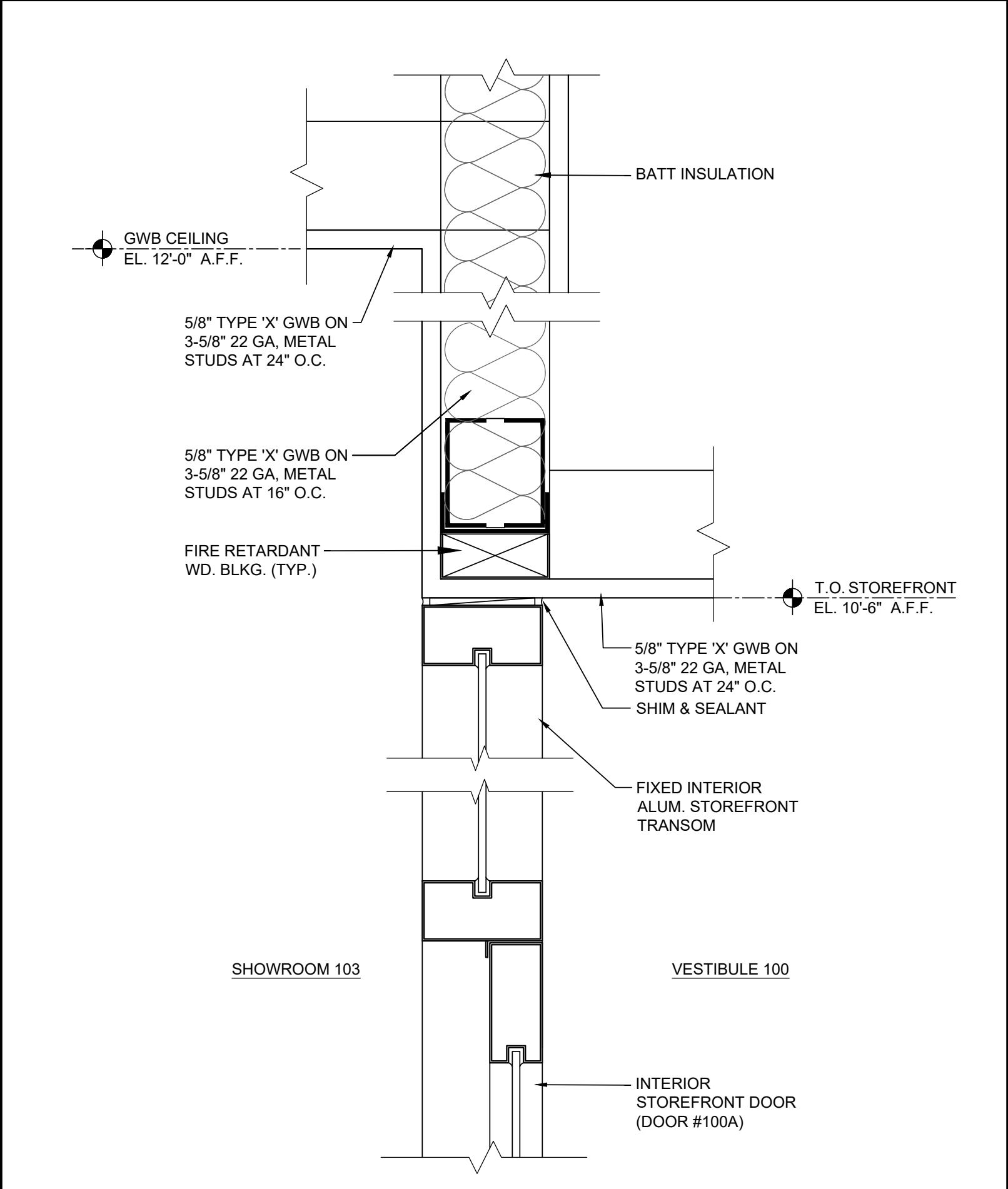
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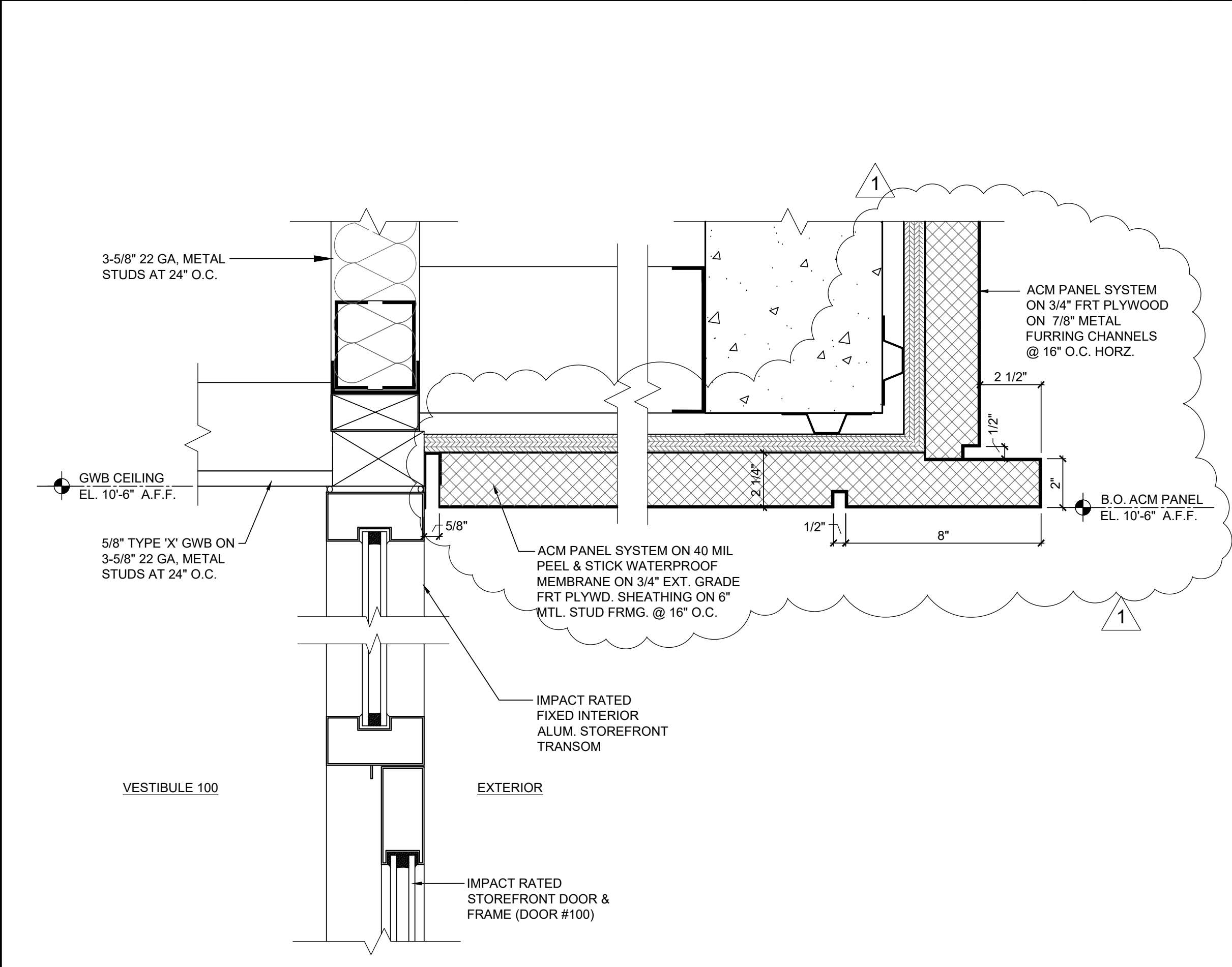
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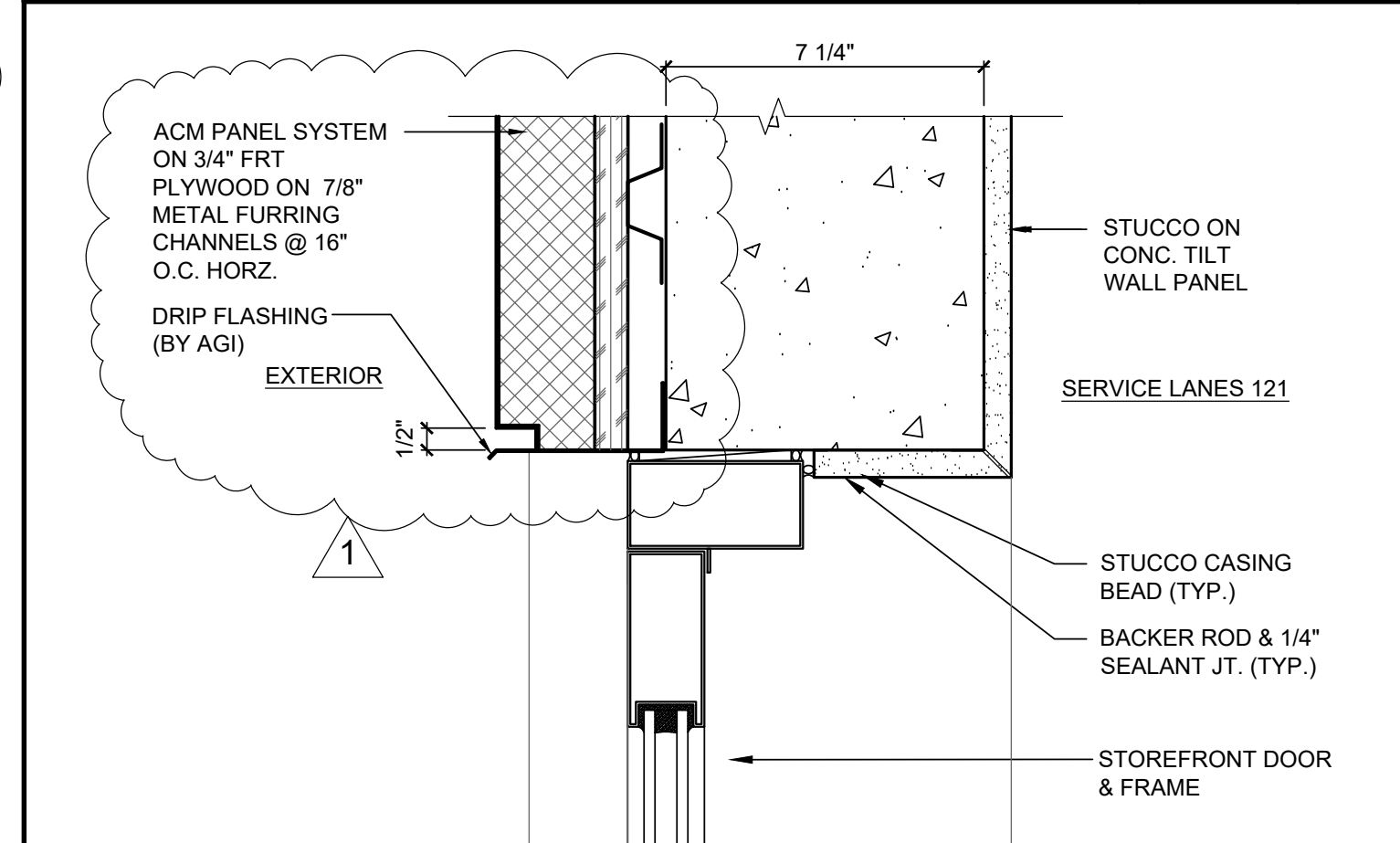
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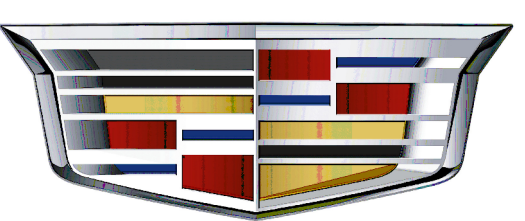
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DOOR HEAD (JAMB SIM.) SCALE 3"=1'-0" 5

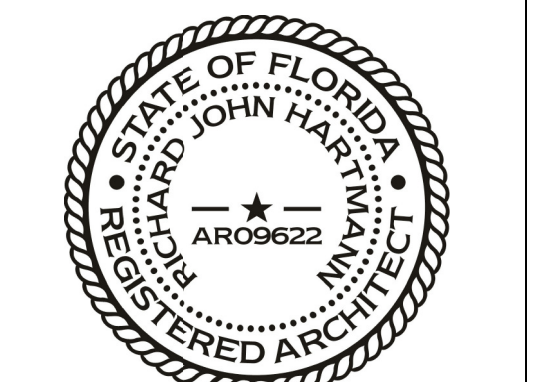


DOOR HEAD (JAMB SIM.) SCALE 3"=1'-0" 1



MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

FINISH SCHEDULE



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22026

RCK/RLH

RJH

02.09.24

ID 1.0

ERDMEN CADILLAC DEALERSHIP FINISH SCHEDULE			MILLWORK NOTES		
FLOOR & WALL TILE LEGEND	CONTACT	WALL PAINT	BASE	MILLWORK	LAMINATE / VENEER
T 1 MFG: LEA CERAMICHE SERIES: BASALTINA STNE COLOR: NATURAL (MEDIUM GRAY) SIZE: 12X24 GROUT: LGVBSR1-1330 TEC POWER GROUT 929	CONTACT: VIRGINIA TILE PHONE: ROBIN SPEER@VIRGINIATILE.COM EMAIL: NOTE: SHOWROOM PATTERN- ALL CUSTOMER AREAS	PT 1 MFG: BENJAMIN MOORE COLOR: 2124-70 DISTANT GRAY SHEEN: EGGSHLL WALLS, SEMI GLOSS DOORS LOC.: INTERIOR WALLS IN SHOWROOM, CORRIDORS & DOORS EXCEPT WHERE ACCENT COLORS ARE USED	RBC 1 MFR: JOHNSONITE/TARLETT COLOR: BURNT UMBER SIZE: 4" X 12" ROLLED COVE BASE WITH TOE	NOTE: INSTALL WITH VT-1	PL 1 MFR: FORMICA COLOR: 912-58 STORM -MATTIE FINISH LOC.: MILLWORK IN NON-CUSTOMER TOUCHPOINTS
T 2 MFG: LEA CERAMICHE SERIES: BASALTINA STNE (LIGHT GRAY) COLOR: SABBIA TA VELVET SIZE: 12X24 GROUT: ALGVSRE TEC POWER GROUT 934	CONTACT: VIRGINIA TILE PHONE: ROBIN SPEER@VIRGINIATILE.COM EMAIL: NOTE: SHOWROOM RUNWAY PATTERN	PT 2 MFG: BENJAMIN MOORE COLOR: 1475 GRAYSTONE LOC.: PAINT ON RESTROOM ACCENT WALL (TYP. OPPOSITE WET WALL)	RBS 1 MFR: JOHNSONITE/TARKETT COLOR: BURNT UMBER SIZE: 4" X 12" ROLLED STRAIGHT BASE	NOTE: INSTALL WITH CPT-1	PL 2 MFG: FORMICA COLOR: 7197-90 DOVER WHITE -GLOSS FINISH LOC.: CASHIER MILLWORK
T 3 MFG: CERAMIC TILE INTERNATIONAL COLOR: LINEN SIZE: 12 X 24 GROUT: TEC POWER GROUT 931	CONTACT: VIRGINIA TILE PHONE: ROBIN SPEER@VIRGINIATILE.COM EMAIL: NOTE: CUSTOMER RESTROOM WALLS, SEE PLAN ID 3.0	PT 3 MFG: BENJAMIN MOORE COLOR: 2121-30 PEWTER LOC.: SERVICE DEPARTMENT ACCENT PAINT	RBC 2 MFR: JOHNSONITE/TARKETT COLOR: #48 GREY SIZE: 4" HIGH COVE BASE	NOTE: SEE PLAN	PL 3 MFG: FORMICA COLOR: 2770-88 SARUM GREY -MATTIE FINISH LOC.: BREAK ROOMS MILLWORK & TECH SINK SKIRT
T 4 MFG: CROSSVILLE SERIES: CROSS TECH COLOR: ONYX A880CTS SIZE: 8 X 8 GROUT: TEC POWER GROUT 929	CONTACT: VIRGINIA TILE PHONE: ROBIN SPEER@VIRGINIATILE.COM EMAIL: NOTE: SERVICE LANE	PT 4 MFG: BENJAMIN MOORE COLOR: 2134-30 IRON MOUNTAIN LOC.: SERVICE DEPARTMENT ACCENT PAINT	RBS 2 MFR: JOHNSONITE COLOR: #48 GREY SIZE: 4" HIGH STRAIGHT BASE LOC.: #100 VESTIBULE	NOTE: SEE PLAN	PL 4 MFR: FORMICA COLOR: 934-58 PEARL -MATTIE FINISH LOC.: RESTROOM VANITY CABINET
T 5 MFG: CROSSVILLE SERIES: CROSS TECH COLOR: GRAPHITE A850CTS SIZE: 8 X 8 GROUT: TEC POWER GROUT 934	CONTACT: VIRGINIA TILE PHONE: JENNIFER MITCHELL@VIRGINIATILE.COM EMAIL: NOTE: SERVICE LANE ACCENT	PT 5 MFG: SHERWIN WILLIAMS COLOR: SW 7017 DORIAN GRAY LOC.: BREAKROOM	TB 1~7 MFR: / COLOR: VARIOUS SIZE: 6" H CUT FACTORY EDGE TO MATCH FLOOR TILE	NOTE: SEE PLAN	PL 5 MFR: LAMINART COLOR: GRAPHITE #2418-T - TEXTURED FINISH LOC.: BDC OFFICE DESK
T 6 MFG: CROSSVILLE SERIES: CROSS TECH COLOR: GREY MINGLE R001 SIZE: 8 X 8 GROUT: TEC POWER GROUT 934	CONTACT: VIRGINIA TILE PHONE: JENNIFER MITCHELL@VIRGINIATILE.COM EMAIL: NOTE: SERVICE DPT. FLR SURFACES & ALL TECH SUPPORT SPACES	PT 6F MFG: BENJAMIN MOORE COLOR: 2124-70 DISTANT GRAY SHEEN: FLAT LOC.: DRYWALL CEILING & EXPOSED CEILING DF-1	TB 8 MFR: / COLOR: VARIOUS SIZE: 12X24 CUT 8" H INSTALL TOP FACTORY EDGE TO MATCH RETROPLAT FLOOR FINISH COLOR	NOTE: RETROPLATE BLACK USE T-1 LEA BASALTINA CERAMIC, COLOR: NATURALE RETROPLATE NATURAL USE T-2 LEA BASALTINA CERAMIC, COLOR: SABBIA TA VELVET	PL 6 MFR: WILSONART COLOR: GRAPHITE NEBULA #4623-60 FINISH: MATTIE SERVICE ADVISORS COUNTER INSIDE
T 7 MFG: CROSSVILLE SERIES: CROSS COLORS MINGLES COLOR: GREY MINGLE R001 SIZE: 8 X 8 GROUT: TEC POWER GROUT 934 WITH COVE BASE	CONTACT: VIRGINIA TILE PHONE: JENNIFER MITCHELL@VIRGINIATILE.COM EMAIL: NOTE: SERVICE DPT. RESTROOMS	WC 1 MFR: MAHARAM TEK WALL PATTERN: LUCENT COLOR: 004 MYTHICAL LOC.: WALCOVERING @ CUSTOMER TOUCH POINT AREAS & OFFICES	WB 1 6" H WOOD WALL BASE FINISH TO MATCH ADJACENT WALL CUSTOMER TOUCH POINTS AREAS T-1 BASE IS RECOMMENDED WHERE TILE IS USED	NOTE: SEE PLAN	WD 1 MFR: DOOGE VENEERS RECONSTITUTED WALNUT VENEER LOG COLOR: 25146 FSC (SEE CONTROLLED SAMPLE) LOC.: MILLWORK AS NOTED
T 8 MFG: DALTILE COLLEC.: COLOR WHEEL CLASSIC COLOR: ARTIC WHITE #0190 SIZE: 4" X 16" GROUT: MAPEI #27 SILVER LOC.: BREAKROOM BACKSPASH	CONTACT: ASHLEY JEWELL PHONE: 720-309-5340 EMAIL: ashley.jewell@daltille.com NOTE: BREAKROOM BACKSPASH	WD 1 DOOGE VENEERS RECONSTITUTED WALNUT VENEER LOG #25146 FSC (SEE CONTROLLED SAMPLE) SPECIES RECUT QTD WALNUT 35% SHEEN ROB GIBSON RGISSON@DOOGEVENEERS.COM (616) 871-3345	TS 1 MFR: SCHLUTER PRODUCT: DILEX-ANK 1S 80 ANI COLOR: SATIN ANODIZED ALUMINUM WALL TO FLOOR TILE	SEE PLANS	PL 7 MFR: FORMICA COLOR: BLACK 909-58 MATTIE FINISH LOC.: SALES MGR. FRONT COUNTER
RTP 1 MFG: RETRO PLATE COLOR: NATURAL DIAMOND POLISHED FINISH	CONTACT: LOCAL CONCRETE SUB PHONE: EMAIL: NOTE: SERVICE DEPT.	FRP 1 MFR: PANOLAM PRODUCT: FRP WALL PANEL FINISH: EMBOSSED COLOR: GRAY SIZE: 4' X 10' - WHEN FLOOR TO CEILING INSTALLATION	TS 2 MFR: SCHLUTER PRODUCT: JOLLY COLOR: AE - SATIN ANODIZED ALUMINUM LOCATION: SEE PLAN	SEE PLANS	MT 1 MFR: FORMICA COLOR: DECOMETAL #2022 BRUSHED ALUMINUM LOC.: MILLWORK AS NOTED
EPX 1 MFG: SHERWIN WILLIAMS PRODUCT: ARMORSEAL 1000 HS NON-SKID EPOXY COLOR TO MATCH BENJAMIN MOORE 212130 PEWTER	CONTACT: XXXXX PHONE: EMAIL: NOTE: SEE FLOORING PLAN	GL 2 COLOR & MATERIAL: FRAMELESS CLEAR GLASS W/ TOP & BOTTOM RECESSED CHANNEL ONLY DESC.: OFFICE STOREFRONT GLASS LOC.: SHOWROOM & SALES GLASS FRONT	TS 3 MFR: SCHLUTER PRODUCT: SCHINE COLOR: AE - SATIN ANODIZED ALUMINUM LOCATION: SEE PLAN	SEE PLANS	SS 1 MFG: CAMBRIA QUARTZ COUNTER COLOR: WHITEHALL LOC.: SALES MANAGER'S FRONT COUNTER
FLOORING LEGEND	CPT 1 MFG: SHAW CONTRACT GROUP STYLE: ARTISAN LOOM COLOR: ANGKOR 96500 INSTALL: MONOLITHIC FORMAT.	CONTACT: NICOLE PIKUR PHONE: 248.910.5235 EMAIL: nichole.pikur@shawcontract.com NOTE: CASUAL SALES AREAS, ENCLOSED OFFICES, HOSPITALITY	TS 4 MFR: JOHNSONITE PRODUCT: LS-40-D 3/8" TO SUBSTRATE BUTT-TO REDUCER TAPERING ACROSS A 12" WIDTH - 48" X 12"	ADD TS-2 AFTER INSTALLING TS-4 BETWEEN THE 2 DISSIMILAR SURFACES	SS 2 MFG: CAMBRIA QUARTZ COUNTER COLOR: FIELDSTONE LOC.: SALES MANAGER BACK STORAGE BATHROOM / LOCKER ROOM COUNTER
CPT 2 MFG: SHAW CONTRACT GROUP STYLE: EMBARK TILE 5T040 COLOR: MYTH 37505 INSTALL: MONOLITHIC FORMAT.	CONTACT: NICOLE PIKUR PHONE: 248.910.5235 EMAIL: nichole.pikur@shawcontract.com NOTE: NON CUSTOMER TOUCH POINTS	GF 1 COLOR & MTRL.: 3M DUSTED CRYSTAL DESC.: OFFICE GLASS VISION MARKING - HORIZONTAL LINE PATTERN LOC.: OFFICE GLASS VISION MARKING	TS 5 MFR: JOHNSONITE PRODUCT: E G63 SERIES COLOR: #63 BURNT UMBER LOCATION: TILE/CARPET TO CONCRETE OR VCT	SEE PLANS	SS 3 MFG: LG MINUET COLOR: VIATERA LOC.: BREAKROOM COUNTER
CPT 3 MFG: VG, INC. PATTERN: WINDSOR, 30 OZ, STRIAE, NYLON CARPET COLOR: DARK GRAY SIZE: 24X24 INSTALL: MONOLITHIC	CONTACT: SHOWROOM ENTRY	SH 1 MFG: MECO PRODUCT: THERMOVEIL 1300 SERIES COLOR: #1319 SILVER BIRCH, 5% OPENNESS	ACT 1 MFR: ARMSTRONG - ULTIMA 1986 9/16 INTERLUDE GRID 2' X 5' LOC.: ALL CUSTOMER TOUCHPOINT AREAS EXCEPT SHOWROOM & SERVICE LANE	ACT 3 ALT MFR: ARMSTRONG DESC.: METAL 2X2 SNAP IN METAL PERFORATED CEILING COL.: 0280 COTTON WHITE FINISH WITH PERF 103 PATTERN , 20% OPEN EXTERIOR CONDITION	HD 1 MFG: MOCKETT PRODUCT: 8.125" ELEGANT PULL DP148A POLISHED CHROME LOC.: SALES MANAGERS ROOM. BACK STORAGE / SERVICE ADVISOR BACK COUNTER / BREAKROOM
VT 1 MFG: SHAW CONTRACT GROUP STYLE: STRAND 0516V COLOR: SILT 16595 SIZE: 18 X 36 INSTALL: STAGERED 1/3	CONTACT: NICOLE PIKUR PHONE: 248.910.5235 EMAIL: nichole.pikur@shawcontract.com NOTE: FILE STORAGE, PRINT/COPY ROOMS, LUNCHROOM, TECH PARTS, NON CUSTOMER TOUCH POINTS	ACM 1 MFG: ALPOLIC COLOR: CPW WHITE - 4MM 4CPW8 LOC.: EXT. CLADDING FOR PRIMARY SHOWROOM & NEW CAR DELIVERY.	ACT 2 MFR: ARMSTRONG - ULTIMA 1912A 9/16 INTERLUDE GRID 2' X 2' LOC.: NON-CUSTOMER AREAS OFFICES, NON-CUSTOMER TOUCH POINTS	HD 2 MFG: MOCKETT PRODUCT: 18.1875" ELEGANT PULL DP148C POLISHED CHROME LOC.: SALES MANAGERS ROOM BACK STORAGE	HD 2 MFG: RICHELIEU PRODUCT: CORD GROMMET 3" SQUARE GROMMET 767610 FINISH: SATIN ALUMINUM LOC.: SERVICE ADVISOR COUNTER
SDT 1 MFG: ROPPE STYLE: ESD VINYL STATIC CONTROL TILE COLOR: TORNADO GRAY #757 SIZE: 12 X 12 OR 24 X 24	CONTACT: CHRIS JANKOWSKI PHONE: 248.910.5235 EMAIL: cjankowski@sstfloor.com NOTE: SEE FLOORING PLAN	ACM 2 MFG: ALPOLIC COLOR: MICA MNC - 4MM 4MNC8 LOC.: EXT. WINDOW FRAME FINISH SERVICE & PARTS.	ACT 3 MFR: ARMSTRONG CONTACT: LISA CAVATAJO 773.882.0299 LYCAVATAJO@ARMSTRONGCEILING.COM METAL 2X2 VECTOR PANEL METAL WORKS PERFORATED CEILING SILVER GRAY (SG, SG2) COLOR M2 MICROPERFORATED PATTERN EXTERIOR CONDITION	HD 5 MFG: RICHELIEU PRODUCT: CORD GROMMET 3" SQUARE GROMMET 767610 FINISH: SATIN ALUMINUM LOC.: SERVICE ADVISOR COUNTER	HD 5 MFG: RICHELIEU PRODUCT: CORD GROMMET 3" SQUARE GROMMET 767610 FINISH: SATIN ALUMINUM LOC.: SERVICE ADVISOR COUNTER
		ACM 3 MFG: ALPOLIC COLOR: CNC CHARCOAL - 4MM 4CNC8 LOC.: SIDE ENTRY ONLY	EXP 1 MFG: BENJAMIN MOORE COLOR: 2124-70 DISTANT GRAY SHEEN: FLAT LOC.: EXPOSED CEILINGS	HD 6 MFG: HICKORY PRODUCT: AUSTERE COLLECTION LIP PULL #C02H075749-AL	HD 6 MFG: HICKORY PRODUCT: AUSTERE COLLECTION LIP PULL #C02H075749-AL
		ACM 2A MFG: ALUCOBOND COLOR: ANODIC CLEAR MICA PVDF-2 LOC.: EXT. WINDOW FRAME FINISH SERVICE & PARTS.	NOTE: CONTRACTOR TO VERIFY THE CORRECT MODEL FOR THE TRANSITIONS BETWEEN 2 DISSIMILAR MATERIALS		
		ACM 3A ALTERNATE MFG: ALUCOBOND COLOR: DUSTY CHARCOAL II PVDF-2 LOC.: SIDE ENTRY ONLY	CEILING TRANSITION TRANSITION FROM TILE TO WALL TRANSITION FROM TILE TO WALL TRANSITION FROM TILE TO WALL		
		OFFICE FRONT ELEVATION WITH APPLIED VISION MARKINGS 	TRANSITIONS 		
		96" LADDER PULL REQUIRED NOT SHOWN	MILLWORK		
			COUNTERTOPS		
			BACKING FOR TV'S 		
			MILLWORK		
			HARDWARE		
			OWNER TO CONFIRM HEIGHTS INSTALL 3/4" FRT PLYWOOD MIN. OF 2 STUDS WIDE ON CENTER X TBD"H FOR SURFACE MOUNTED TV'S ONLY		
			PAINT SPECS: OR EQUAL CEILINGS: PAINT: SHERWIN WILLIAMS PRO MAR 200 SHEEN: FLAT VOC: LOW TO NO VOC WALLS: PAINT: SHERWIN WILLIAMS PRO MAR 200 SHEEN: SATIN/EGG-SHELL VOC: LOW TO NO VOC METAL DOORS/JAMBS, BLOCK WALLS & WALLS AS PER PLAN SPECIFIED: DEVOE PAINT: DEVFLEX SHEEN: SEMI GLOSS VOC: LOW TO NO VOC		
			CONFIRM FINISHES IN BOTH FINISH SCHEDULE ID 1.0 AND ROOM FINISH SCHEDULE ID 1.1		

ERDMAN CADILLAC

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS					CEILING FINISH	HEIGHT	REMARKS	
				MATL	NORTH	EAST	SOUTH	WEST				
100	VESTIBULE	CPT-3	WD-1	GYP BD	PT-1	PT-1	PT-1	PT-1	GYP-BD	PT-6F	10'-6"	MONOLITHIC INSTALLATION
101	CONCIERGE	T-1	TB-1	GYP BD	-	WD-1	PT-1	PT-1	GYP-BD	PT-6F	12'-0"	
102	KEY STORAGE	T-1	TB-1	GYP BD	PT-1	PT-1	PT-1	PT-1	GYP-BD	PT-6F	10'-6"	
103	SHOWROOM	CPT-1/T-1/T-2	TB-1	GYP BD	PT-1	WD-1	PT-1	PT-1	GYP-BD	PT-6F	12'-0"	WB-1 HARDWOOD TO MATCH WOOD FEATURE WALL BASE TO BE FLUSH WITH WALL
104	NEW CAR DELIVERY	T-1/T-2	TB-1	GYP GLZ	PT-1 GLZ	WD-1	PT-1 GLZ	PT-1 GLZ	GYP BD TYPE G	PT-6F	10'-6"	
105	SALES	CPT-1	WB-1	GYP BD	PT-1	WC-1	PT-1	PT-1	ACT-1	WHITE	10'-0"	MONOLITHIC INSTALLATION
106	OFFICE	CPT-1	WB-1	GYP BD	PT-1	PT-1	PT-1	PT-1	ACT-1	WHITE	10'-0"	MONOLITHIC INSTALLATION
107	GM	CPT-1	WB-1	GYP BD	PT-1 GLZ	PT-1	WC-1	PT-1	ACT-1	WHITE	10'-0"	MONOLITHIC INSTALLATION
108	BDC	CPT-1	RBS-1	GYP BD	PT-1	PT-1	PT-1	PT-1	ACT-1	WHITE	9'-0"	BASE TO BE JOHNSONITE #63 BURNT UMBER
109	IT ROOM	SDT-1	RBC-1	GYP BD	PT-1	PT-1	PT-1	PT-1	GYP-BD	PT-6F	9'-0"	FRP-1 FLOOR TO CEILING INSTALLATION - 4X10 SHEETS
110	WOMENS RESTROOM	T-1	TS-1	DURAROCK	T-3	T-3	T-3	T-3	GYP-BD	PT-6F	9'-0"	SCHLUETER TRIM DILEX FLOOR TO WALL TRANSITION, SATIN ALUMINUM BETWEEN RR'S 109 / 110 WATER FOUNTAIN WALL FLOOR TO CEILING - T-2
111	MENS RESTROOM	T-1	TS-1	DURAROCK	T-3	T-3	T-3	T-3	GYP-BD	PT-6F	9'-0"	SCHLUETER TRIM DILEX FLOOR TO WALL TRANSITION, SATIN ALUMINUM
112	EMPLOYEE BREAK/CONF. RM	VT-1	RBC-1	GYP BD	PT-5	PT-5	PT-5 T-8	PT-5	ACT-1	WHITE	9'-0"	BASE TO BE JOHNSONITE #63 BURNT UMBER, BACKSPLASH SUBWAY GRAY TILE
113	GUEST LOUNGE	CPT-1	WB-1	GYP BD	PT-1	PT-1 MILL	PT-1	PT-1	GYP-BD	PT-6F	9'-6"	WB-1 PAINTED PT-1 TO BE FLUSH WITH WALL, MONOLITHIC INSTALLATION
114	JANITOR CLOSET	T-1	TB-1	GYP BD	FRP-1	FRP-1	FRP-1	FRP-1	OPEN	DF-1	-	FRP-1 4X10 FLOOR TO CEILING INSTALLATION
115	ELECTRICAL ROOM #2	EPX-1	RBC-1	GYP BD	PT-4	PT-4	PT-4	PT-4	OPEN	DF-1	-	SDT-1 VINYL DISSIPATIVE TILE - GRAY, DRY FALL DF-1 TO MATCH PT-1
	NOT USED											
116	CASHIER	T-1	TB-1	GYP BD	PT-1	PT-1	PT-1	PT-1	ACT-1	WHITE	10'-0"	
117	SERVICE RECEPTION	T-1	TB-1	GYP BD	PT-1	PT-1	MILLWK PT-1	PT-1	ACT-1 GYP.B	WHITE	9'-6" 10'-0"	9'-6" GYB. BOARD CEILING / 10'-0" ACT-1 CEILING
118	SERVICE MANAGER	T-1	TB-1	GYP BD	PT-1	PT-1	PT-1	PT-1	ACT-1	WHITE	10'-0"	
119	SALES	CPT-1	WB-1	GYP BD	PT-1 GLZ	PT-1	WC-1	PT-1	ACT-1	WHITE	10'-0"	WB-1 PAINTED PT-1 TO BE FLUSH WITH WALL
120	SALES MANAGER	CPT-1	WB-1	GYP BD	PT-1	WD-1	PT-1	PT-1 GLZ	ACT-1	WHITE	10'-0"	WB-1 PAINTED PT-1 TO BE FLUSH WITH WALL
121	SERVICE LANES	T-4/T-5	TB-4	TILT UP	PT-1	PT-1	PT-1	PT-1	ACT-3	SILVER	15'-0"	
122	PARTS MANAGER	T-1	TB-1	GYP BD	PT-3	PT-3	PT-3	PT-3	EXP	-	-	
123	PARTS DEPARTMENT	SC-1	RBC-1	TILT UP GYP. BD	PT-3	PT-3	PT-3	PT-3	EXP	-	-	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
124	SPECIAL TOOLS	EPX-1	RBC-1	TILT UP GYP. BD	PT-3	PT-3	PT-3	PT-3	EXP	-	-	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
125	WOMENS RR/LOCKER	T-1	TS-1	DURAROCK	T-2	T-2	T-2	T-2	GYP-BD	PT-6F	9'-0"	SCHLUETER TRIM DILEX FLOOR TO WALL TRANSITION, SATIN ALUMINUM
126	MENS RR/LOCKER	T-1	TS-1	DURAROCK	T-2	T-2	T-2	T-2	GYP-BD	PT-6F	9'-0"	SCHLUETER TRIM DILEX FLOOR TO WALL TRANSITION, SATIN ALUMINUM
127	ELECTRICAL ROOM #1	EPX-1	RBC-1	GYP BD	PT-3	PT-3	PT-3	PT-3	OPEN	DF-1	EXP.	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
128	BREAK ROOM	VT-1	RBC-1	GYP BD	PT-5	PT-5	PT-5 T-8	PT-5	ACT-2	WHITE	9'-0"	BASE TO BE JOHNSONITE #63 BURNT UMBER, BACKSPLASH SUBWAY GRAY TILE
129	BATTERY STORAGE	SC-1	RBC-1	TILT UP GYB.B.	PT-3	PT-3	PT-3	PT-3	OPEN	DF-1	-	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
130	SERVICE DEPARTMENT	RTP-1	TB-8	TILT UP	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	OPEN	DF-1	-	RTP-1 RETROPLATE HIGHLY POLISHED CONCRETE SYSTEM, DRY FALL (DF-1) TO MATCH PT-1, T-8 SEE FINISH PLAN
131	COMPRESSOR / OIL	SC-1	RBC-1	TILT UP	PT-3	PT-3	PT-3	PT-3	EXP	-	-	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
132	FIRE RISER ROOM	SC-1	RBC-1	TILT UP	PT-3	PT-3	PT-3	PT-3	EXP	-	-	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
200	MEZZANINE	-	-	TILT UP	PT-3	PT-3	PT-3	PT-3	OPEN	DF-1	-	DRY FALL (DF-1) TO MATCH PT-1, JOHNSONITE BASE #63 BURNT UMBER
	CORRIDOR #1	T-1	TB-1	GYP BD	PT-1 T-3	PT-1	PT-1 GLZ	PT-1	ACT-1	WHITE	10'-0"	
	CORRIDOR #2	T-1	TB-1	GYP BD	-	PT-1	-	PT-1	ACT-1	WHITE	10'-0"	
	CORRIDOR #3	T-1	TB-1	GYP BD	PT-1	PT-1	-	PT-1	ACT-1	WHITE	10'-0"	
	CORRIDOR #4	T-1	TB-1	GYP BD	PT-1	PT-1	PT-1	PT-1 MILL	ACT-1	WHITE	10'-0"	
	CORRIDOR #5	RTP-1	TB-8	TILT UP	-	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	PT-1 - ABOVE PT-4 -1 BLOCK PT-3 -7 BLOCK	EXP	-	-	RTP-1 RETROPLATE HIGHLY POLISHED CONCRETE SYSTEM, DRY FALL (DF-1) TO MATCH PT-1

ABREVIATIONS

WALL & CEILING TYPES
 STR = STOREFRONT
 GLZ = GLAZING
 GYP BD = GYPSUM WALL BOARD
 DENZ = DENS SHIELD BOARD

INTERIOR FINISHES-FLOORING
 FG = VESTIBULE PEDITRED OR EQUAL
 CPT = CARPET TILE
 T = CERAMIC TILE AND/OR PORCELAIN TILE
 VT = LUXURY VINYL TILE
 VST = VINYL STATIC DISSIPATIVE TILE
 SC = SEALED CONCRETE
 RTP = HIGHLY POLISHED DIAMOND GRIND CONCRETE SYSTEM

INTERIOR FINISHES-WALL SURFACES
 FRP = FIBER RE-ENFORCED PANELS
 GRP = GRAPHIC VINYL WALL COVERING OR VINYL ON 3/4" BLACK GATOR BOARD
 PT-PAINT
 F = FLAT FINISH (NOTED AFTER THE NUMBER)
 DF = DRY FALL FLAT FINISH (NOTED AFTER THE NUMBER)
 E = EGGSHELL, SATIN - ONE SHEEN UP FROM FLAT OR MATTE
 SG = SEMI GLOSS FINISH - DOOR JAMBS (NOTED AFTER THE NUMBER)
 G = GLOSS FINISH (NOTED AFTER THE NUMBER)
 PL = PLASTIC LAMINATE
 WC = VINYL WALL COVERING

INTERIOR FINISHES-WALL BASES
 TB = CERAMIC TILE BASE
 WB = WOOD BASE PAINTED
 DF = DRY FALL BASE (COVERED)
 RBS = RUBBER STRAIGHT BASE FOR CARPET
 VB = VINYL BASE (COVERED)
 TS = TRIM BETWEEN SIMILAR OR DISSIMILAR FLOORING OR WALL/FLOOR. CONTRACTOR TO PROVIDE CORRECT SIZE AS PER THICKNESS OF THE EACH MATERIAL

SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THESE DRAWINGS OR SPECIFICATIONS, THE BETTER QUALITY, GREATER QUANTITY AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED, UNLESS INSTRUCTED OTHERWISE BY THE OWNER AND/OR ARCHITECT DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM OR CONTRACT TIME.

