

# CROSTOWN RETAIL

## CIVIL CONSTRUCTION PLANS & SPECIFICATIONS

SECTION 4, TOWNSHIP 37 S, RANGE 39 E  
CITY OF PORT ST. LUCIE, FLORIDA

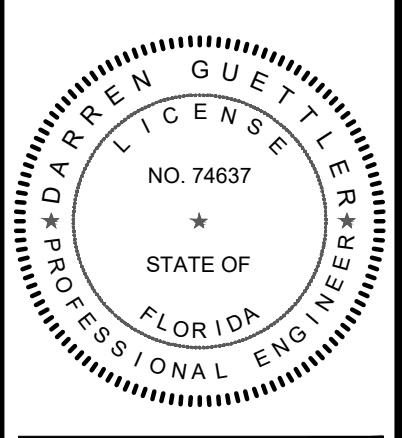


| REVISIONS: |          |
|------------|----------|
| BY:        | DATE:    |
| JM         | 01/17/23 |
| JM         | 03/09/23 |
| JM         | 05/03/23 |

NOT FOR CONSTRUCTION

TRADITION STORAGE RETAIL  
CROSTOWN RETAIL

CLIENT:  
THE MAYFAIR LLC  
FLORIDA

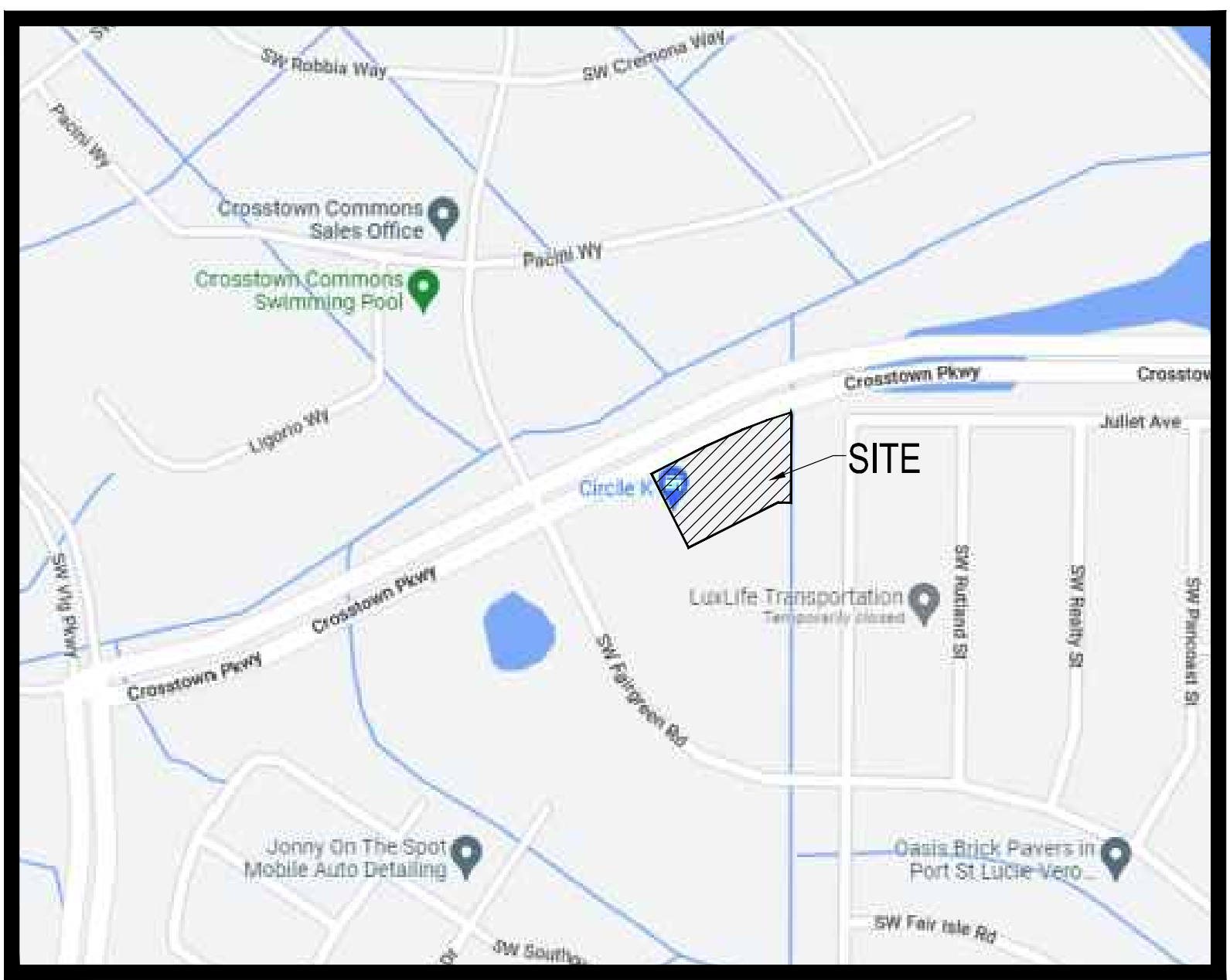


DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
5/11/23

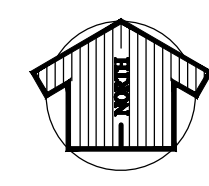
PROJECT No.: 22-1033  
DRAWN BY: SOIC  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD ID: 22-1033-COVER

SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
COV.



LOCATION MAP  
N.T.S.



VICINITY AERIAL MAP  
N.T.S.

PLAN FOR  
THE MAYFAIR, LLC.

ENGINEER & SURVEYOR



ENGINEERING & SURVEYING, LLC.

1449 NW COMMERCE CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-0477

ENGINEER'S PROJECT NO. 22-1033

### INDEX OF DRAWINGS

| SHEET NO. | DESCRIPTION   |
|-----------|---|
| COV.      | COVER SHEET   |
| 01        | OVERALL SITE PLAN                                     |
| 02        | SITE PLAN   |
| 03        | SITE PLAN DETAILS                                     |
| 04        | PAVING, GRADING & DRAINAGE PLANS                      |
| 05 - 06   | PAVING, GRADING & DRAINAGE DETAILS AND SPECIFICATIONS |
| 07        | WATER & WASTEWATER PLAN                               |
| 08        | WATER & WASTEWATER DETAILS AND SPECIFICATIONS         |
| 09        | CLEARING AND SEDIMENT & EROSION CONTROL PLAN          |
| 10        | STORMWATER POLLUTION PREVENTION PLAN                  |

GOVERNING DESIGN STANDARDS:  
FLORIDA DEPARTMENT OF TRANSPORTATION, FY2023-24 STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IRS).

STANDARD PLANS FOR ROAD CONSTRUCTION AND ASSOCIATED IRS ARE AVAILABLE AT THE FOLLOWING WEBSITE:  
<http://www.fdot.gov/design/standardplans>

APPLICABLE IRS:  
GOVERNING STANDARD SPECIFICATIONS:  
FLORIDA DEPARTMENT OF TRANSPORTATION, 2023-24 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE:  
<http://www.dot.state.fl.us/programmanagement/Implemented/SpecBooks>

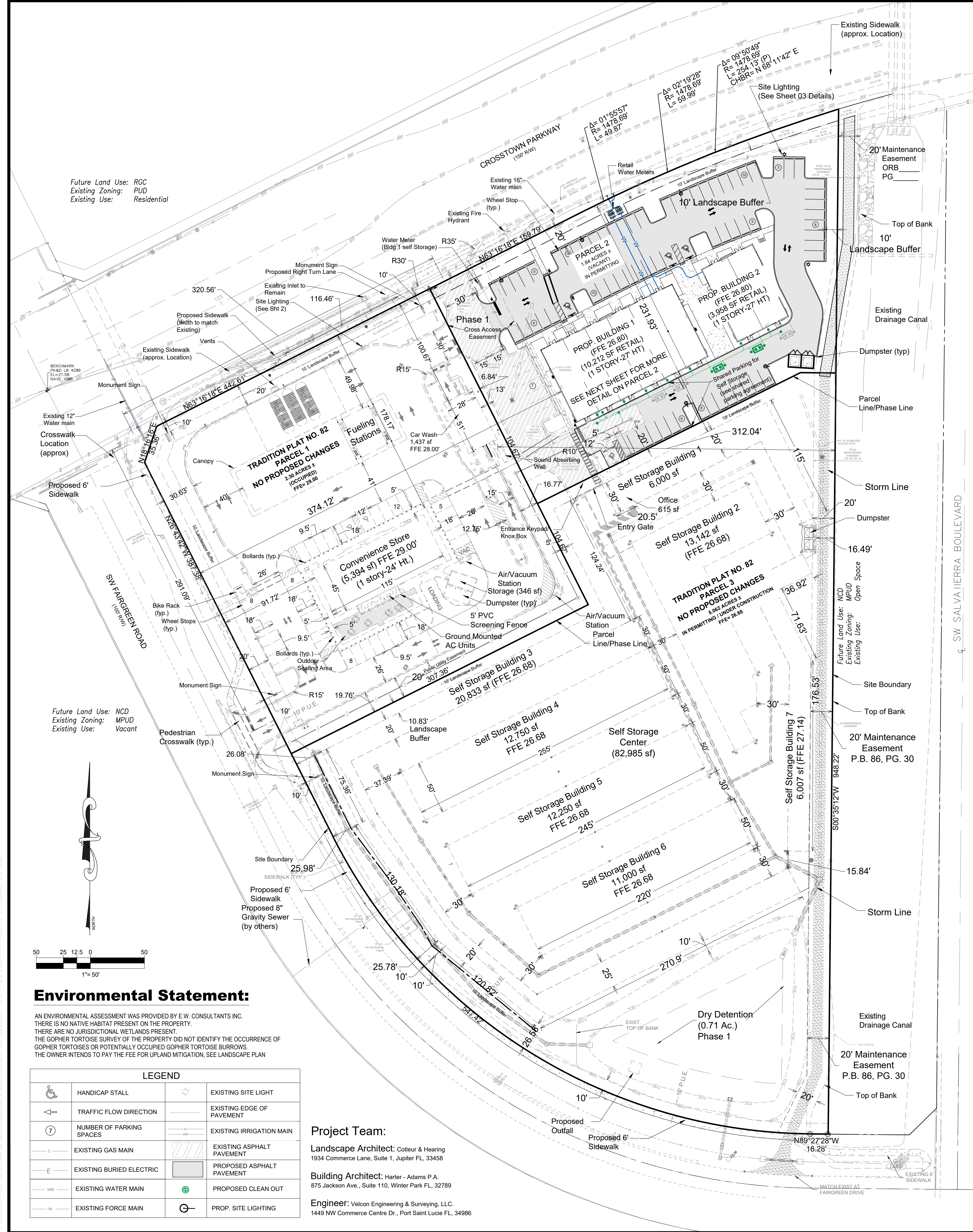
GOVERNING SPECIFICATIONS:  
CITY OF PORT ST. LUCIE PUBLIC WORKS DEPARTMENT ENGINEERING STANDARDS FOR LAND DEVELOPMENT (MOST CURRENT EDITION), AS AMENDED BY CONTRACT DOCUMENTS.

LEGAL DESCRIPTION:  
PARCEL 2 OF TRADITION PLAT NO. 82, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 88, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.



CITY OF PSL PROJECT NO. P19-133-A2  
PSLUSD FILE NO. 5342C

Printed on Thursday, May 11, 2023, 3:17 PM by Jessica McQueen



**Overall Site Data:**

|                              |                        |
|------------------------------|------------------------|
| Total Site Area:             | 400,742 sf. (9.2 Ac.)  |
| Parcel 1:                    | 100,203 sf. (2.3 Ac.)  |
| Parcel 2:                    | 79,740 sf. (1.84 Ac.)  |
| Parcel 3:                    | 220,438 sf. (5.06 Ac.) |
| Existing Zoning:             | MPUD                   |
| Future Land Use Designation: | NCD                    |
| Existing Use:                | Vacant                 |

**Site Data: (Parcel 1) No Proposed Changes**

|                                       |                             |
|---------------------------------------|-----------------------------|
| Total Site Area:                      | 100,203 sf. (2.3 Ac.)       |
| Impervious Area:(max 90%)             | 67,742 sf. (1.56 Ac.) (67%) |
| Buildings:(includes car wash&storage) | 7,169 sf. (0.17 Ac.)        |
| Vehicle Use Area:                     | 56,827 sf. (1.30 Ac.)       |
| Sidewalk Areas:                       | 3,746 sf. (0.09 Ac.)        |
| Pervious Area:                        | 32,461 sf. (0.75 Ac.) (33%) |
| Landscape Area:                       | 32,461 sf. (0.75 Ac.)       |

**Building Data**

|  |                    |
|--|--------------------|
| Gross Floor Area:                          | 7,169 s.f.         |
| Maximum Height:                            | 50' (4 Stories)    |
| Proposed Height:                           | (1 Story, 24' ht.) |
| Building Coverage: (7,169 sf / 100,203 sf) | 7%                 |
| Open Space: (32,461 sf / 100,203 sf)       | 33%                |

**Building Setback Requirements**

|             | Required | Provided |
|-------------|----------|----------|
| Rear        | 20'      | 57.91'   |
| Front       | 25'      | 71'      |
| Side Street | 25'      | 91.72'   |
| Side        | 6'       | 6'       |

**Parking Requirements**

|   |           |
|---|-----------|
| Parking Required:                       | 27 Spaces |
| Use: Convenience Store                  |           |
| 1 space per 200 sf @ 5,394 sf:          | 27 spaces |
| Parking Provided:                       | 51 Spaces |
| Includes 2 Handicap Spaces              |           |
| Includes 10 spaces located at the pumps |           |