NON CUSTOMER CONTACT

MILLWORK NOTES

ALL MILLWORK TO COMPLY WITH AWI CUSTOM GRADE STANDARDS

ALL INTERIOR TO BE WHITE MELAMINE WITH ADJUSTABLE SHELVES ON ADJUSTABLE PINS, UNLESS OTHERWISE NOTED

INSERTA BLUM HINGES 120° CLIPTOP, MODEL #: B71T559

WATER SUPPLY GROMMET: DOUG MOCKETT MODEL: OG/BLACK (1")

TRASH GROMMETS: DOUG MOCKETT TM2B-PSS (POLISHED STAINLESS STEEL- 6")

MILLWORK GROMMETS: DOUG MOCKETT, MODEL: EDP WHITE - HOLE SIZE TO CUT 2-1/2"

ACCURIDE 3732 FULL EXTENSION DRAWER GLIDES 100 LBS. LOAD CAPACITY ZINC PLATED

NATIONAL LOCK - CAM LOCK MODEL #: N8053

SHELF BRACKETS - KNAPE & VOGT #85 DOUBLE SLOT HEAVY DUTY STANDARD / 185 SERIES DOUBLE BRACKETS

*GROMMETS HOLES TO BE FIELD CUT/VERIFIED, EXCEPT IN STAINLESS WILL BE CUT AT THE FABRICATORS

ALL SOLID SURFACE ARE MITERED EDGES

CONTRACTOR IS RESPONSIBLE TO CHECK ON ALL FINISH MATERIALS' LEAD TIME AFTER THE BID IS AWARDED. 12 WEEKS PRIOR TO SUBMITTAL, REPORT ALL LEAD TIMES OF MATERIALS TO THE ARCHITECT AND INTERIOR DESIGNER

architecture design planning

HARTMANN architecture inc.

4427 W. Kennedy Blvd. Suite 250
Tampa, Florida 33609
813.251.2190
AR09622

Project Name



MIKE ERDMAN CADILLAC
 4750 Highway 520
 Cocoa, FL 32926

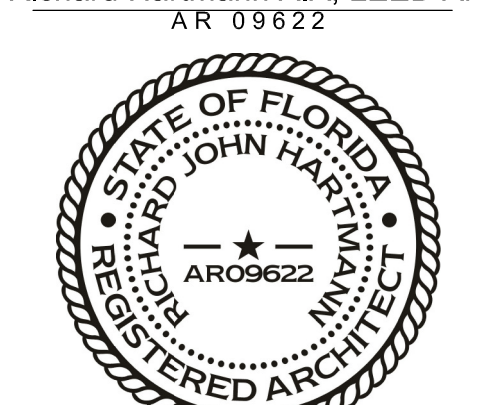
Sheet Title

ROOM FINISH SCHEDULE

Revisions

State Registration

Richard Hartmann AIA, LEED AP
AR 09622



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To the best of the knowledge of the architects & engineers, said plans and specifications comply with the applicable building codes and minimum fire safety standards.

Project Number

22026

Drawn By

RCK/RLH

Checked By

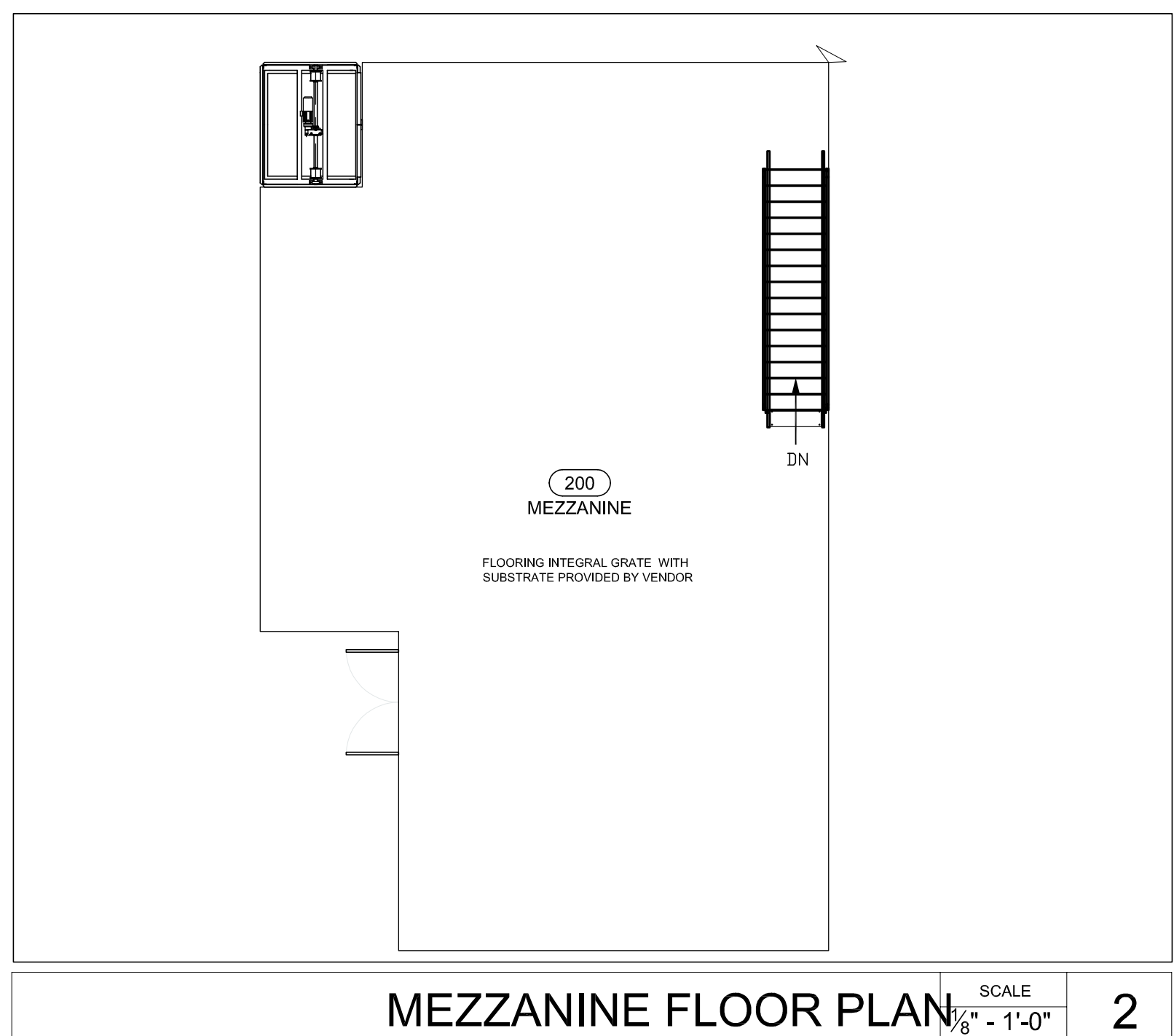
RJH

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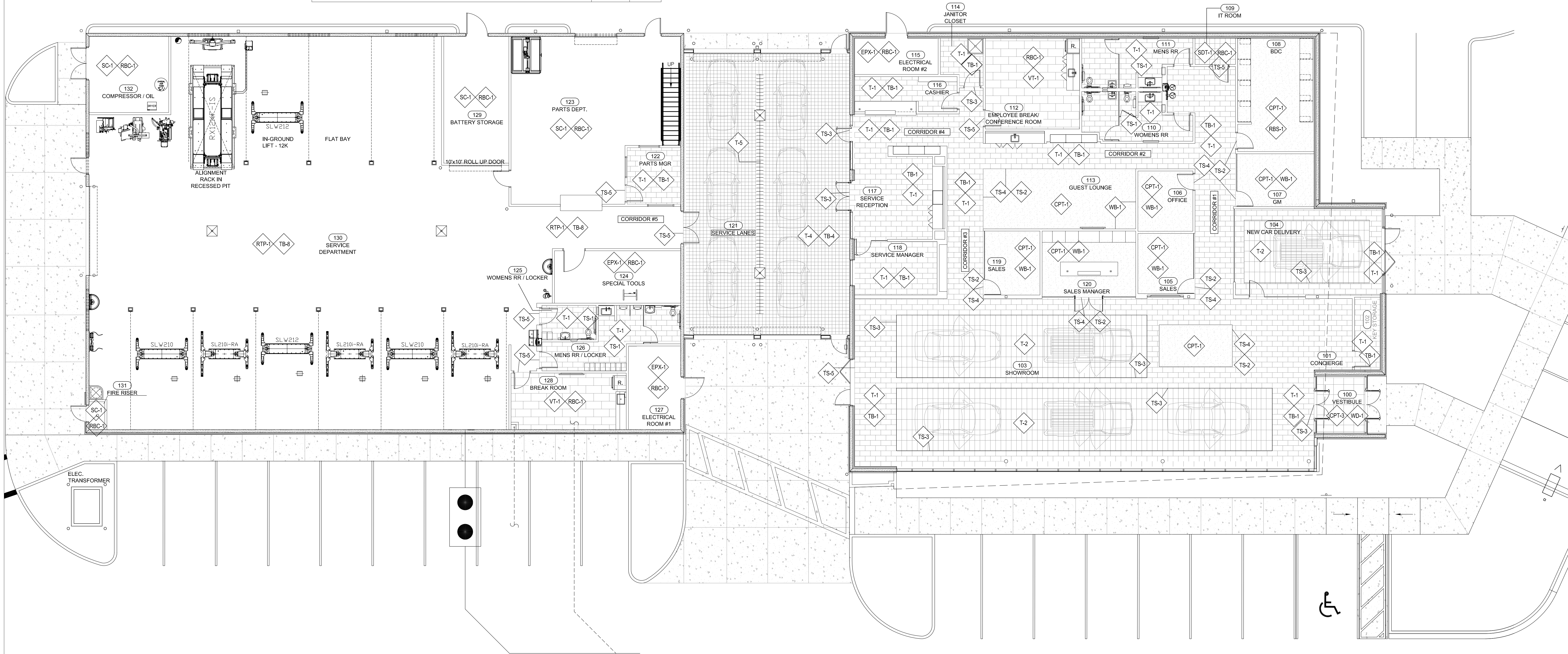
02.09.24

Sheet Number

IMPRESA UNLIMITED, INC.
 394 S. DOWNING STREET DENVER, CO 80209
 V: 303.4 DESIGN P: 303.262.0140
 F: 303.433.7446 C: 303.324.7516 Joyce E. McDaniel



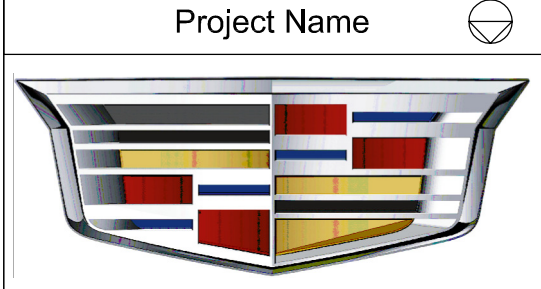
MEZZANINE FLOOR PLAN SCALE 1/8" = 1'-0" 2



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planning

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Sheet Title
FLOOR FINISH PLAN

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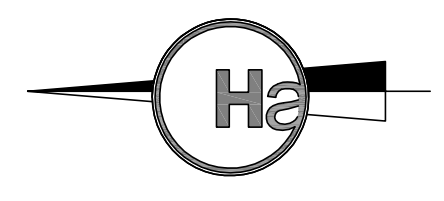
Project Number
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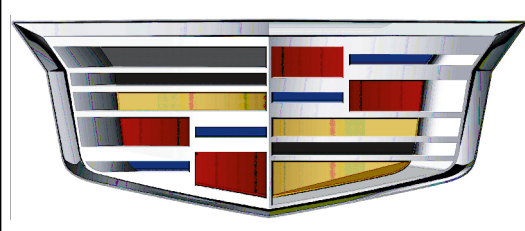
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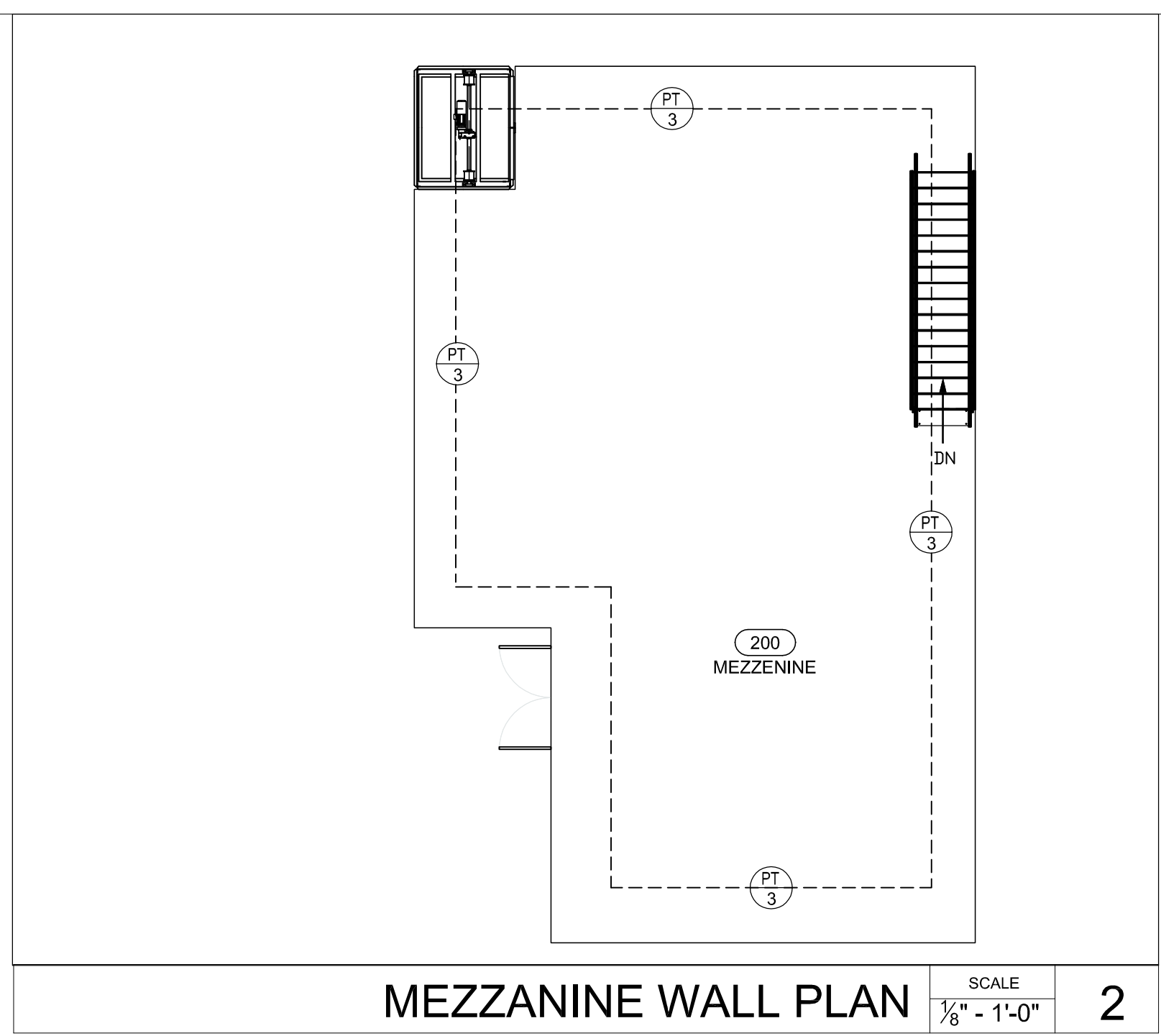
IMPRESA UNLIMITED, INC.
394 S. DOWNING STREET DENVER, CO 80209
V: 303.4 DESIGN F: 303.282.0140
V: 303.433.7446 C: 303.324.7956 Joyce E. McDaniel

FLOOR FINISH PLAN SCALE 1/8" = 1'-0" 1

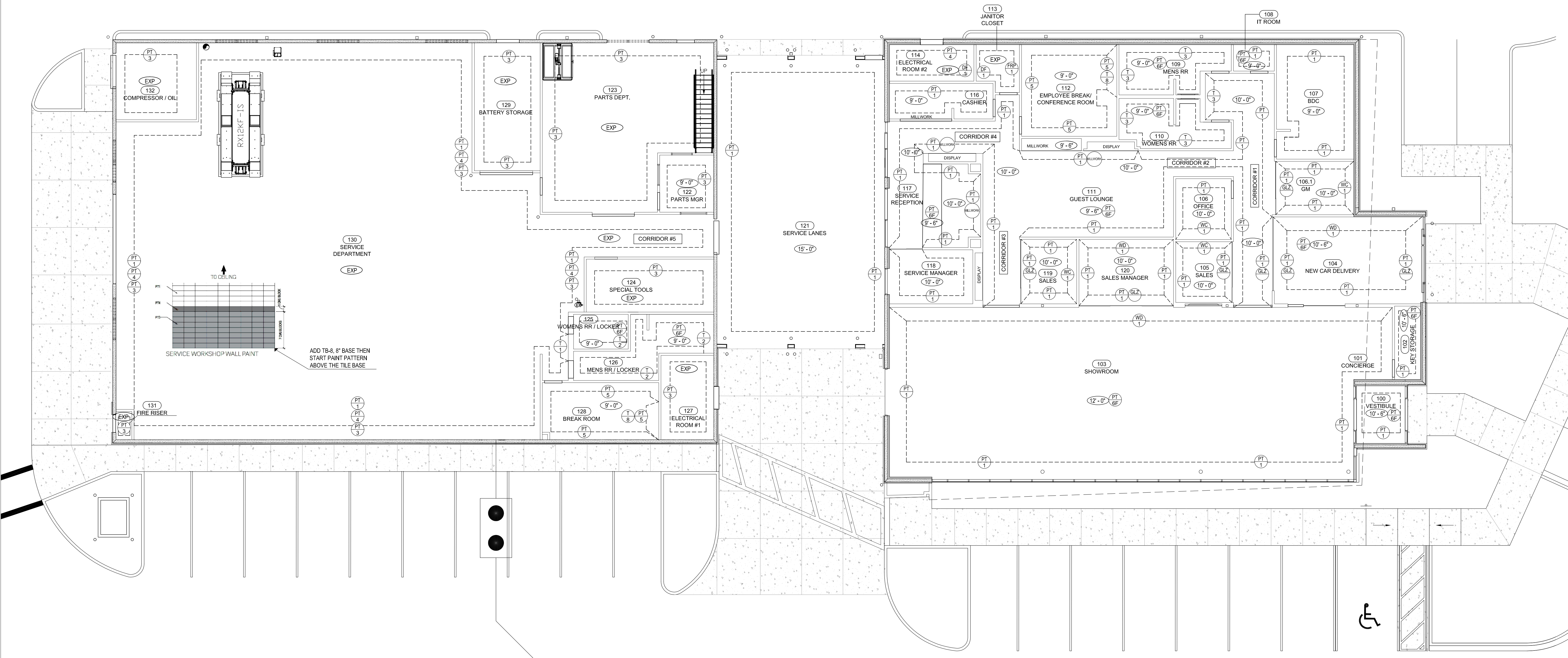
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Cocoa, FL 32926



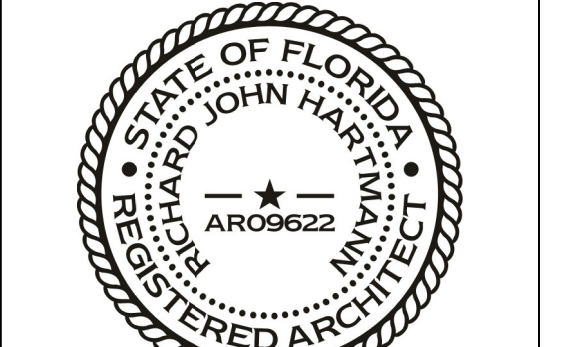
MEZZANINE WALL PLAN SCALE 1/8" = 1'-0" 2



Sheet Title
WALL FINISH PLAN

Revisions

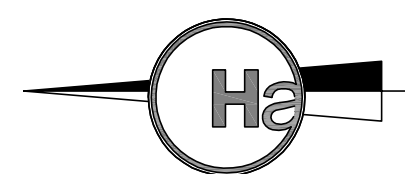
State Registration
Richard Hartmann AIA, LEED AP
A/R: 10/9/22



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To the best of the knowledge of the architects & engineers, wall plans and specifications comply with the applicable building codes and minimum fire safety standards.

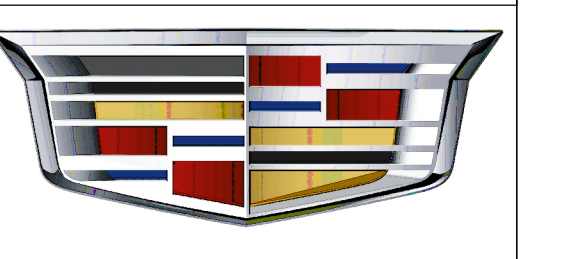
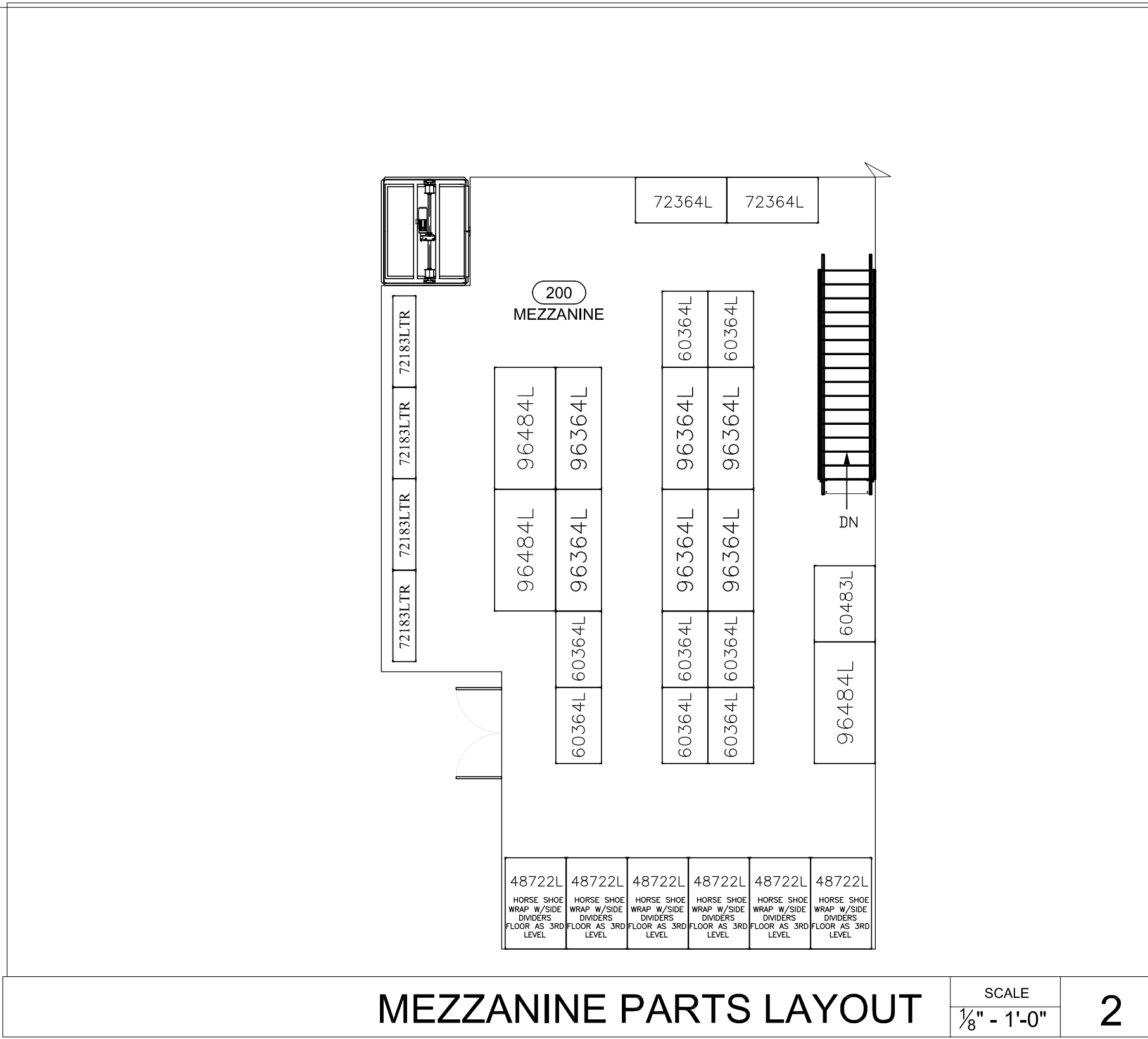
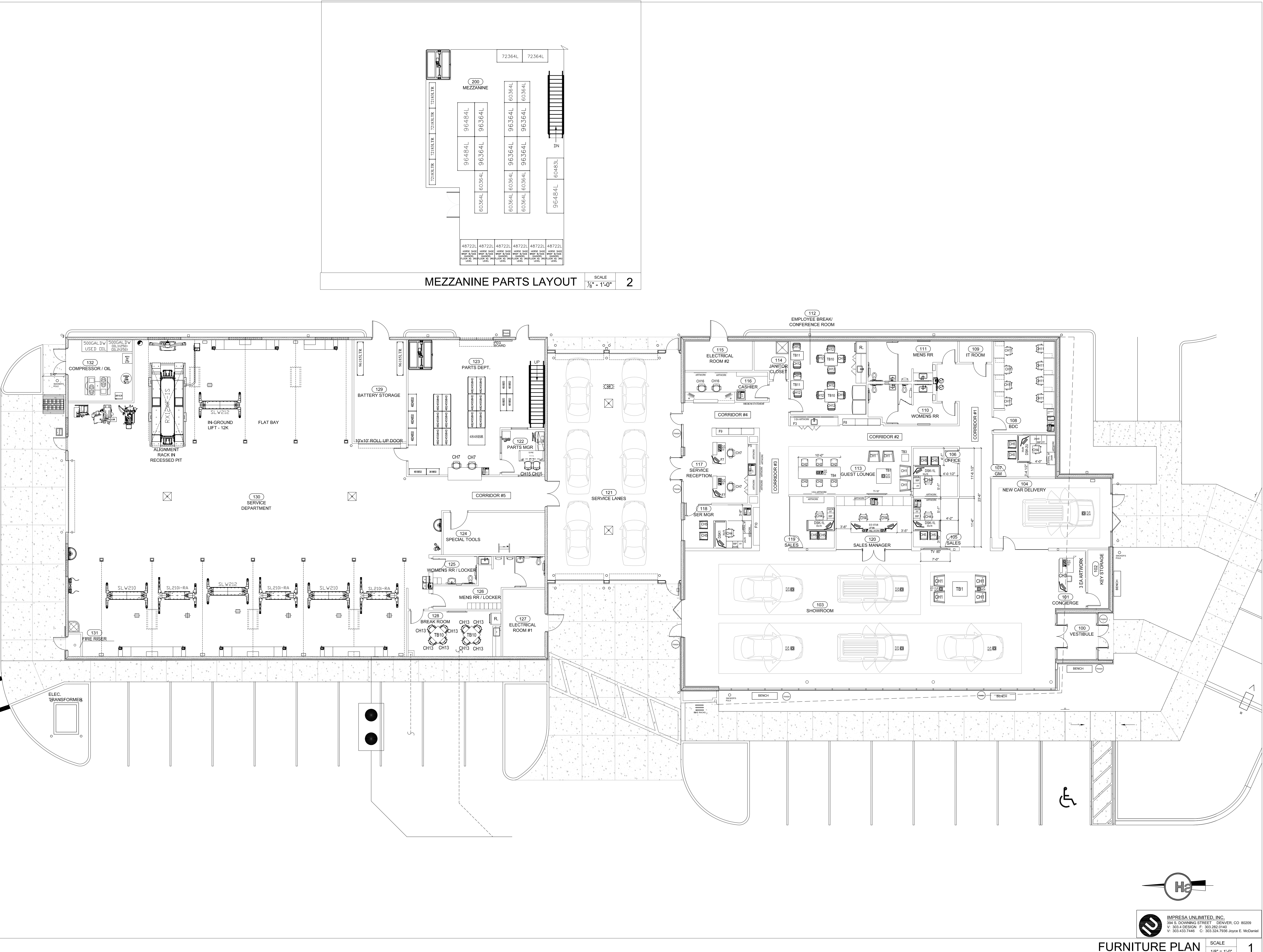
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Drawn By	RCK/RLH
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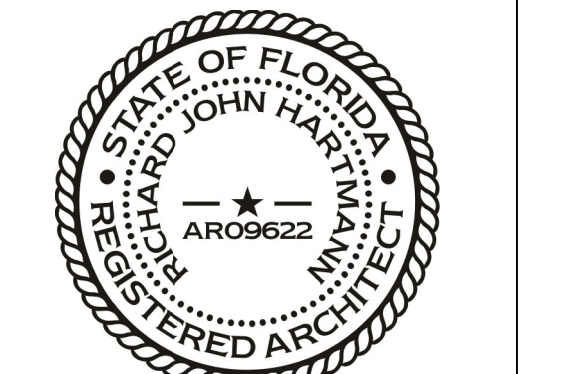
WALL FINISH PLAN SCALE 1/8" = 1'-0" 1

ID 3.0



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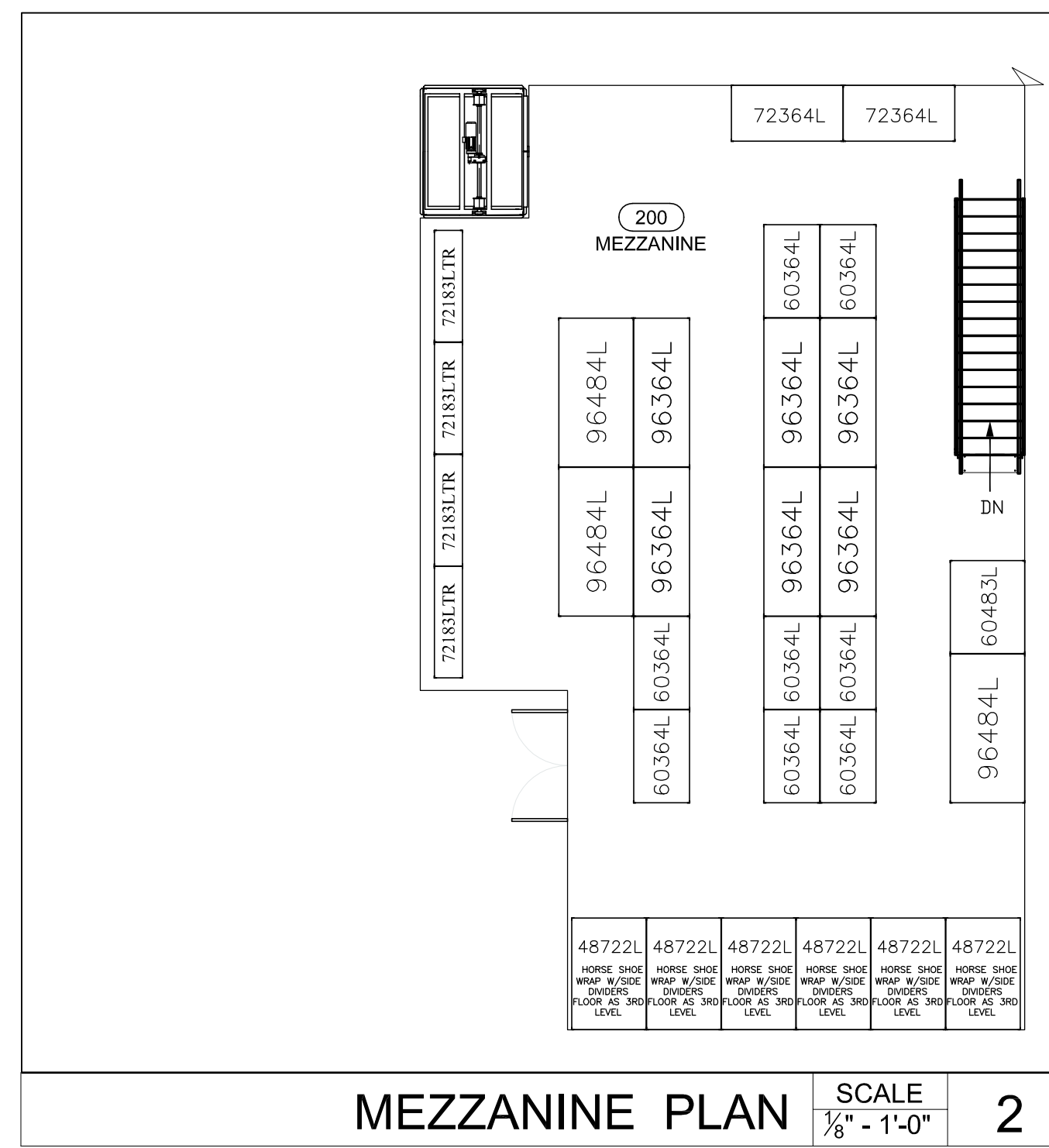
Sheet Title	FURNITURE PLAN
Revisions	
State Registration	Richard Hartmann AIA, LEED AP
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	1



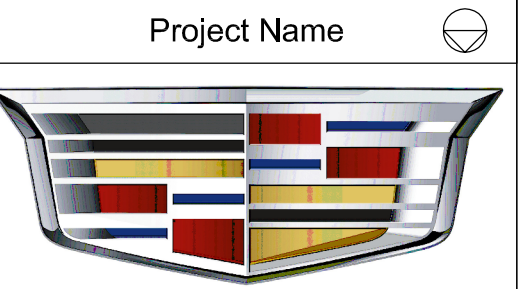
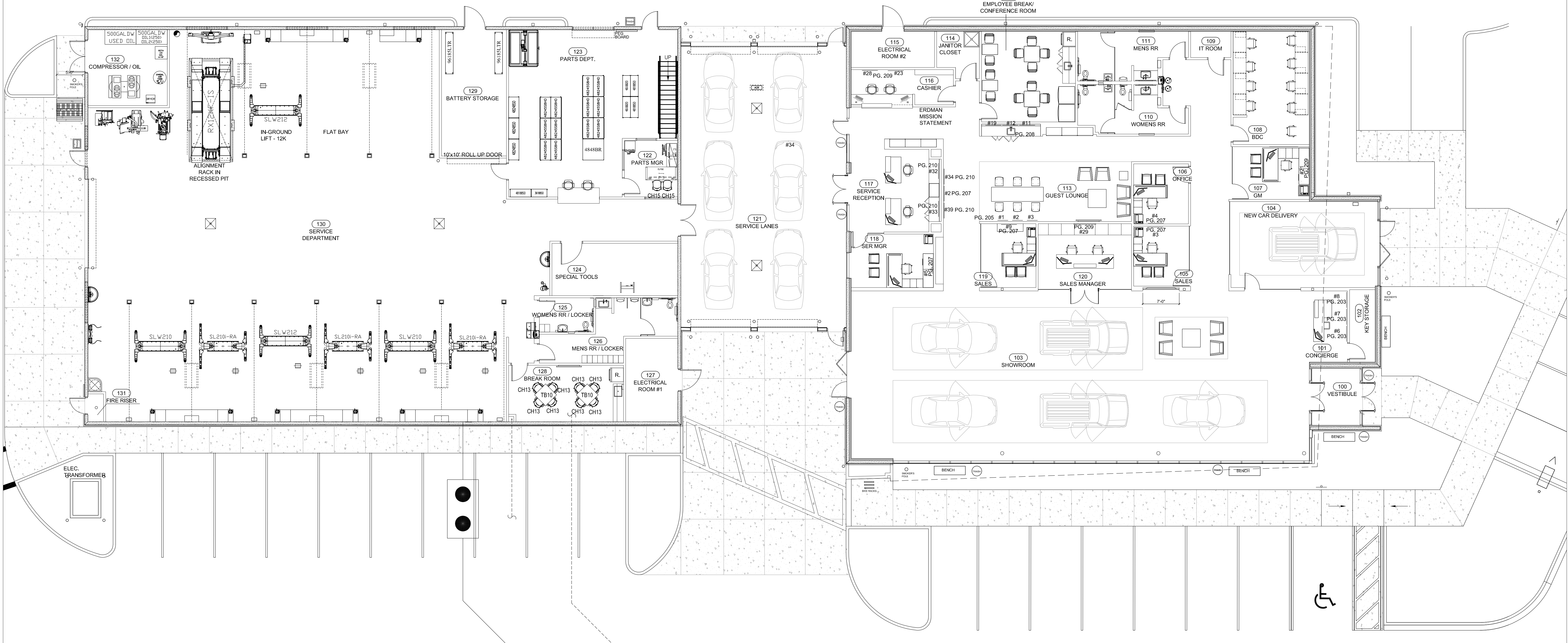
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To the best of the knowledge of the architects & engineers, said plans and specifications conform with the applicable building codes and all other applicable laws and regulations.





MEZZANINE PLAN SCALE 1/8" = 1'-0" 2



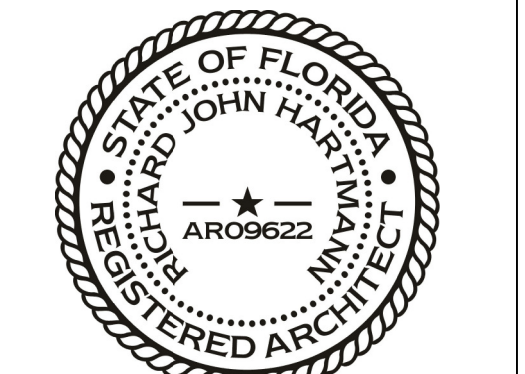
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Sheet Title

ARTWORK PLAN

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To the best of the knowledge of the architects & engineers, said plans and specifications comply with the applicable building codes and provisions for safety structures.