**Site Data: (Parcel 2) Changes Proposed**

|                             |             |          |         |
|-----------------------------|-------------|----------|---------|
| TOTAL PROJECT AREA          | 80,033 S.F. | 1.837 AC | 100.00% |
| IMPERVIOUS AREA             |             |          |         |
| TOTAL PROP. BUILDINGS       | 14,170 S.F. | 0.325 AC | 17.70%  |
| EX. PAVEMENT/WALKS          | 10,940 S.F. | 0.251 AC | 13.67%  |
| PROP. PAVEMENT/WALKS        | 33,861 S.F. | 0.777 AC | 42.31%  |
| TOTAL IMPERVIOUS            | 58,971 S.F. | 1.354 AC | 73.68%  |
| TOTAL PERVIOUS (OPEN SPACE) | 21,062 S.F. | 0.483 AC | 26.32%  |

\*PERCENTAGE OF 2,255 S.F. COURTYARD AREA RELATIVE TO PARCEL 2: 2.82%

**MIN. BUILDING SETBACKS:**

|        |         |                  |
|--------|---------|------------------|
| FRONT: | 25 FEET | PROPOSED: 91.48' |
| REAR:  | 20 FEET | PROPOSED: 50.89' |
| SIDE:  | 20 FEET | PROPOSED: 44.24' |

**BUILDING DATA:**

|                   |                           |  |
|-------------------|---------------------------|--|
| BUILDING AREAS:   |                           |  |
| BUILDING #1       | = 10,212 GROSS FLOOR AREA |  |
| BUILDING #2       | = 3,958 GROSS FLOOR AREA  |  |
| BUILDING HEIGHTS: |                           |  |
| BUILDING #1       | = 27.0 FEET (1-STORY)     |  |
| BUILDING #2       | = 27.0 FEET (1-STORY)     |  |

**PARKING CALCULATIONS:**

|  |                                |
|--|--------------------------------|
| RETAIL:                                    |                                |
| (MPUD TRADITION P22-097, SEC. 7 (C)(1))    |                                |
| 4 SPACE PER 1,000 S.F. GROSS FLOOR AREA    |                                |
| (14,170 S.F. BLDG) / 1,000 x 4 = 57 SPACES |                                |
| TOTAL SPACES REQUIRED =                    | 57 SPACES (3 HANDICAP)         |
| TOTAL SPACES PROVIDED =                    | 80 SPACES (4 H.C., 76 REGULAR) |

- General Notes:**
- Hazardous waste disposal shall comply with all federal, state and local regulations.
  - A separate sign permit is required for site signage.
  - All landscape areas abutting vehicular use areas shall be curbed or protected by curb stops.
  - All building, parking and access areas shall document compliance with the requirements of the American Disabilities Act prior to the issuance of a building permit.
  - Proposed light poles shall be shielded to minimize excess glare to adjacent residential areas and roadways.
  - Soil erosion and sediment control devices shall be in place prior to the commencement of construction activities.
  - Existing elevations are shown as and are given in feet above mean sea level (NAVD 1988).
  - Landscaping shall be in accordance with the requirements of chapter 154 of the landscape code of the City of Port St. Lucie.
  - No landscaping other than grasses shall be located within 10' of a City utility line or appurtenance. All other utilities shall be a minimum of 5' horizontal separation from City utility mains for parallel installations and a minimum 18" below City mains. (All measurements are taken from outside to outside.)
  - No landscaping shall be placed in a manner that would create conflicts with the intended operation and maintenance of any existing utility.
  - This application is not vested for any municipal fees. All fees are calculated at time of payment. This includes specifically impact fees, upland preserve fees and any administrative review fees for City Departments. No fees are vest based on date of City Council approval.
  - Signs are not part of this review and shall be permitted separately from this application. (See Chapter 155 (Sign Code) City of Port St. Lucie Land Development Regulations)
  - All invasive plant species shall be removed from the site during construction activities.
  - The property owner, contractor, and authorized representative shall provide pickup, removal, and disposal of litter within the project limits and shall be responsible for maintenance of the area from the edge of pavement to the property line within the City's right-of-way in accordance with City Code, Section 41.08 (g).
  - No Loud Speakers to be used on Site
  - Max storage unit not to exceed 500 sf
  - The property owner, contractor, and authorized representatives shall provide pickup, removal, and disposal of litter within the project limits and shall be responsible for maintenance of the area from the edge of pavement to the property line within the City's right-of-way in accordance with City Code, Section 41.08 (g).
  - Drainage infrastructure to be installed in Phase 1.
  - Landscape areas and Courtyards shall be maintained by the property owner.

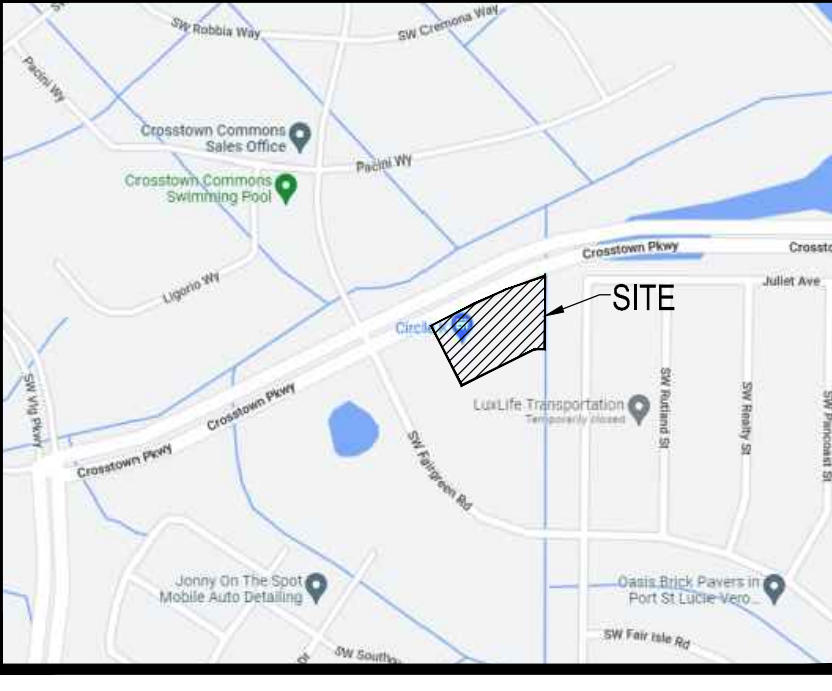
**Drainage Note:**

1- Project is required to meet the requirements of SFWMD and the City of Port St. Lucie.

2- On site stormwater drainage shall be a detention area. Water quality and continuation will be provided in accordance with the SFWMD permit.

3- THE PROJECT IS LOCATED IN BASIN BCANAL-4 OF TRADITION PER SFWMD PERMIT NO. 56-01569-P. THE SITE'S PRIMARY WATER QUALITY ATTENUATION AND DISCHARGE CONTROL WILL BE PROVIDED WITHIN THE TRADITION MASTER SYSTEM.

RUNOFF FROM THE DEVELOPED PROJECT WILL BE DIRECTED AND CONVEYED THROUGH A SERIES OF INLETS AND CULVERTS TO THE SOUTH AND INTO THE PROPOSED ON-SITE DRY DETENTION PRE-TREATMENT POND. THE DRY DETENTION POND WILL OUTFLOW TO THE SOUTH VIA THE PROPOSED CONNECTION TO AN EXISTING 48" RCP STUBOUT WHICH WILL THEN CONVEY THE SITE'S DISCHARGE UNDER SW FAIRGREEN ROAD AND INTO AND INTO THE EXISTING LBC4A WET DETENTION POND OF THE TRADITION MASTER SYSTEM. EXISTING POND LBC4A HAS CONTROLLED DISCHARGE TO THE EAST AND INTO THE CANAL VIA THE EXISTING CONTROL STRUCTURE DS-LBC4.



**Legal Description:**

TRADITION PLAT NO. 82 BEING ALL OF PLAT OF TRACT-1, ACCORDING TO THE PLAT OF TRADITION PLAT NO. 32, AS RECORDED IN PLAT BOOK 62, PAGE 5, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA CONTAINING 9.20 ACRES, MORE OR LESS.

**Site Data: (Parcel 3) No Proposed Changes**

|                           |                               |
|---------------------------|-------------------------------|
| Total Site Area:          | 220,524.85 sf. (5.06 Ac.)     |
| Impervious Area:(max 90%) | 150,868 sf. (3.46 Ac.) (70%)  |
| Buildings:                | 82,597 sf. (1.87 Ac.)         |
| Vehicle Use Area:         | 67,989 sf. (1.56 Ac.)         |
| Sidewalk Areas:           | 282 sf. (0.01 Ac.)            |
| Pervious Area:            | 69,656.85 sf. (1.6 Ac.) (30%) |
| Dry Retention:            | 34,237 sf. (0.78 Ac.)         |
| Landscape Area:           | 35,419.85 sf. (0.75 Ac.)      |

**Building Data**

|   |                   |
|---|-------------------|
| Gross Floor Area:                           | 82,597 s.f.       |
| Maximum Height:                             | 50' (4 Stories)   |
| Proposed Height:                            | (1 Story-28' ht.) |
| Building Coverage: (82,597 sf / 220,438 sf) | 37%               |
| (max bldg. coverage 80%)                    |                   |
| Storage Units:                              | (approx. 600)     |
| Open Space: (69,656 sf / 220,438 sf)        | 32%               |

**Building Setback Requirements**

|             | Required | Provided |
|-------------|----------|----------|
| Side East   | 20'      | 20'      |
| Side Street | 25'      | 231.93'  |
| Front       | 10'      | 26.56'   |

**Parking Requirements**

|  |          |
|--|----------|
| Parking Required:                        | 9 Spaces |
| Use: Self Storage (office)               |          |
| 1 space per 250 sf @ 615 sf:             | 3 Spaces |
| Storage Bays 1 per 100 bays (approx 600) | 6 Spaces |
| Parking Provided:                        | 9 Spaces |
| (shared parking with parcel 2)           |          |
| Includes 1 Handicap Spaces               |          |

**Traffic Statement:**

TRIP GENERATION FOR THIS SITE IS BASED UPON THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) MANUAL, 11TH EDITION

**Traffic Generation**

The daily and peak hour traffic generation for the development used the trip generation rates for Convenience Store/Gas Station (ITE Land Use 945) Strip Retail Plaza (ITE Land Use 822), and Self Storage (ITE Land Use 151). The proposed development plan consists of the following:

- Proposed Use**
- 5,394 SF Convenience Store - GFA (4-5.5k s.f.)(ITE Land Use 945)
    - Based on the number of vehicle fueling positions (20 provided)
    - Weekday Daily Trips:** avg. rate = 257.13 x (# OF) V.F.P. 257.13 x 20 (V.F.P.) = **5,143 trips**
    - A.M. Peak Hour Trips:** avg. rate = 27.04 x (# OF) V.F.P. 27.04 x 20 (V.F.P.) = **541 trips**
    - P.M. Peak Hour Trips:** avg. rate = 23.88 x (# OF) V.F.P. 23.88 x 20 (V.F.P.) = **478 trips**
  - 14,170 SF Strip Retail Plaza (ITE Land Use 822)
    - Weekday Daily Trips:** avg. rate = 54.45 / 1000 s.f. 54.45 x 14,170 s.f. /1000 s.f. = **772 trips**
    - A.M. Peak Hour Trips:** avg. rate = 7.60 / 1000 s.f. 7.60 x 14,170 s.f. /1000 s.f. = **108 trips**
    - P.M. Peak Hour Trips:** avg. rate = 13.24 / 1000 s.f. 13.24 x 14,170 s.f. /1000 s.f. = **188 trips**
    - 82,985 SF Mini-Warehouse (ITE Land Use 151)
      - Weekday Daily Trips:** avg. rate = 1.45 / 1000 s.f. 1.45 x 82,985 s.f. /1000 s.f. = **120 trips**
      - A.M. Peak Hour Trips:** avg. rate = 0.18 / 1000 s.f. 0.18 x 82,985 s.f. /1000 s.f. = **15 trips**
      - P.M. Peak Hour Trips:** avg. rate = 0.18 / 1000 s.f. 0.18 x 82,985 s.f. /1000 s.f. = **15 trips**
- The proposed project is expected to generate the following net external trips:
- 6,035 daily, 664 AM peak hour, and 681 PM peak hour.**

Future Land Use: RCC  
Existing Zoning: PUD  
Existing Use: Residential

Future Land Use: NCD  
Existing Zoning: MPUD  
Existing Use: Vacant

**Environmental Statement:**

AN ENVIRONMENTAL ASSESSMENT WAS PROVIDED BY E.W. CONSULTANTS INC. THERE IS NO NATIVE HABITAT PRESENT ON THE PROPERTY. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT. THE GOPHER TORTOISE SURVEY OF THE PROPERTY DID NOT IDENTIFY THE OCCURRENCE OF GOPHER TORTOISES OR POTENTIALLY OCCUPIED GOPHER TORTOISE BURROWS. THE OWNER INTENDS TO PAY THE FEE FOR UPLAND MITIGATION. SEE LANDSCAPE PLAN

**LEGEND**

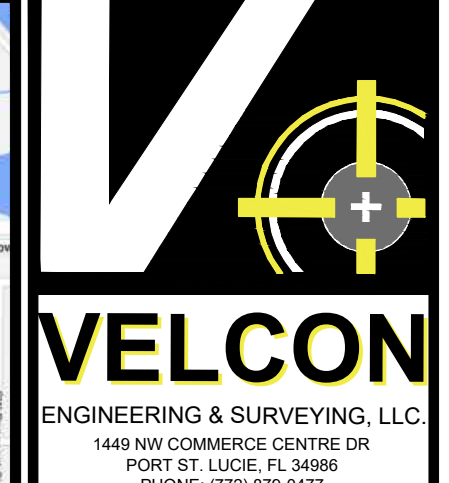
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|--|--------------------------|--|---------------------------|
|  | HANDICAP STALL           |  | EXISTING SITE LIGHT       |
|  | TRAFFIC FLOW DIRECTION   |  | EXISTING EDGE OF PAVEMENT |
|  | NUMBER OF PARKING SPACES |  | EXISTING IRRIGATION MAIN  |
|  | EXISTING GAS MAIN        |  | EXISTING ASPHALT PAVEMENT |
|  | EXISTING BURIED ELECTRIC |  | PROPOSED ASPHALT PAVEMENT |
|  | EXISTING WATER MAIN      |  | PROPOSED CLEAN OUT        |
|  | EXISTING FORCE MAIN      |  | PROP. SITE LIGHTING       |