Project Number
22026

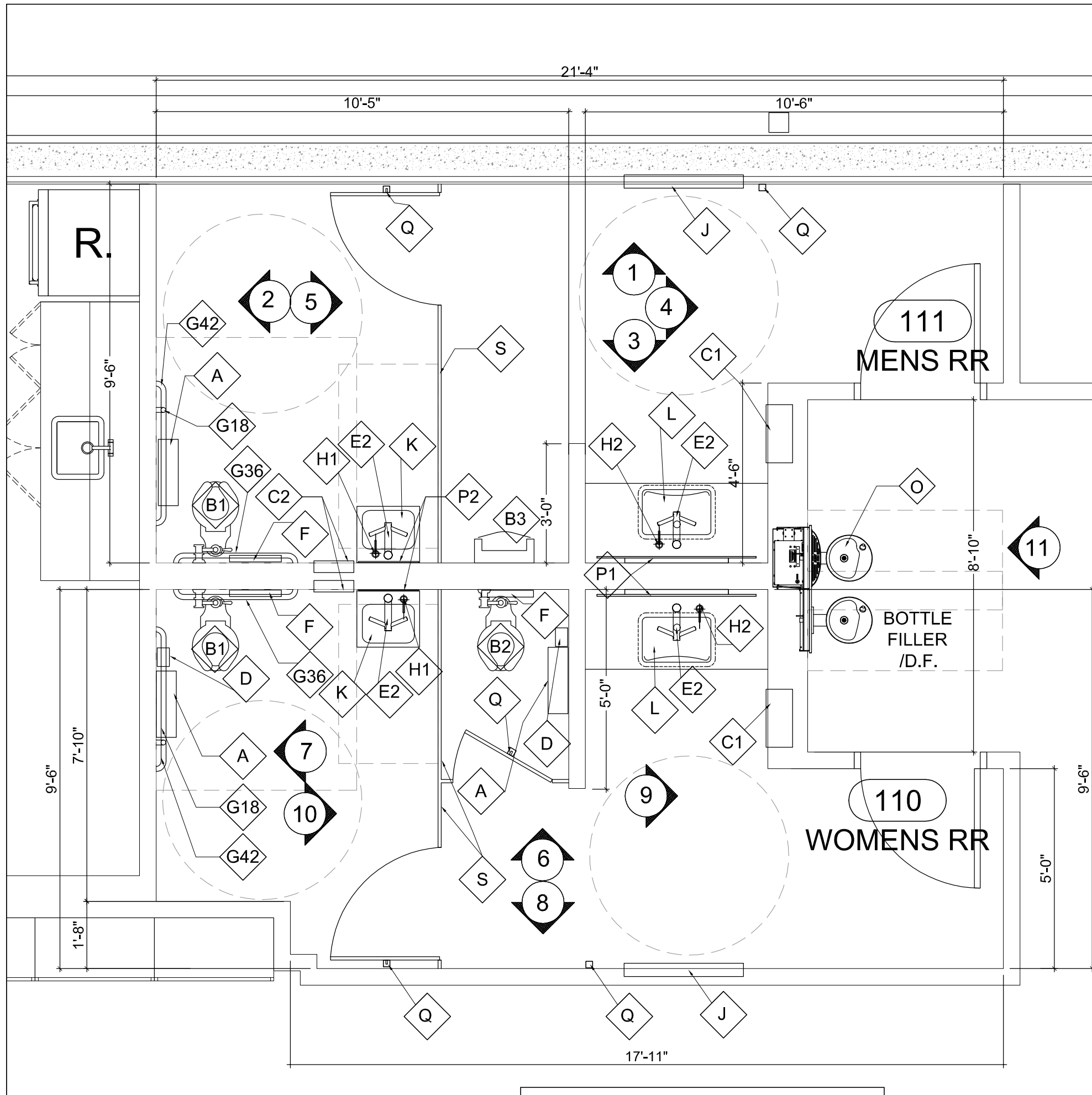
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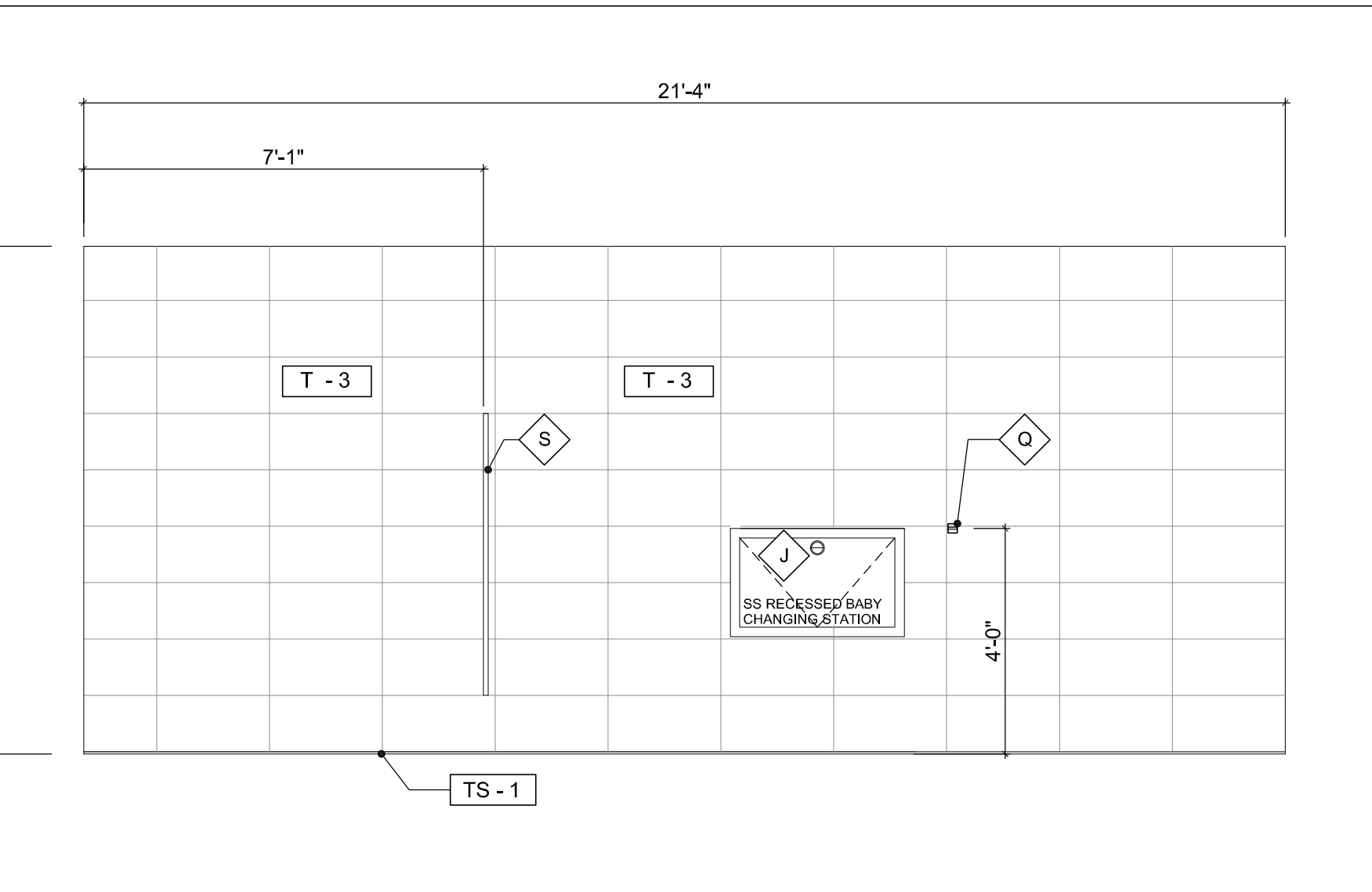




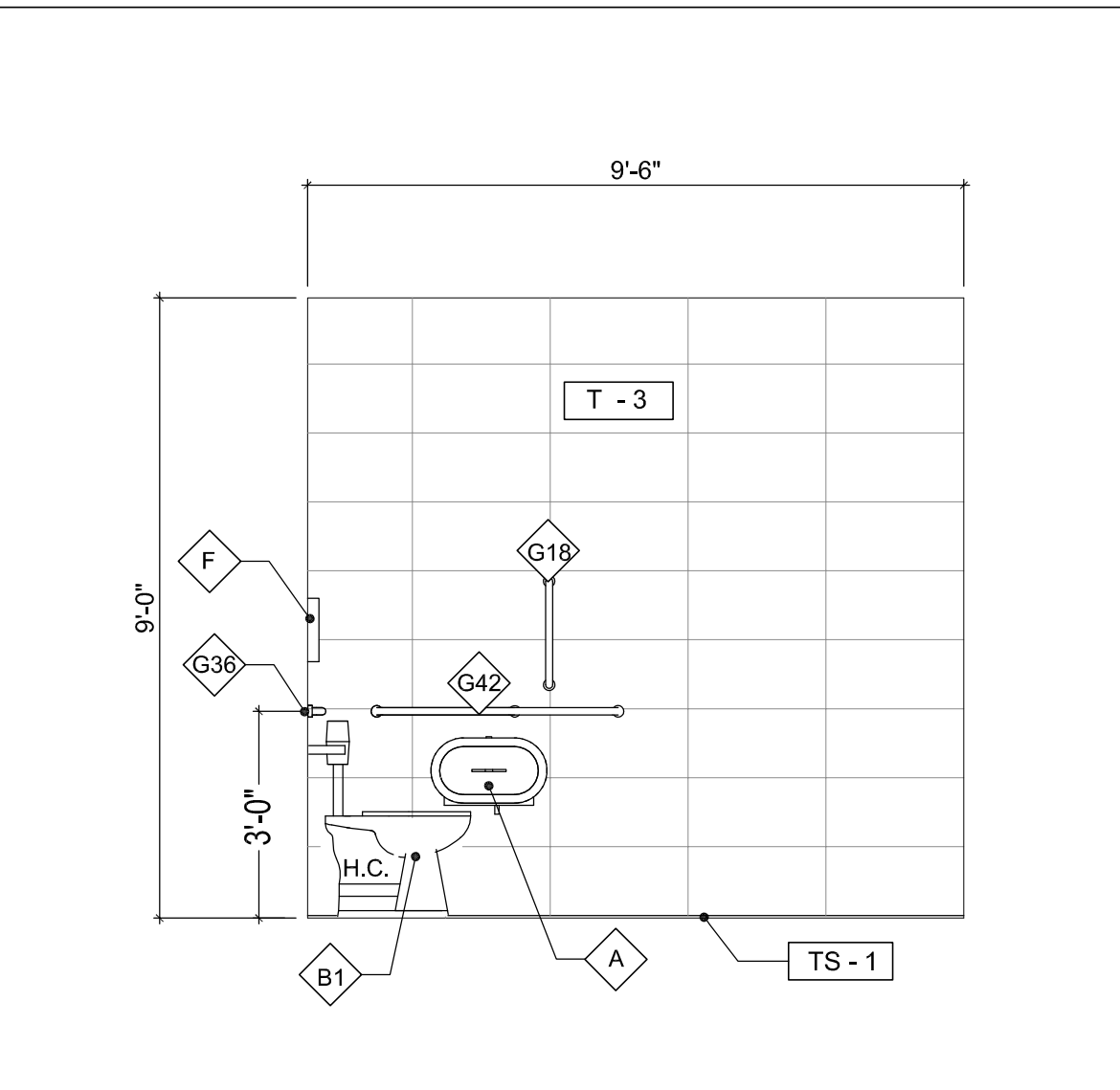
#109 MENS' & #110 WOMENS' ENLARGED RESTROOMS PLAN VIEW
SCALE: 3/8"=1'-0"

ERDMAN CADILLAC RESTROOM & OTHER SPECIFICATIONS

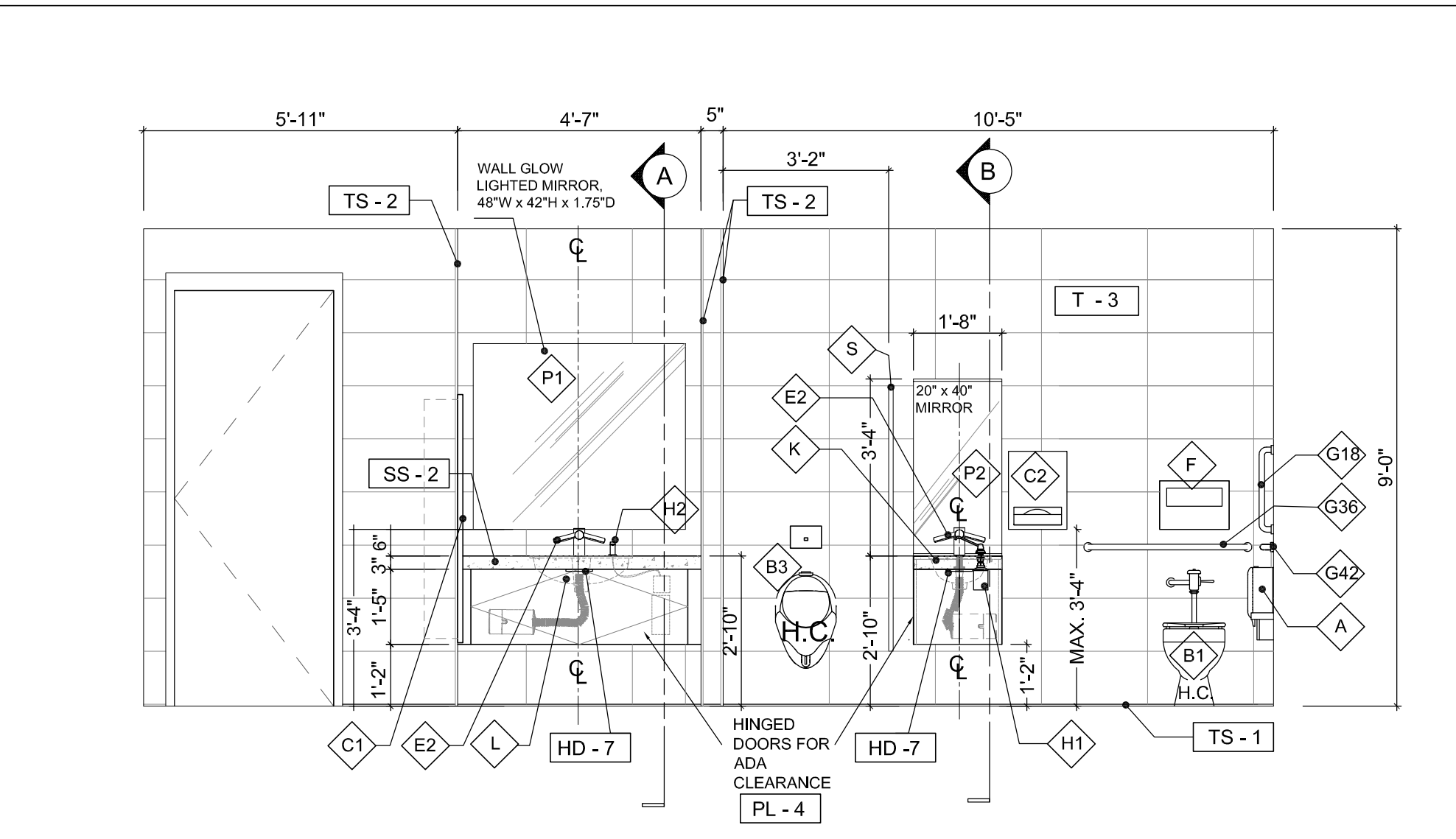
NO.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS
A	TOILET PAPER ROLL UNIT	BOBRICK	B-2882	JUMBO ROLL TP
B1	WATER CLOSET - FLUSH VALVE H.C.	SEE PLUMBING DWGS.		
B2	STANDARD WATER CLOSET	SEE PLUMBING DWGS.		
B3	URINAL - H.C. CUSTOMER CONTACT	TOTO	UT104E (V)	
B4	URINAL - H.C. & STANDARD HEIGHT INSTALL @ LOCKER ROOM	KOHLER	BARDON HIGH EFFICIENCY URINAL	BARDON HIGH EFFICIENCY URINAL
C1	RECESSED PAPER TOWEL DISP. & RECP.	BOBRICK	B-35903	17" 3/16" W, 56" H, 7" 5/8" D - OD PAPER TOWEL OPENING @ MAX. 48" A.F.F.
C2	RECESSED 19" PAPER TOWEL DISPENSER	BOBRICK	B-35903	13" W, 19" H, 3 3/4" D - OD BOTTOM OF UNIT @ MAX. 40" A.F.F.
C3	SURFACE MOUNT PAPER TOWEL DISPENSER BY OWNER	PROVIDED BY OWNER		
D	SURFACE MOUNT SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	7 1/2" W, 10" H, 3 1/3" D
E1	TOUCHLESS LAVATORY FAUCET	KOHLER	COMPOSED AC-POWERED K103036-SANA	SEE PLUMBING PLANS & INSTALLATION GUIDE POLISHED CHROME - MUST CONCEAL OUTLET IN MILLWORK & AMERICAN STANDARD DECORUM WALL HUNG SINK VITREOUS SHROUD
E2	DECK MOUNTED AIRBLADE FAUCET UNIT	DYSON	WDM SHORT DECK MOUNT	SEE PLUMBING PLANS & INSTALLATION GUIDE BRUSHED STAINLESS STEEL TAP 6 1/8" H, 1 1/2" W, 1 1/2" D MOTOR BUCKET: 10 1/4" H, 5 1/8" W, 7 1/8" D
F	SURFACE MOUNT TOILET SEAT COVER DISPENSER	BOBRICK	B-221	15 1/2" W X 11" H X 2" D - OD
G42	GRAB BARS	BOBRICK	B-480636	1 1/2" OD, CONCEALED MOUNTING, 36" LENGTH
G42	GRAB BARS	BOBRICK	B-480642	1 1/2" OD, CONCEALED MOUNTING, 42" LENGTH
G18	GRAB BARS	BOBRICK	B-480618	1 1/2" OD, CONCEALED MOUNTING, 18" LENGTH
H1	MANUAL SOAP DISPENSER - DECK MOUNT	BOBRICK	B-8236	WITH 6" SPOUT, 3/4" OD TOP FILL
H2	TOUCHLESS FOAMING SOAP DISPENSER D.C. POWERED / DECK MOUNT	KOHLER	COMPOSED K - 25195	FOAMING SOAP PUMP DISPENSER, POLISHED CHROME DC-POWERED, FOAMING SOAP DISPENSER, POLISHED CHROME SEE PLUMBING PLANS MUST CONCEAL OUTLET IN MILLWORK
J	BABY CHANGING STATION RECESSED WALL MOUNT	AMERICAN SPECIALTIES, INC.	#9013	37" W X 25 1/2" H X 4" D - OD STAINLESS STEEL SEE ELEVATIONS & SPEC SHEET FOR INSTALL DETAILS
K	UNDERCOUNTER 14" LAVATORY	TOTO	CONNELLY LT1491G-D1 #01 COTTON / GLAZING	14 1/2" SQ X 5 5/8" D COTTON SEE PLUMBING PLANS @ ADA STALLS #109 & #110 RESTROOMS
L	UNDERCOUNTER 23 1/4" RECTANGULAR LAVATORY	KOHLER	LADENA SINK WHITE RK-2215	23 1/4" W X 16 1/4" D X 8" H RECTANGULAR BASIN @ #109 & #110 RESTROOMS SEE ELEVATIONS & SPEC SHEET FOR INSTALL DETAILS
M	UNDERCOUNTER 20 1/2" RECTANGULAR LAVATORY	TOTO	LT191G #01 COTTON / GLAZING	20 1/2" W, 12 3/8" D, 5 9/16" H @ #109 LOCKER ROOM SEE PLUMBING PLANS
N	ADA WALL HUNG LAVATORY	AMERICAN STANDARD	K-2035-1 WHITE BASIN K-2057 - WHITE SHROUD	22" W X 18" D - OD, PINOR SINGLE HOLE WALL HUNG SINK @ #126 & 125 LOCKER ROOM SEE PLUMBING PLANS
O	DRINKING FOUNTAIN W BOTTLE FILLER RECESSED WALL MOUNT	ELKAY	#LZWS-LRPM282K	REFRIGERATED FILTERED STAINLESS STEEL @ CORRIDOR #1 SEE ENLARGED RR PLANS & SPEC SHEET
P1	WALL GLOW LIGHTED MIRROR	ELECTRIC MIRROR	SERENITY LIGHTED MIRROR	CUSTOM SIZE: 48" W, 42" H, 1 3/4" D CUSTOM MODEL: SER-2-48.00 X 42.00HLYCSHD-NB-41K SEE PLANS & SPEC SHEET (PROVIDED BY EE)
P2	FRAMELESS MIRROR	LOCAL GLAZER		FRAMELESS MIRROR - 20" X 40" TOP & BOTTOM 1/2" SATIN FINISH METAL CHANNELS
P3	FRAMED MIRROR	BOBRICK	B-165 SERIES CUSTOM 24X40	CUSTOM SIZE: 24" W, 40" H, SS FINISH FRAME #125 #126 LOCKER ROOM
P4	FRAMED FULL LENGTH MIRROR	BOBRICK	B-165 SERIES CUSTOM 24X72	CUSTOM SIZE: 24" W, 72" H, SS FINISH FRAME #125 #126 LOCKER ROOM
Q	ROBE HOOK WALL OR PARTITION MOUNT	KOHLER	K-23295-CP	POLISHED CHROME FINISH - WALL MOUNT 48" A.F.F.
R	DRINKING FOUNTAIN W BOTTLE FILLER BY LOCKER ROOM	ELKAY	#LZSTL8WSLK	FILTER REFRIGERATED LIGHT GRAY STAINLESS STEEL
S	TOILET PARTITIONS - STAINLESS STEEL CUSTOMER RESTROOMS	HADRAM - ELITE HEADRAIL BRACED	STAINLESS STEEL	NO SITE LINES PRIVACY - CONTINUOUS CHANNELS V stainless steel hardware, continuous stainless steel channels and indicator latch. Elite to include full tall doors and panels, if AFF, and no sightline solution full height continuous stop and high side filler. Hadram Elite headrail braced stainless steel toilet partitions
S1	TOILET PARTITIONS - PHENOLIC TECH RESTROOMS	BRADLEY HEADRAIL BRACED	PHENOLIC COLOR: STORM	NO SITE LINES PRIVACY stainless steel indicator latch, stainless steel surface mount trim and continuous stainless steel channels.
S2	BREAKROOM SINK	ELKAY	LUSTERSTONE CLASSIC SS SINGLE BOWL	23 5/8" W, 18 25" D ADA SINK MODEL#: ELLHAD211555
S3	COFFEE BAR SINK	ELKAY	ELG1616 - QUARTZ CLASSIC	COLOR TBD 15 1/2" X 15 1/2" X 7 1/2" D LOCKER ROOM
T	WALL HUNG SOAP DISPENSER	OWNER'S VENDOR		LOCKER ROOM
U	BREAKROOM & COFFEE BAR FAUCET	GROHE OR EQUAL	LADYLUX 32296DC3	SINGLE HANDED FAUCET



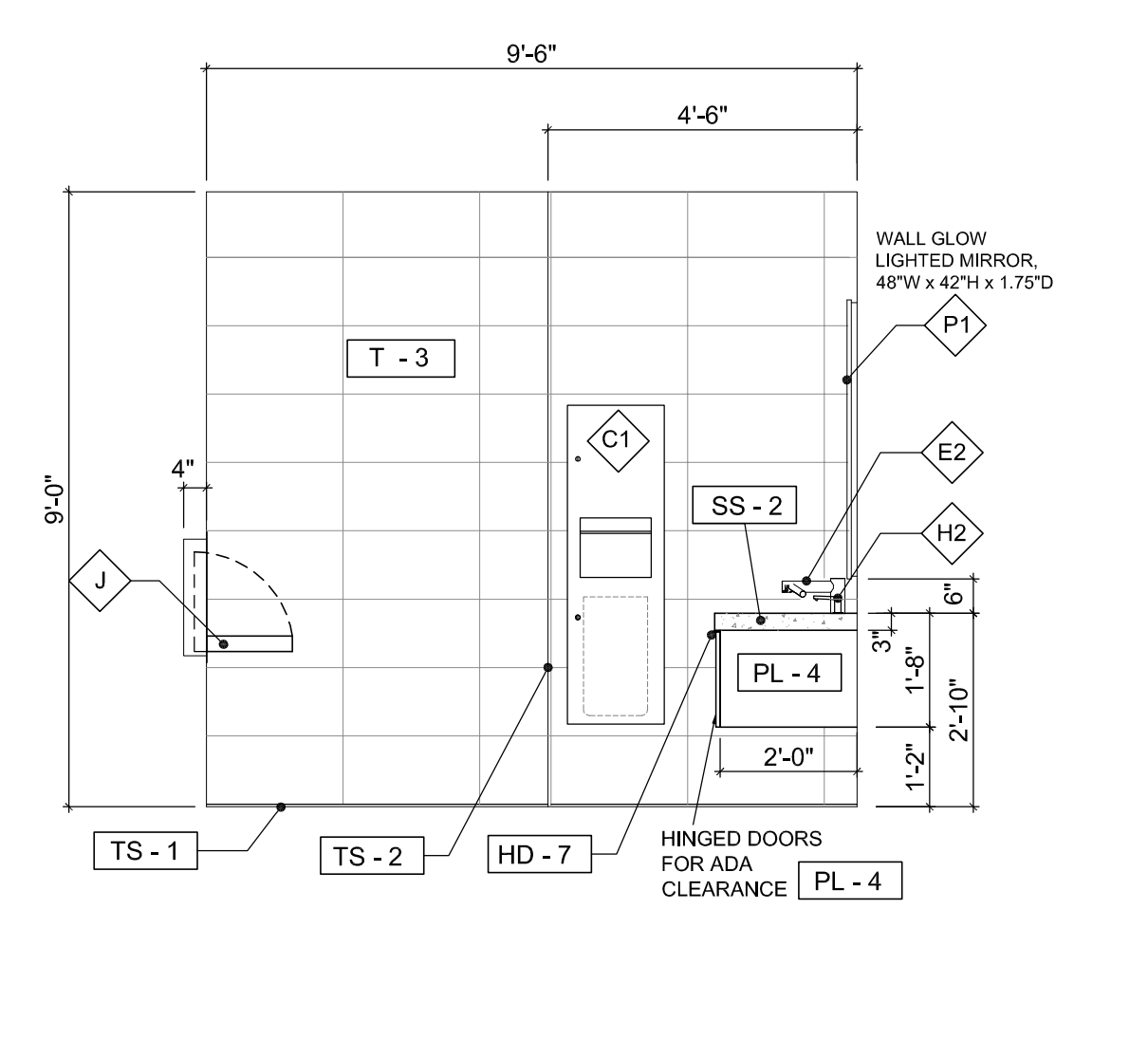
#111 MENS RESTROOM EAST ELEVATION
SCALE: 3/8"=1'-0"



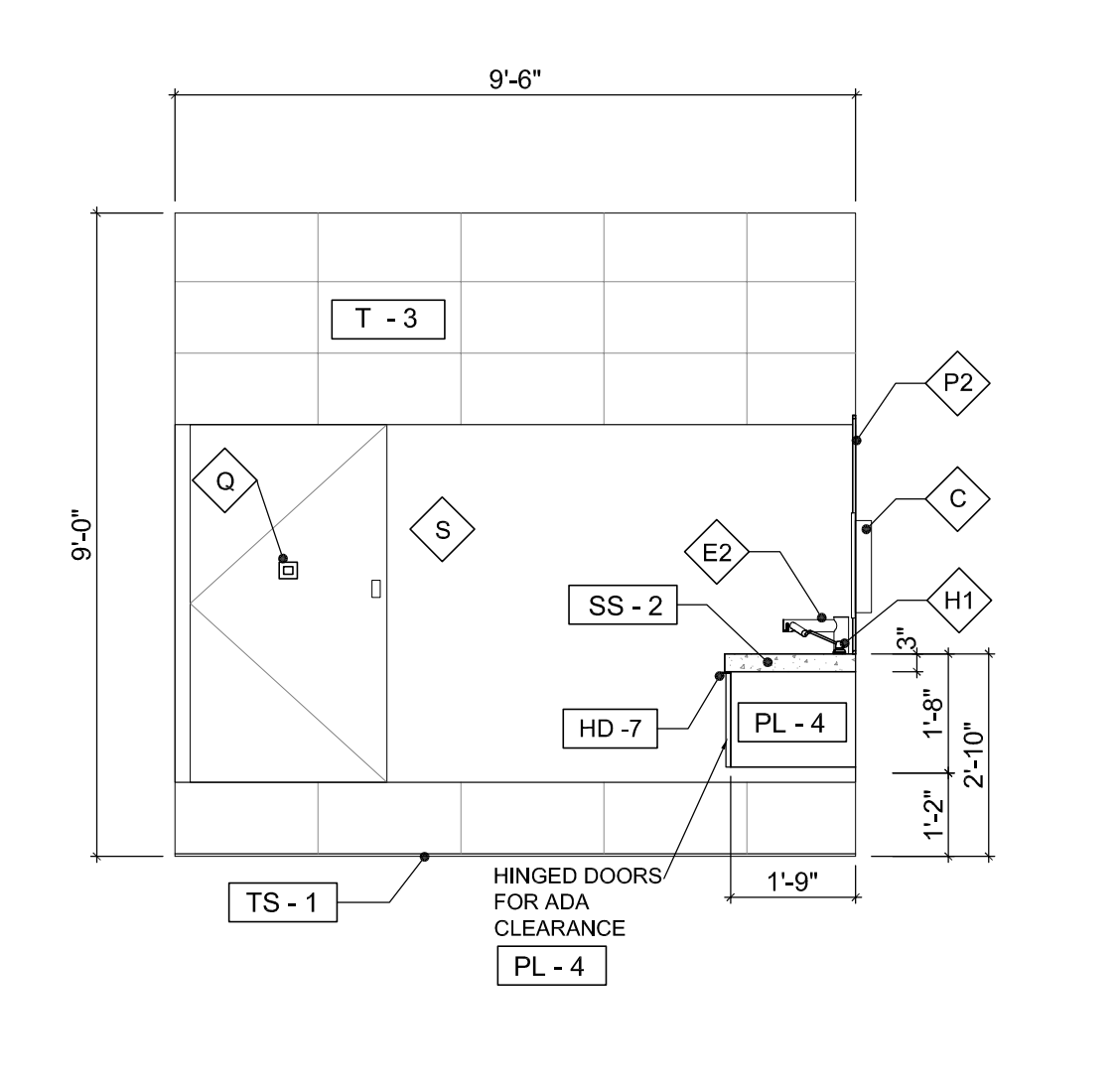
#111 MENS RESTROOM NORTH ELEVATION
SCALE: 3/8"=1'-0"



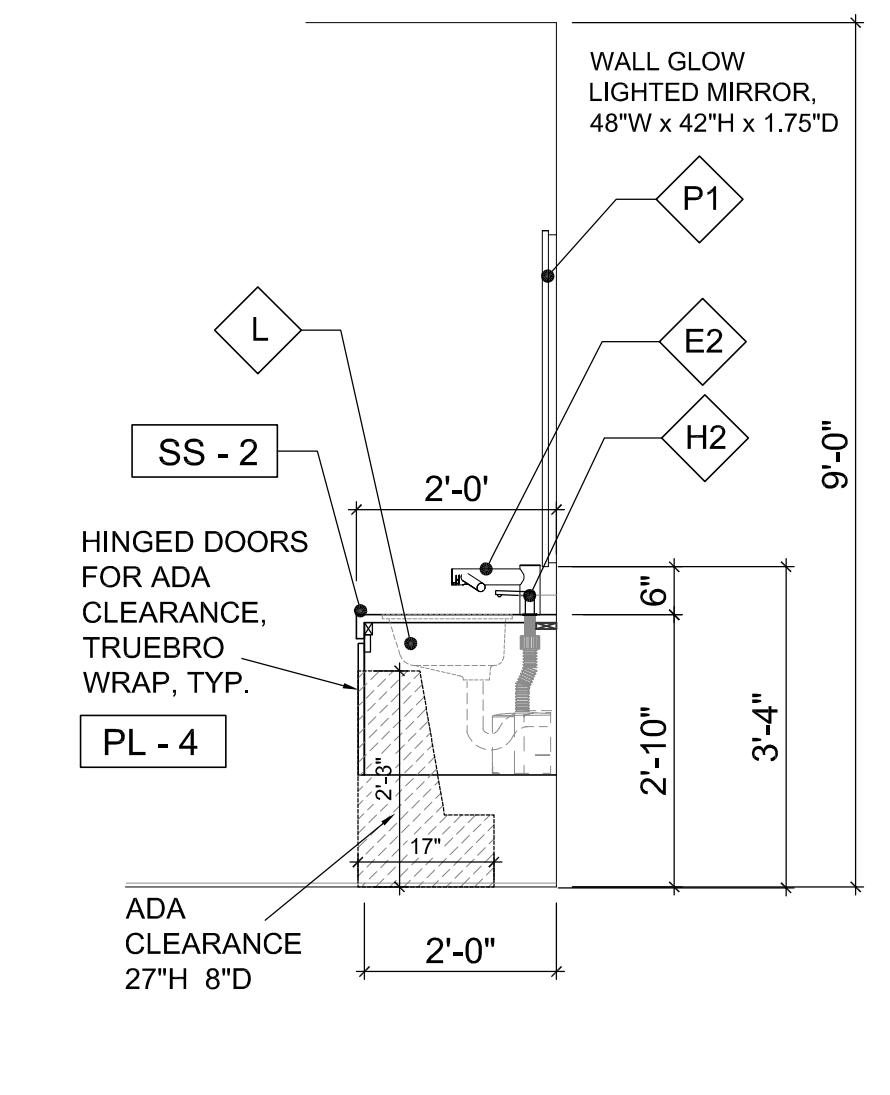
#111 MENS RESTROOM WEST ELEVATION
SCALE: 3/8"=1'-0"



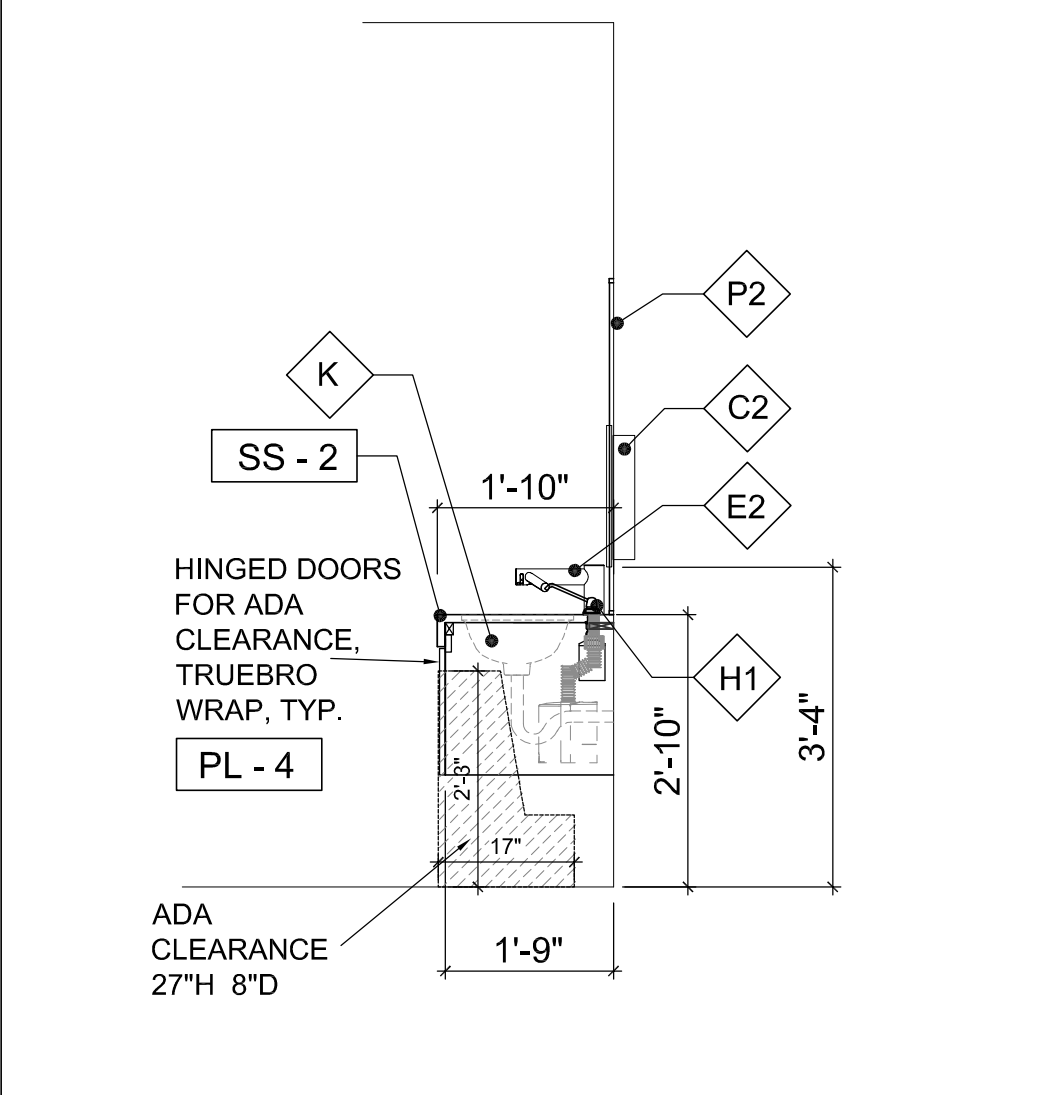
#111 MENS RESTROOM - LAVATORY SOUTH ELEVATION
SCALE: 3/8"=1'-0"



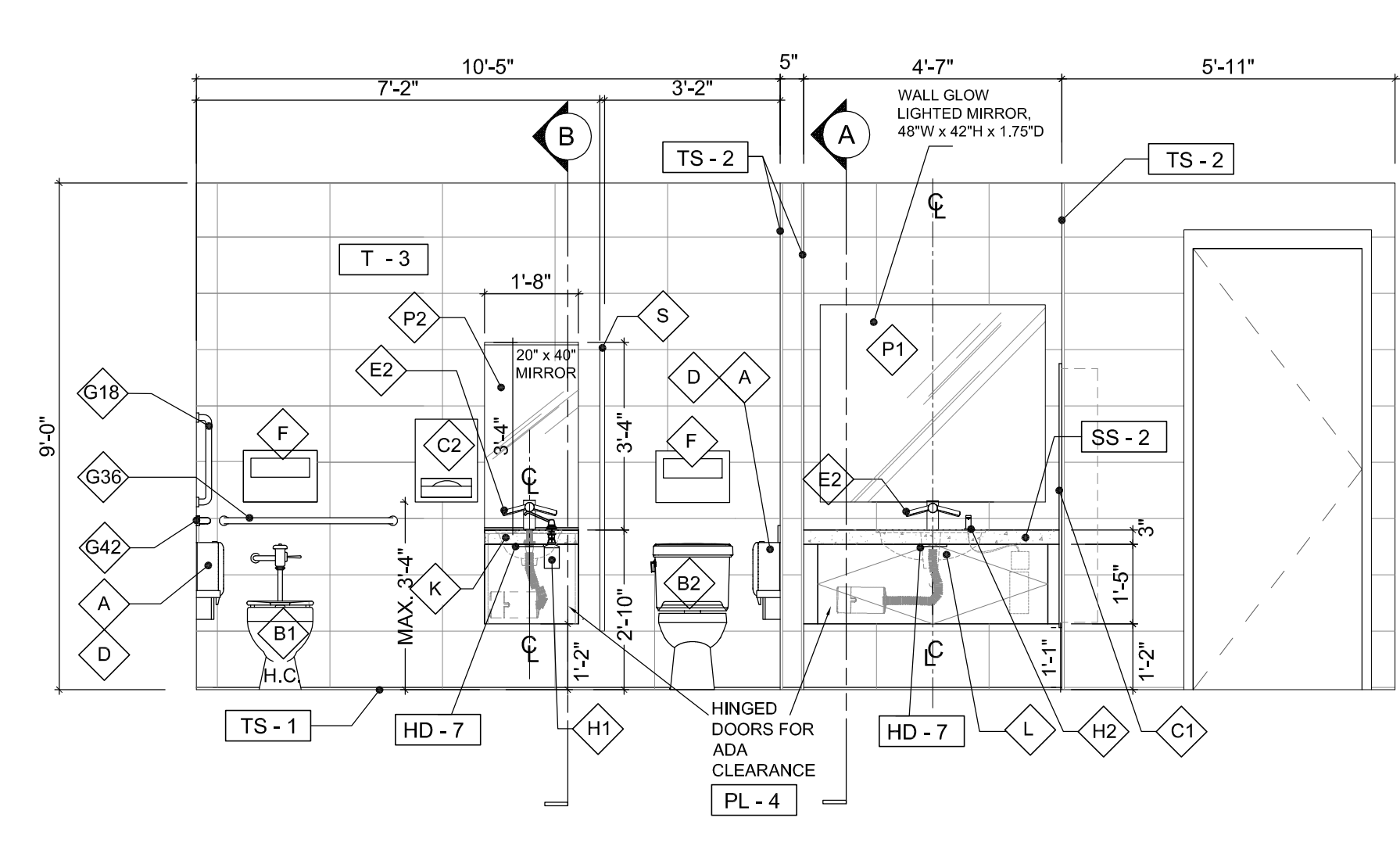
#111 MENS RESTROOM - ADA STALL SOUTH ELEVATION
SCALE: 3/8"=1'-0"



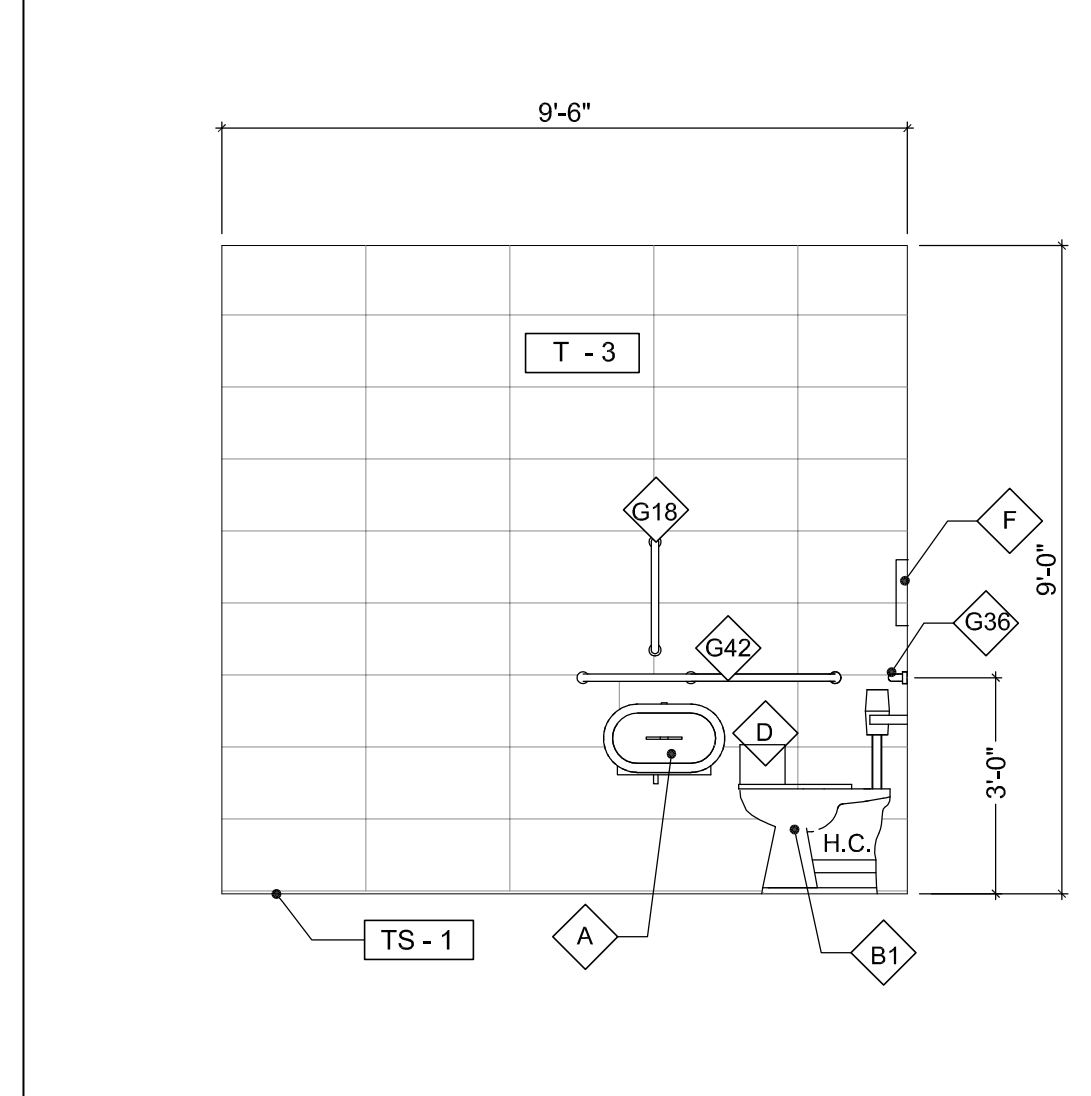
LAV. SECTION DETAIL
SCALE: 1/2"=1'-0"



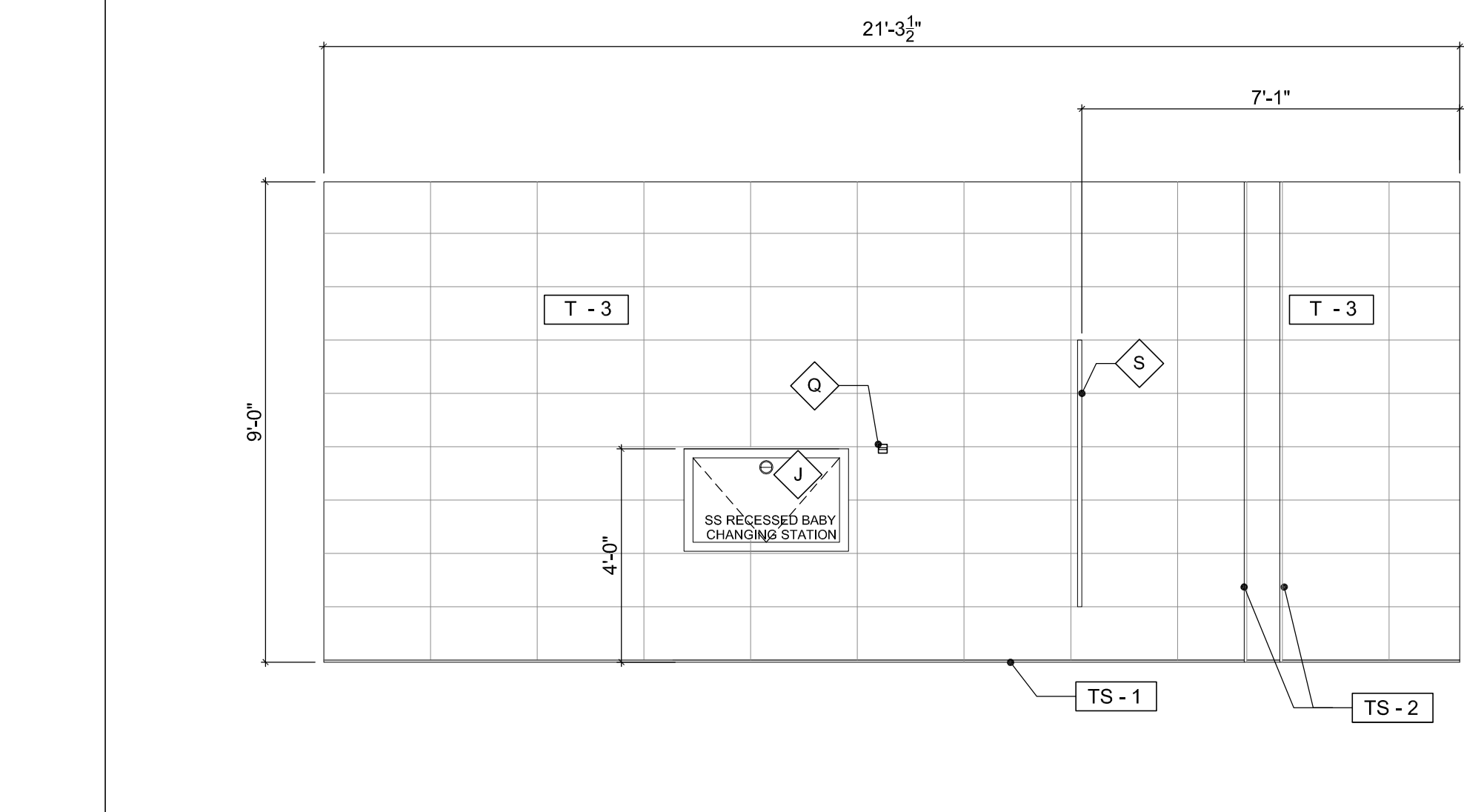
ADA LAV. SECTION DETAIL
SCALE: 1/2"=1'-0"



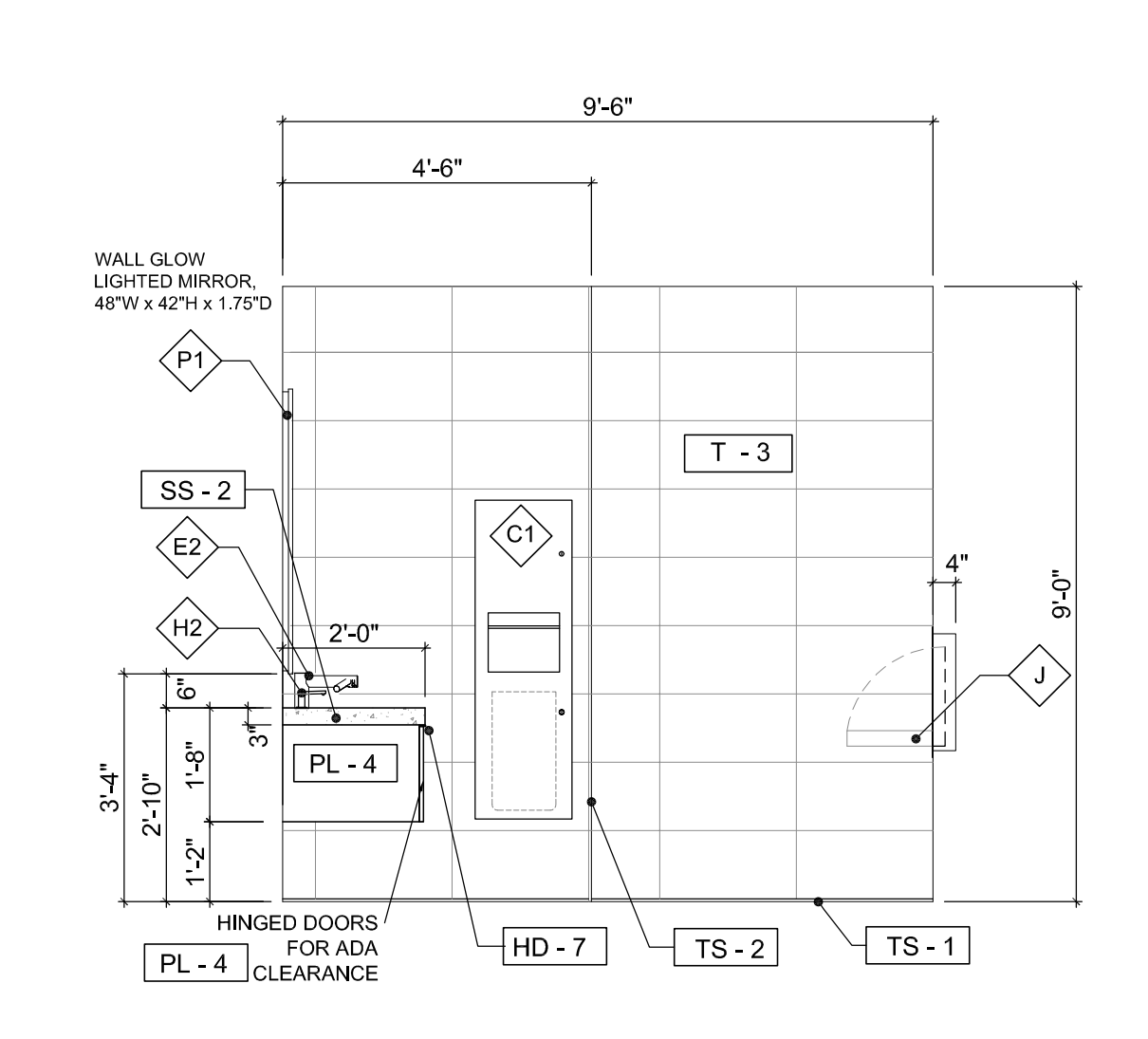
#110 WOMENS RESTROOM EAST ELEVATION
SCALE: 3/8"=1'-0"



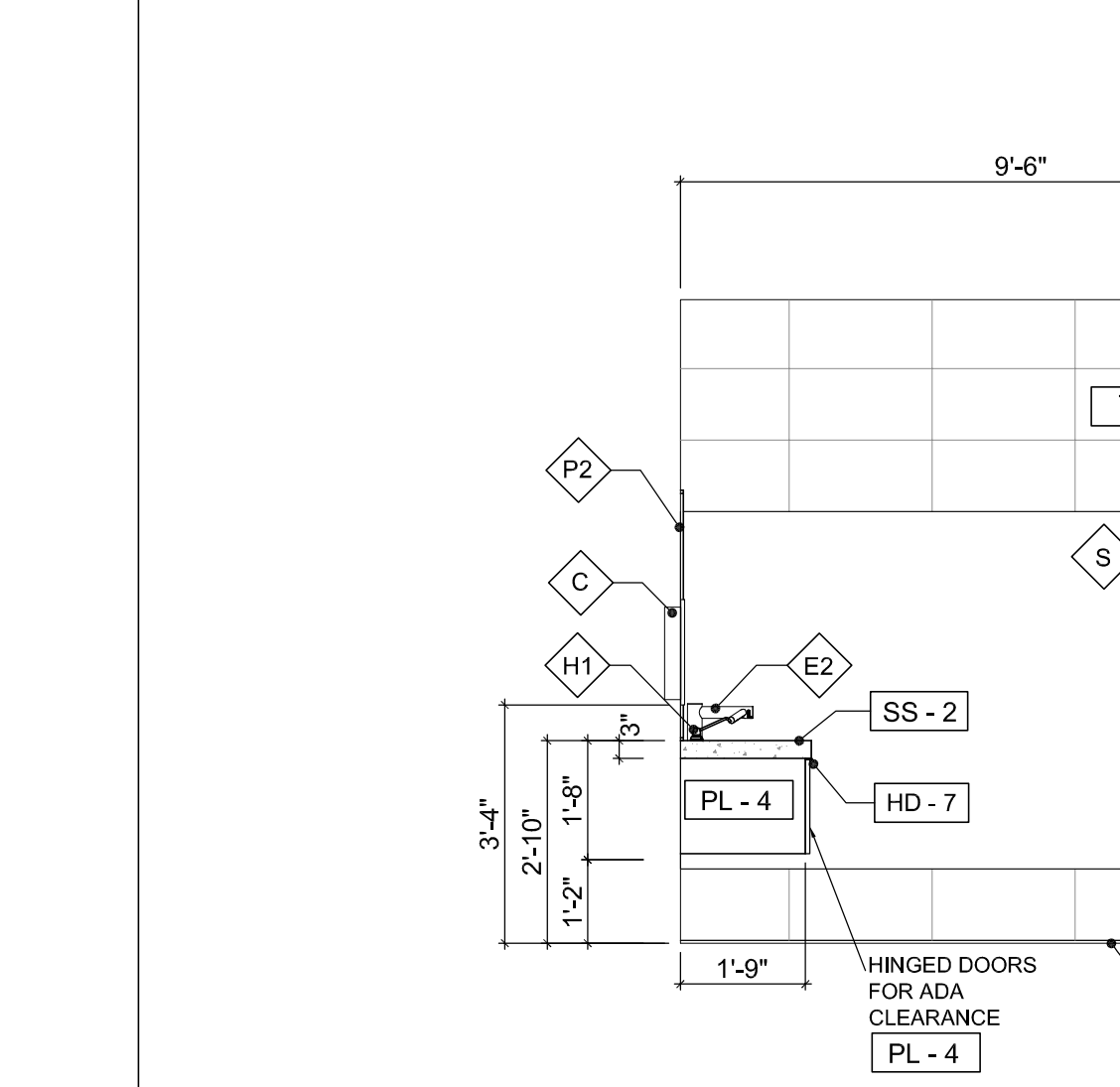
#110 WOMENS RESTROOM NORTH ELEVATION
SCALE: 3/8"=1'-0"



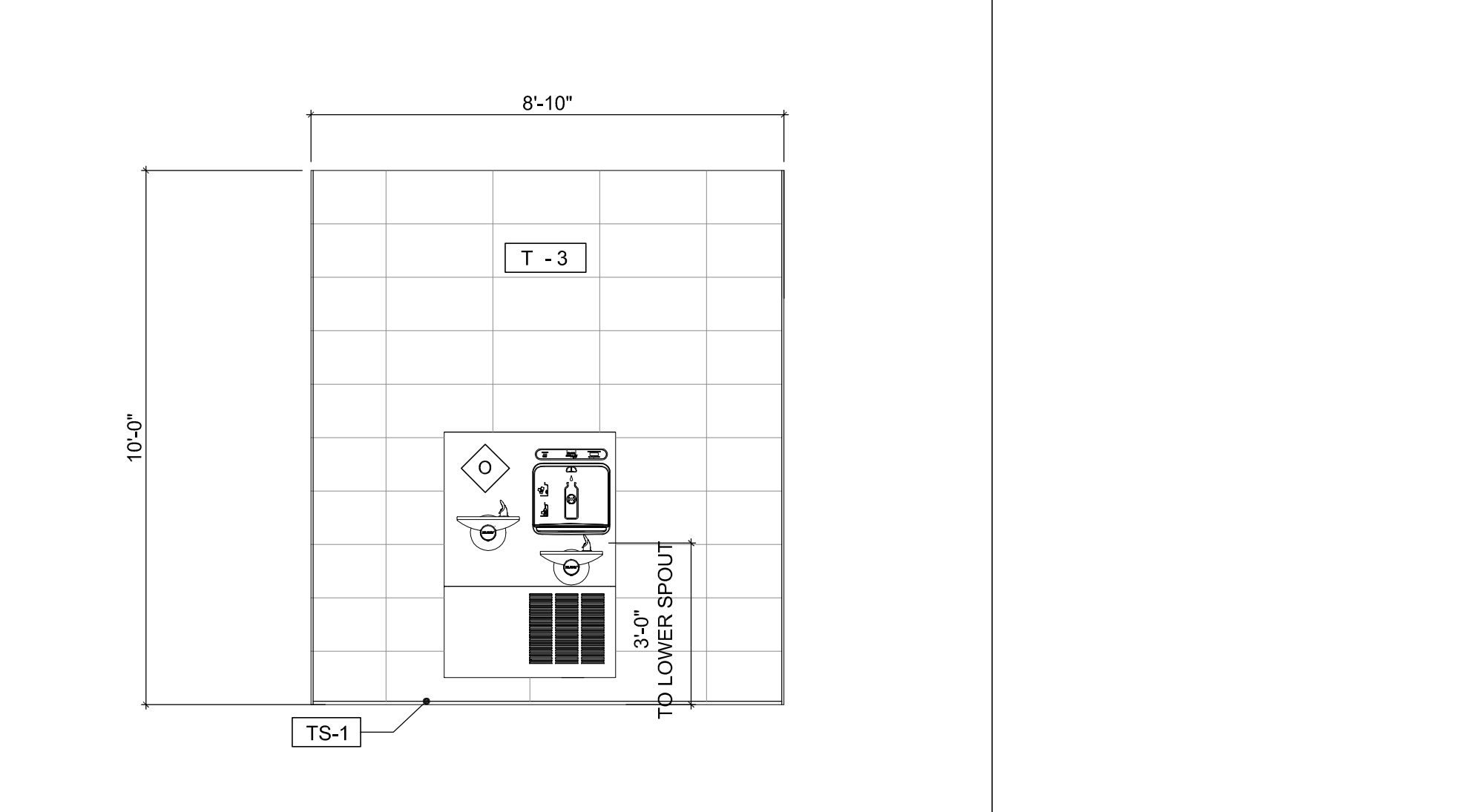
#110 WOMENS RESTROOM WEST ELEVATION
SCALE: 3/8"=1'-0"



#110 WOMENS RESTROOM - LAVATORY SOUTH ELEVATION
SCALE: 3/8"=1'-0"



#110 WOMENS RESTROOM - LAVATORY SOUTH ELEVATION
SCALE: 3/8"=1'-0"



DRINKING FOUNTAIN/BOTTLE FILLER NORTH ELEVATION
SCALE: 3/8"=1'-0"

architecture design planning

HARTMANN architecture inc.

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813.251.2190
AR09622

Project Name

MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

Sheet Title

ENLARGED RESTROOM PLAN

Revisions

State Registration

Richard Hartmann AIA, LEED AP
AR 09622

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To the best of the knowledge of the architect, all plans and specifications comply with the applicable building codes and minimum fire safety standards.

Project Number

22026

Drawn By

RCK/RLH

Checked By

RJH

Issue Date

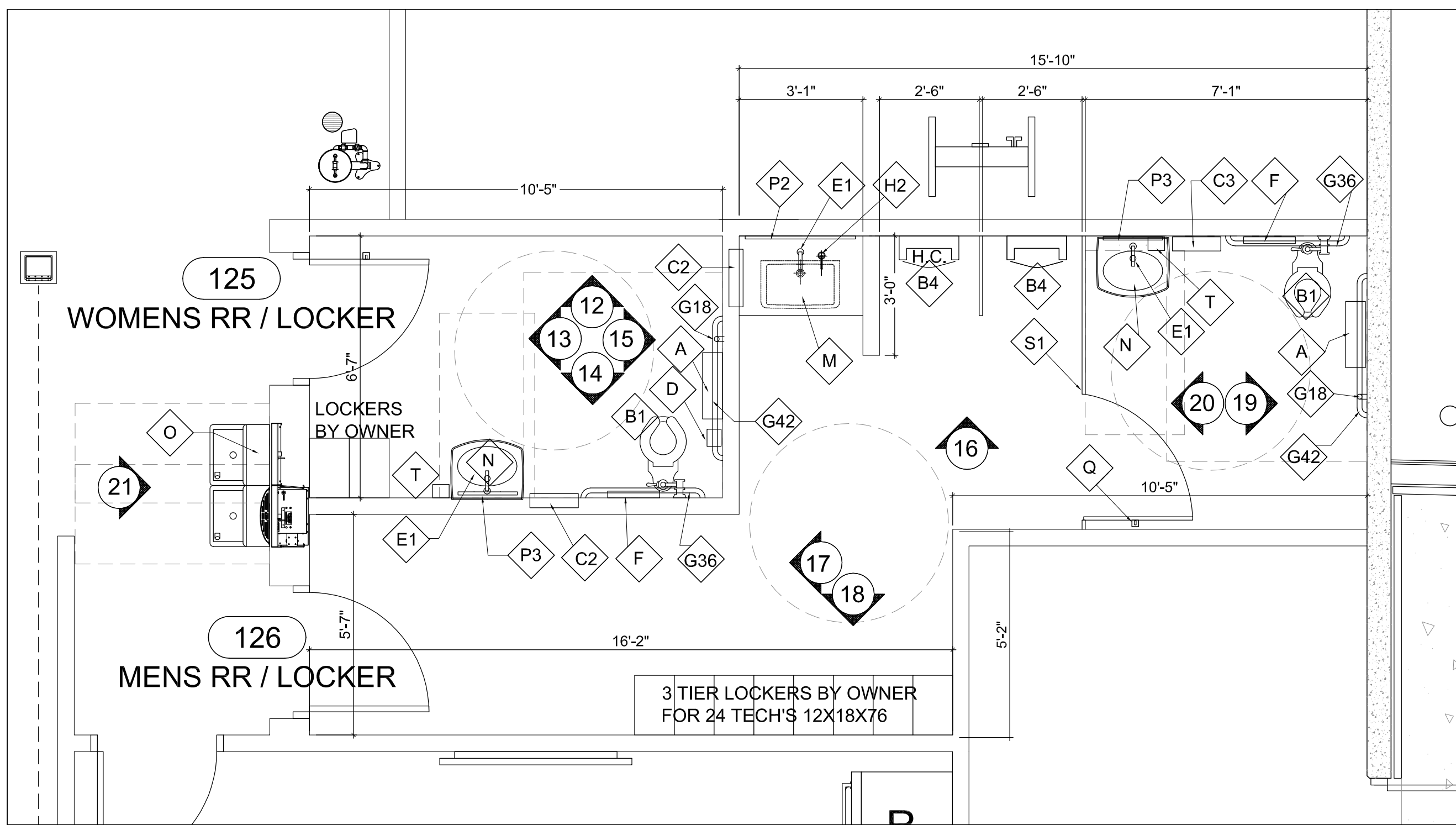
02.09.24

Sheet Number

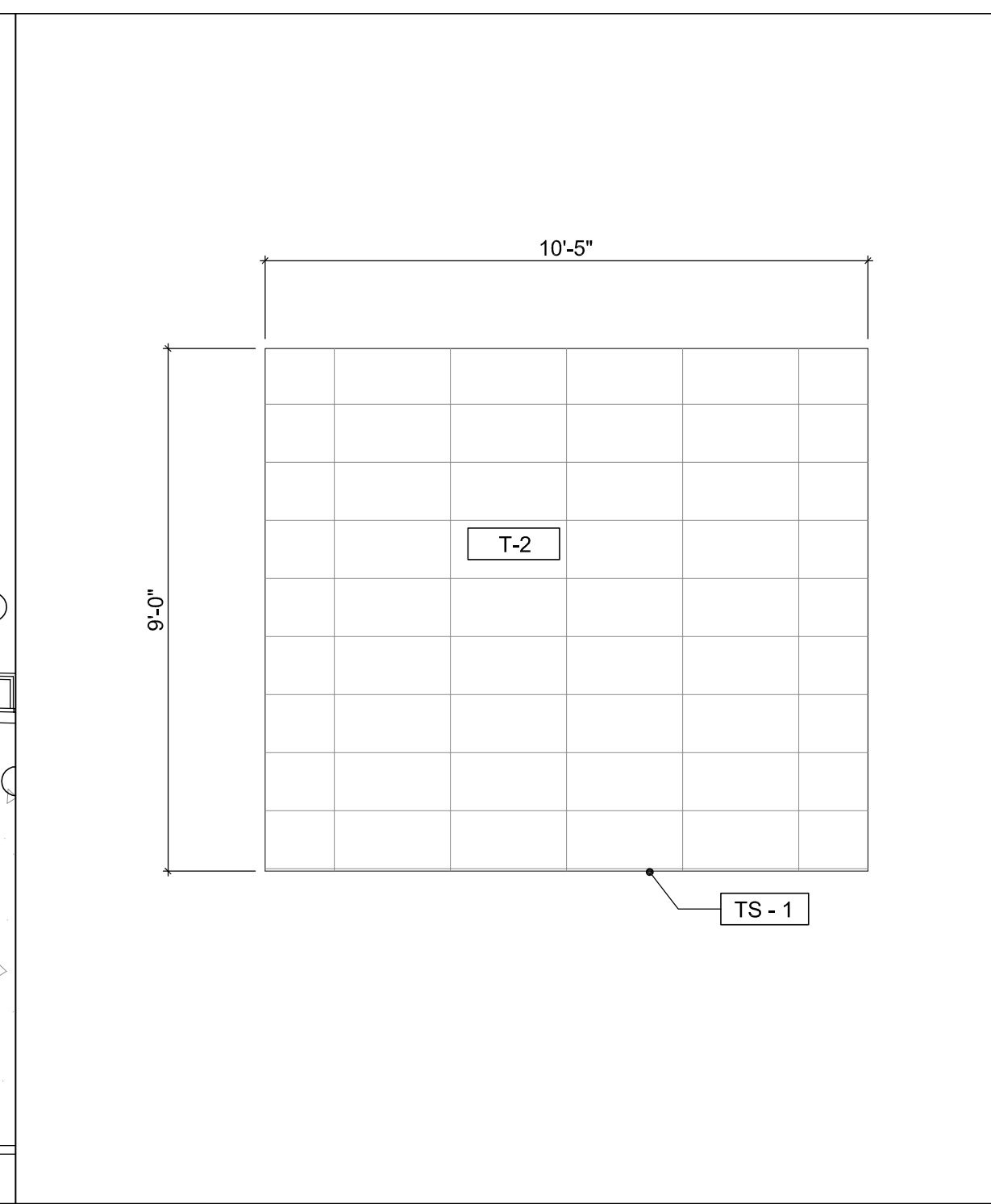
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394 S. DOWNING STREET DENVER, CO 80209
V. 303.433.7446 F. 303.262.0140
V. 303.433.7446 C. 303.324.7539 Joyce E. McDaniel

ENLARGED RESTROOM PLANS SCALE AS NOTED

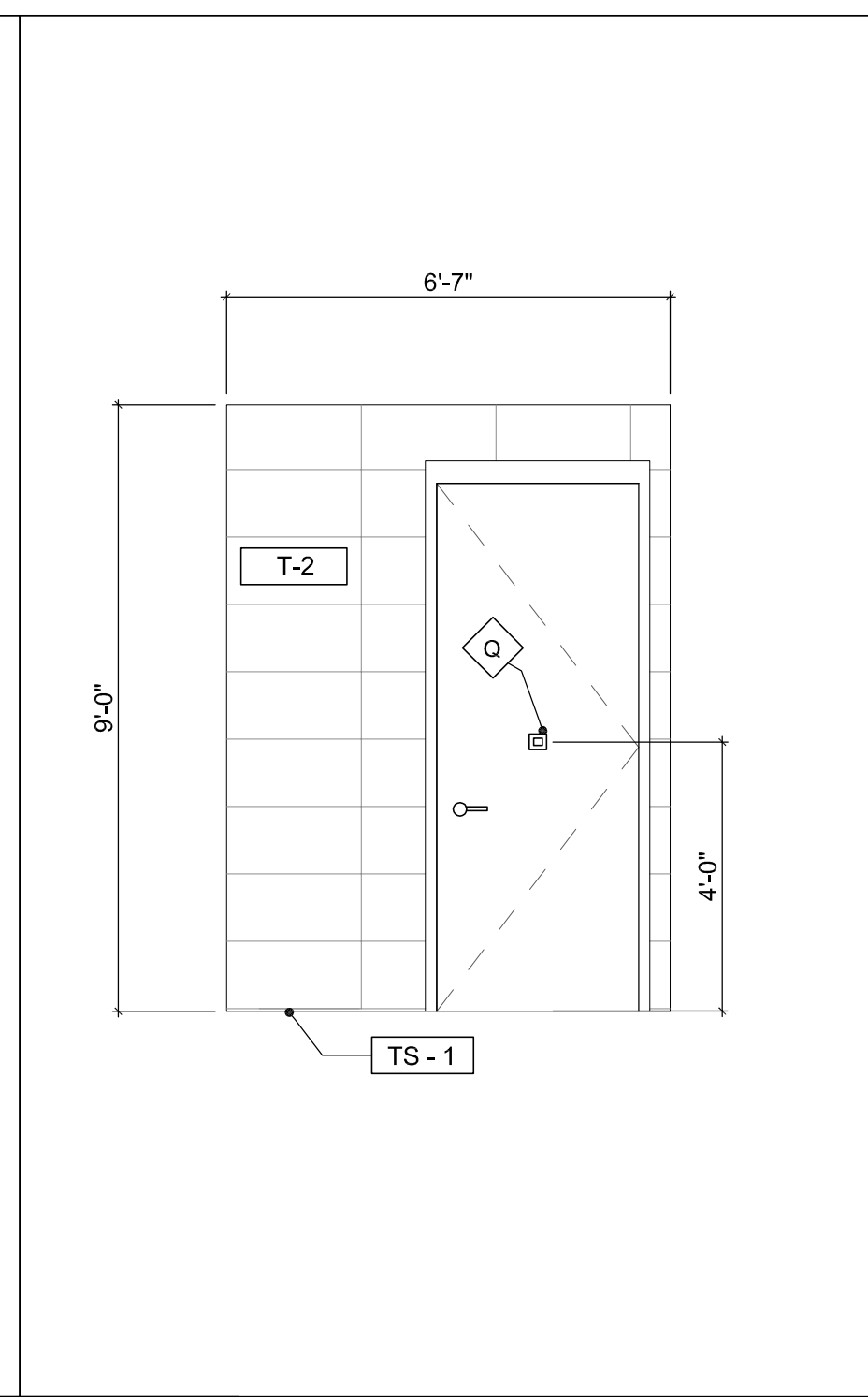
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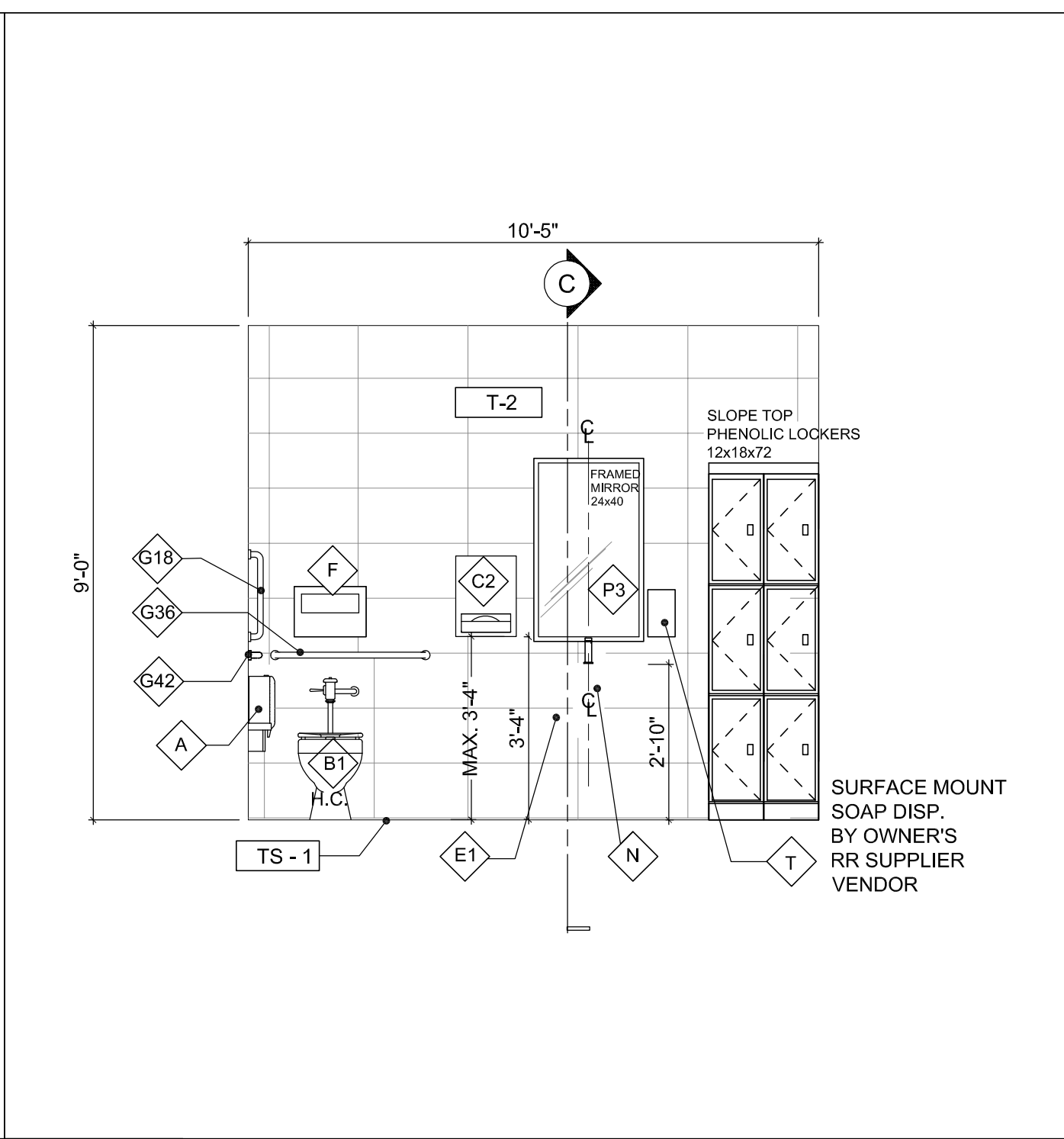
#125 / #126 ENLARGED LOCKER ROOM PLAN VIEW
SCALE: 3/8"=1'-0"



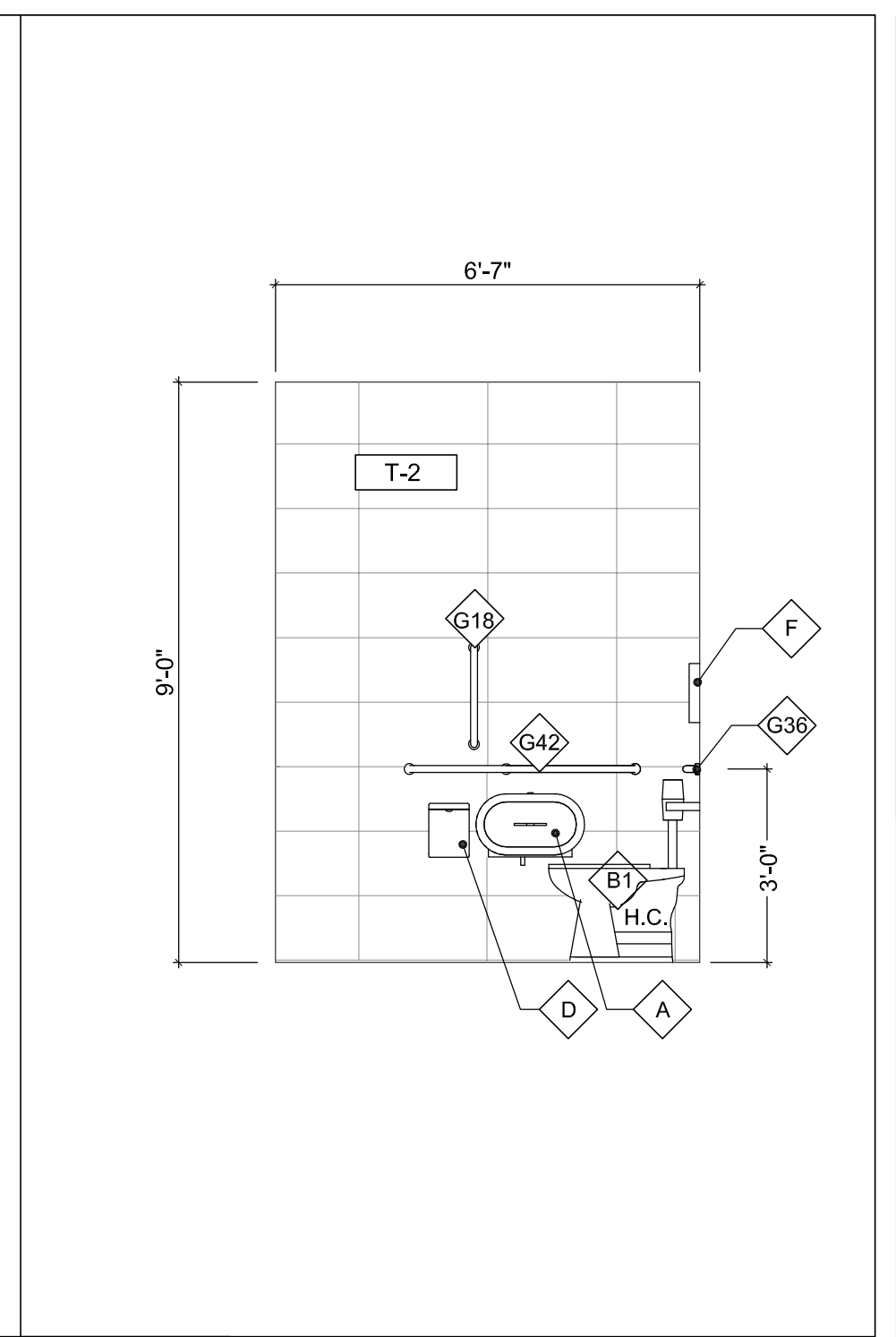
12 #125 WOMENS RR / LOCKER EAST ELEVATION
SCALE: 3/8"=1'-0"