**Project Team:**

**Landscape Architect:** Cotleur & Hearing  
1934 Commerce Lane, Suite 1, Jupiter FL, 33458

**Building Architect:** Harter - Adams P.A.  
875 Jackson Ave., Suite 110, Winter Park FL, 32789

**Engineer:** Velcon Engineering & Surveying, LLC.  
1449 NW Commerce Centre Dr., Port Saint Lucie FL, 34986



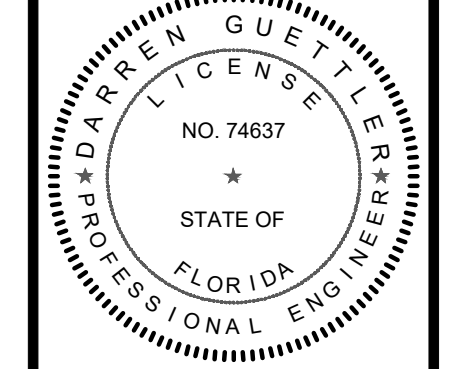
**REVISIONS:**

| BY: | DATE:    | COMMENT:                      |
|-----|----------|-------------------------------|
| JM  | 01/17/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 03/09/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 05/03/23 | PER CITY OF PSL SFRG COMMENTS |

**NOT FOR CONSTRUCTION**

PROJECT: TRADITION STORAGE CROSS TOWN RETAIL

CLIENT: THE MAYFAIR LLC



DARREN GUETTLER, PE  
FLORIDA LICENSE NO. 74637  
5/11/23

PROJECT No.: 22-1033  
DRAWN BY: SOG  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD ID.: 22-1033 - SITE PLAN

SHEET TITLE: OVERALL SITE PLAN

SHEET NUMBER: 01



CITY OF PSL PROJECT NO. P19-133-A2  
PSLUDO FILE NO. 5342C

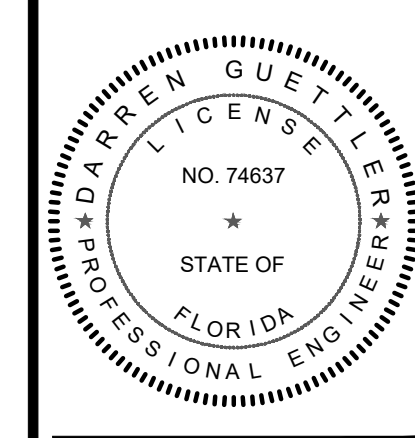


| REVISIONS: |          |                               |
|------------|----------|-------------------------------|
| BY:        | DATE:    | COMMENT:                      |
| JM         | 01/17/23 | PER CITY OF PSL SFRG COMMENTS |
| JM         | 03/09/23 | PER CITY OF PSL SFRG COMMENTS |
| JM         | 05/03/23 | PER CITY OF PSL SFRG COMMENTS |

**NOT FOR CONSTRUCTION**

PROJECT:  
**TRADITION STORAGE  
CROSSTOWN RETAIL**

CLIENT:  
**THE MAYFAIR  
LLC**  
FLORIDA



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
5/11/23

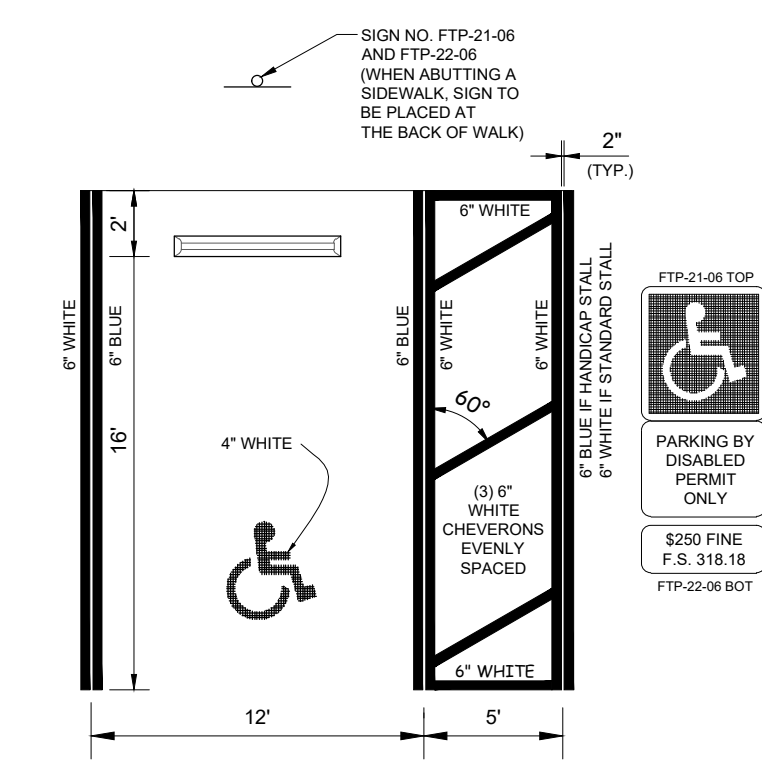
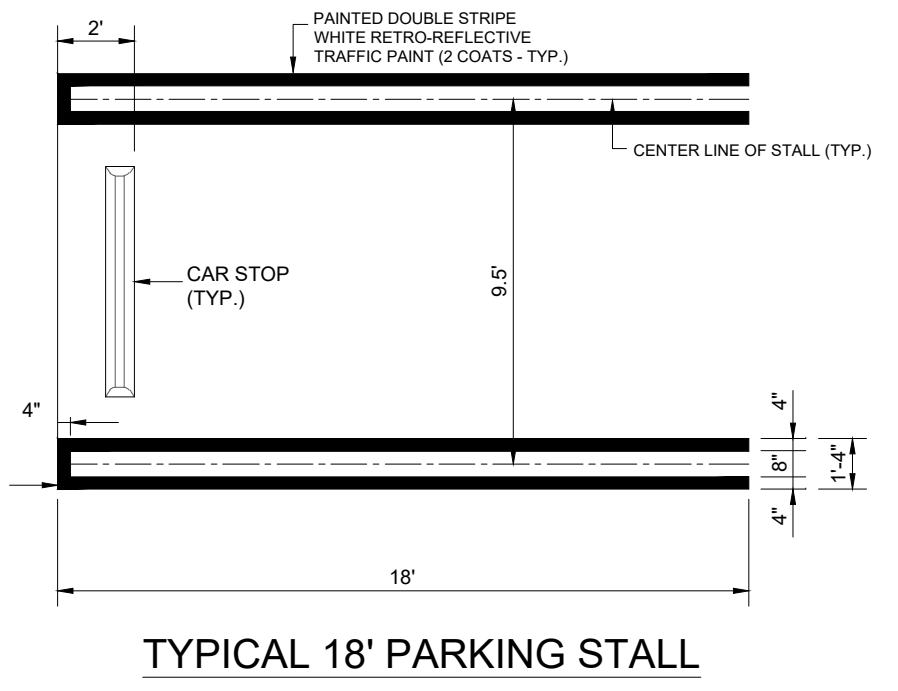
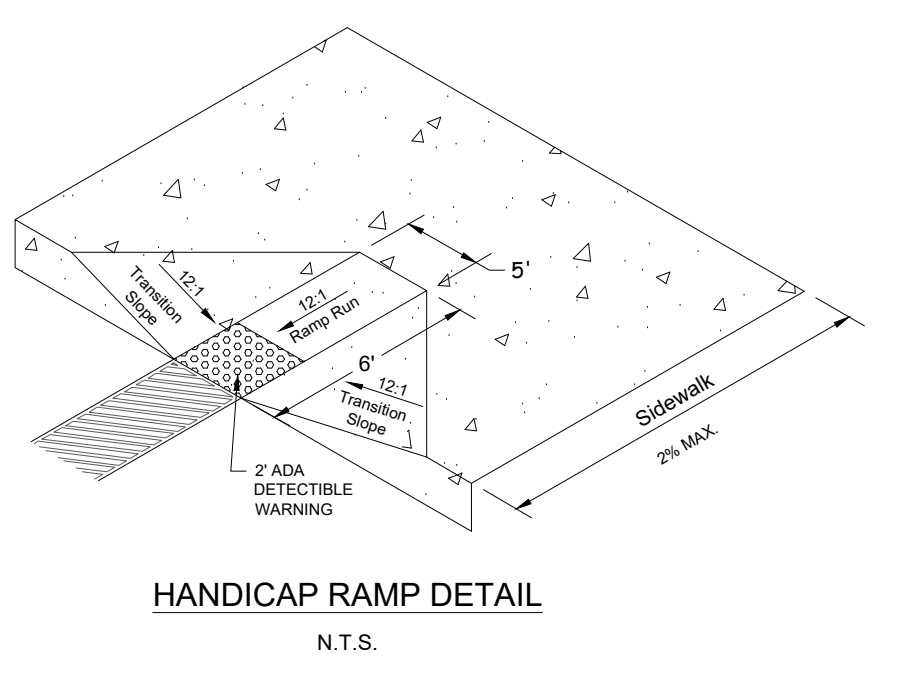
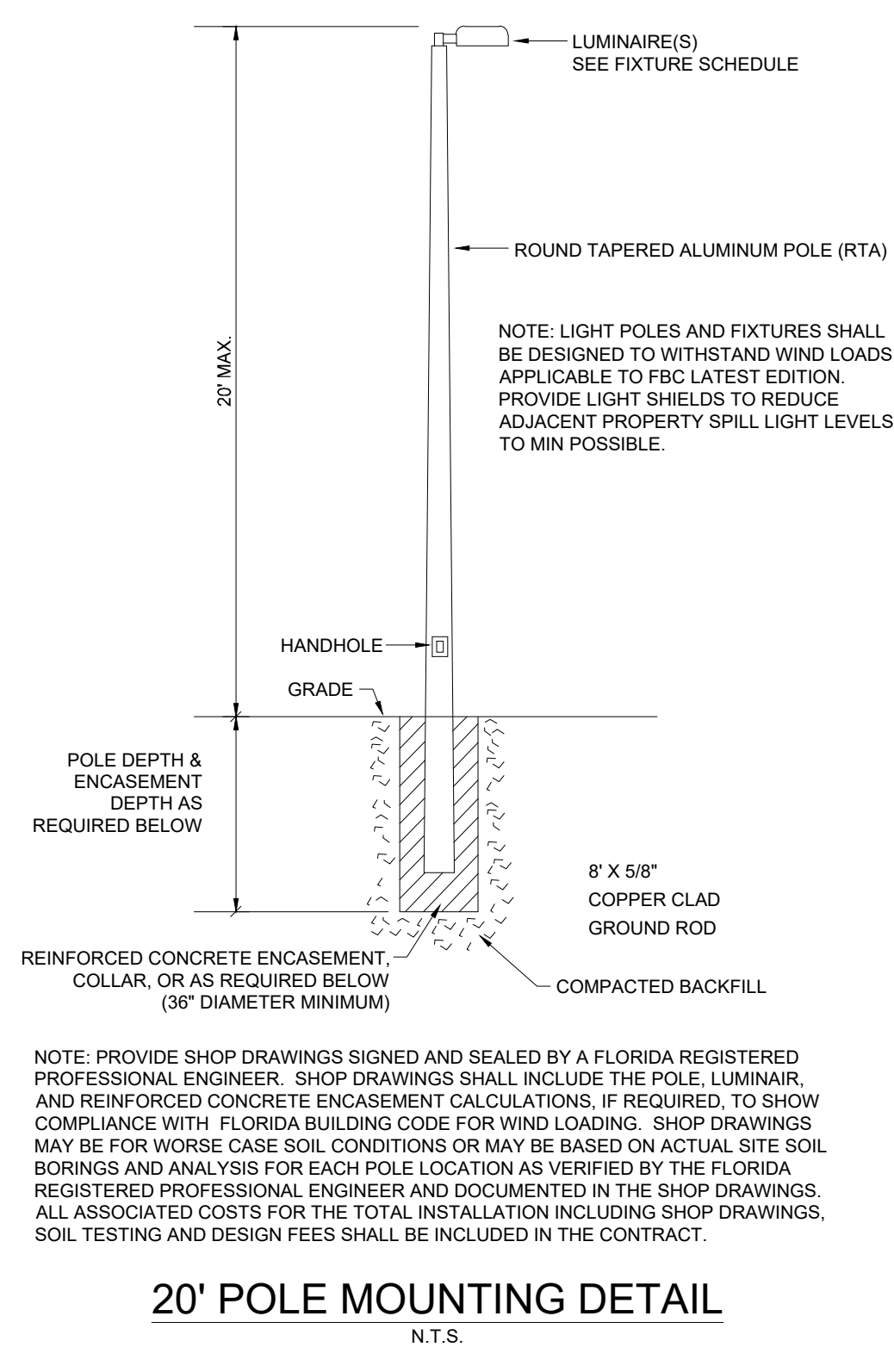
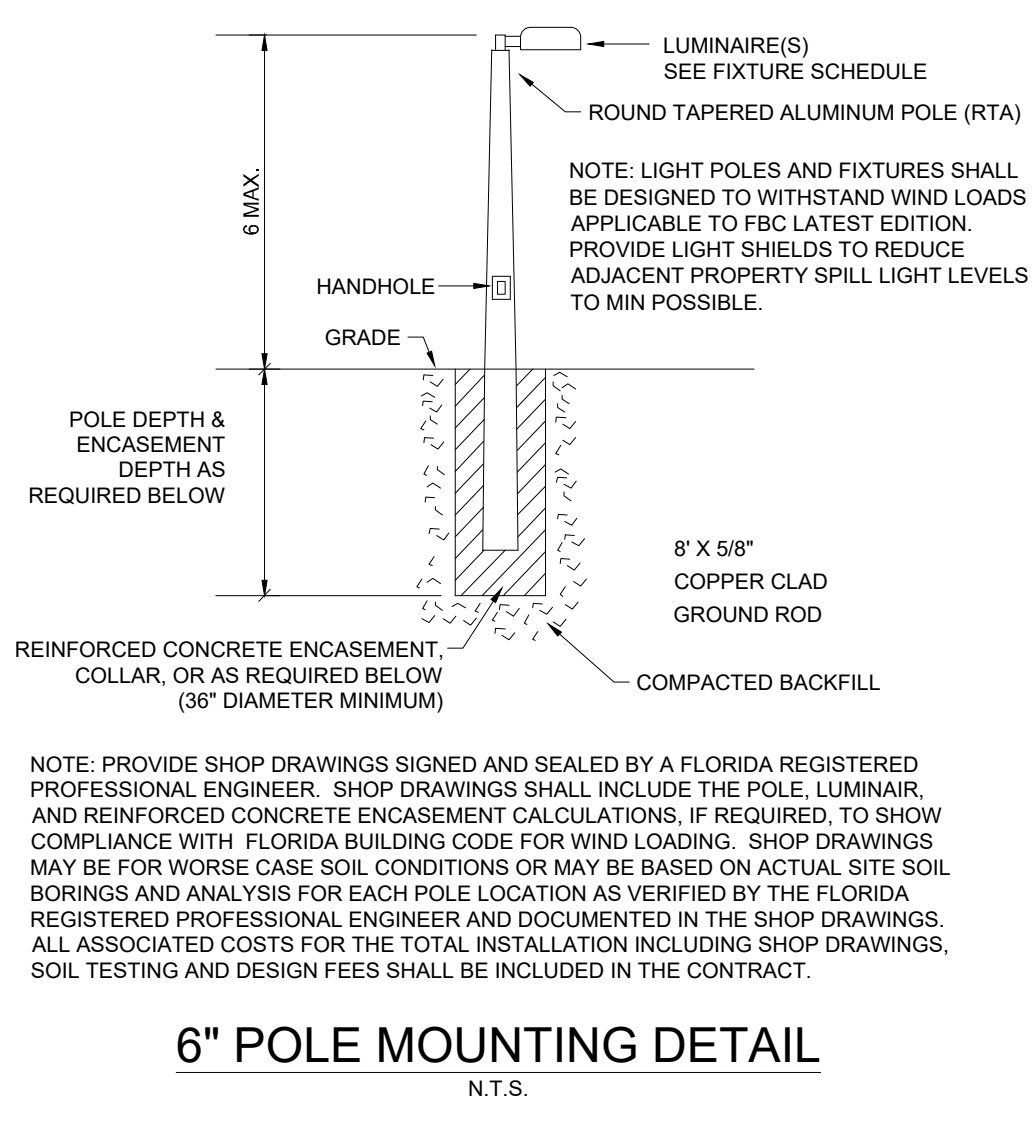
PROJECT No.: 22-1033  
DRAWN BY: SOIC  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD/281033 - SITE PLAN DETAILS

SHEET TITLE:  
**SITE PLAN  
DETAILS**

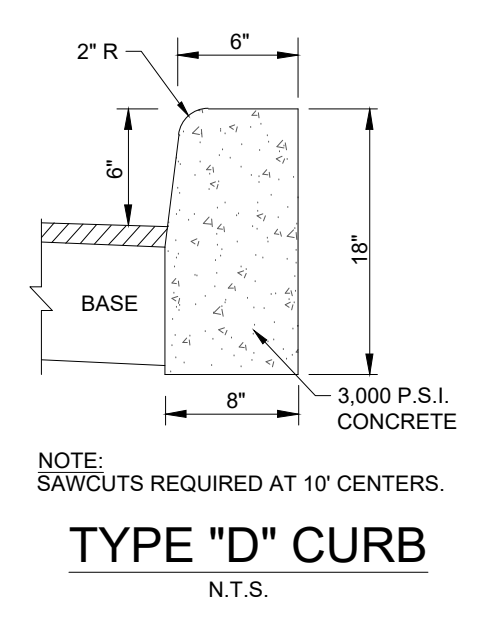
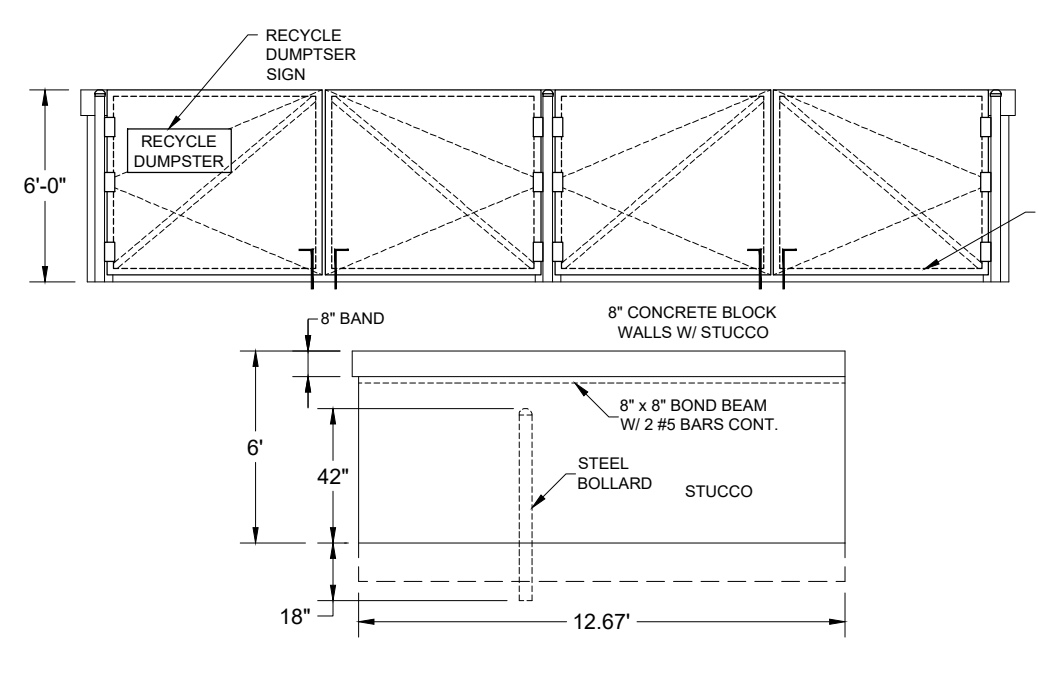
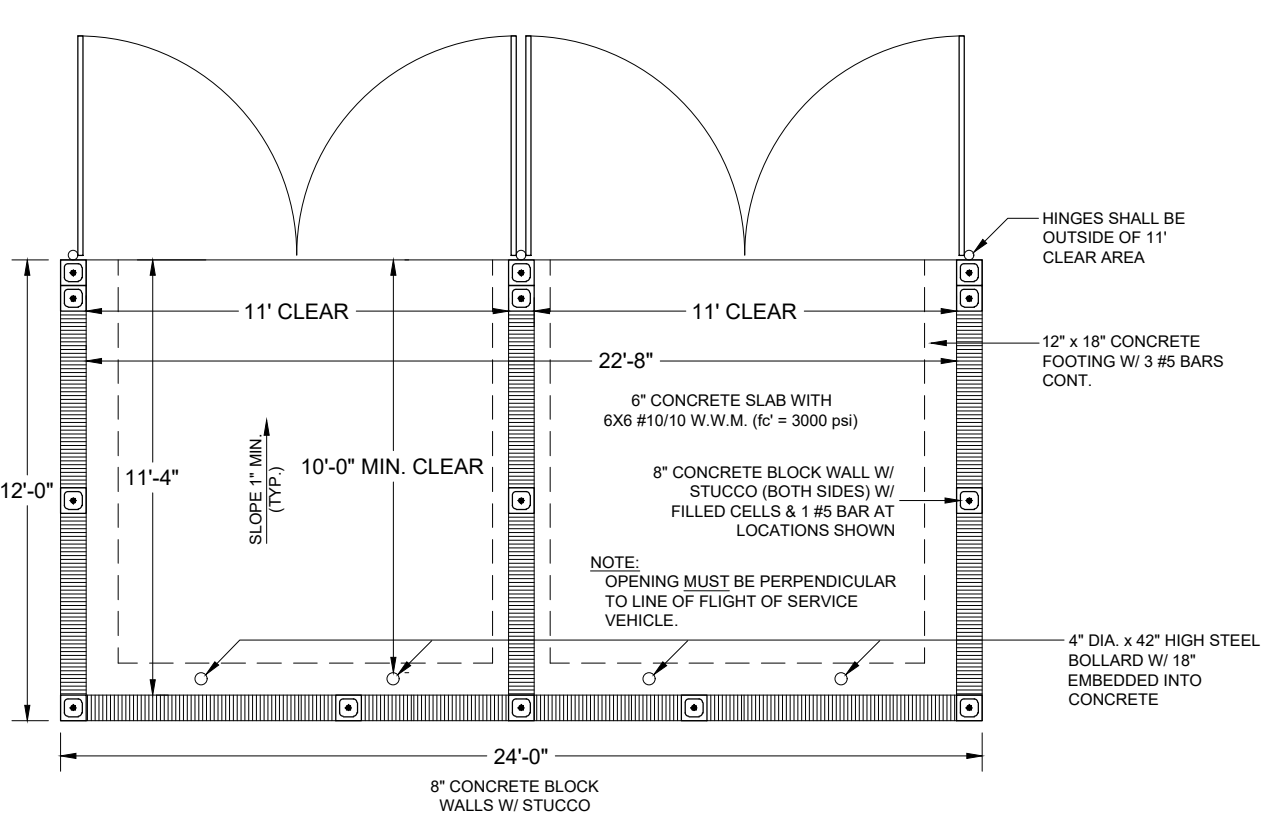
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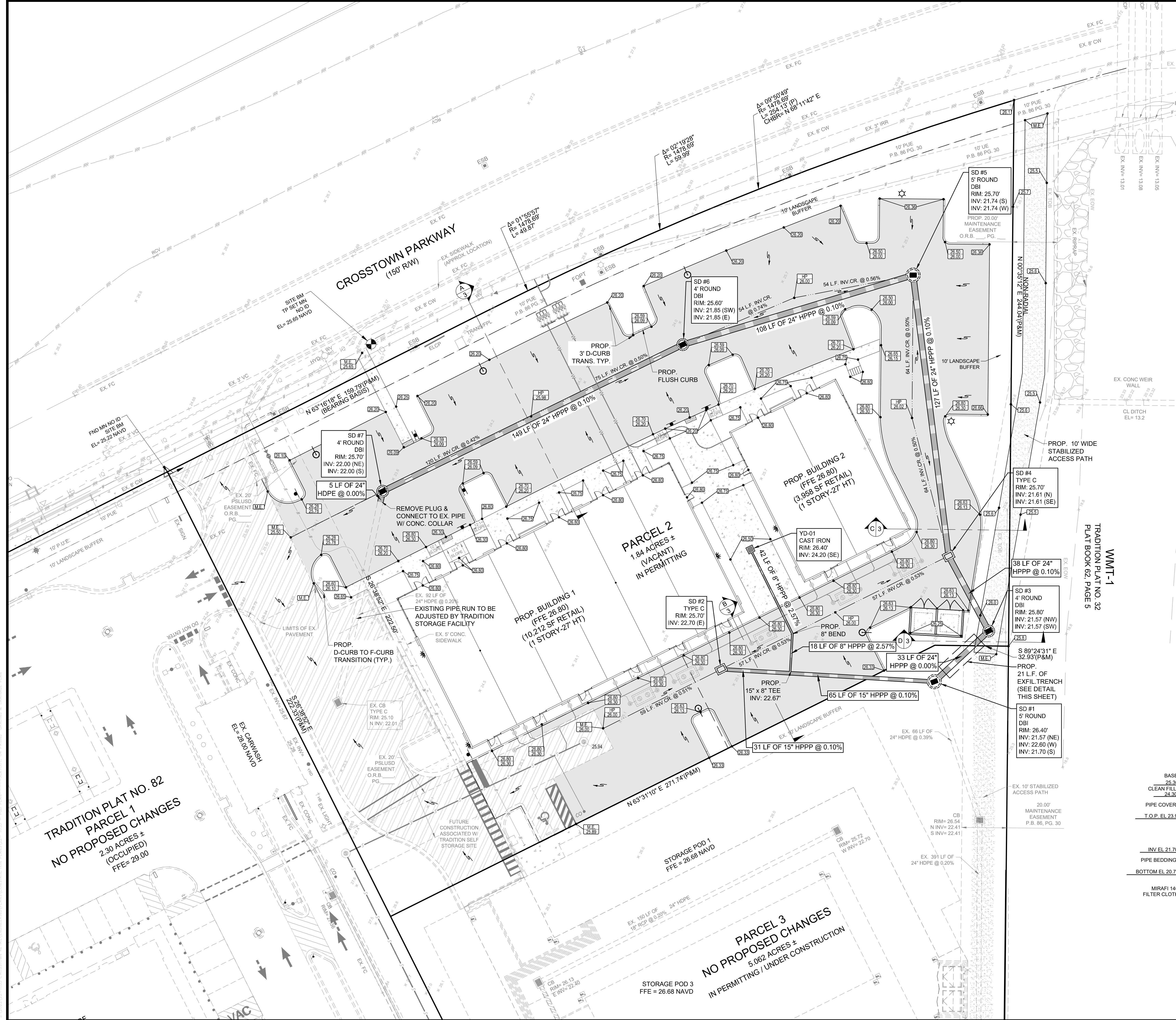



CITY OF PSL PROJECT NO. P19-133-A2  
PSLUSD FILE NO. 5342C



- NOTES:
- HANDICAP STALL IS BASED FROM FOOT STANDARD INDEX #17346, SHEET 12 OF 14.
  - DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
  - BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595a.
  - FTP-22-06 PANEL SHALL BE MOUNTED BELOW THE FTP-21-06 SIGN.
  - FOR DESIGN OF THE UNIVERSAL SYMBOL OF ACCESSIBILITY, REFERENCE FOOT STANDARD INDEX #17346, SHEET 12 OF 14.
  - FOR DESIGN OF THE ASSOCIATED SIGNS, REFERENCE FOOT STANDARD INDEX #17355, SHEET 4 OF 11.
  - 2 COATS OF RETRO-REFLECTIVE TRAFFIC PAINT REQUIRED.