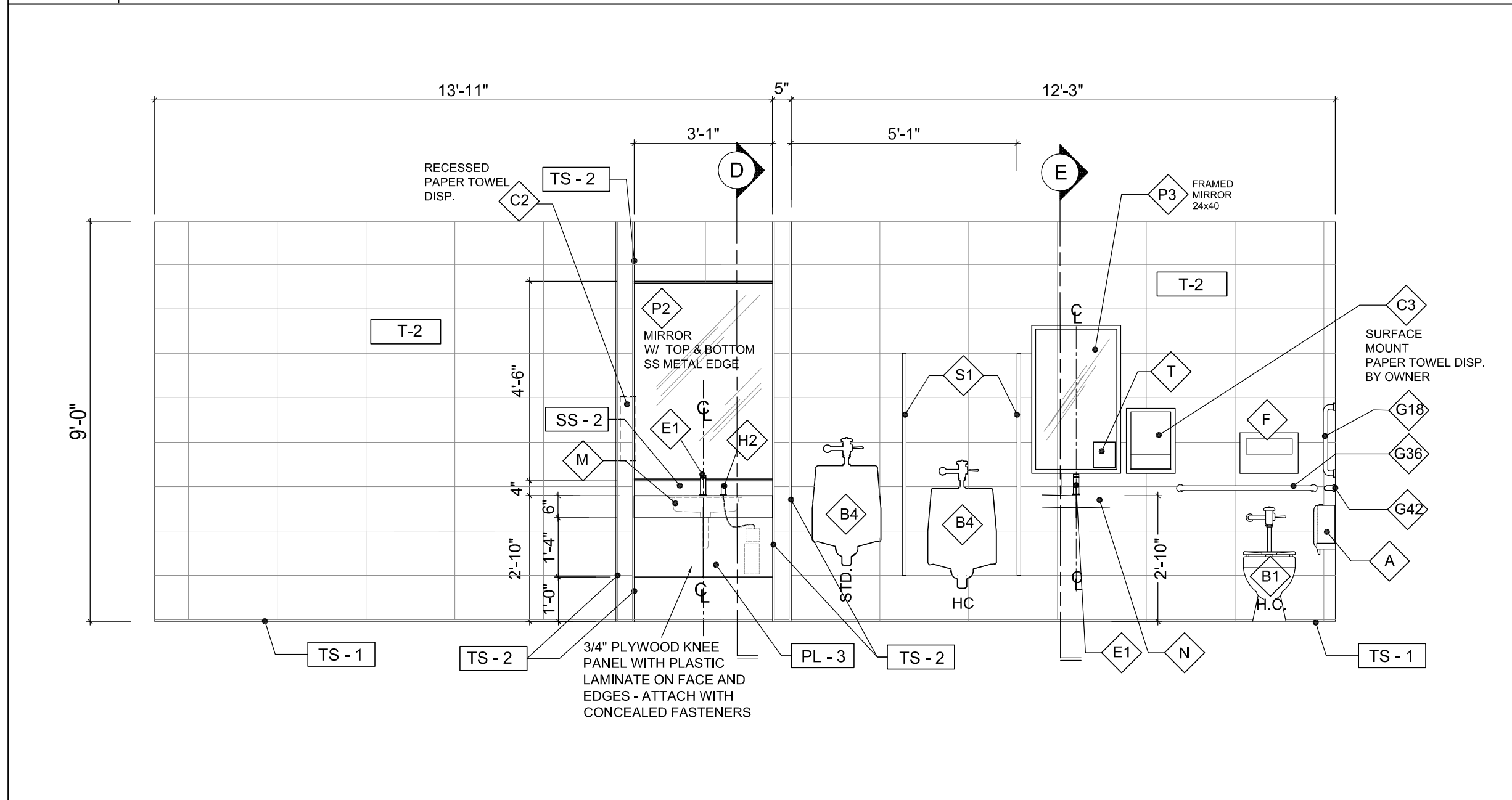
13 #125 WOMENS RR / LOCKER NORTH ELEVATION
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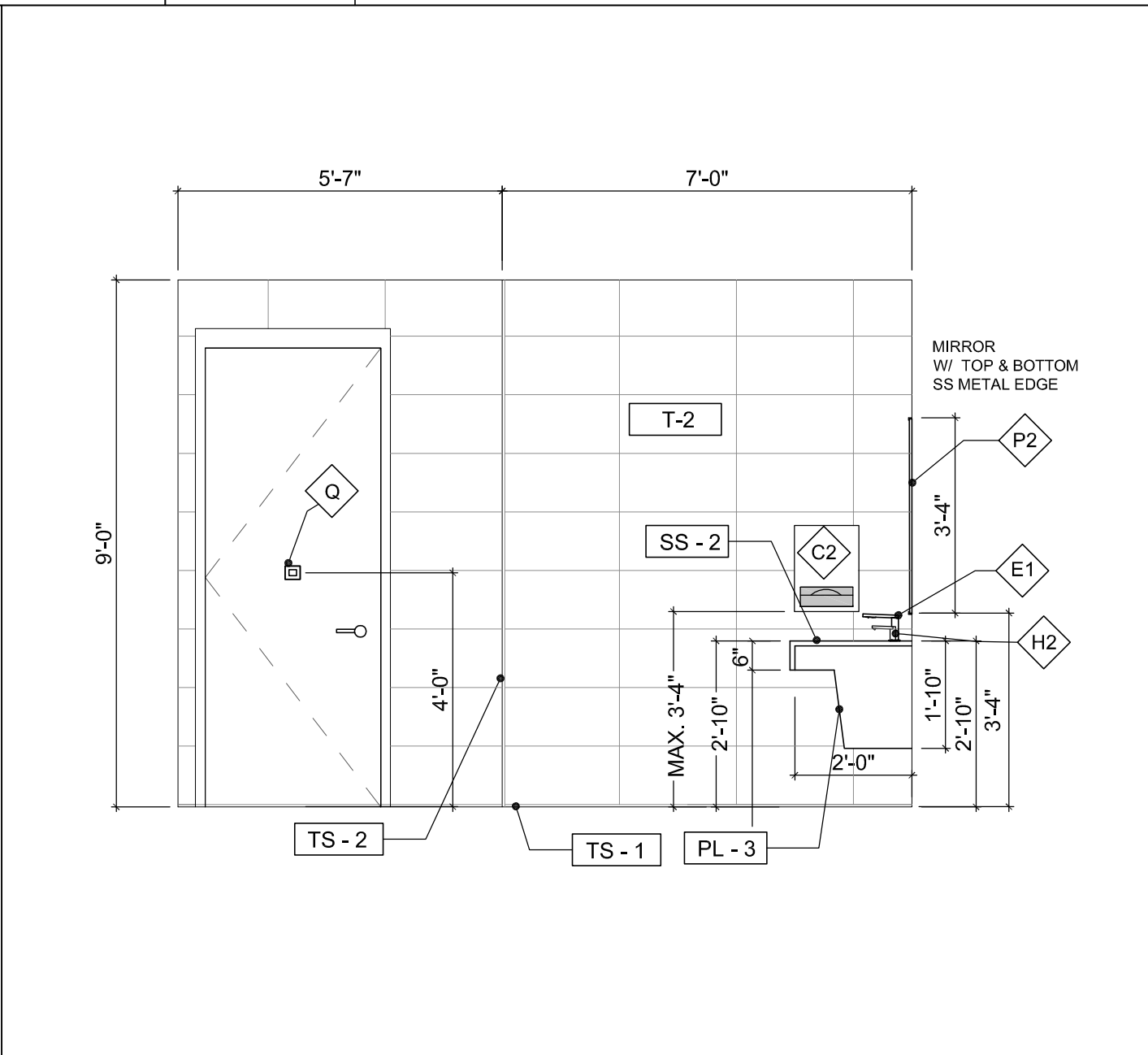
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SCALE: 3/8"=1'-0"



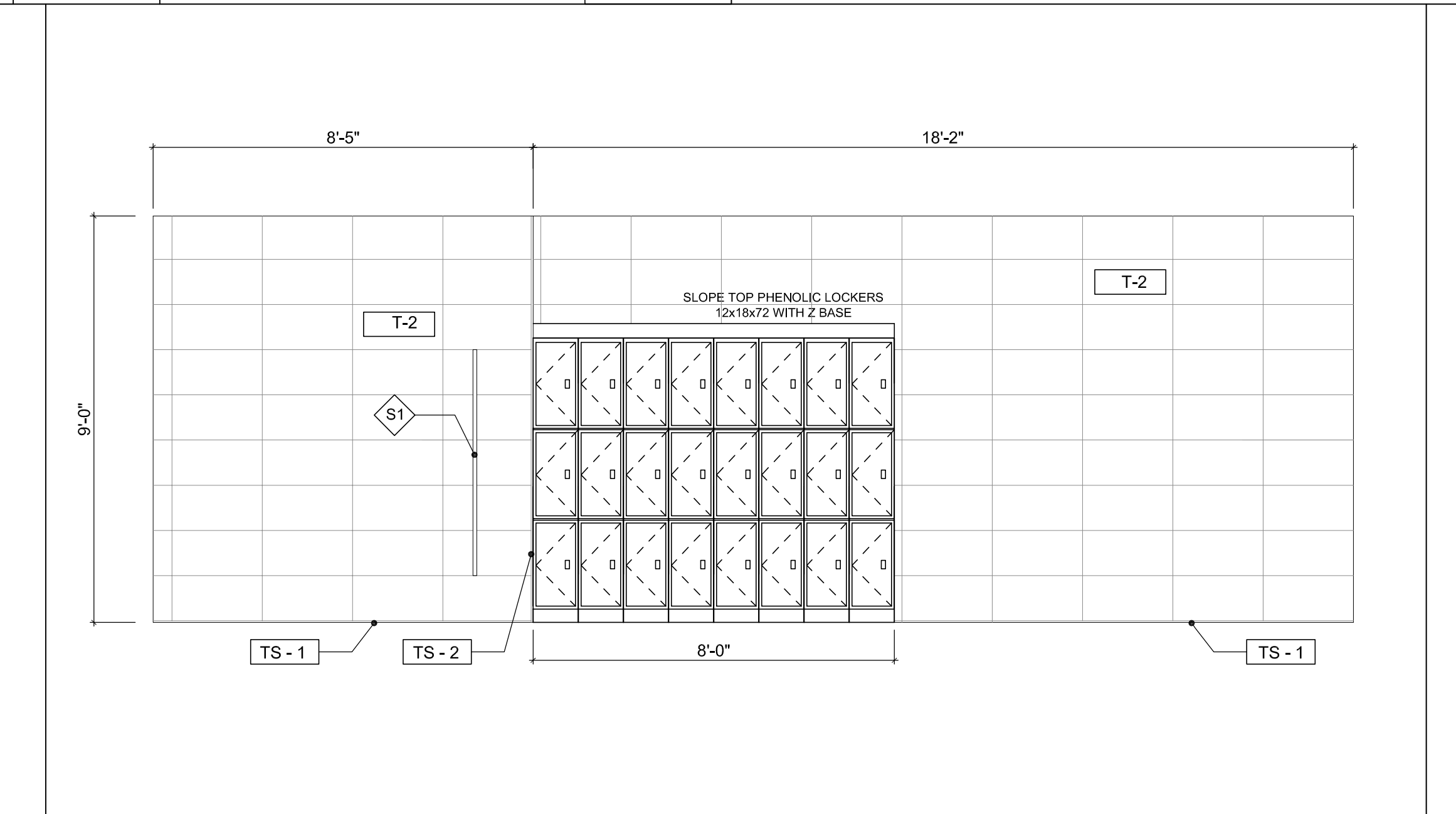
15 #125 WOMENS RR / LOCKER SOUTH ELEVATION
SCALE: 3/8"=1'-0"



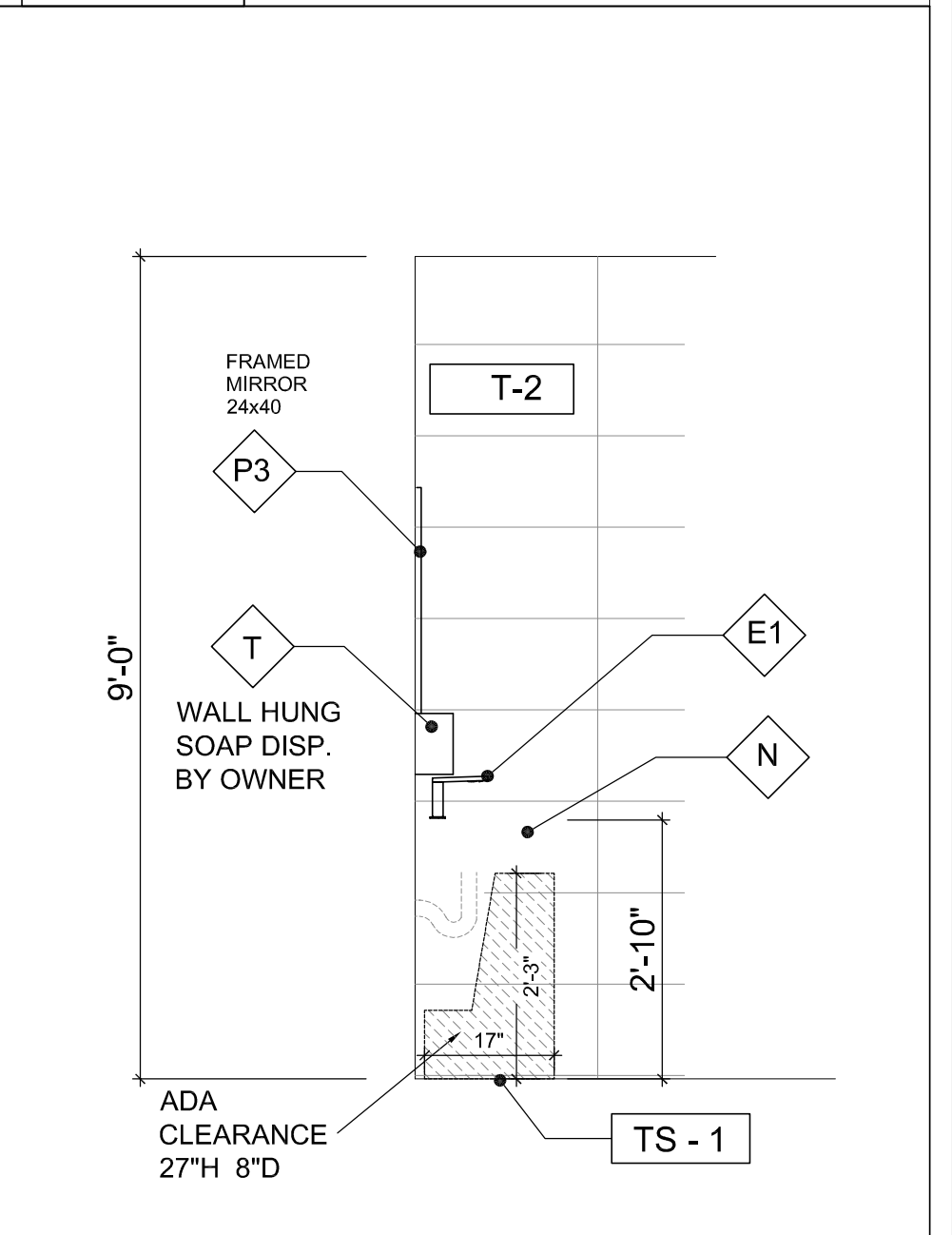
16 #126 MENS RR / LOCKER EAST ELEVATION
SCALE: 3/8"=1'-0"



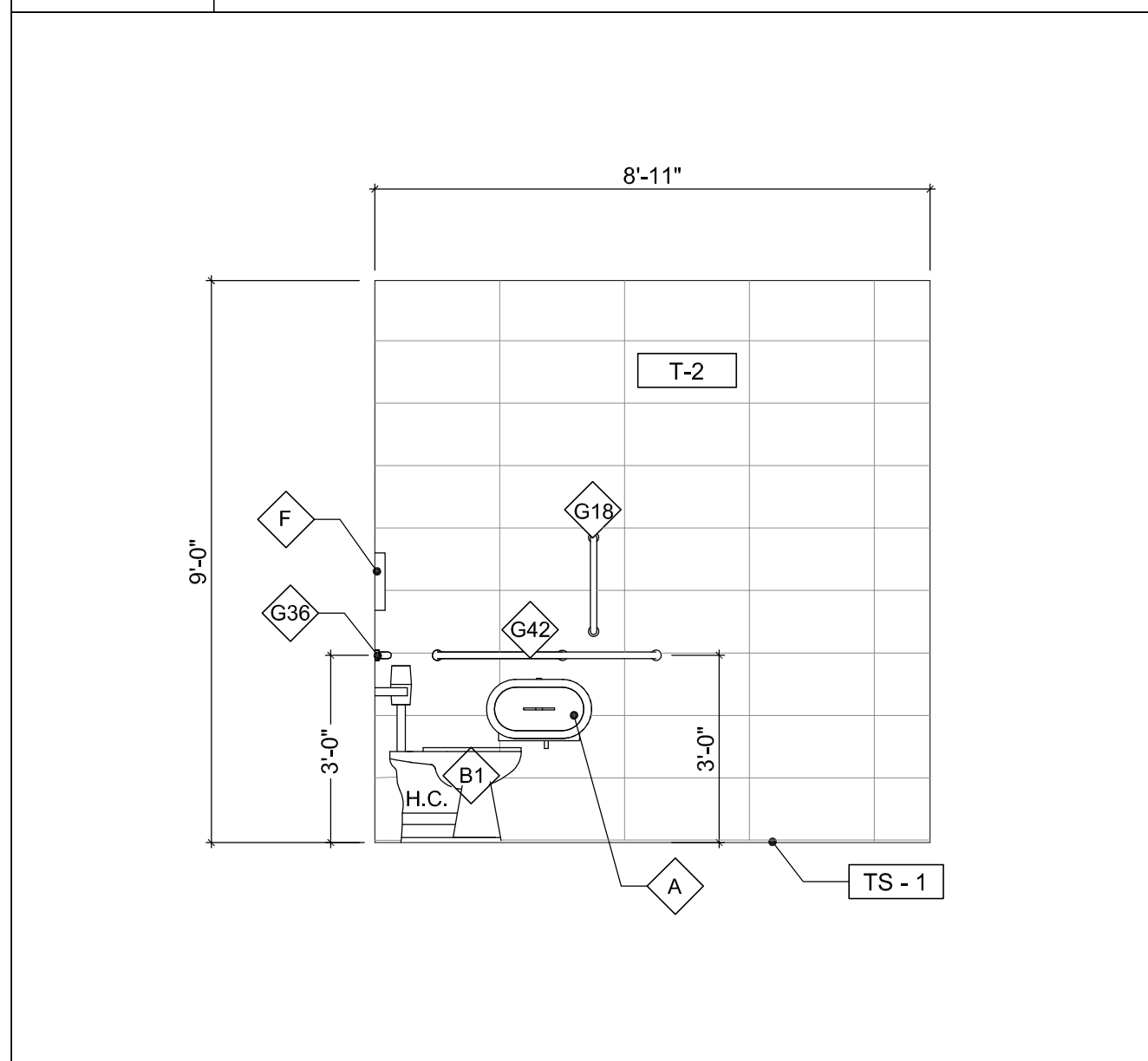
17 #126 MENS RR / LOCKER NORTH ELEVATION
SCALE: 3/8"=1'-0"



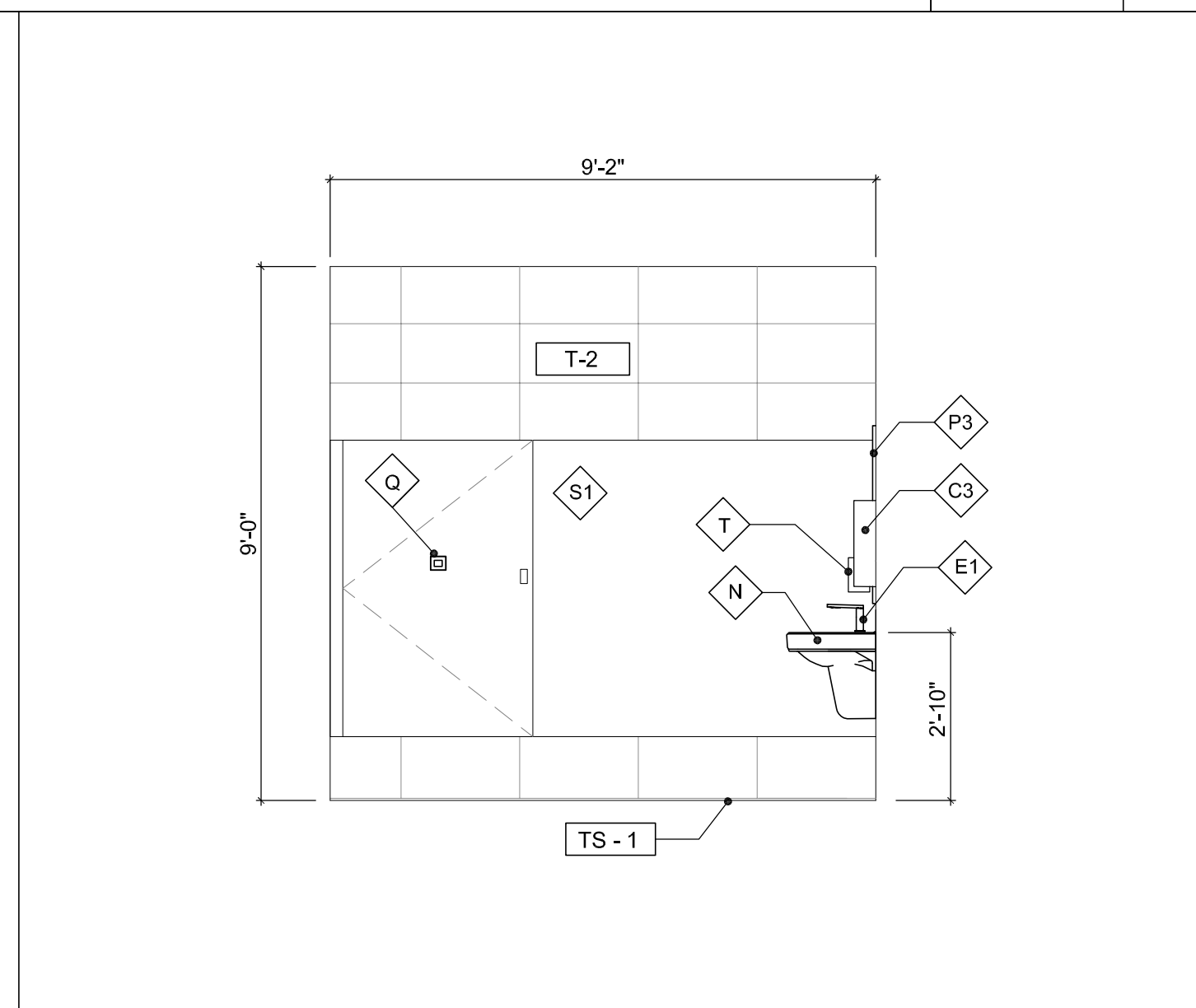
18 #126 MENS RR / LOCKER WEST ELEVATION
SCALE: 3/8"=1'-0"



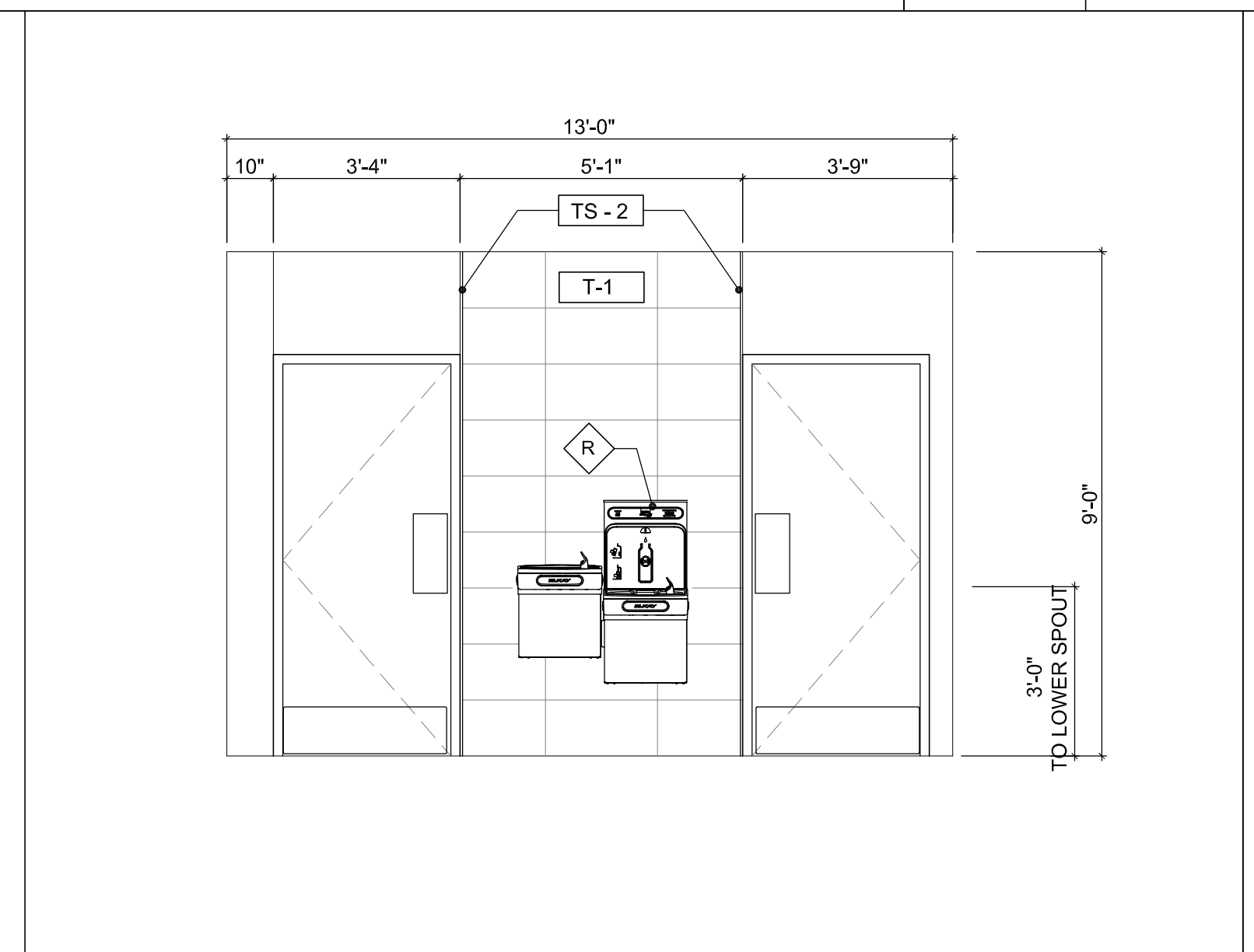
C #125 WOMENS RR / LOCKER LAVATORY SECTION
SCALE: 1/2"=1'-0"



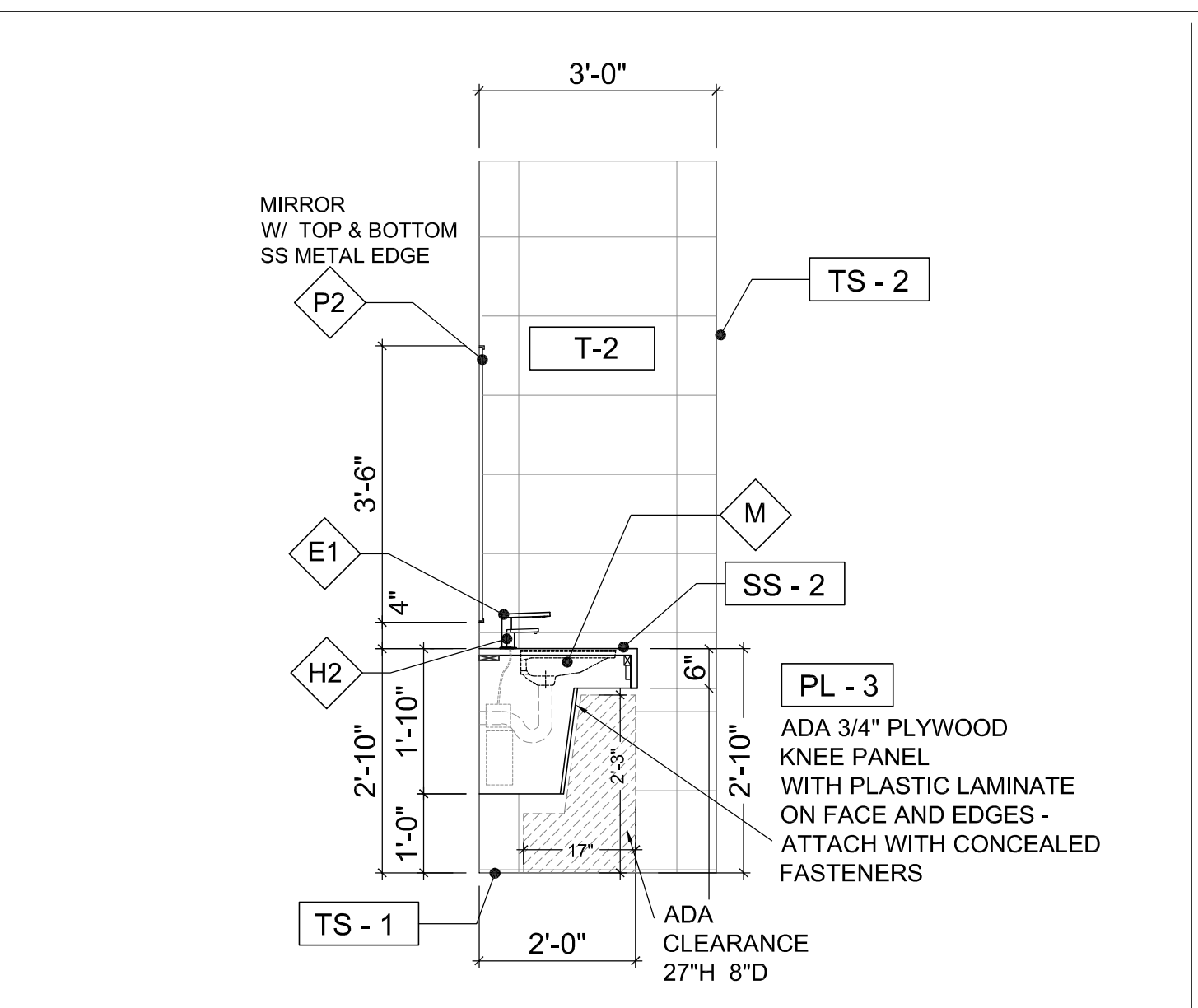
19 #126 MENS RR / LOCKER SOUTH ELEVATION
SCALE: 3/8"=1'-0"



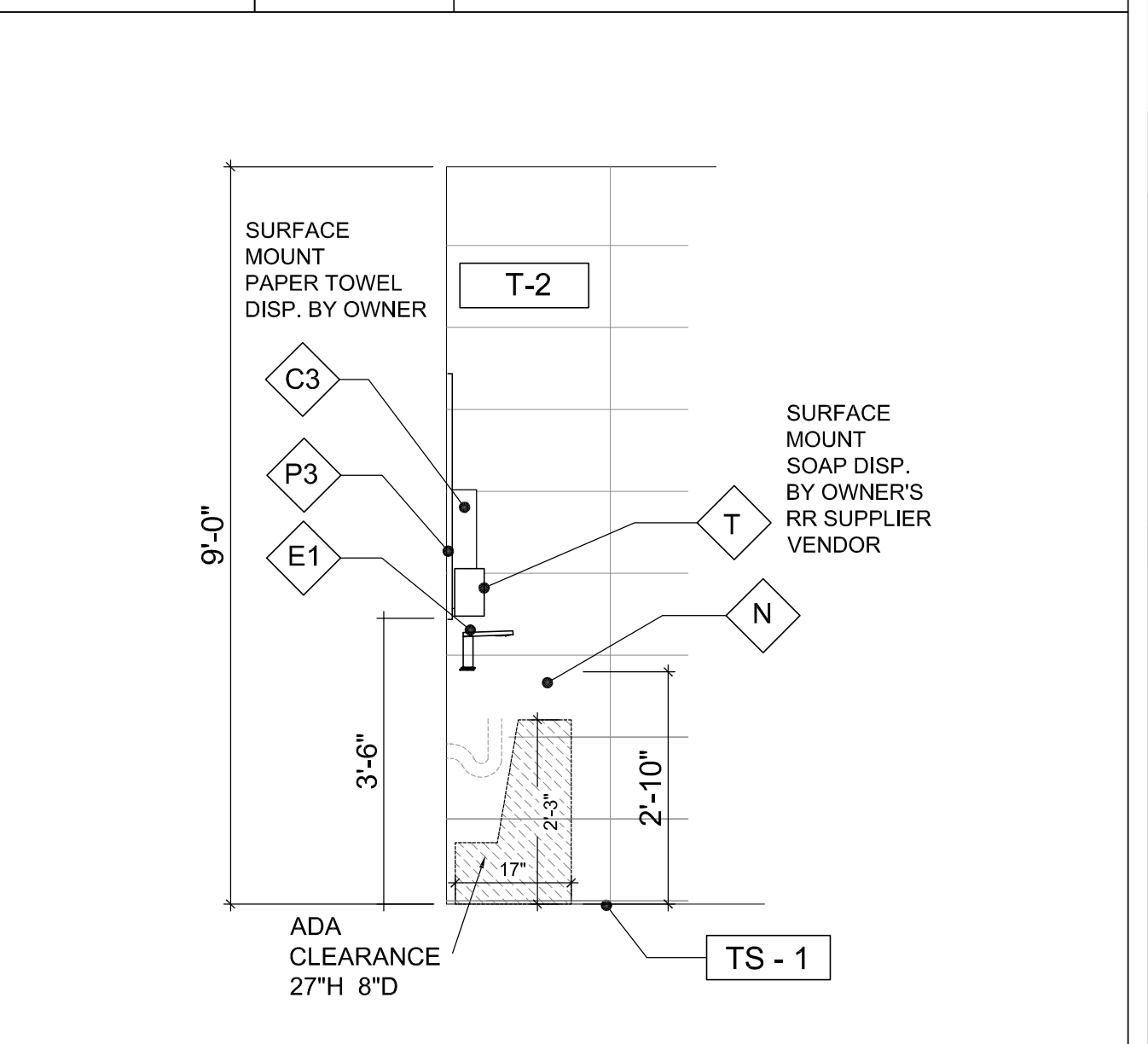
20 #126 MENS RR / LOCKER NORTH ELEVATION
SCALE: 3/8"=1'-0"



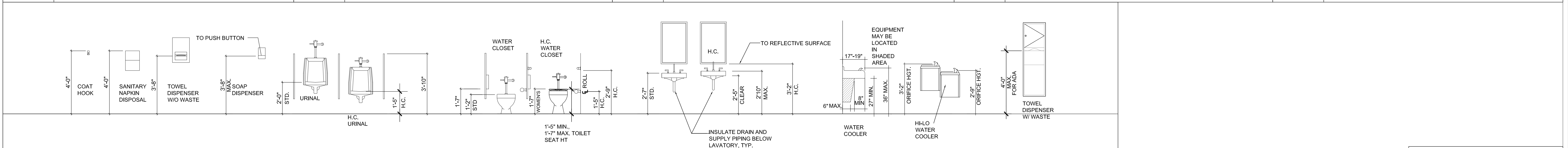
21 DRINKING FOUNTAIN / BOTTLE FILLER SOUTH ELEVATION
SCALE: 3/8"=1'-0"



D #126 MENS RR / LOCKER LAVATORY SECTION
SCALE: 1/2"=1'-0"



E #126 MENS RR / LOCKER LAVATORY SECTION
SCALE: 1/2"=1'-0"



STANDARD MOUNTING HEIGHTS

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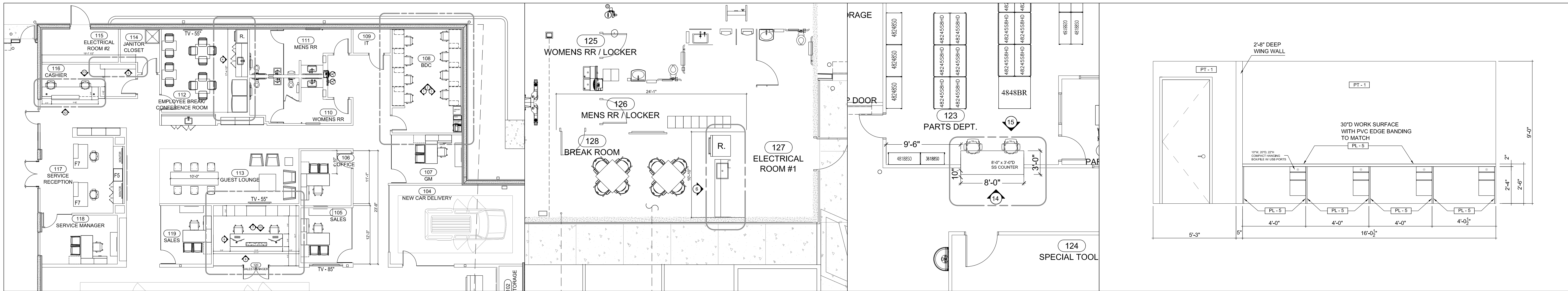
4427 W. Kennedy Blvd. Suite 250
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Project Name

MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

Sheet Title	ENLARGED RESTROOM PLAN
Revisions	
State Registration	Richard Hartmann AIA, LEED AP AR 09622
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	

ID 6.1

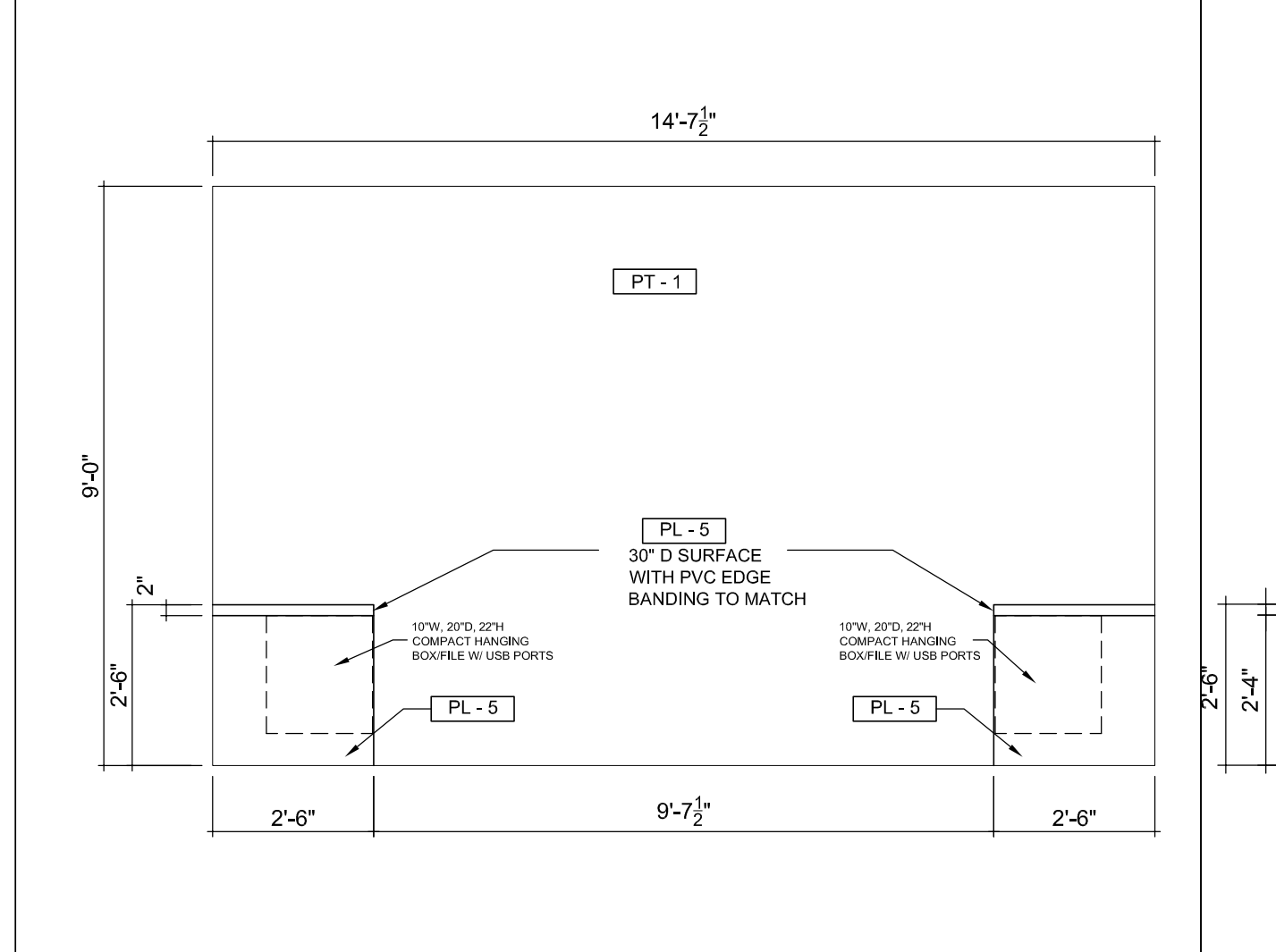


#107 BDC, #112 BREAK/CONF. ROOM, & #116 CASHIER ENLARGED PLAN VIEW
SCALE: NTS

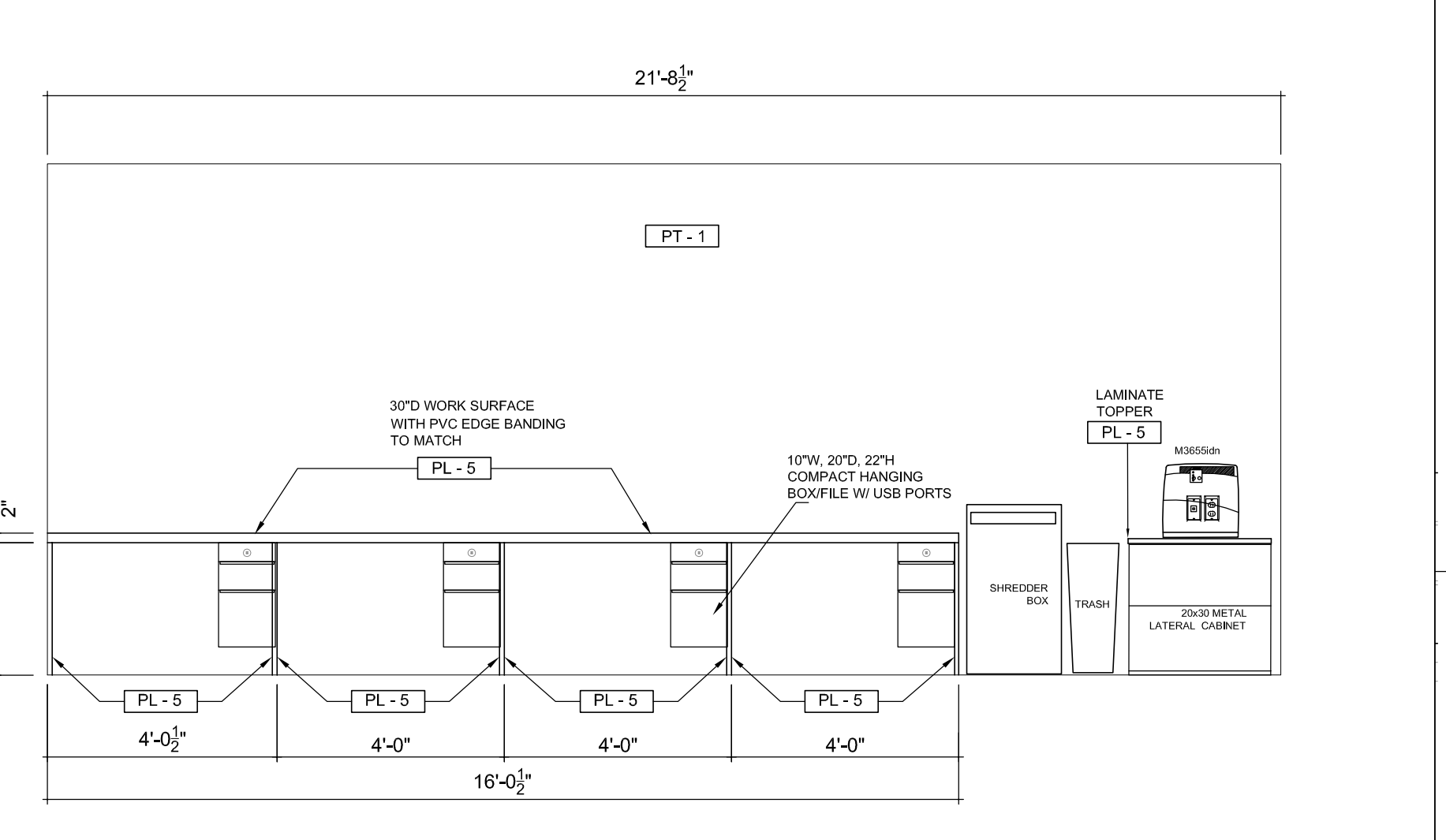
#128 TECH BREAK ROOM ENLARGED PLAN VIEW
SCALE: 1/4"=1'-0"