**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 878-5477  
FIRE C.O.A. # 3222

| REVISIONS: |          |
|------------|----------|
| BY:        | DATE:    |
| JM         | 01/17/23 |
| JM         | 03/09/23 |
| JM         | 05/03/23 |

**LEGEND**

|  |   |  |  |
|--|---|--|--|
|  | EXISTING GRADE ELEVATION  |  | PROPOSED ASPHALT PAVEMENT                          |
|  | PROPOSED ELEVATION (H.P. = HIGH POINT)                                |  | PROPOSED CONCRETE SIDEWALK                         |
|  | RUNOFF FLOW DIRECTION   |  | PROPOSED ADA DETECTABLE WARNING CHARCOAL GRAY      |
|  | EXISTING WATER MAIN   |  | EXISTING ASPHALT PAVEMENT                          |
|  | EXISTING FORCE MAIN   |  | M.E. MATCH EXISTING                                |
|  | EXISTING GRAVITY SEWER MAIN   |  | L.B. LANDSCAPE BUFFER                              |
|  | EXISTING EDGE OF PAVEMENT   |  | L.M.A.E. LAKE MAINTENANCE ACCESS EASEMENT          |
|  | PROPOSED CATCH BASIN  |  | L.M.E. LAKE MAINTENANCE EASEMENT                   |
|  | PROPOSED SANITARY CLEAN OUT   |  | P.S.L.U.E. CITY OF PORT ST. LUCIE UTILITY EASEMENT |
|  | PROPOSED 18" YARD DRAIN WITH COLLAR                                   |  | U.E. UTILITY EASEMENT                              |
|  | PROPOSED GRAVITY SEWER MAIN   |  | PROPOSED LIGHT FIXTURE 6" HEIGHT                   |
|  | PROPOSED BLDG. SEWER  |  | PROPOSED LIGHT FIXTURE 25" HEIGHT                  |
|  | PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GATE SIZE TO VARY) |  | PROPOSED STORM SEWER                               |
|  | RCP REINFORCED CONCRETE PIPE  |  | PROPOSED WATER SERVICE                             |
|  | HPPP HIGH PERFORMANCE POLYPROPYLENE PIPE                              |  | HPPP HIGH PERFORMANCE POLYPROPYLENE PIPE           |

**NOTE:**  
ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.), TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.

**NOTE:**  
ALL DRAINAGE PIPE JOINTS, INCLUDING ROUND CONCRETE PIPES, SHALL HAVE A FILTER FABRIC JACKET IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DRAINAGE STANDARDS.

**NOTE:**  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

**NOTE:**  
PROPOSED UTILITY EASEMENTS FOR WATER AND WASTEWATER ARE NOT SHOWN ON THIS SHEET FOR CLARITY PURPOSES. THE PROPOSED UTILITY EASEMENTS FOR WATER AND WASTEWATER ARE SHOWN ON THE WATER & WASTEWATER PLAN SHEETS.

S.F.W.M.D. PERMIT NO. #56-103384-P  
BASIN B Canal

|                         | NAVD 88 | NGVD 29 |
|-------------------------|---------|---------|
| CONTROL ELEV.           | 18.70   | 17.23   |
| MIN. ROAD CROWN ELEV.   | 21.20   | 19.73   |
| MIN. FINISH FLOOR ELEV. | 25.60   | 24.13   |

**EXFILTRATION TRENCH DETAIL**  
SCALE: N.T.S.

**TRADITION PLAT NO. 82**  
PARCEL 1  
NO PROPOSED CHANGES  
2.30 ACRES ± (OCCUPIED)  
FFE= 29.00

**TRADITION PLAT NO. 32**  
PLAT BOOK 62, PAGE 5

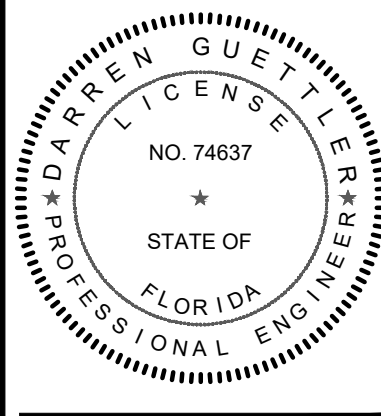
**PARCEL 2**  
1.84 ACRES ± (VACANT)  
IN PERMITTING

**PARCEL 3**  
5.082 ACRES ±  
NO PROPOSED CHANGES  
IN PERMITTING / UNDER CONSTRUCTION

PROJECT: **TRADITION STORAGE CROSTOWN RETAIL**

CLIENT: **THE MAYFAIR LLC**

FLORIDA




**DARREN GUETTLER, PE**  
FLORIDA LICENSE NO. 74637  
5/11/23

PROJECT No.: 22-1033  
DRAWN BY: SOG  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD ID: 22-1033-PGD PLAN

SHEET TITLE: **PAVING, GRADING & DRAINAGE PLAN**

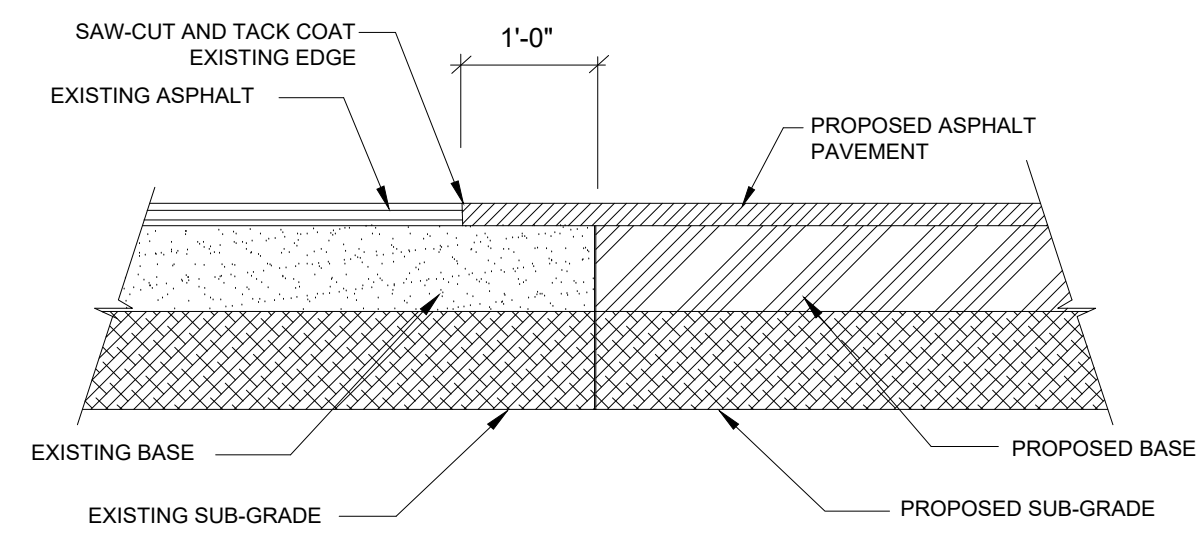
SHEET NUMBER: **04**



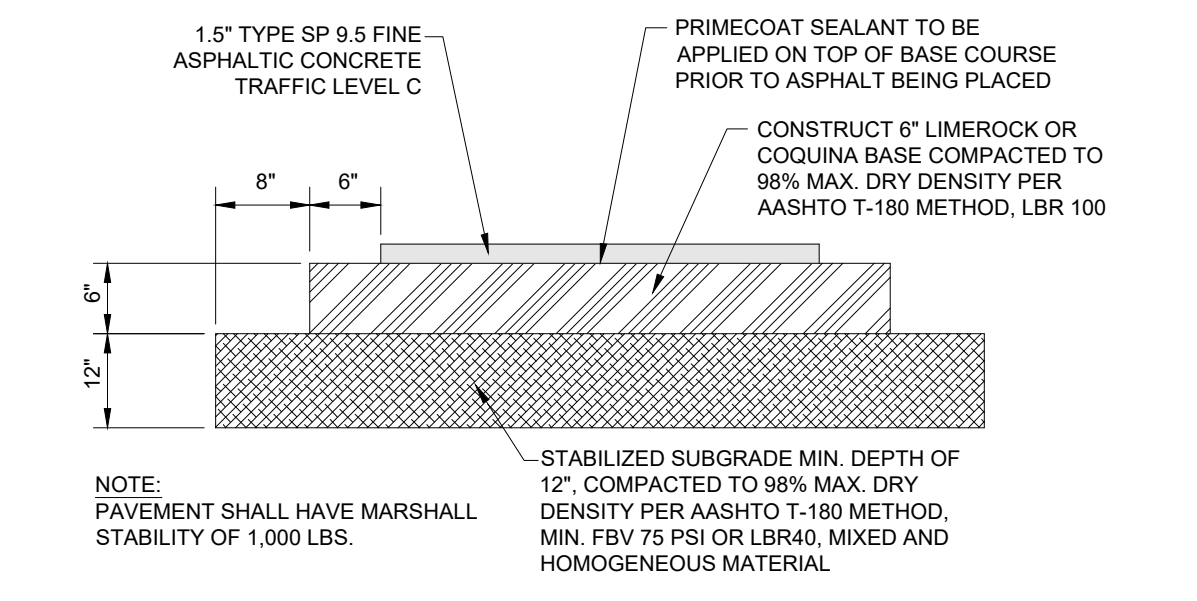
KNOW WHAT'S BELOW  
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CITY OF PSL PROJECT NO. P19-133-A2  
PSLUSD FILE NO. 5342C

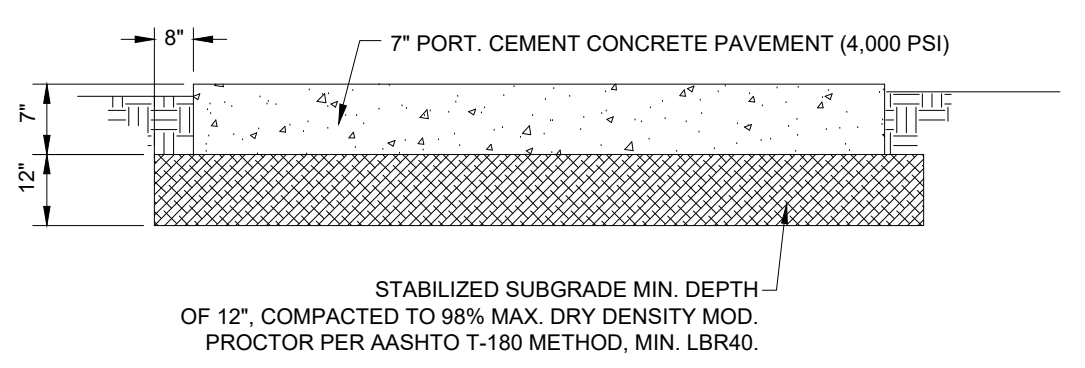
Printed on Thursday, May 11, 2023, 3:17 PM by Jacob McQueen



ASPHALT PAVEMENT SAWCUT & BUTTJOINT DETAIL  
N.T.S.



TYPICAL ONSITE ASPHALT PAVEMENT DETAILS  
N.T.S.



TYPICAL ONSITE CONCRETE PAVEMENT DETAILS  
N.T.S.

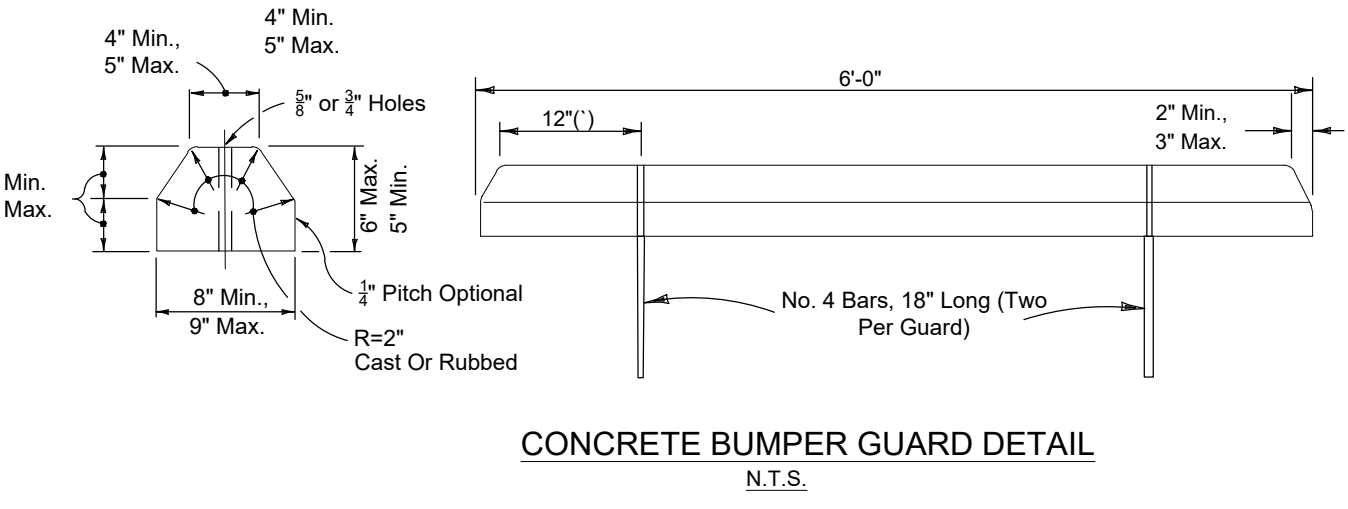
| SPACING OR REQUIRED ROADWAY / PARKING AREA TESTS |                          |         |                          |         |                          |          |
|--|--------------------------|---------|--------------------------|---------|--------------------------|----------|
| ITEMS TO BE TESTED                               | F.B.V.                   |         | DENSITY                  |         | L.B.R.                   |          |
|  | MAX. SPACING<br>LIN. FT. | SQ. FT. | MAX. SPACING<br>LIN. FT. | SQ. FT. | MAX. SPACING<br>LIN. FT. | SQ. FT.  |
| COMPACTED OR STABILIZED SUBGRADE                 | 300                      | 10,000  | 300                      | 10,000  | ---                      | ---      |
| LIMEROCK BASE                                    | ---                      | ---     | 300                      | 10,000  | ---                      | ---      |
| SHELLROCK BASE                                   | ---                      | ---     | 300                      | 10,000  | ---                      | ---      |
| ASPHALT  | ---                      | ---     | ---                      | ---     | ---                      | PER INSP |

NOTE: ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12" INSIDE THE LEFT EDGE OF THE ITEM TESTED, TO THE CENTER, TO A POINT 12" INSIDE OF THE RIGHT EDGE.

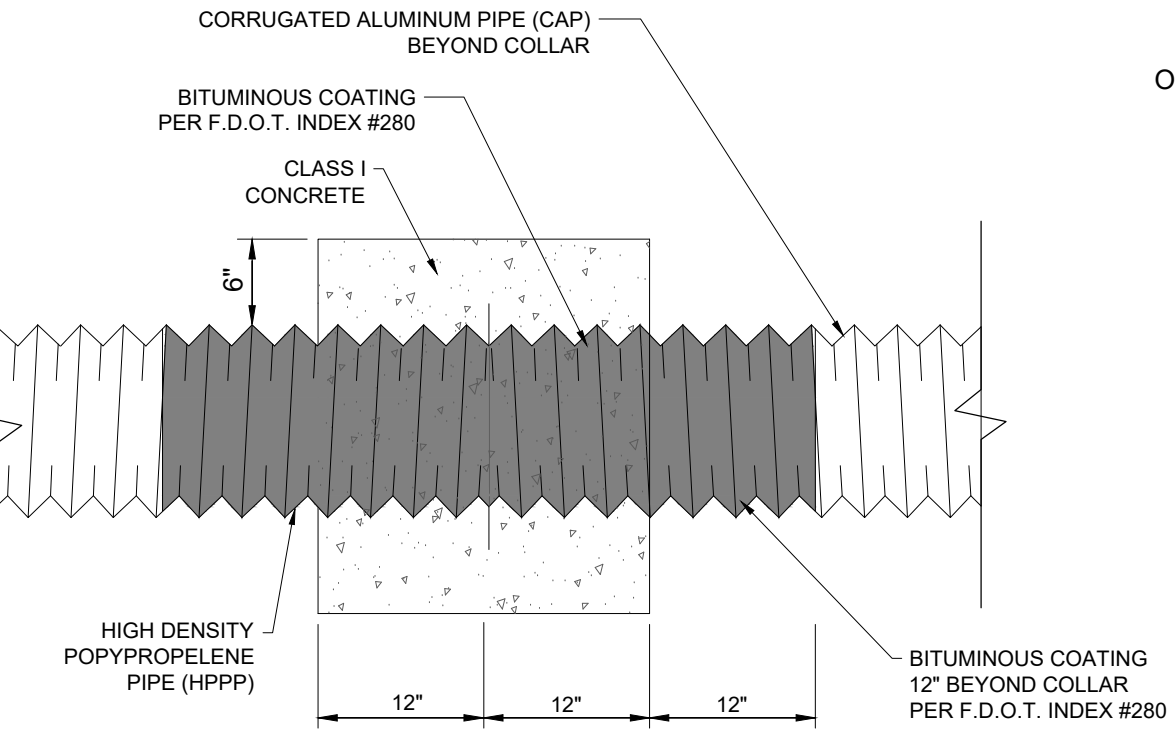
- CONSTRUCTION FIELD OBSERVATIONS**
- DRAINAGE**
    - LAYING OF PIPE (BEFORE BACKFILL)
    - ALL DRAINAGE STRUCTURES AND PIPE LAYING COMPLETE.
    - CONSTRUCTION AND STABILIZATION OF RETENTION AREAS AND SWALES.
    - SEEDING, MULCH AND SODDING IN AREAS WHERE EROSION IS EVIDENT.
  - UTILITIES (PERMITS)**
    - PIPE LAYING IN RIGHTS-OF-WAYS.
    - JACK AND BORING / DIRECTIONAL BORING.
    - WET TAPS.
    - ABOVE GROUND MANHOLE INSPECTIONS AND INSTALLATIONS.
  - CONCRETE**
    - CONSTRUCTION OF CURBING, SIDEWALK, NON-BUILDING SLABS, AND RETAINING WALLS BEFORE PLACEMENT OF CONCRETE.
  - PAVEMENT**
    - LINE AND GRADE (CERTIFICATION).
    - SUBBASE (PRIOR TO ADDING BASE MATERIAL).
    - CASE (PRIOR TO PRIMING AND SAND SEAL).
    - D. BASE (AFTER PRIMING, SAND SEAL AND BEFORE PLACING OF ASPHALT).
    - ASPHALT OR CONCRETE (WHILE PAVING IS IN PROCESS).
    - TURN OUT CONSTRUCTION ONTO CITY, COUNTY, OR STATE ROAD (ABOVE INSPECTIONS APPLY).
    - TEST RESULTS ON SUBBASE, BASE AND ASPHALT.
    - FINAL PROJECT OBSERVATION.
- PROJECT CERTIFICATION REQUIREMENTS**
- PAVEMENT TESTING**
    - FLORIDA BEARING VALUE (FBV) OR LIMEROCK BEARING RATIO (LBR) TEST RESULTS.
    - COMPACTION TEST RESULTS.
    - BASE MATERIAL TEST RESULTS.
    - ASPHALT TEST RESULTS.
  - WATER AND SEWER**
    - DEPARTMENT OF ENVIRONMENTAL PROTECTION CERTIFICATION FOR BOTH WATER AND SEWER (OPERATION AND MAINTENANCE), IF APPLICABLE.
    - HEALTH DEPARTMENT CERTIFICATION, IF APPLICABLE.
    - BACTERIOLOGICAL AND PRESSURE TESTING FOR WATER MAINS, VIDEO AND EXFILTRATION TESTING FOR GRAVITY SEWER MAINS, IF APPLICABLE.
    - PRESSURE TESTING FOR FORCE MAINS, IF APPLICABLE.
    - UTILITY ACCEPTANCE FOR OPERATION AND MAINTENANCE, IF APPLICABLE.
  - CERTIFICATION AND RECORD DRAWINGS**
    - SEALED CERTIFICATION BY THE ENGINEER OF RECORD FOR COMPLIANCE WITH APPROVED PLANS AND SPECIFICATIONS ALONG WITH RECORD DRAWINGS FOR THE PROJECT.

- GENERAL CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO BIDDING WORK AND SHALL TAKE INTO CONSIDERATION ANY OMISSIONS, UNDERGROUND UTILITIES, OR OTHER ITEMS AFFECTING THE INSTALLATION OF PAVING, DRAINAGE, AND UTILITIES. SHOULD UNCHARTED OR INCORRECTLY CHARTED UTILITIES OR OTHER ITEMS BE ENCOUNTERED DURING CONSTRUCTION, CONSULT ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS. REPAIR DAMAGED UTILITIES OR OTHER ITEMS TO SATISFACTION OF UTILITY OWNER AND ENGINEER OF RECORD.
  - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS, CODES, AND ORDINANCES INCLUDING OSHA AND FDOT SPECIFICATIONS, LATEST EDITION UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER IN WRITING.
  - LOCATION AND SIZES OF ALL EX. UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR EXACT FIELD LOCATION AND SIZES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION TO ALLOW FOR PIPE RECONFIGURATION IF NEEDED. THE CONTRACTOR SHALL CONTACT ALL AFFECTED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
  - ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING WORK.
  - NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
  - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS / LICENSES PRIOR TO COMMENCING WORK.
  - THE CONTRACTOR SHALL KEEP COPIES OF ALL PERMITS, PLANS, AND SPECIFICATIONS ON SITE DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTING TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUPPLY DENSITY TESTS TO ENGINEER OF RECORD ON ALL SUB GRADE AND BASE. TESTS SHALL BE PREPARED IN ACCORDANCE WITH AASHTO T-180 METHOD AT ALL AREAS OF DISTURBED ASPHALT & PIPE TRENCHING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE RESULTING FROM HIS OPERATIONS, TO EXISTING PAVEMENT, SWALES, ETC.
  - THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE THAT PROJECT HAS BEEN ACCEPTED. ALL FAULTY CONSTRUCTION AND/OR MATERIALS THAT OCCUR DURING AFORESAID PERIOD SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE AND IN A TIMELY MANNER.
  - THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE STATE, COUNTY AND CITY AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
  - THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION AND ALTERATION OF THEIR EXISTING FACILITIES.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO ANY REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY FOR INSPECTIONS AND/OR TESTING.
  - THE CONTRACTOR SHALL PROVIDE THE ENGINEER AS-BUILT SURVEYS CERTIFIED BY A LICENSED SURVEYOR UPON COMPLETION OF CONSTRUCTION AND SCHEDULE A FINAL INSPECTION WITH THE ENGINEER OF RECORD.
  - ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE COUNTY SURVEYOR WITHOUT DELAY BY TELEPHONE.
  - IF HARDPAN IS ENCOUNTERED WITHIN RETENTION AREA OR SWALES, IT SHALL BE REMOVED AND REPLACED WITH A GRANULAR MATERIAL.
  - IF MUCK OR ANY OTHER UNSUITABLE MATERIAL IS ENCOUNTERED, THE MATERIAL SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH A GRANULAR MATERIAL AND COMPACTED TO DENSITIES SUFFICIENT TO ACCOMMODATE THE INTENDED USE.
  - LOCATION OF STRUCTURES SHALL GOVERN AND PIPE LENGTHS MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
  - RCP INDICATES REINFORCED CONCRETE PIPE. CMP INDICATES GALVANIZED CORRUGATED METAL PIPE. BCOMP INDICATES BITUMINOUS COATED CORRUGATED METAL PIPE. CAP INDICATES CORRUGATED ALUMINUM PIPE. CPP INDICATES CORRUGATED POLYETHYLENE PIPE (N12) MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS). HPPP INDICATES HIGH-PERFORMANCE POLYPROPYLENE PIPE.
  - MITERED END SECTIONS SPECIFIED ON THE PLANS SHALL BE IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 430-021.
  - COMPACTION REQUIREMENTS FOR PIPE BEDS SHALL BE 90% OF MAXIMUM DRY DENSITY.
  - TEMPORARY DRAINAGE SHALL BE PROVIDED DURING CONSTRUCTION TO ELIMINATE ANY FLOODING OF PRIVATE PROPERTY.
  - ALL STORM SEWER LINES AND DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AND ERODED MATERIALS DURING THE FINAL STAGES OF CONSTRUCTION.
  - ANY DRAINAGE PROBLEMS CREATED BY CONSTRUCTION, OR EXISTING BEFORE CONSTRUCTION AND NOT ALLEVIATED AS PART OF THE PROPOSED IMPROVEMENTS, SHOULD BE BROUGHT TO THE ATTENTION OF THE GOVERNING AUTHORITY AND THE ENGINEER OF RECORD.
  - THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING TREES SHOWN TO REMAIN. IF ANY TREES MARKED TO BE REMOVED CAN BE SAVED, THE CONTRACTOR SHALL SAVE SAID TREES. SHOULD ADDITIONAL TREES NEED TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO REMOVING SAID TREES.
  - IF EXCAVATED FILL MATERIAL IS REUSABLE, STOCKPILE EXCESS FOR USE IN LANDSCAPED AREAS.
  - UNUSABLE CLEARED MATERIAL SHALL BE REMOVED FROM SITE AND HAULED TO AN APPROVED DISPOSAL SITE. AS AN ALTERNATIVE, BURNING ON SITE WILL BE ALLOWED WITH PROPER PERMITS. LOCATION OF BURN SITE SHALL BE APPROVED BY OWNER.
  - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER. ALL EXISTING SIGNAGE, PAVEMENT MARKINGS, ABOVE GROUND APPURTENANCES, ETC. SHALL BE RESTORED IN KIND.
  - WHEN PAVEMENT IS SHOWN NEXT TO A CURB OR SIDEWALK, THE ELEVATION OF THE TOP OF CURB OR SIDEWALK IS 6" ABOVE THE PAVEMENT, UNLESS INDICATED AS FLUSH IN SOME CASES, BOTH ELEVATIONS ARE SHOWN FOR ADDITIONAL CLARITY.
  - ALL CONCRETE SHALL DEVELOP A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED.
  - ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615 AND HAVE A TENSILE STRENGTH OF 80,000 PSI UNLESS OTHERWISE NOTED.
  - ALL WATER FLUSHED FROM MAINS SHALL BE DIRECTED AS APPROVED BY THE ENGINEER OF RECORD.
  - NO WATER OR SEWER SERVICE IS TO BE SUPPLIED, UNTIL A LETTER OF CLEARANCE IS RECEIVED FROM FDEP, IF APPLICABLE.
  - MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", AND THE FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX #600", LATEST EDITIONS.
  - EROSION AND SEDIMENT CONTROL - CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL USING THE LATEST F.D.O.T. STANDARDS. Baled hay, straw, and siltation barriers will be installed where needed to prevent siltation of adjacent property, public right-of-way, wetlands and waterways. THESE WILL REMAIN IN PLACE UNTIL GRASSING OR SODDING HAS BEEN COMPLETED OR UNTIL SILTATION AND EROSION ARE NO LONGER A THREAT TO ADJACENT PROPERTY AND WATERWAYS.
  - ALL BERMS AND GRASSED AREAS SHALL BE SEEDING AND MULCHED IN ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE ABOVE REFERENCED SPECIFICATIONS UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER OF RECORD.
  - TOPOGRAPHIC INFORMATION PREPARED BY VELCON ENGINEERING & SURVEYING, LLC. ALL ELEVATIONS PER BENCHMARKS REFERENCED ON SURVEY N.A.V.D.