#123 PARTS DEPT. PLAN VIEW
SCALE: 3/16"=1'-0"

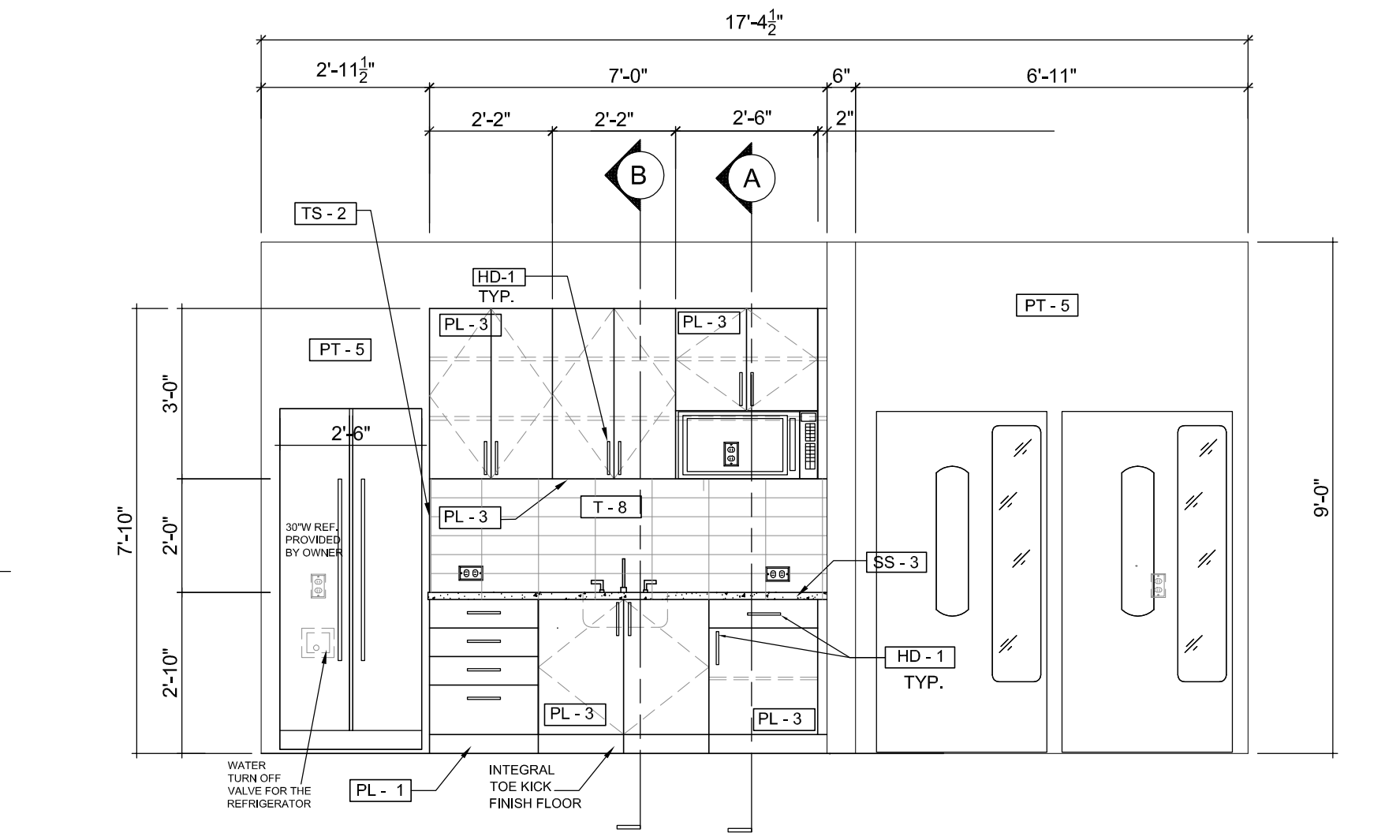
#108 BDC NORTH ELEVATION
SCALE: 3/8"=1'-0"



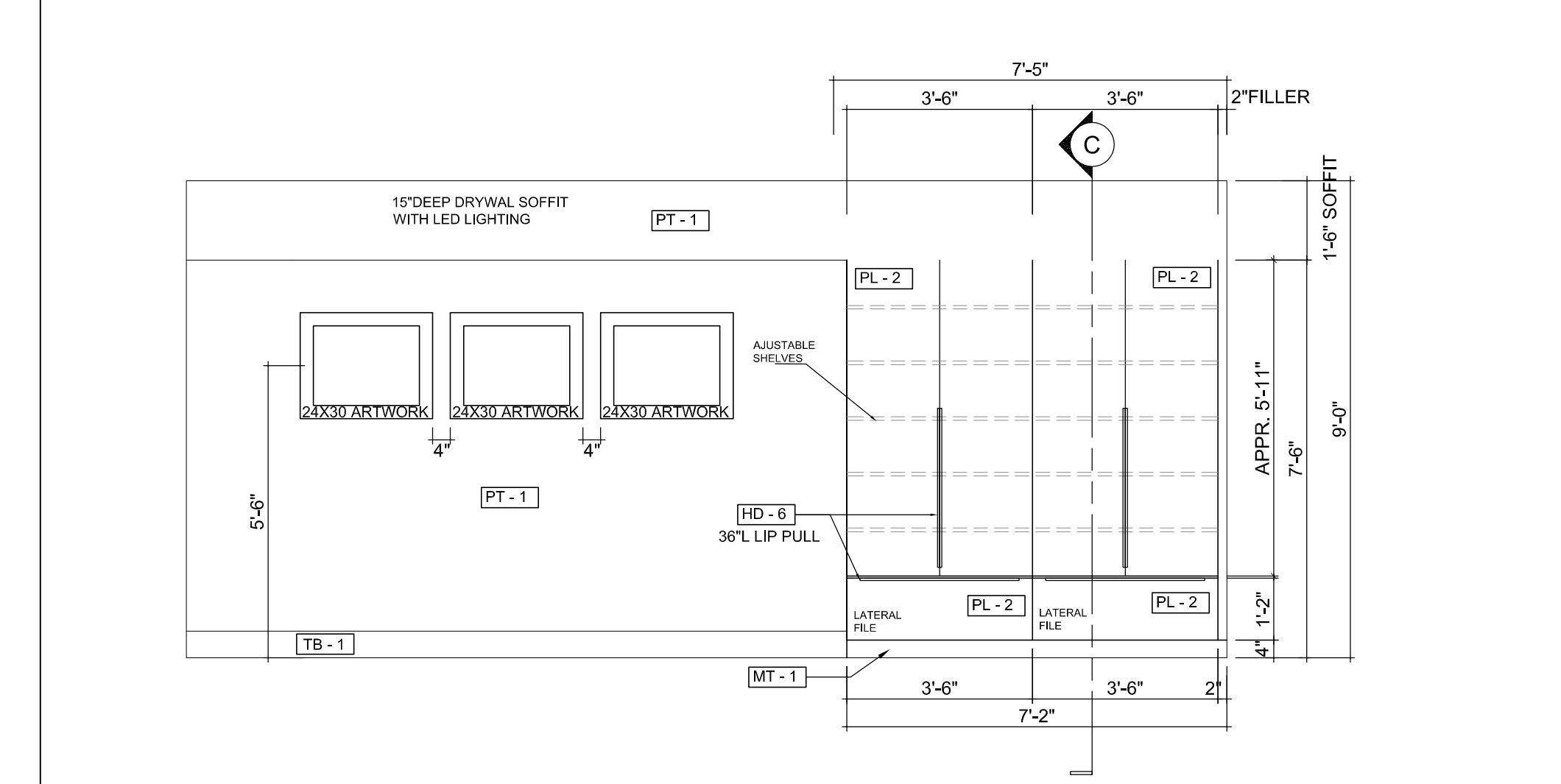
#108 BDC EAST ELEVATION
SCALE: 3/8"=1'-0"



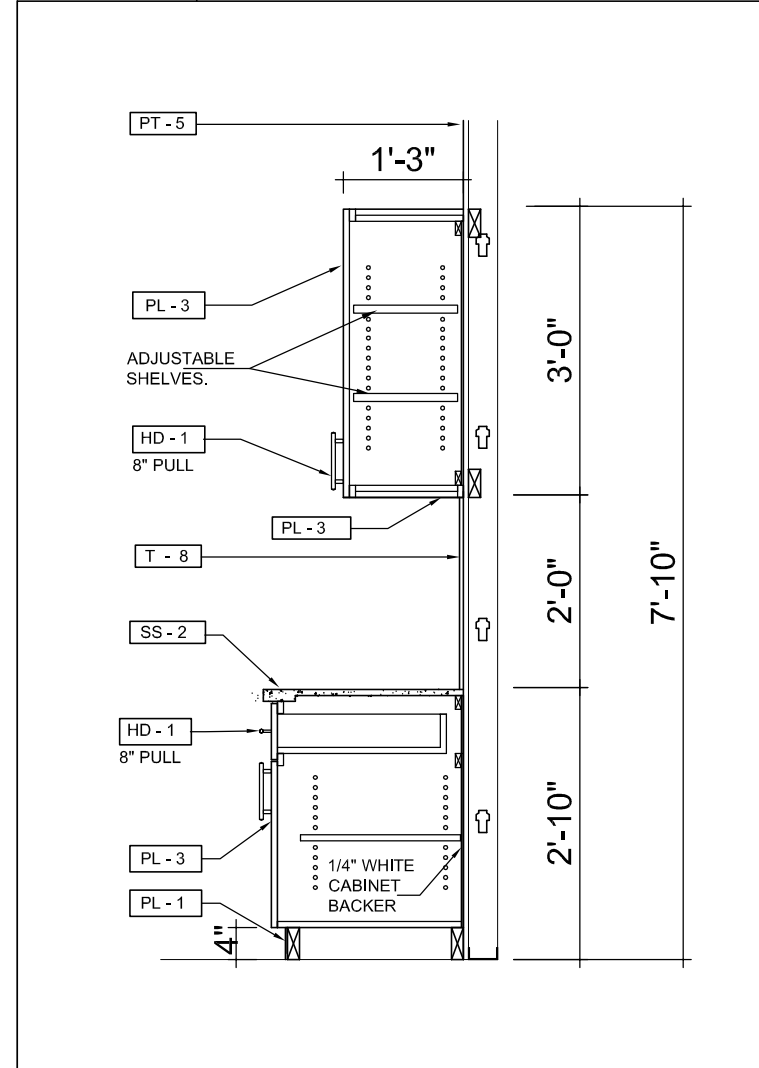
#108 BDC SOUTH ELEVATION
SCALE: 3/8"=1'-0"



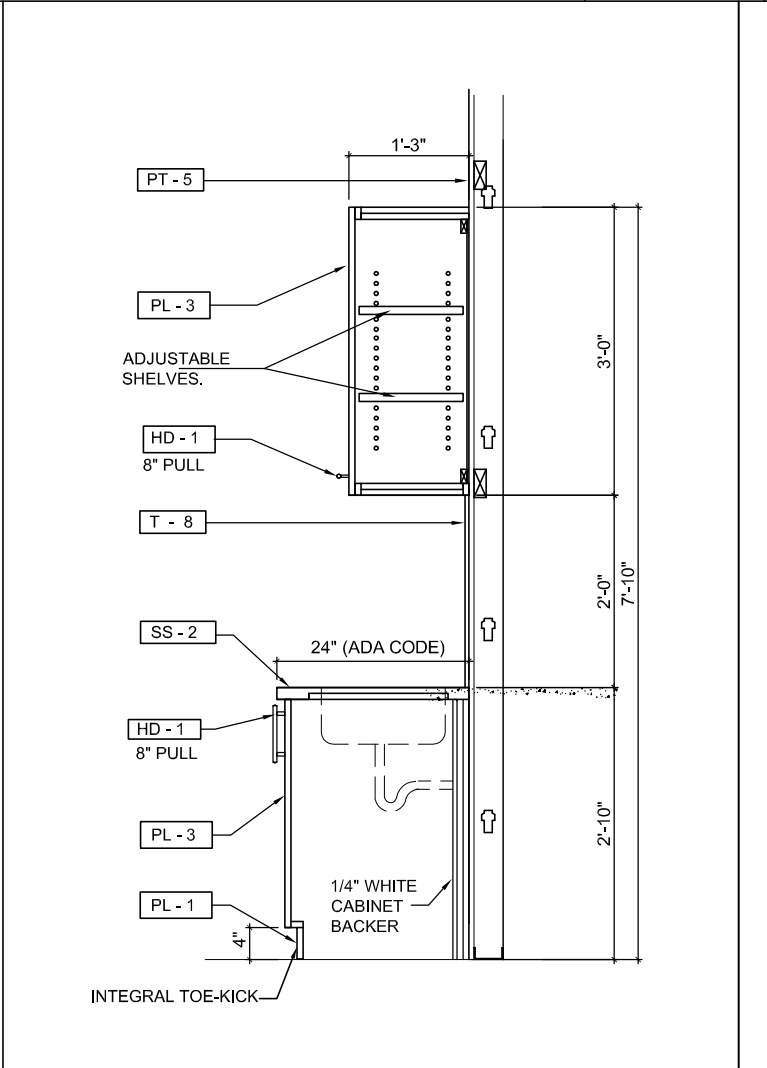
#112 EMPLOYEE BREAK/CONFERENCE ROOM SOUTH ELEVATION
SCALE: 3/8"=1'-0"



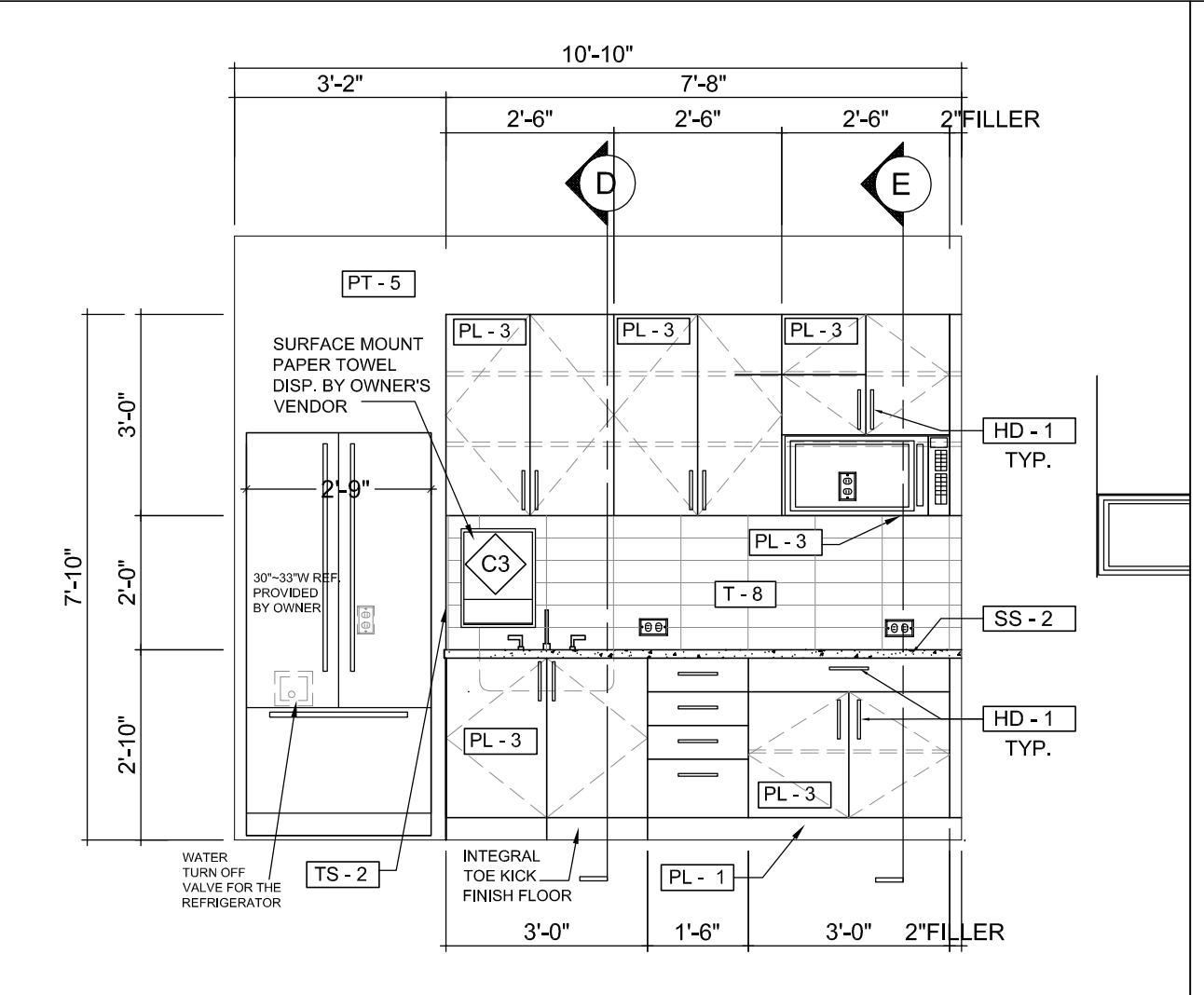
#116 CASHIER EAST ELEVATION
SCALE: 3/8"=1'-0"



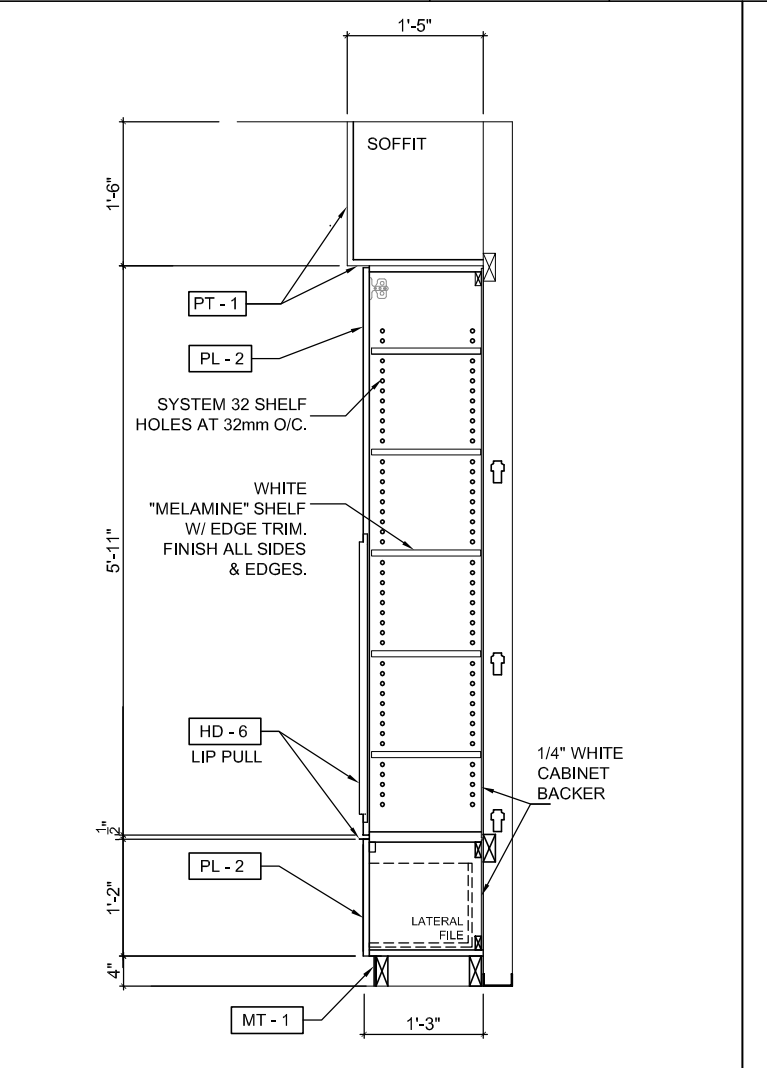
MILLWORK SECTION DETAIL A
SCALE: 1/2"=1'-0"



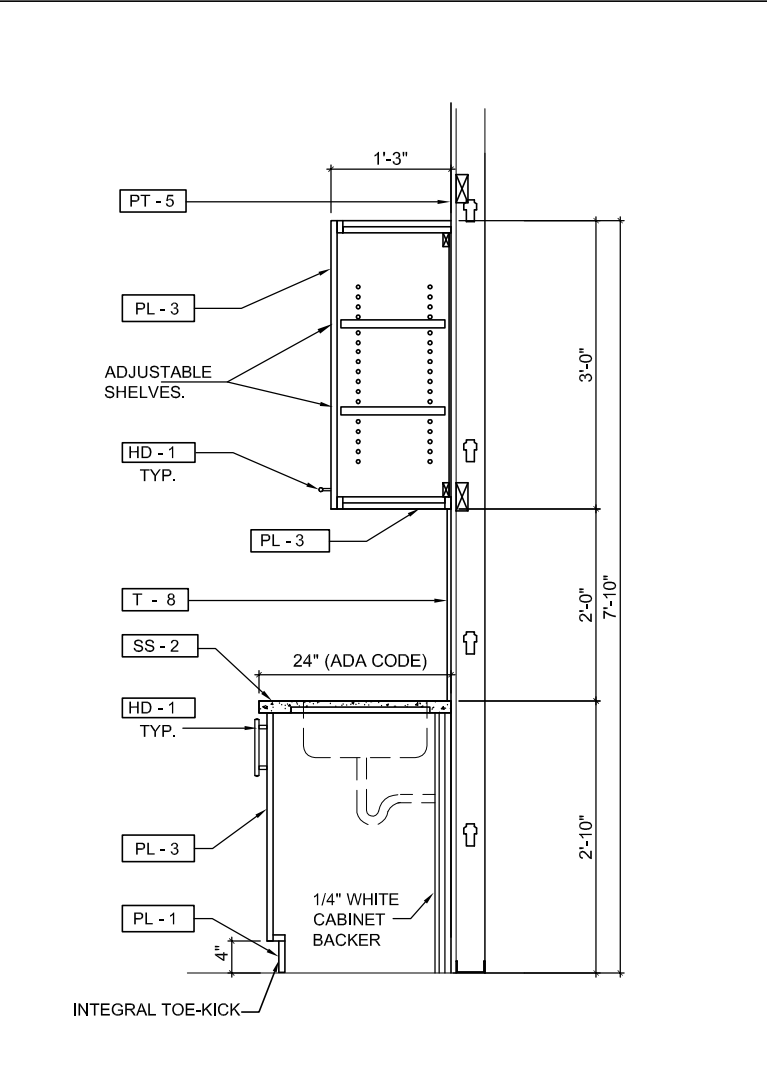
MILLWORK SECTION DETAIL B
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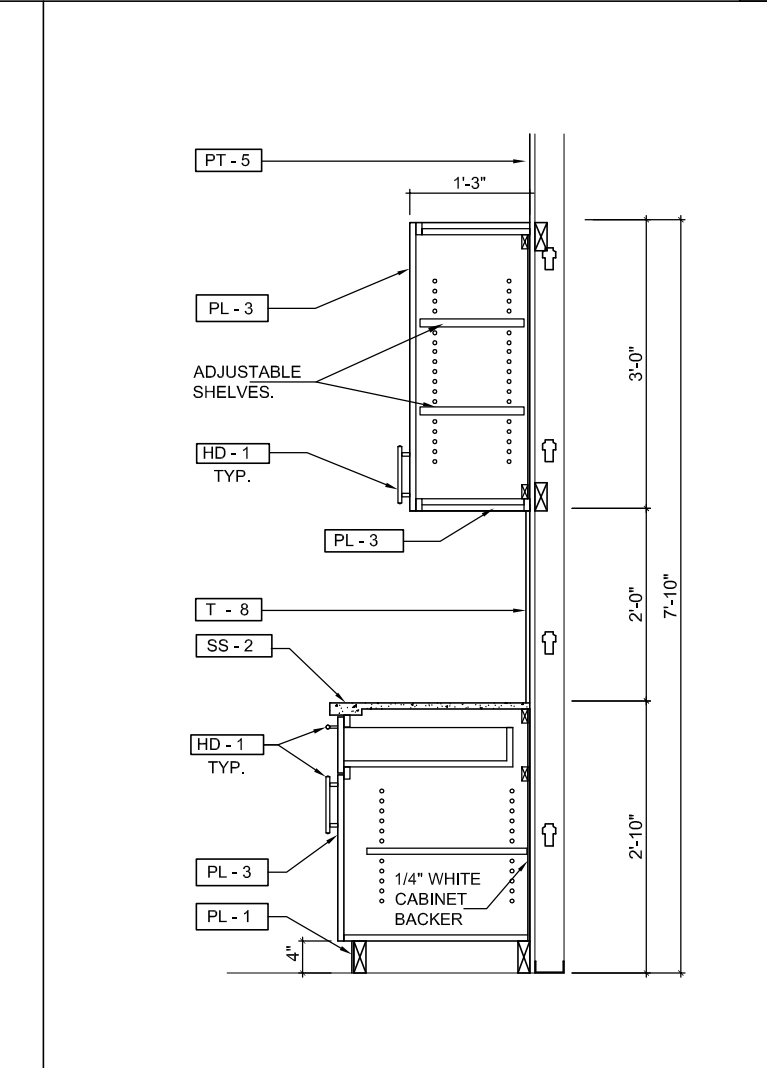
#128 BREAK ROOM SOUTH ELEVATION
SCALE: 3/8"=1'-0"



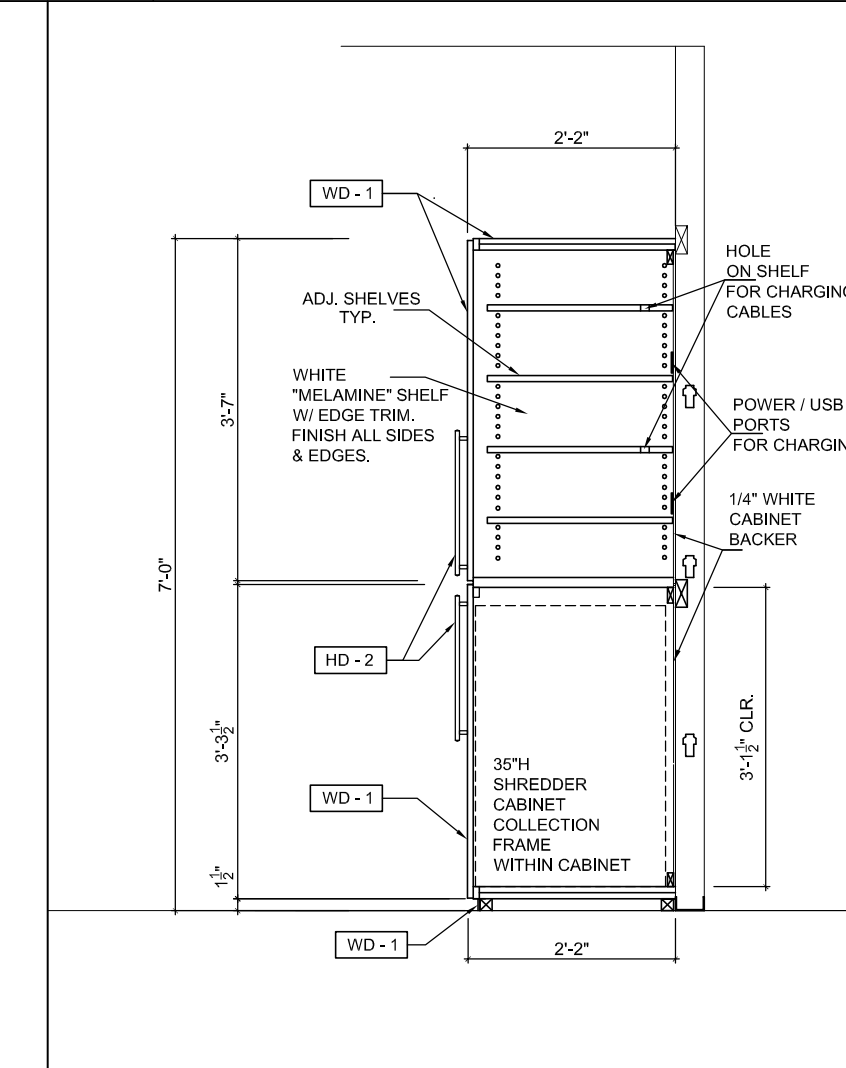
MILLWORK SECTION DETAIL C
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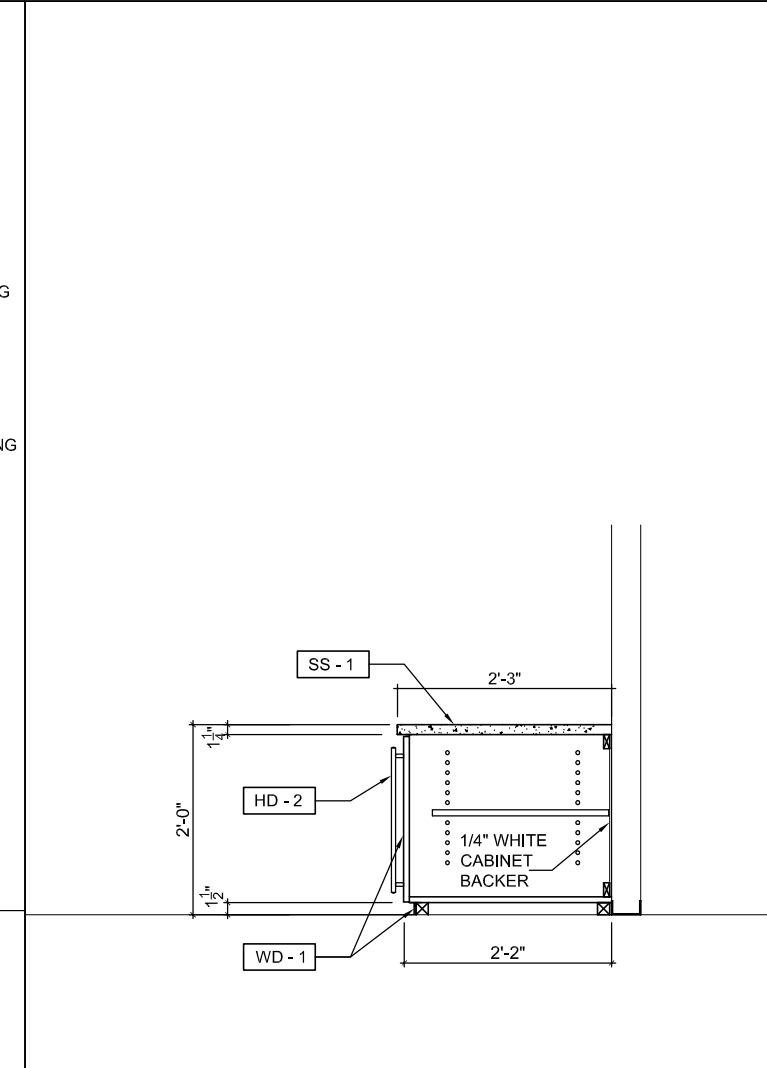
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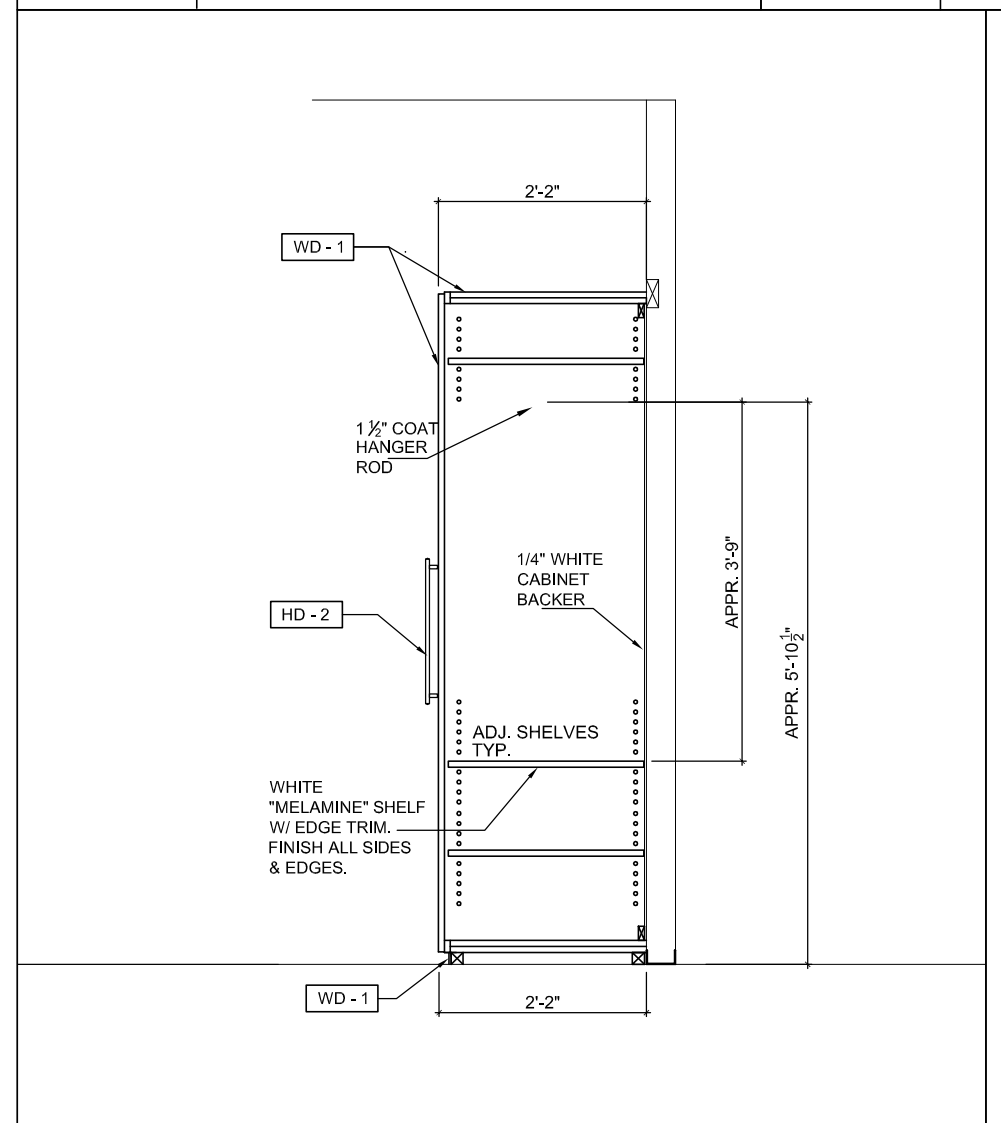
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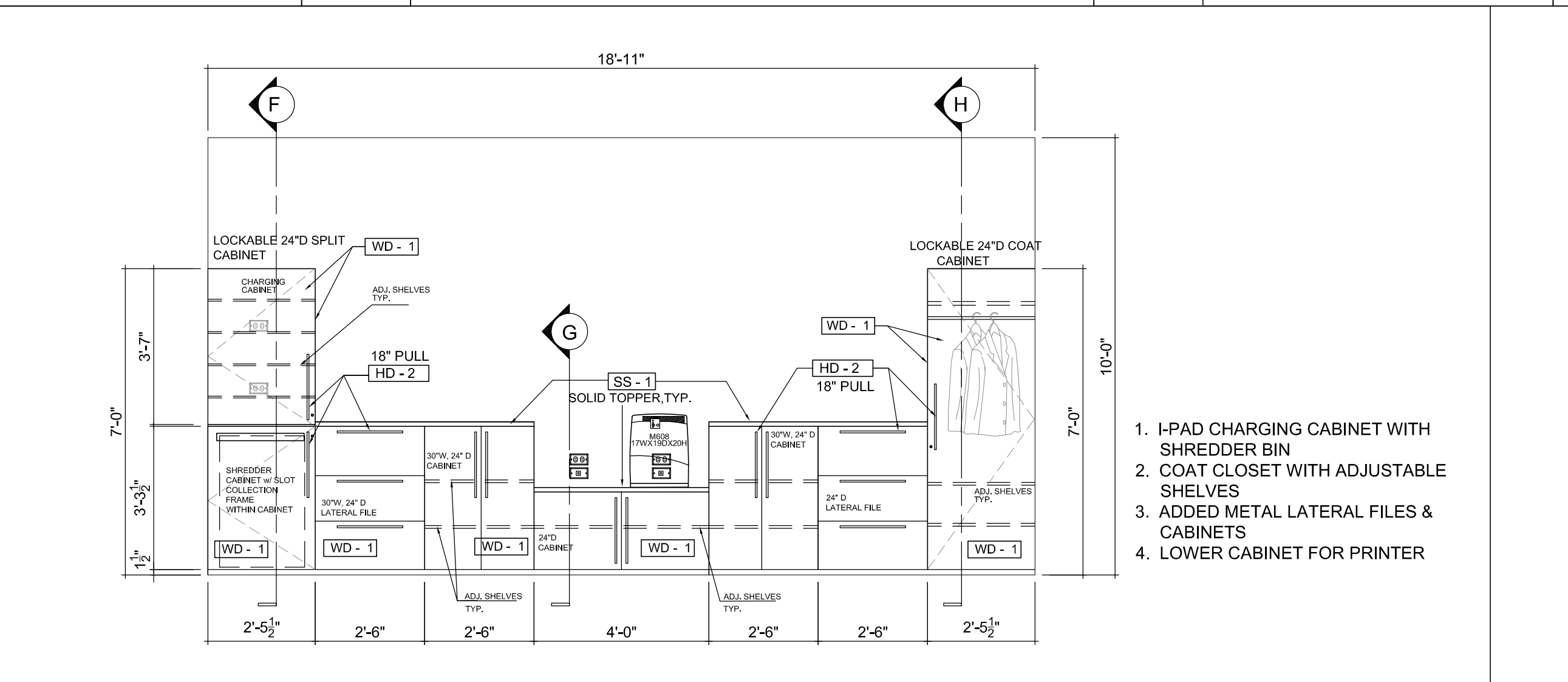
MILLWORK SECTION DETAIL F
SCALE: 1/2"=1'-0"



MILLWORK SECTION DETAIL G
SCALE: 1/2"=1'-0"



MILLWORK SECTION DETAIL H
SCALE: 1/2"=1'-0"



#120 SALES MANAGER BACK COUNTER STORAGE EAST ELEVATION
SCALE: 3/8"=1'-0"