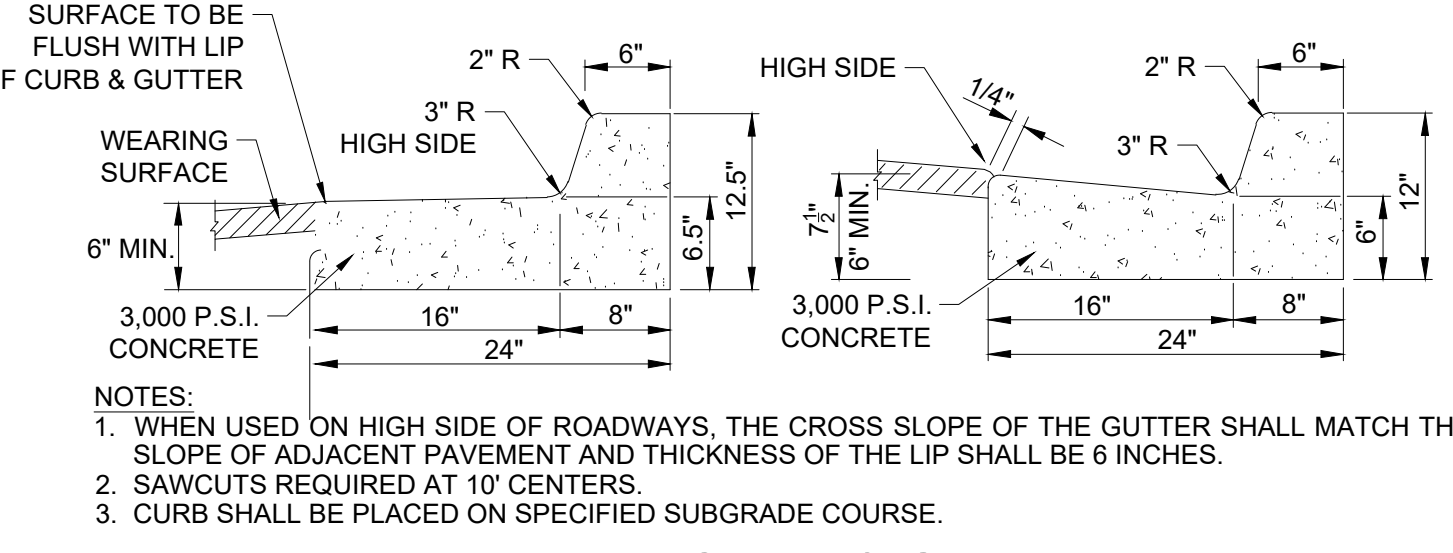
| PAVING / SIDEWALK SPECIFICATIONS                     |   |  |   |  |   |   |
|--|---|--|---|--|---|---|
| TYPE   | WEARING SURFACE   |  | BASE  |  | SUBGRADE  | STRUCTURAL NUMBER (SN)<br>(PARKING LOT SN = 2.18 MIN.)                        |
| VEHICULAR PARKING AREA PAVEMENT SECTION AND DRIVEWAY | 1-1/2" THICK, TYPE TYPE SP-9.5 TYPE C ASPHALTIC CONCRETE INSTALLED IN TWO LIFTS (FIRST LIFT TO BE 3/4" & SECOND LIFT TO BE 3/4")<br>TACK COAT REQUIRED WITH MULTIPLE LIFTS. | STRUCTURAL COEFFICIENT PER INCH = 0.44 | 6" THICK, LIMEROCK (LBR 100) COMPACTED TO 98% MAXIMUM DRY DENSITY, A.A.S.H.T.O. T-180 | STRUCTURAL COEFFICIENT PER INCH = 0.18 | 12" THICK, STABILIZED SUBGRADE, COMPACTED TO 98% MAXIMUM DRY DENSITY A.S.H.T.O. T-180 AND STABILIZED TO EITHER L.B.R. = 40 OR F.B.V. = 75 | 1.5 X 0.44 = 0.66<br>6. X 0.18 = 1.08<br>12 X 0.08 = 0.96<br>SN = 2.70 > 2.18 |
| SIDEWALKS  | 4" THICK 3,000 PSI CONCRETE OR<br>6" THICK 3,000 PSI CONCRETE WITH W1.4 X W1.4, 6" X 6" REINFORCING MESH AT ALL DRIVEWAYS & L.M.A.E.'S                                      | N/A                                    | 4" THICK, CLEAN SAND COMPACTED TO 98% PER A.A.S.H.T.O. T-180                          | N/A                                    | N/A   | N/A   |



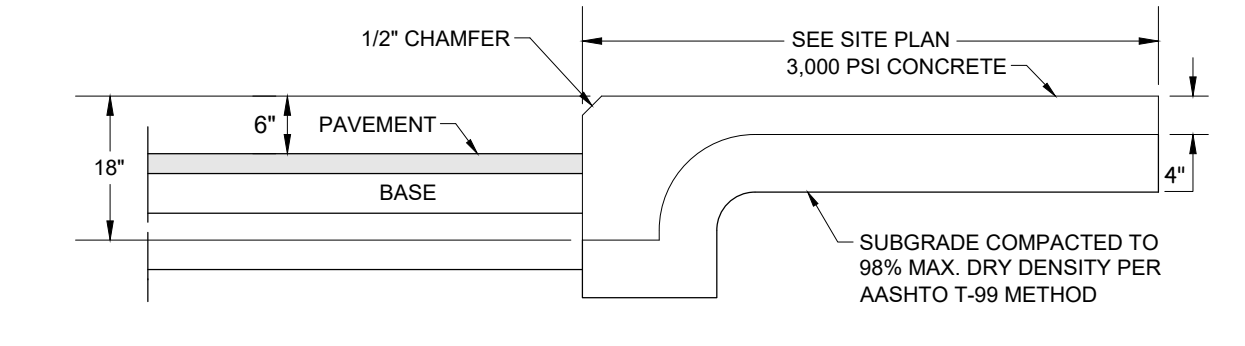
CONCRETE BUMPER GUARD DETAIL  
N.T.S.



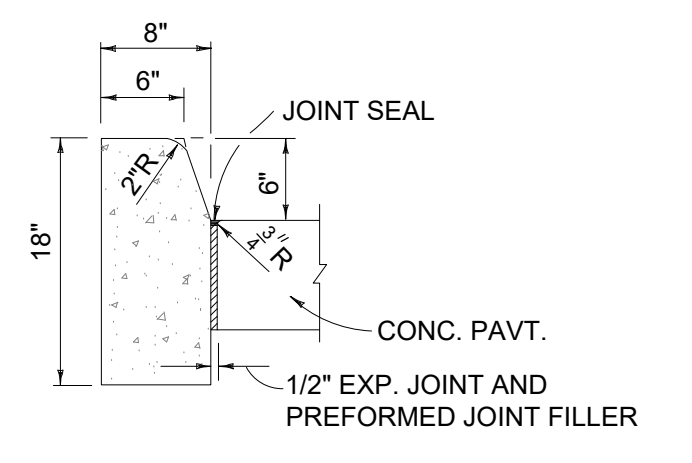
CONCRETE COLLAR DETAIL  
N.T.S.



TYPE "F" CURB & GUTTER  
N.T.S.



SIDEWALK/PAVEMENT DETAIL  
N.T.S.



TYPE "D" CURB  
N.T.S.

NOTE: ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



REVISIONS:

| BY: | DATE:    | COMMENT:                      |
|-----|----------|-------------------------------|
| JM  | 01/17/23 | PER CITY OF PSL SPRC COMMENTS |
| JM  | 03/09/23 | PER CITY OF PSL SPRC COMMENTS |
| JM  | 05/03/23 | PER CITY OF PSL SPRC COMMENTS |

NOT FOR CONSTRUCTION

TRADITION STORAGE CROSSTOWN RETAIL

THE MAYFAIR LLC  
FLORIDA



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
5/11/23

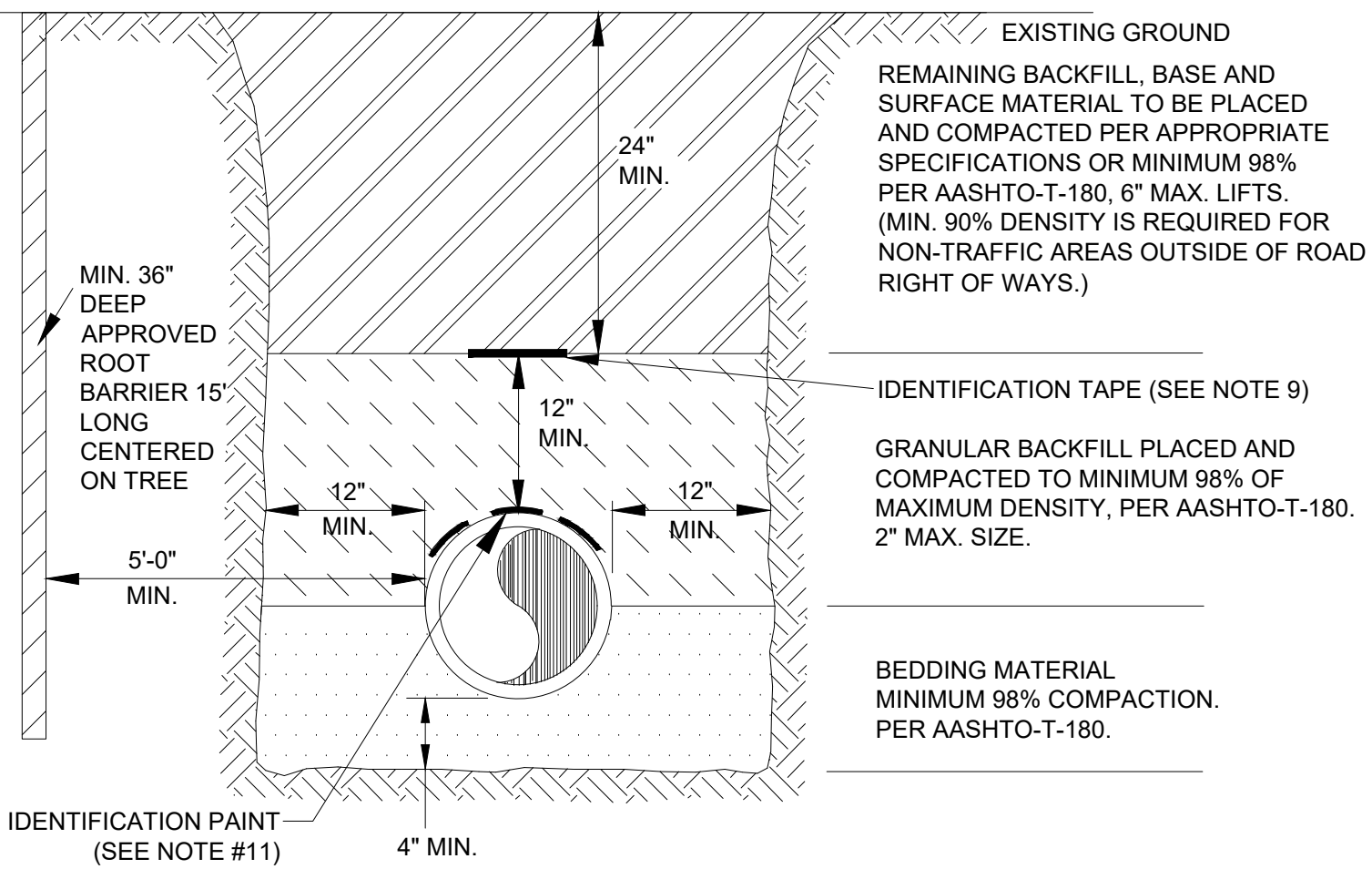
PROJECT No.: 22-1033  
DRAWN BY: SOG  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD ID: 22-1033 - PSD DETAILS

SHEET TITLE:  
PAVING, GRADING & DRAINAGE DETAILS AND SPECIFICATIONS  
SHEET NUMBER:

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CITY OF PSL PROJECT NO. P19-133-A2  
PSLUSD FILE NO. 5342C

05

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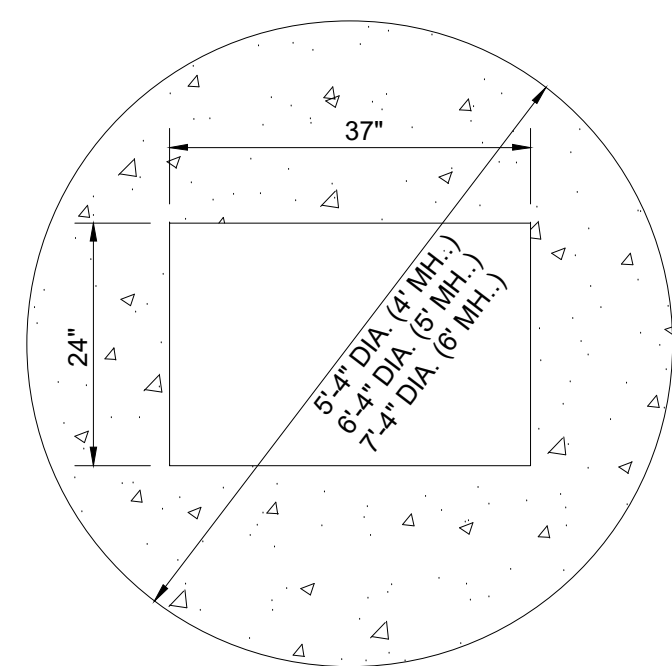


**TRENCH NOTES:**

- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL ADEQUACY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
- THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK AND DEBRIS.
- DENSITY TESTS SHALL BE TAKEN IN 1 FOOT LIFTS ABOVE THE PIPE AT INTERVALS OF 400' MAXIMUM, (MINIMUM 1 SET) OR AS DIRECTED BY THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION AS PART OF THEIR FIELD REVIEW.
- THE PERMITTEE/DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL TRENCH SAFETY LAWS AND REGULATIONS.
- SEE SEPARATE DETAIL FOR PAVED AREAS (OPEN CUT FOR THOROUGHFARE AND NON-THOROUGHFARE ROADS)
- THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.
- APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE CITY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
- ROOT BARRIER IS REQUIRED FOR APPROVED PIPE INSTALLATION CLOSER THAN 10 FEET FROM AN EXISTING TREE.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DIP/PCCP WATER MAINS (BLUE), DIP SANITARY FORCE MAINS (GREEN), DIP RECLAIMED WATER MAINS (PURPLE), GAS MAINS (YELLOW), OR AS REQUIRED BY THE APWA.
- PERMANENT ABOVE GROUND UTILITY MARKER SHALL BE INSTALLED IF REQUIRED BY PROPERTY OWNER GRANTING THE PIPE INSTALLATION PERMIT.