1. IPAD CHARGING CABINET WITH SHREDDER BIN
2. COAT CLOSET WITH ADJUSTABLE SHELVES
3. ADDED METAL LATERAL FILES & CABINETS
4. LOWER CABINET FOR PRINTER

architecture design planning

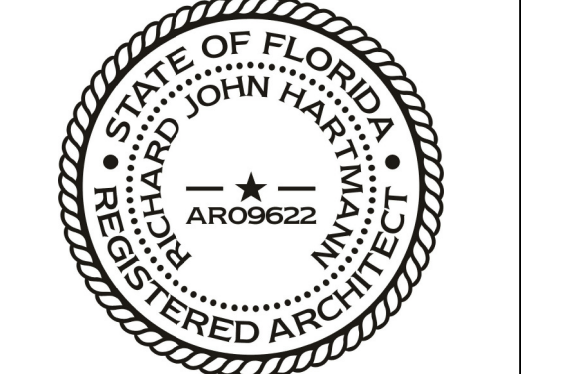
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Project Name

MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

Sheet Title	MILLWORK
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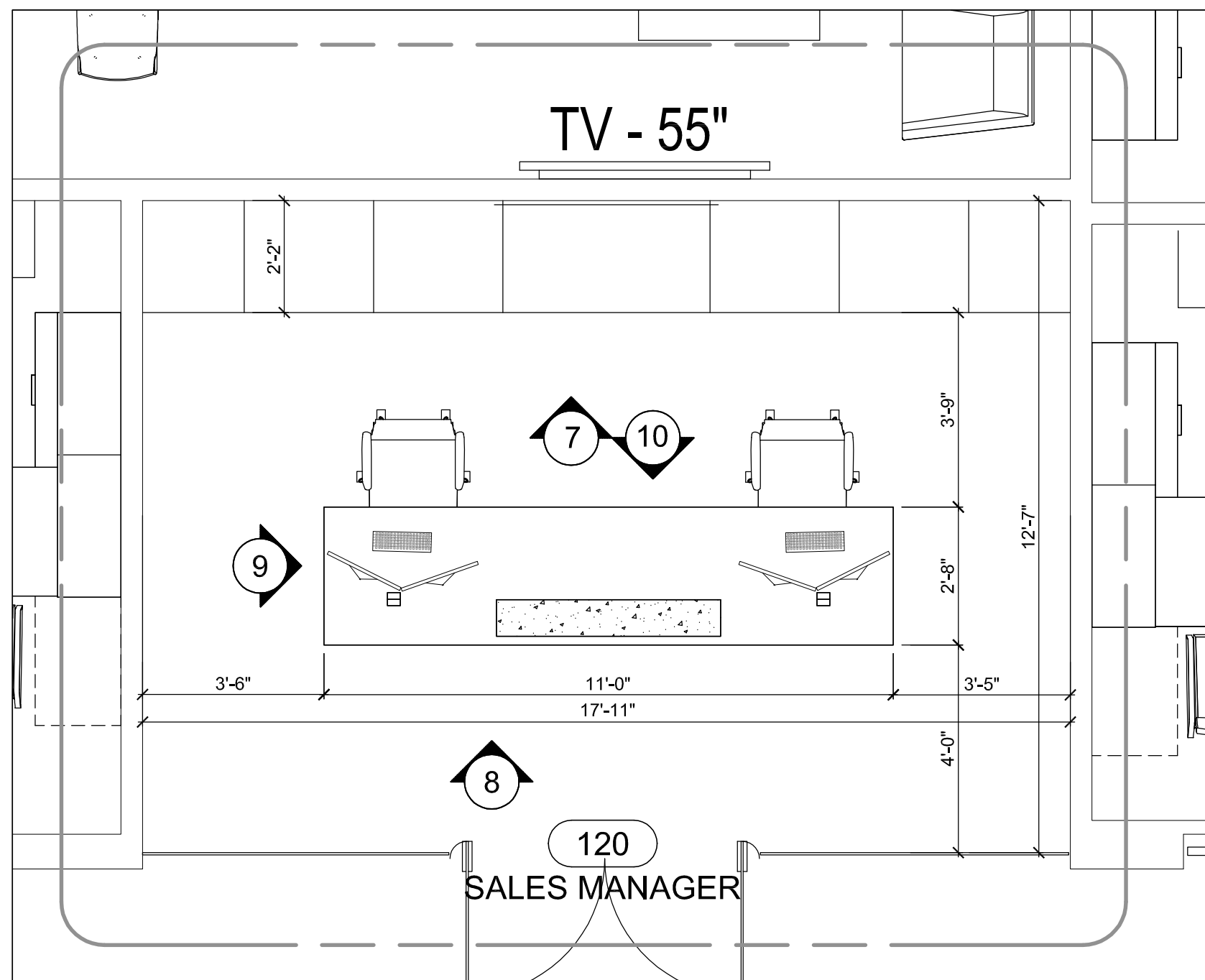
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Drawn By	RCK/RLH
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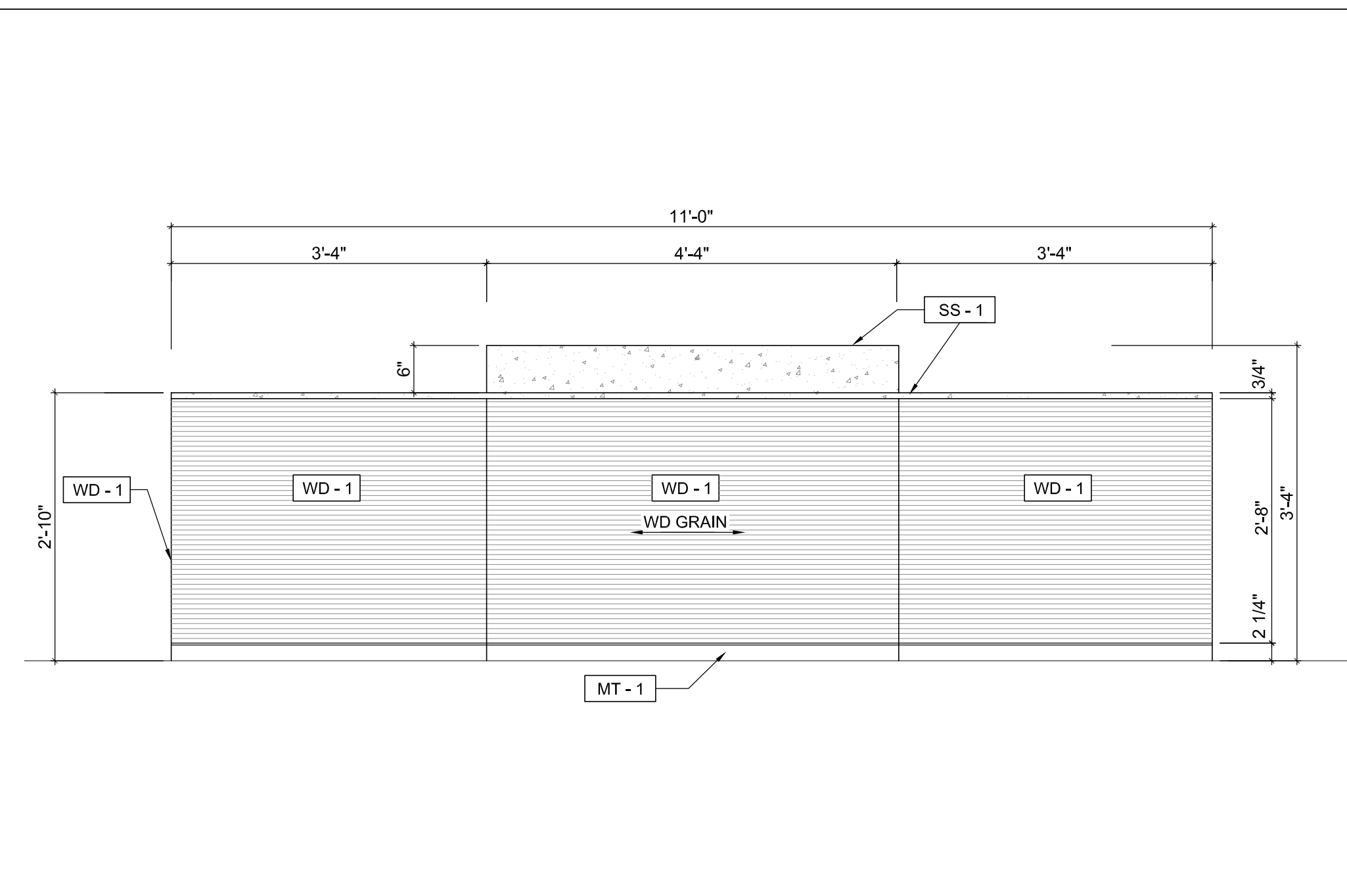
MILLWORK SCALE AS NOTED

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394 S. DOWNING STREET DENVER, CO 80209
V: 303.4 DESIGN P: 303.262.0140
F: 303.435.7416 C: 303.324.7938 Joyce E. McDaniel

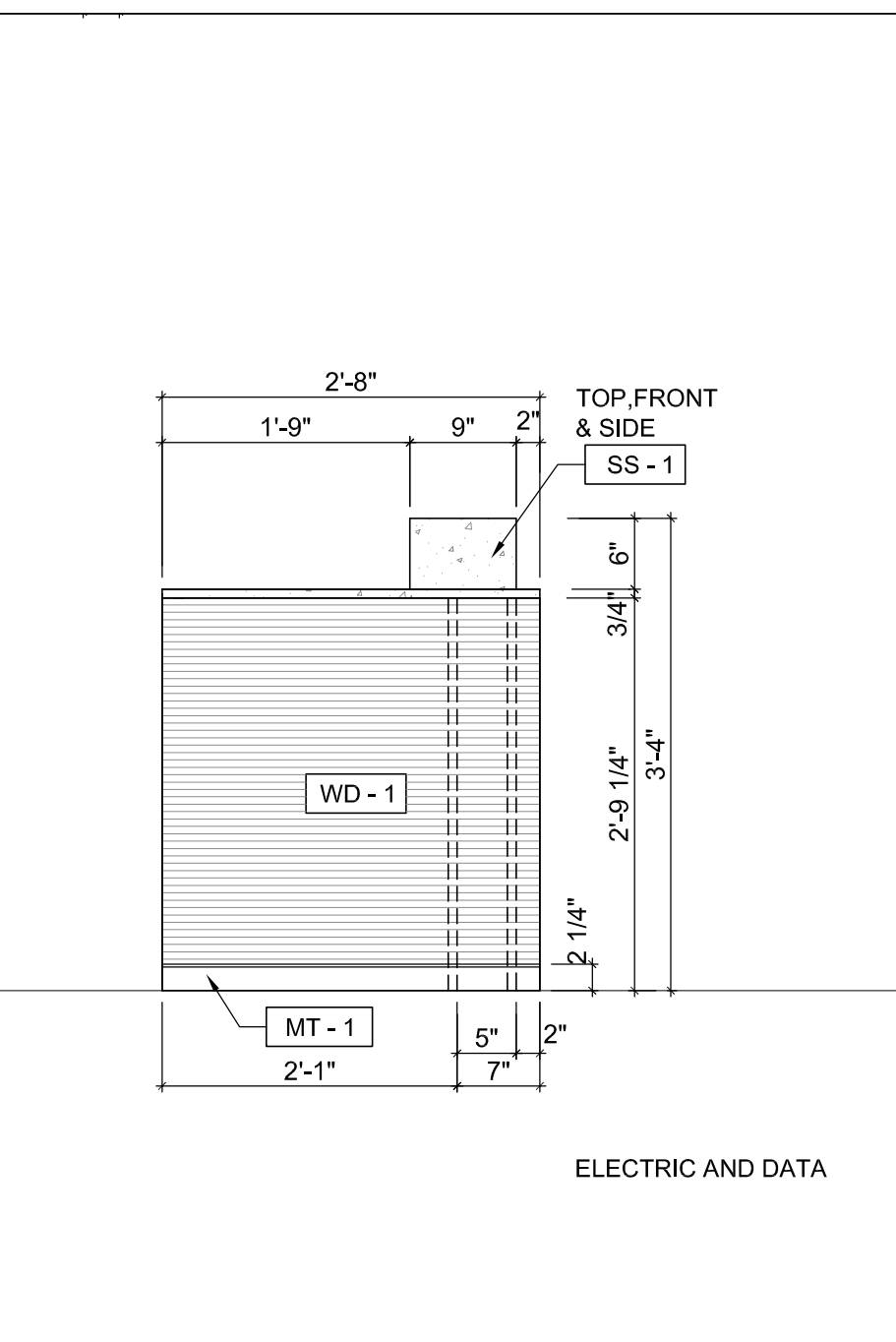
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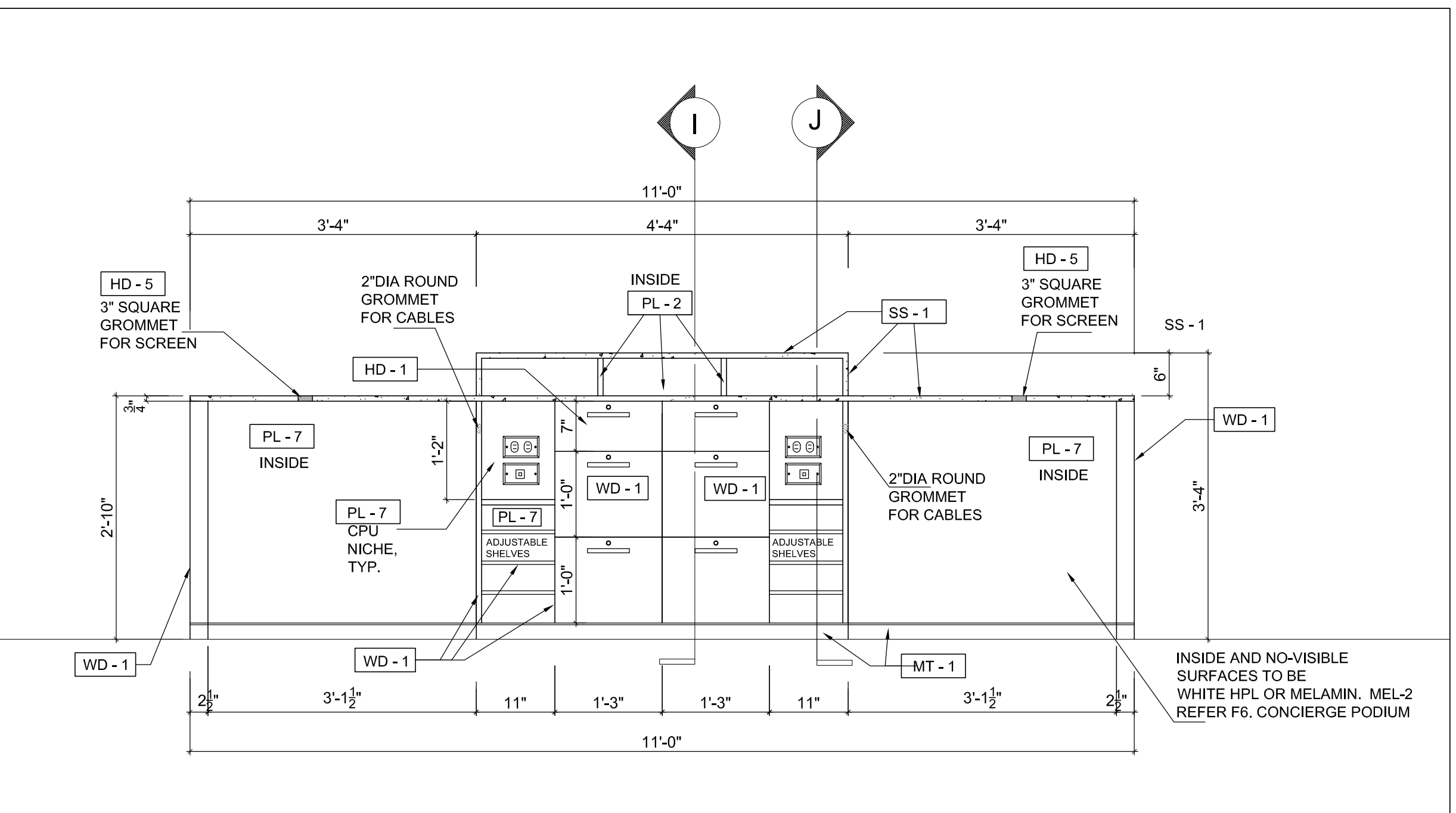
#120 SALES MANAGER ENLARGED PLAN VIEW
SCALE: 3/8"=1'-0"



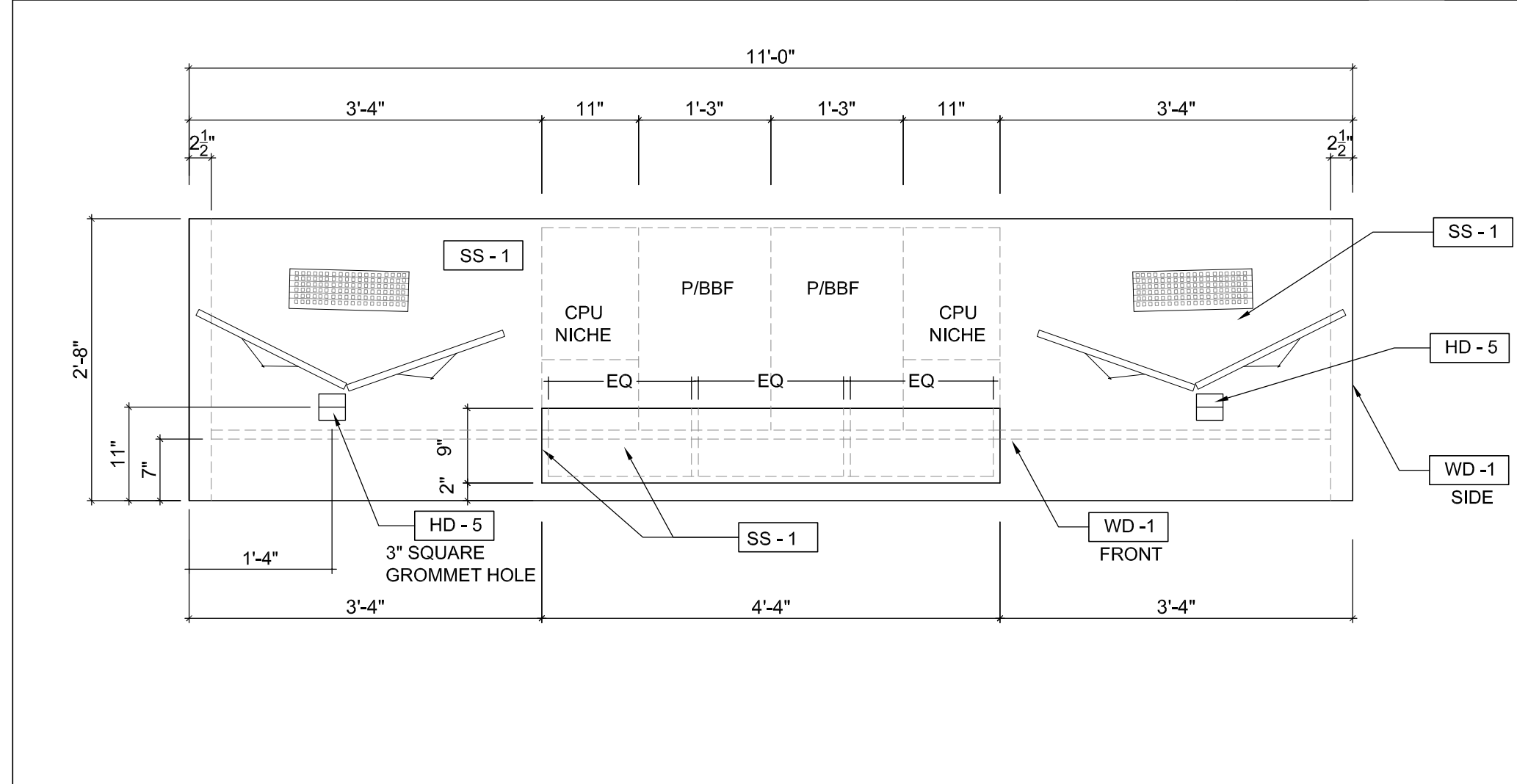
#120 SALES MANAGER COUNTER EAST ELEVATION / FRONT VIEW
SCALE: 3/4"=1'-0"



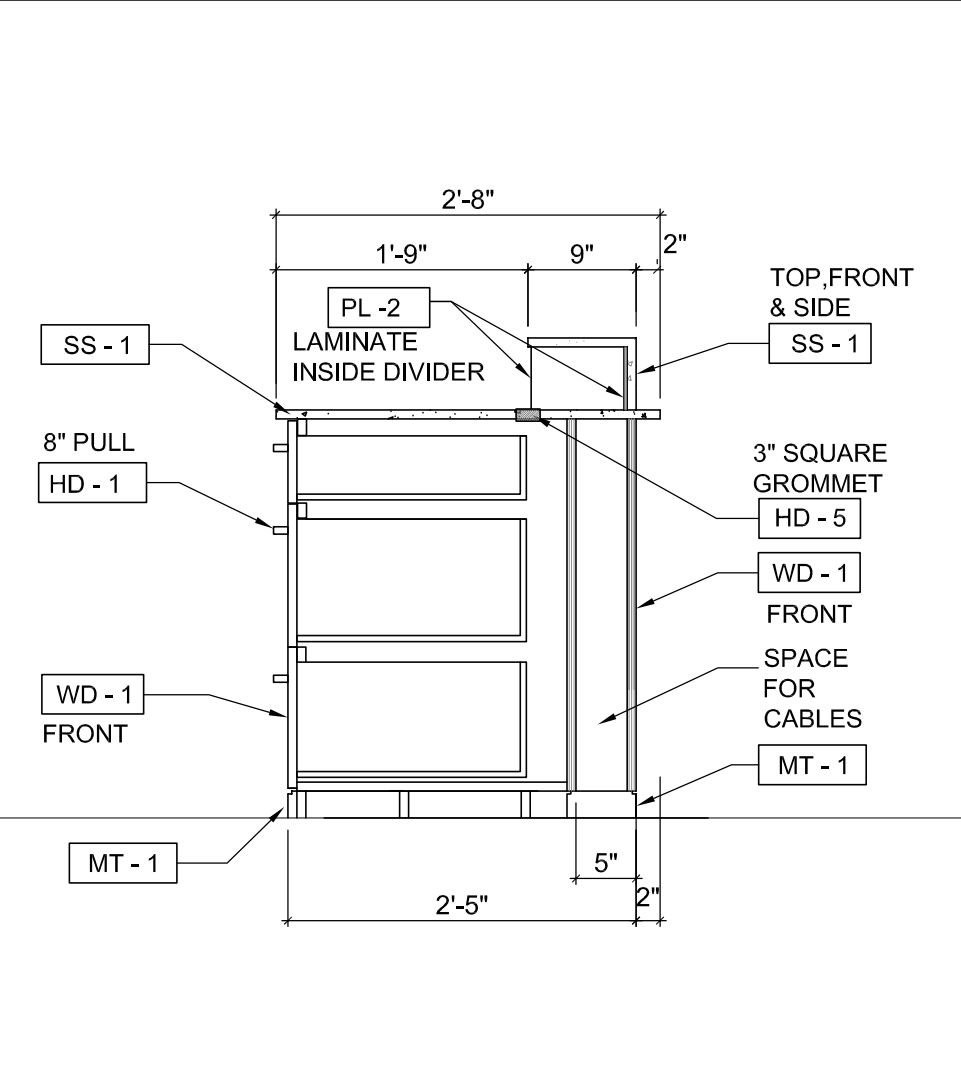
#120 SALES MANAGER COUNTER SOUTH ELEV. / SIDE VIEW
SCALE: 3/4"=1'-0"



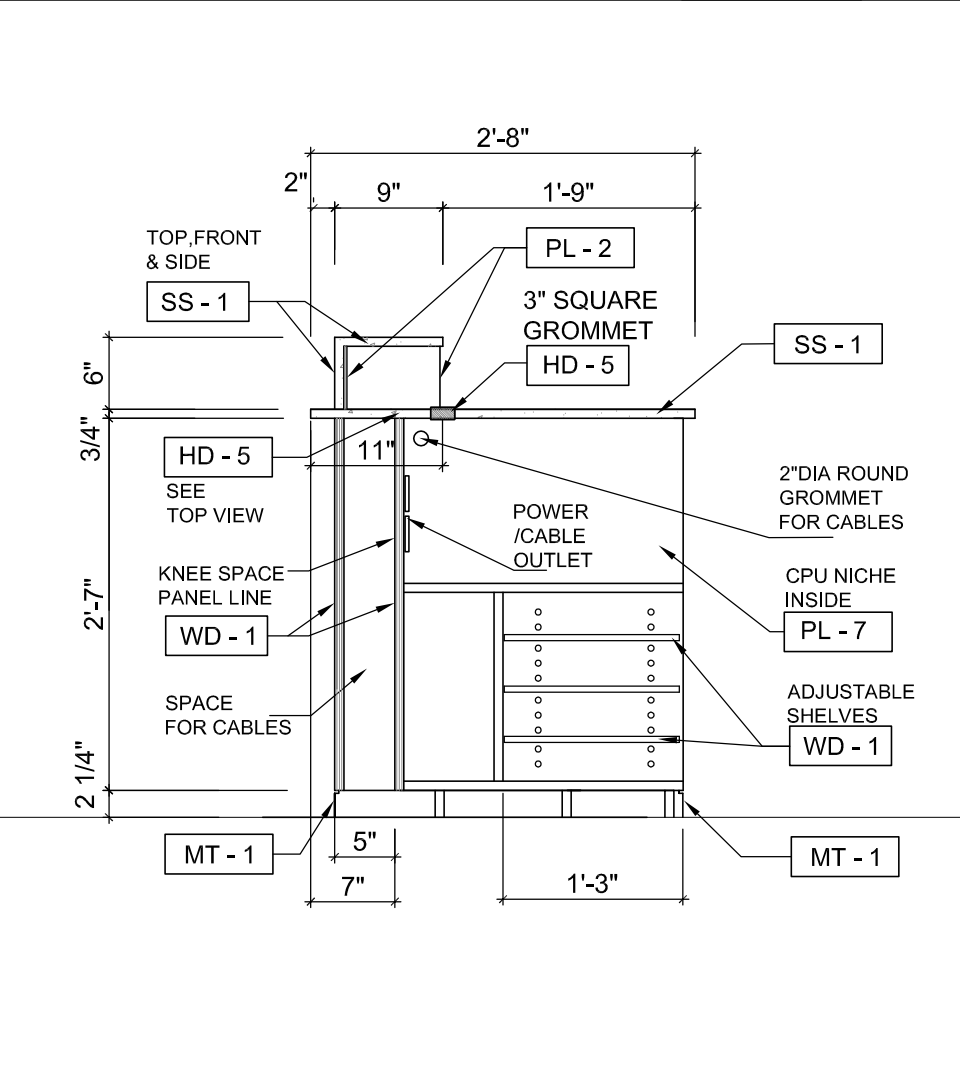
#120 SALES MANAGER COUNTER WEST ELEVATION / REAR VIEW
SCALE: 3/4"=1'-0"



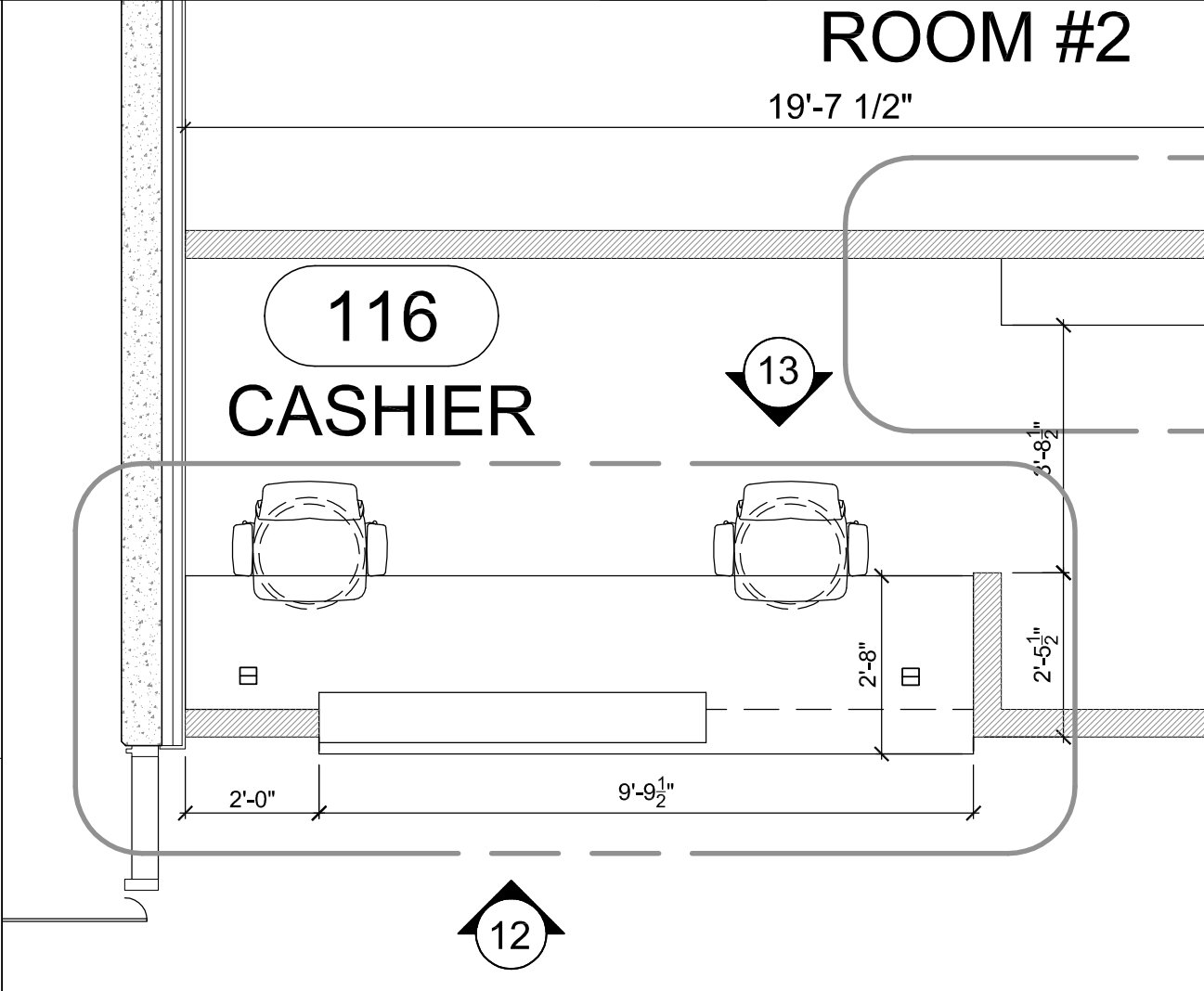
#120 SALES MANAGER COUNTER TOP VIEW
SCALE: 3/4"=1'-0"



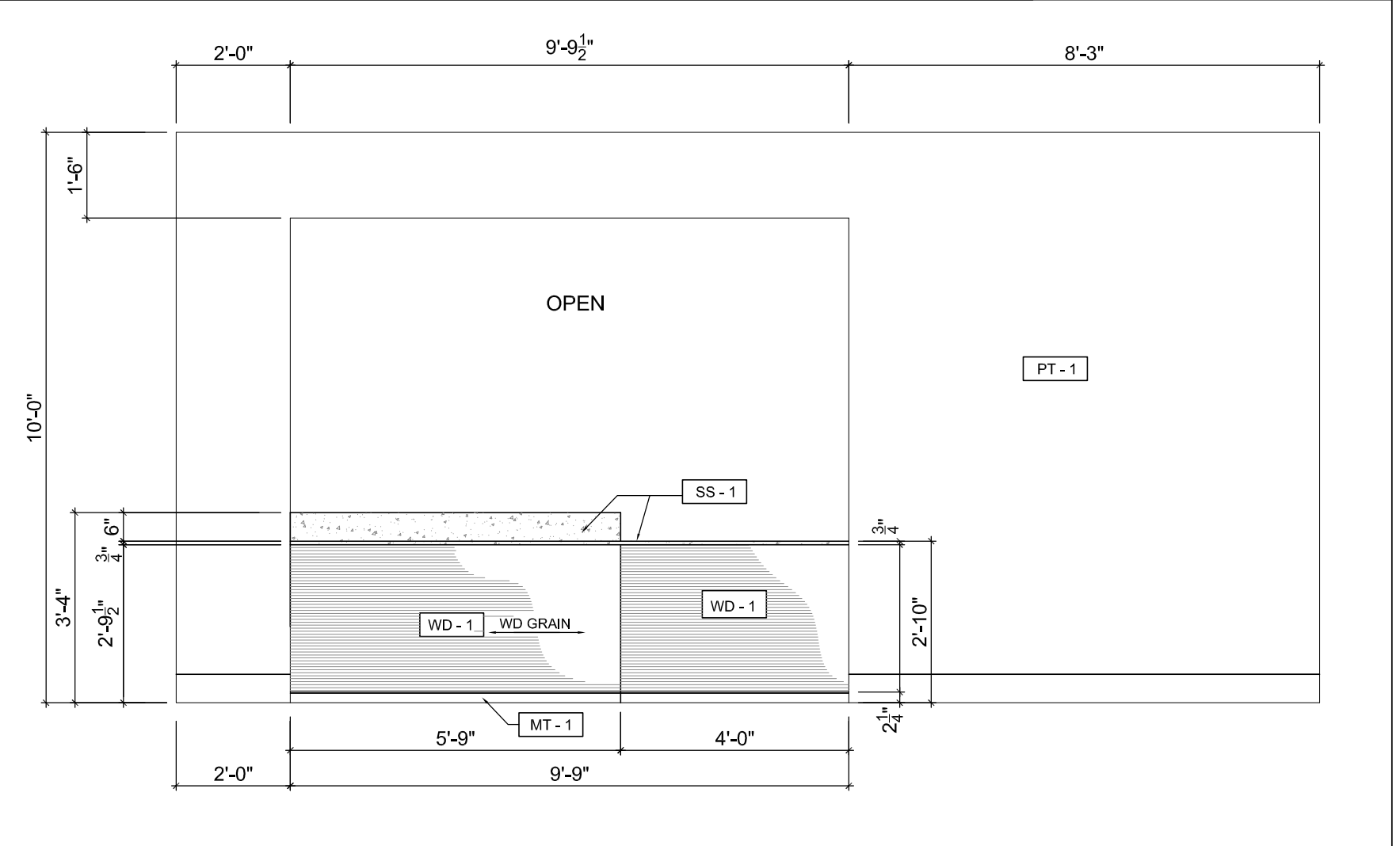
#120 SALES MANAGER COUNTER SECTION DETAIL I
SCALE: 3/4"=1'-0"



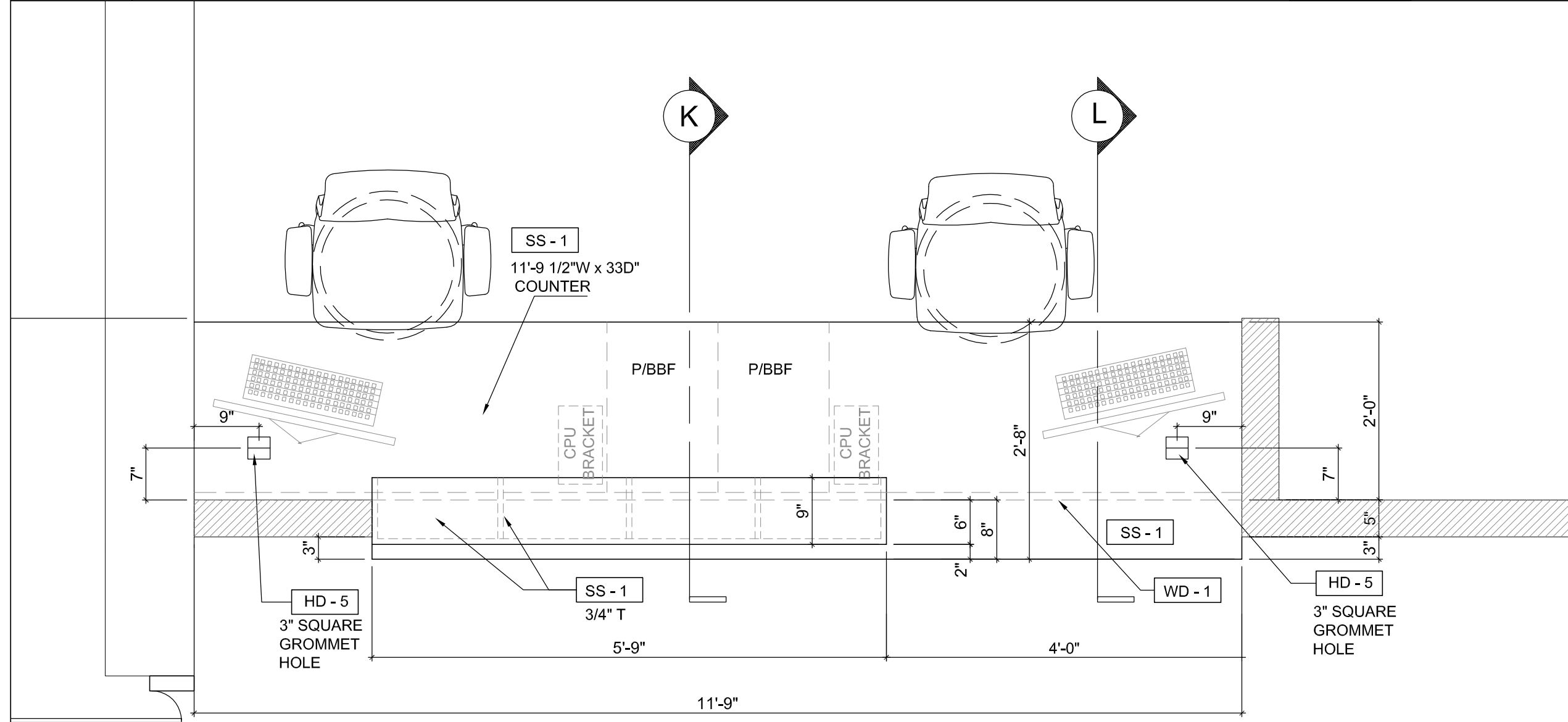
#120 SALES MANAGER COUNTER SECTION DETAIL J
SCALE: 3/4"=1'-0"



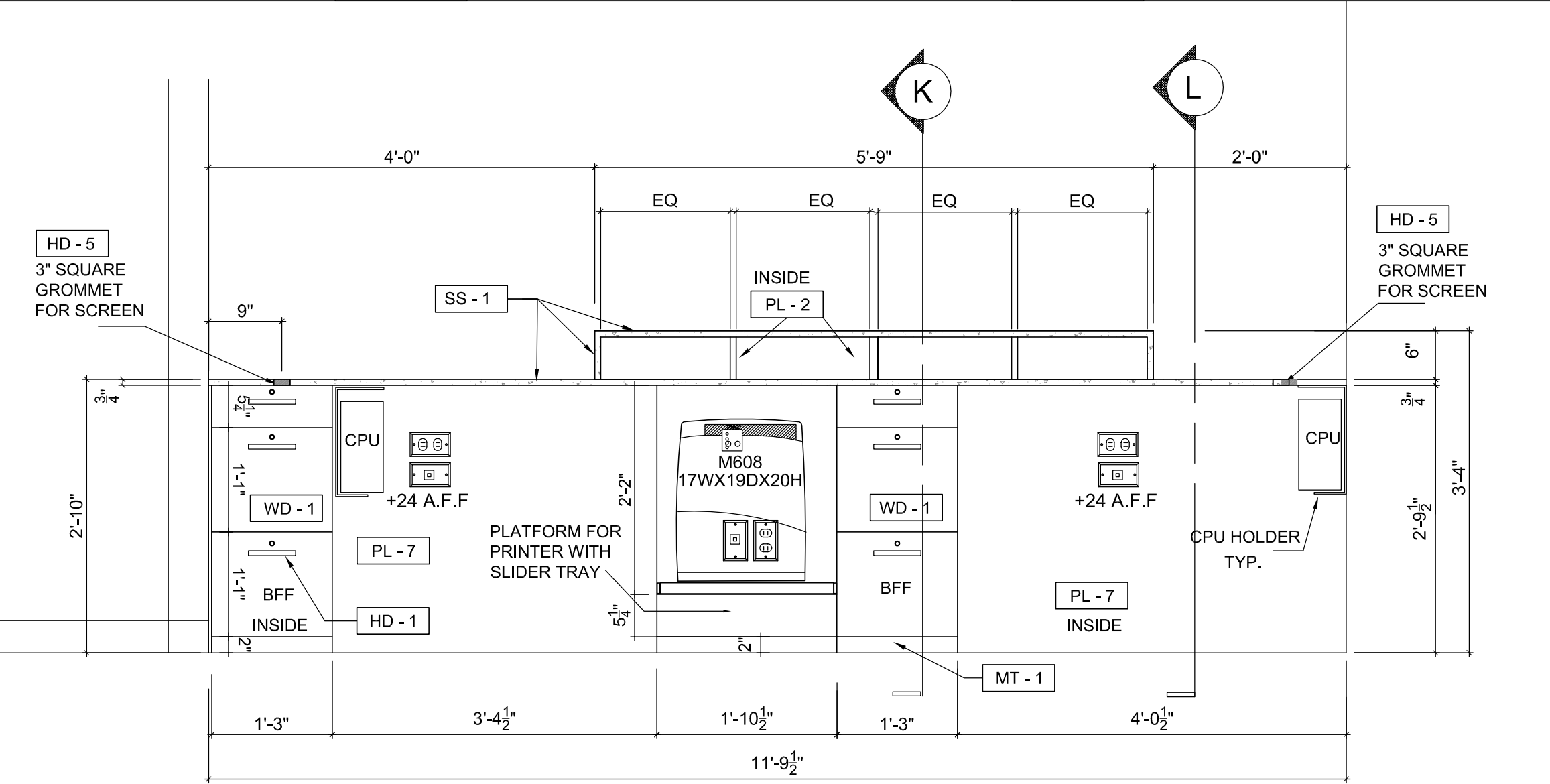
#116 CASHIER ENLARGED PLAN VIEW
SCALE: 1/4"=1'-0"



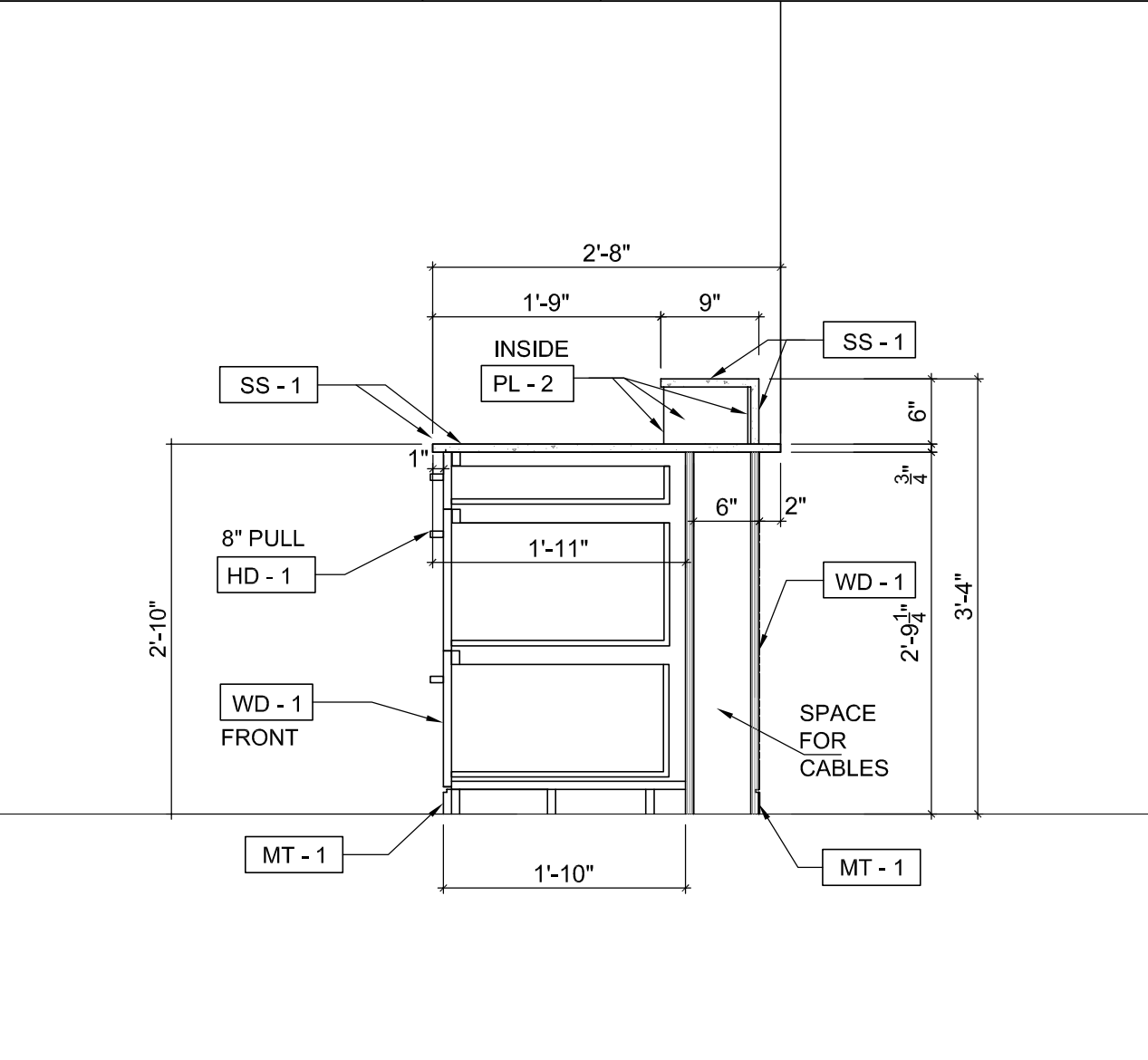
#116 CASHIER EAST ELEVATION / FRONT VIEW
SCALE: 1/2"=1'-0"



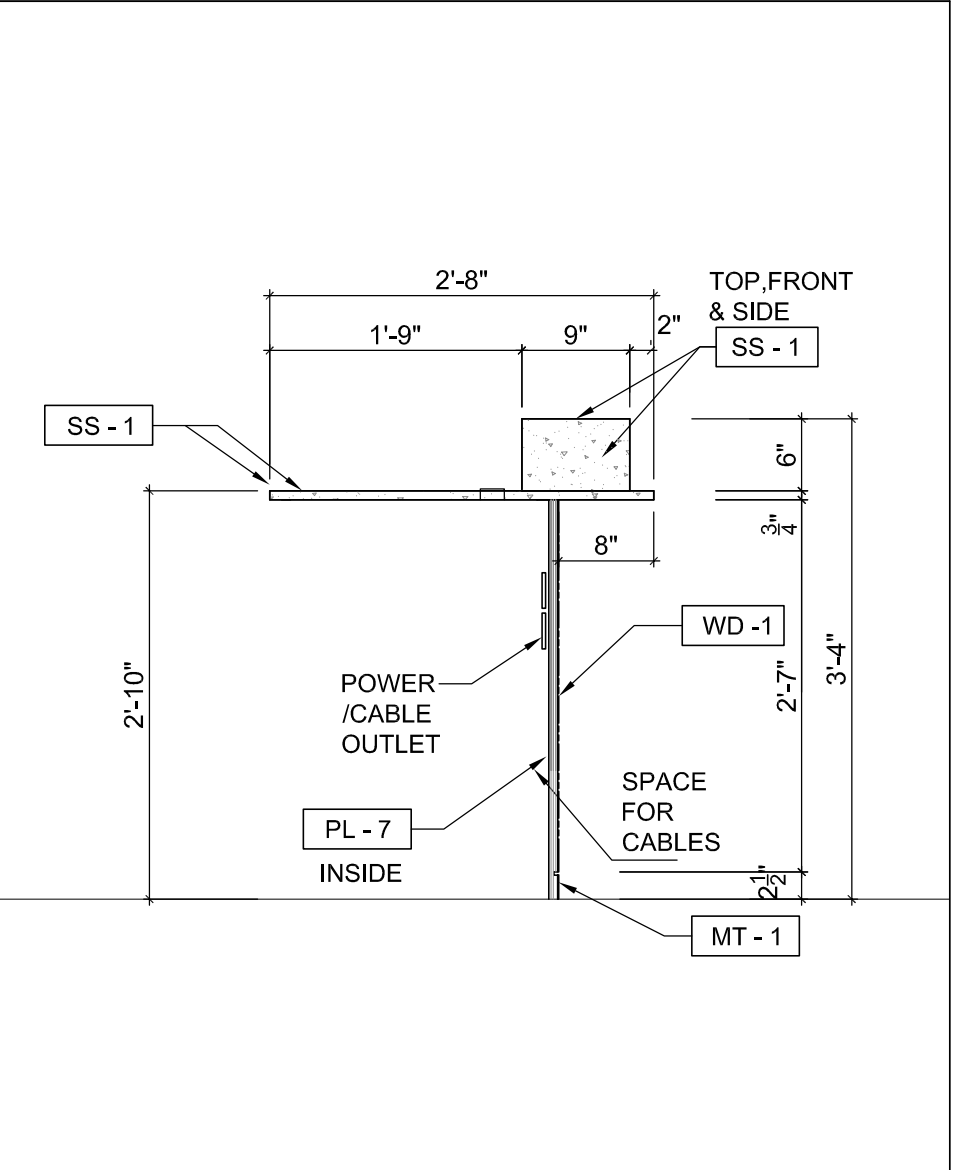
#116 CASHIER ENLARGED MILLWORK TOP VIEW
SCALE: 3/4"=1'-0"



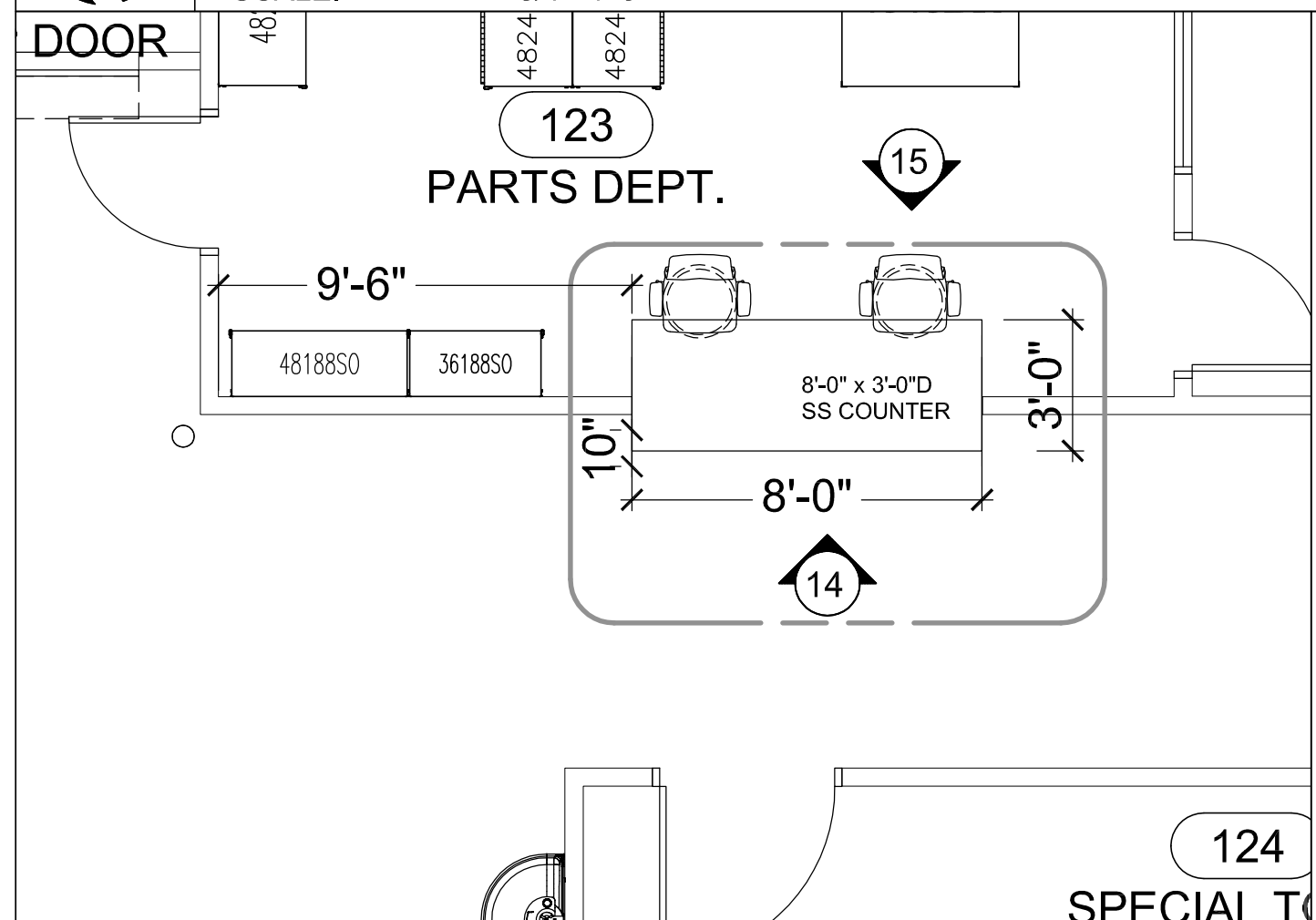
#116 CASHIER WEST ELEVATION / REAR VIEW
SCALE: 3/4"=1'-0"



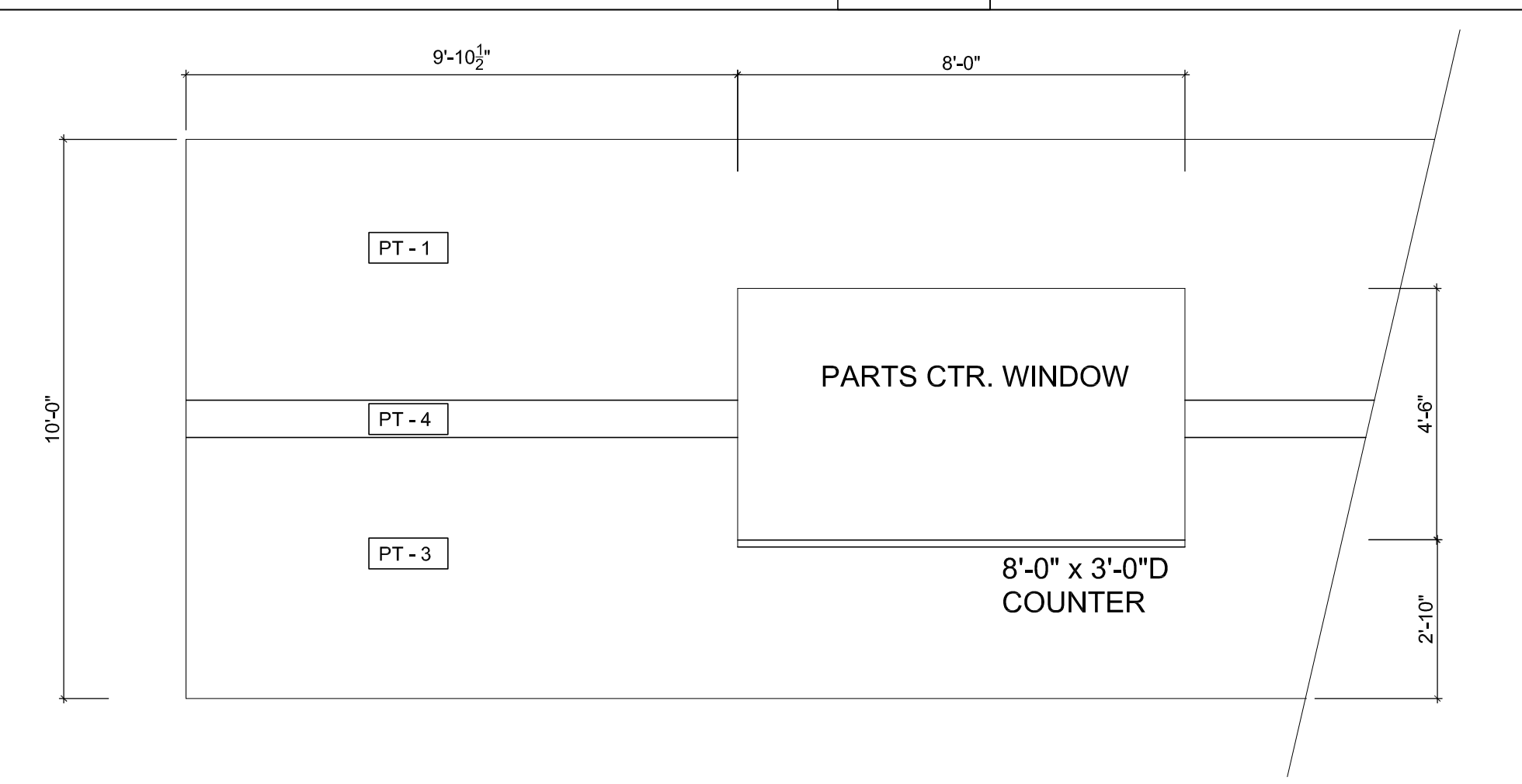
#116 CASHIER COUNTER SECTION DETAIL K
SCALE: 3/4"=1'-0"



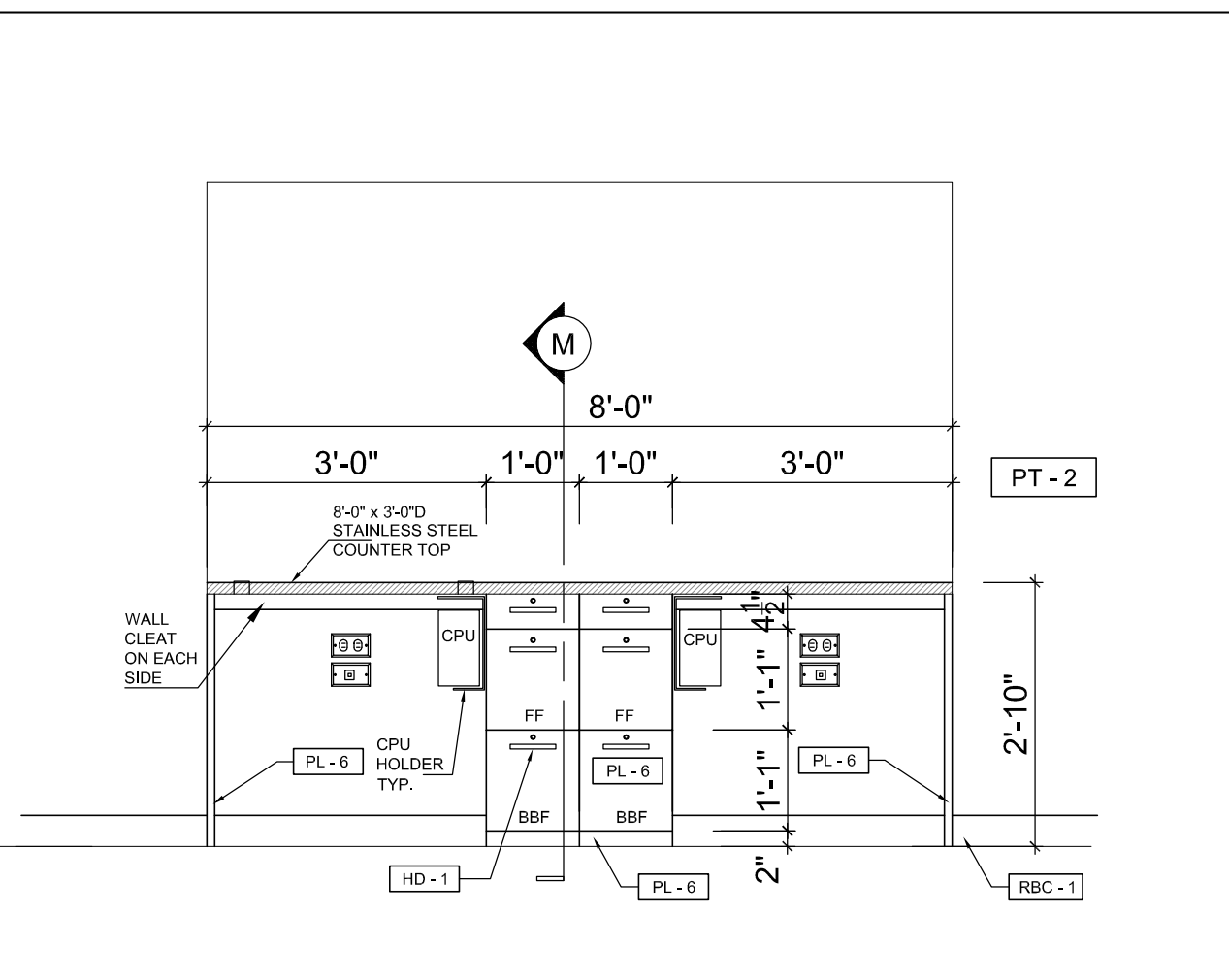
#116 CASHIER COUNTER SECTION DETAIL L
SCALE: 3/4"=1'-0"



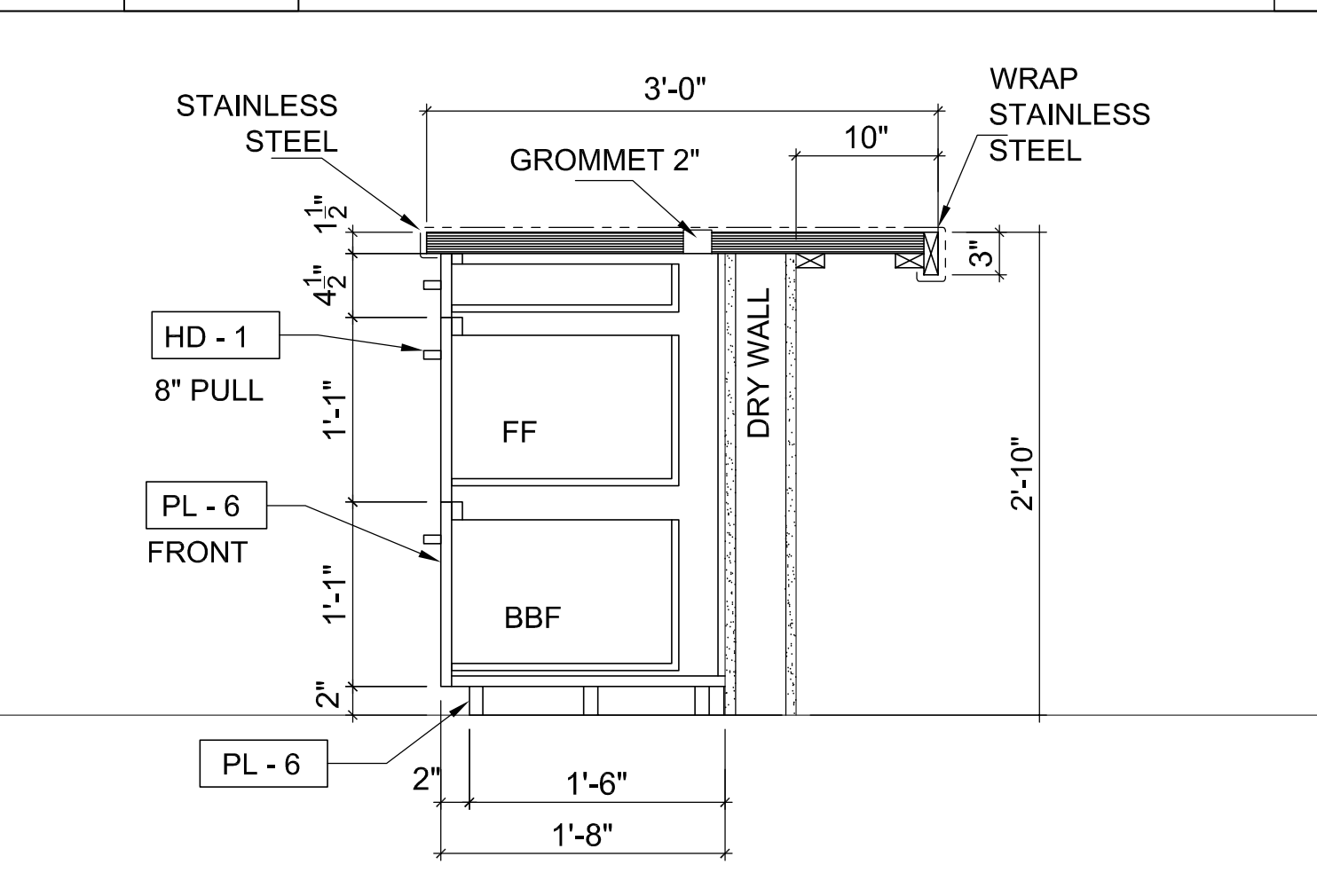
#123 PARTS DEPT. ENLARGED PLAN VIEW
SCALE: 1/4"=1'-0"



#123 PARTS DEPT. EAST ELEVATION / FRONT VIEW
SCALE: 3/8"=1'-0"



#123 PARTS DEPT. EAST ELEVATION / FRONT VIEW
SCALE: 1/2"=1'-0"



#123 PARTS DEPT. COUNTER SECTION DETAIL M
SCALE: 1"=1'-0"

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Project Name

MIKE ERDMAN CADILLAC
4750 Highway 520
Cocoa, FL 32926

Sheet Title	MILLWORK
Revisions	
State Registration	Richard Hartmann AIA, LEED AP AR 09622

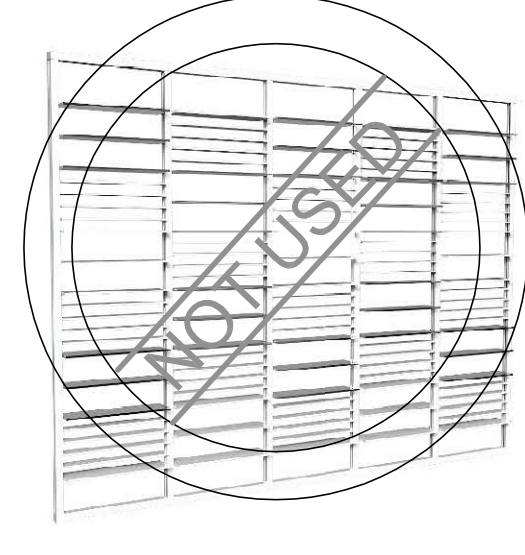
Project Number	22026
Drawn By	RCK/RLH
Checked By	RJH
Issue Date	02.09.24
Sheet Number	ID 7.1

MILLWORK SCALE AS NOTED

PROGRAM OVERVIEW



F1. LOUNGE SCREEN WALL A



F2. LOUNGE SCREEN WALL B



F3. REFRESHMENT COUNTER



F4. SHOWROOM BACK WALL PANELS



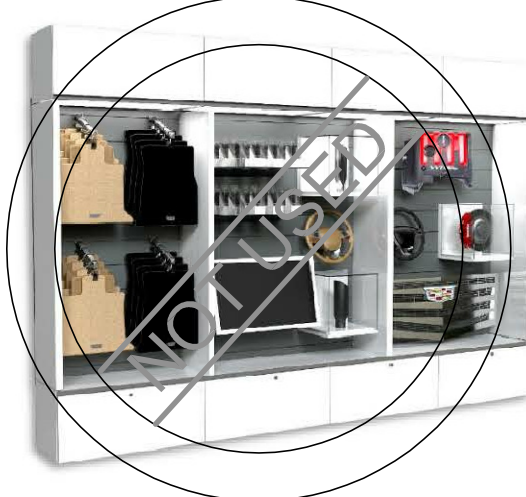
F5. SERVICE ADVISOR BACK WALL



F6. CONCIERGE PODIUM
(AVAILABLE IN LEFT & RIGHT VERSIONS)
LEFT HANDED MODEL TO BE ORDERED



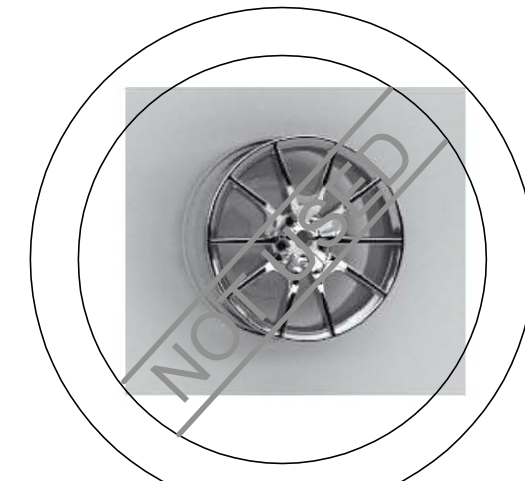
F7. SERVICE ADVISOR PODIUM



F8. ACCESSORY DISPLAY



F9. MERCHANDISING DISPLAY



F10. SERVICE DRIVE RIM BRACKETS



F12. COLOR & TRIM DISPLAY

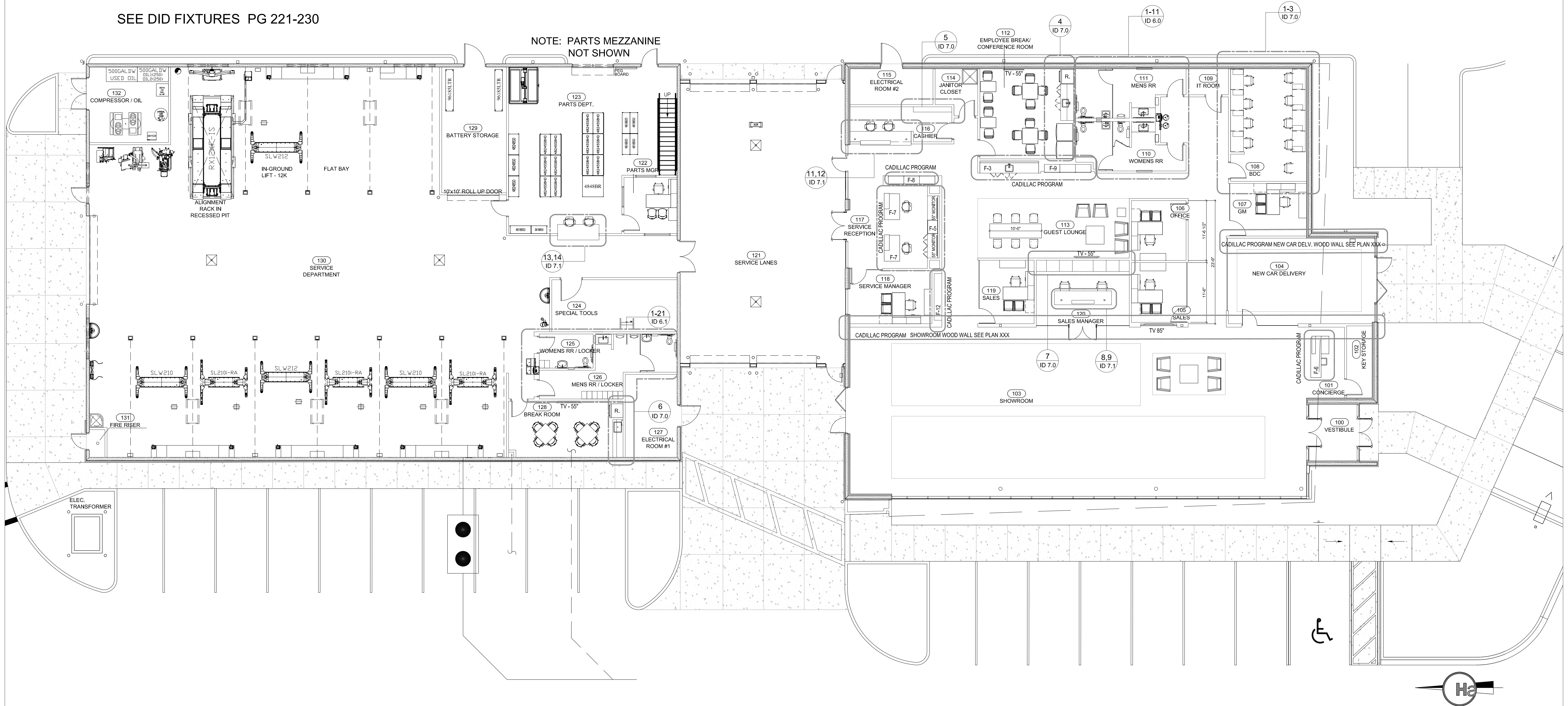


F8 - ACCESSORY DISPLAY WITH LOCKING ENCASUREMENT
Optional locking glass encasement



F9 - MERCHANDISING DISPLAY WITH LOCKING ENCASUREMENT
Optional locking glass encasement

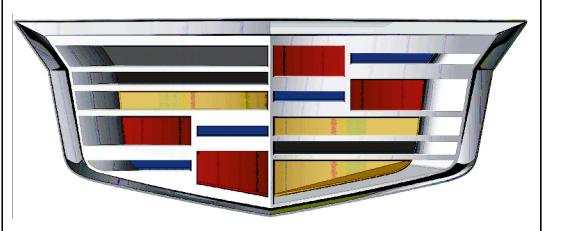
SEE DID FIXTURES PG 221-230



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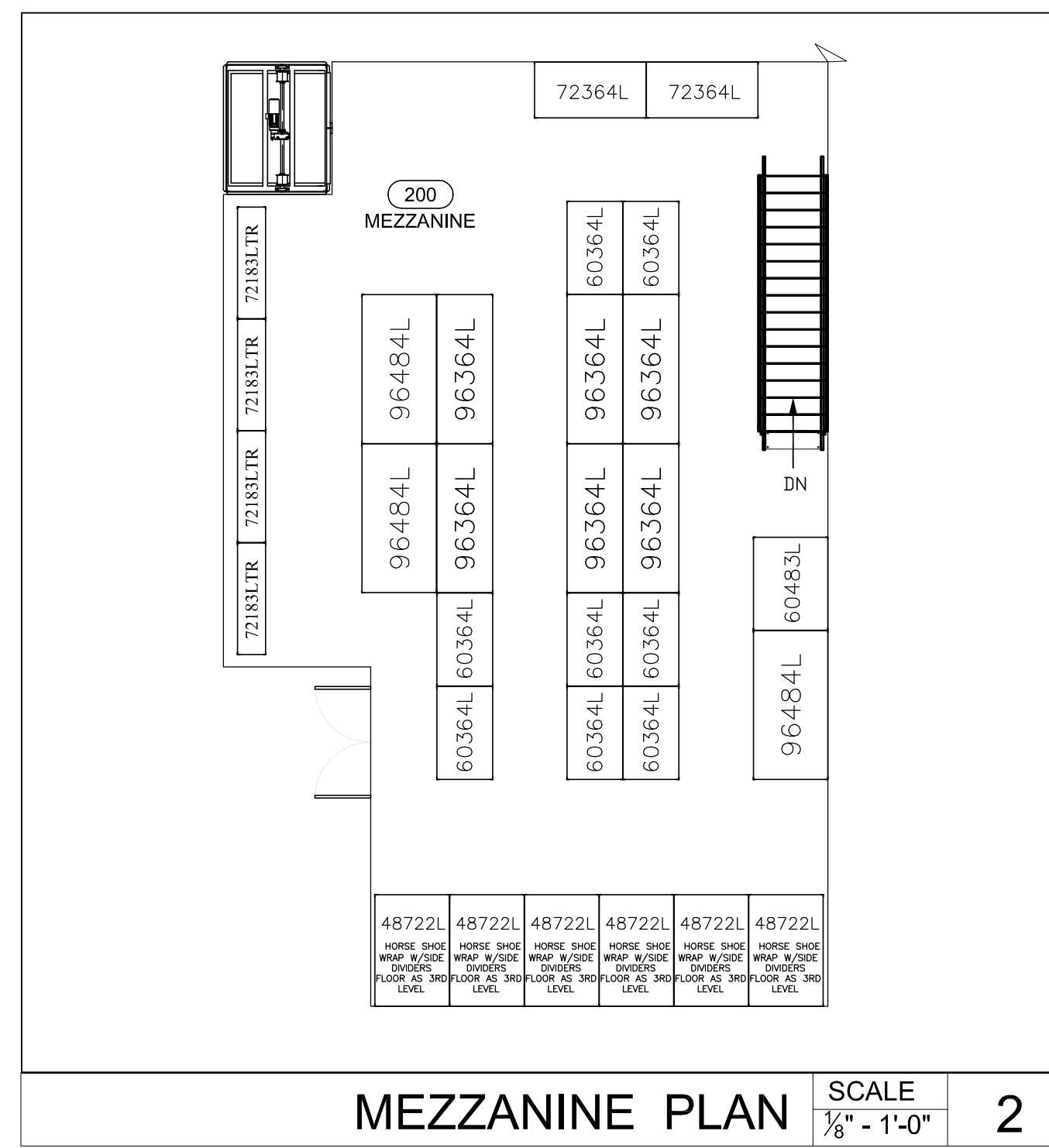
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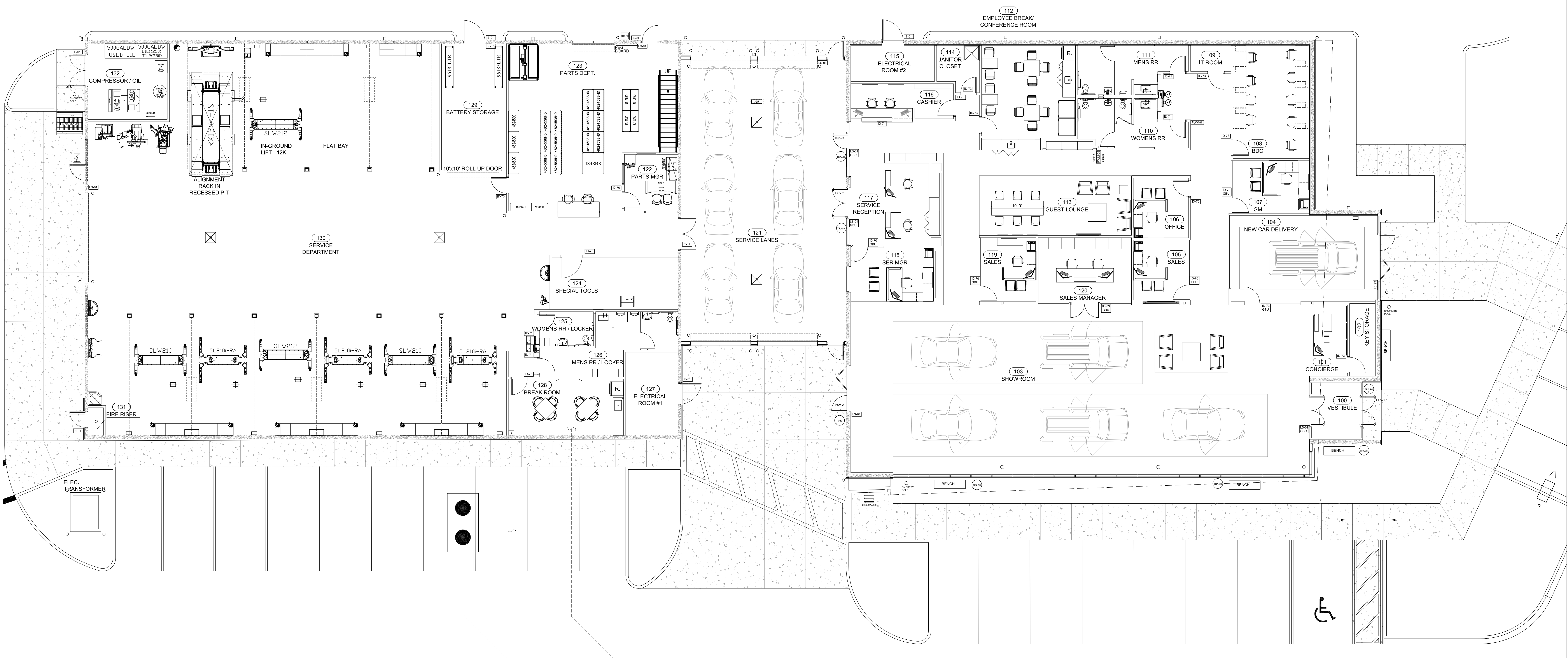
IMPRESA UNLIMITED, INC.
394 S. DOWNS STREET DENVER, CO 80209
V: 303.4 DESIGN F: 303.282.0140
V: 303.433.7446 C: 303.324.7938 Joyce E. McDaniel

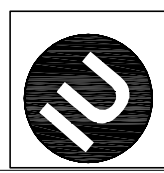
SCALE 1/8" = 1'-0" 1

ID 8.0



MEZZANINE PLAN SCALE 3/8" = 1'-0" 2




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SIGNAGE PLAN SCALE 1/8" = 1'-0" 1

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Issue Date	02.09.24
Sheet Number	1

STATE OF FLORIDA
 JOHN W. HARTMANN
 REGISTERED ARCHITECT
 A.R. 19322

This document has been electronically signed and sealed by Richard Hartmann, AIA, using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

To the best of the knowledge of the architects & engineers, said plans and specifications comply with the applicable building codes and provisions for safety structures.

ID 9.0