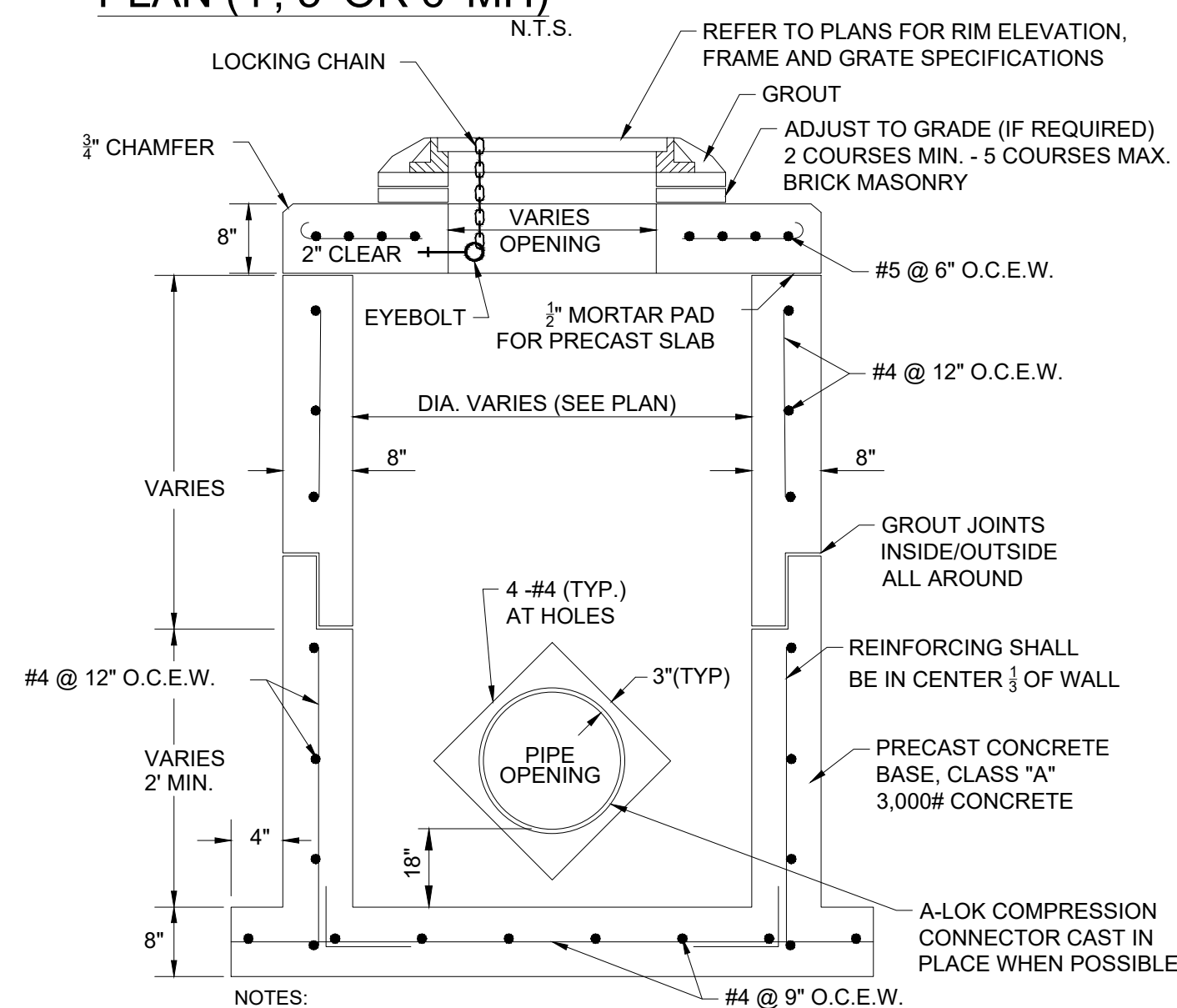
**TYPICAL TRENCH DETAIL**

N.T.S.



**PLAN (4', 5' OR 6' MH)**

N.T.S.

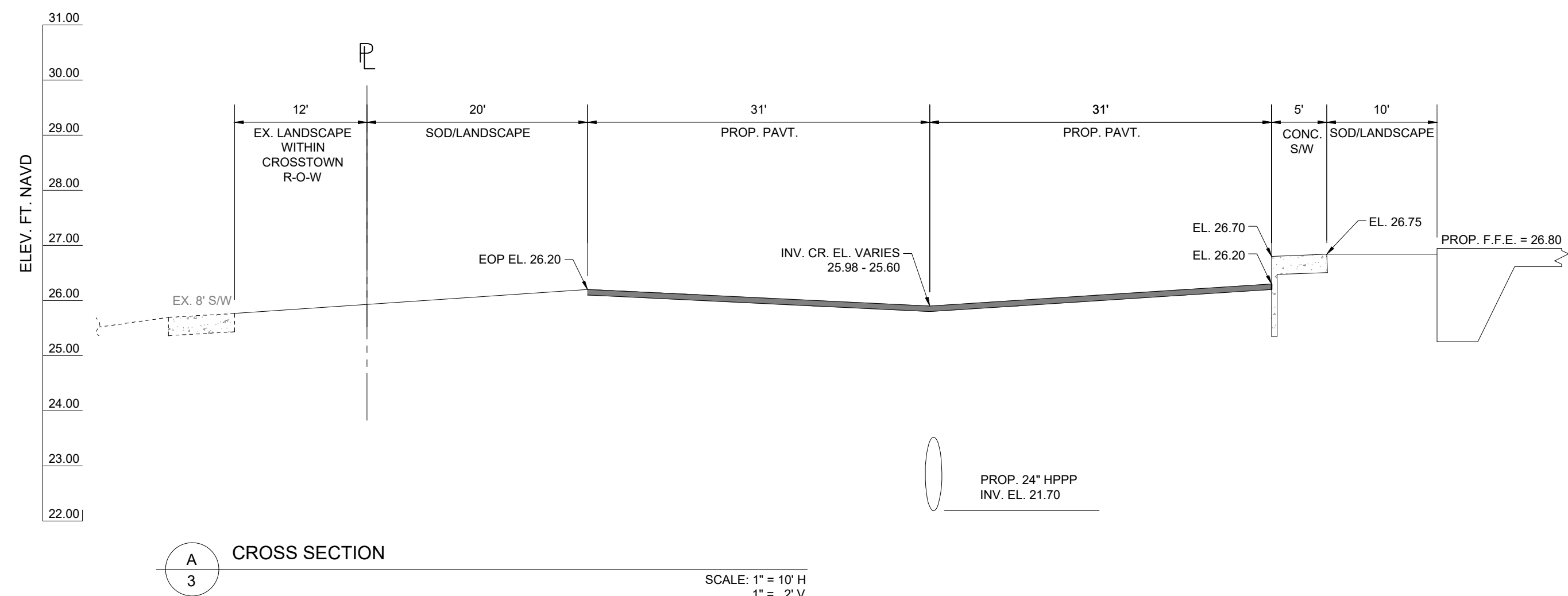


**NOTES:**

- ALL REINFORCEMENT TO MEET CURRENT F.D.O.T. SPECIFICATIONS.
- THIS STRUCTURE MAY BE SUBSTITUTED WITH OTHER STRUCTURES ONLY IF THE STANDARDS HAVE BEEN MET.

**STORM MANHOLE DETAIL**

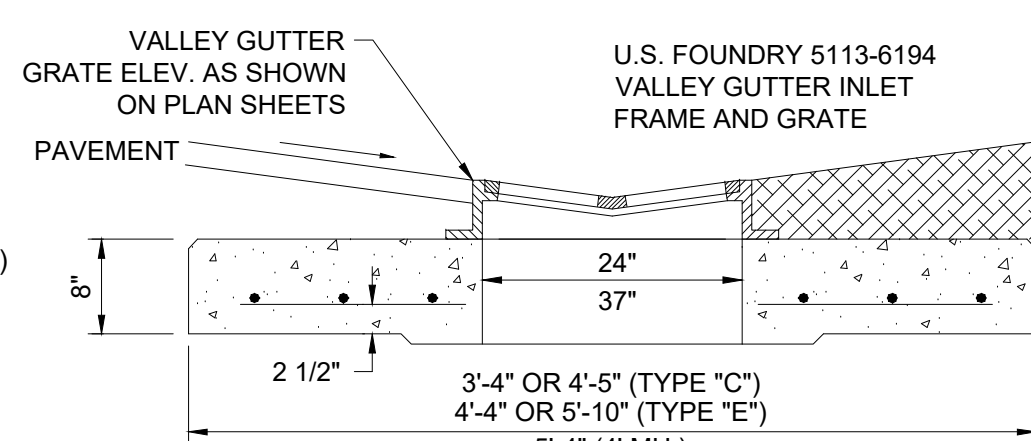
N.T.S.



**CROSS SECTION**

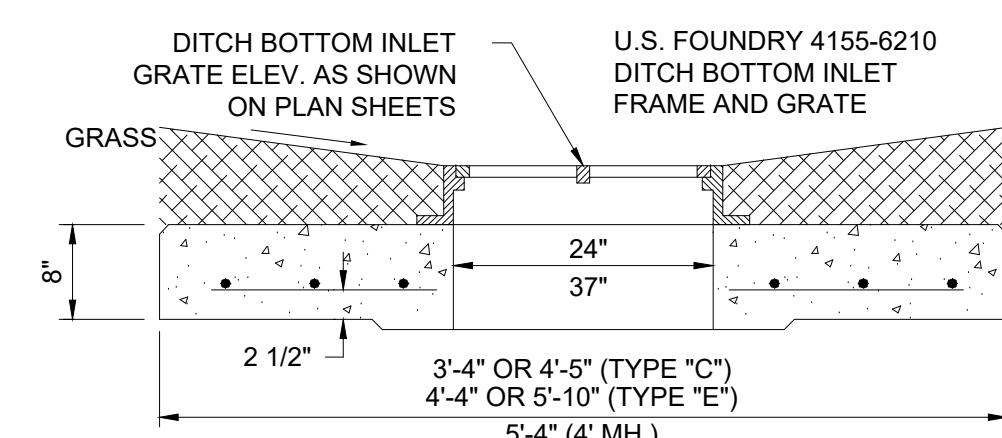
A  
3

SCALE: 1" = 10' H  
1" = 2' V



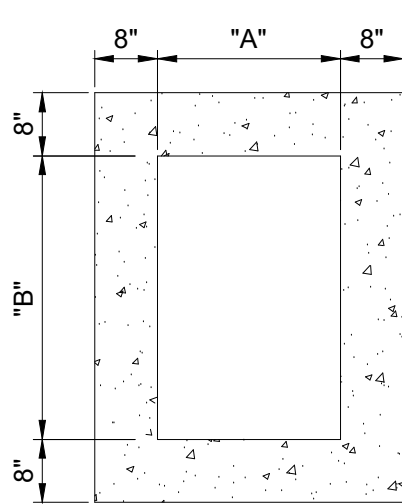
**VALLEY GUTTER INLET (VGI) DETAIL**

N.T.S.

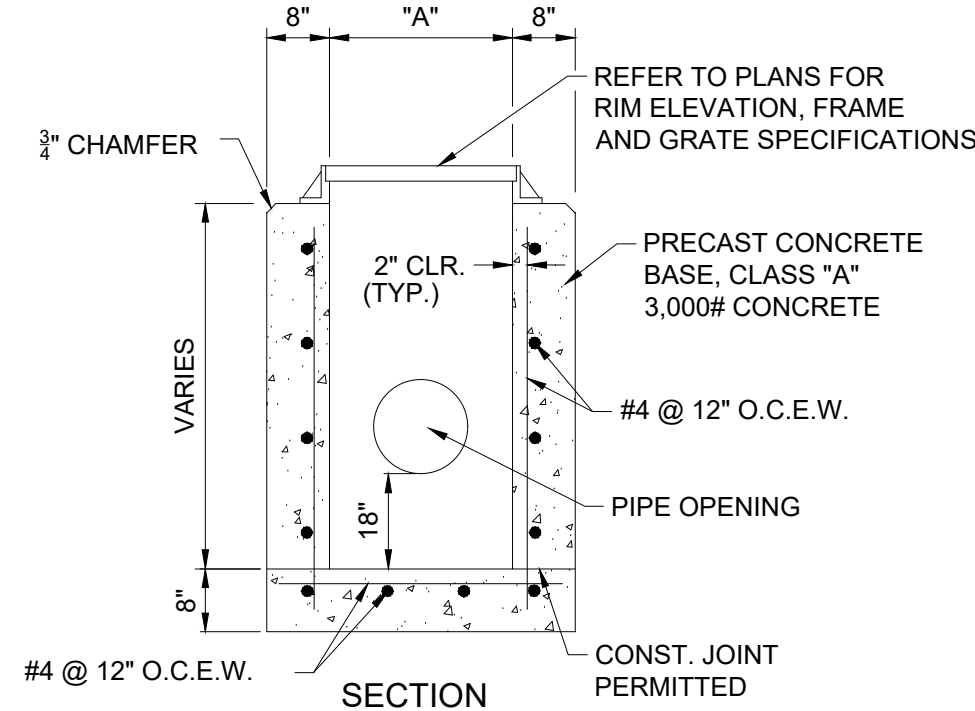


**DITCH BOTTOM INLET (DBI) DETAIL**

N.T.S.



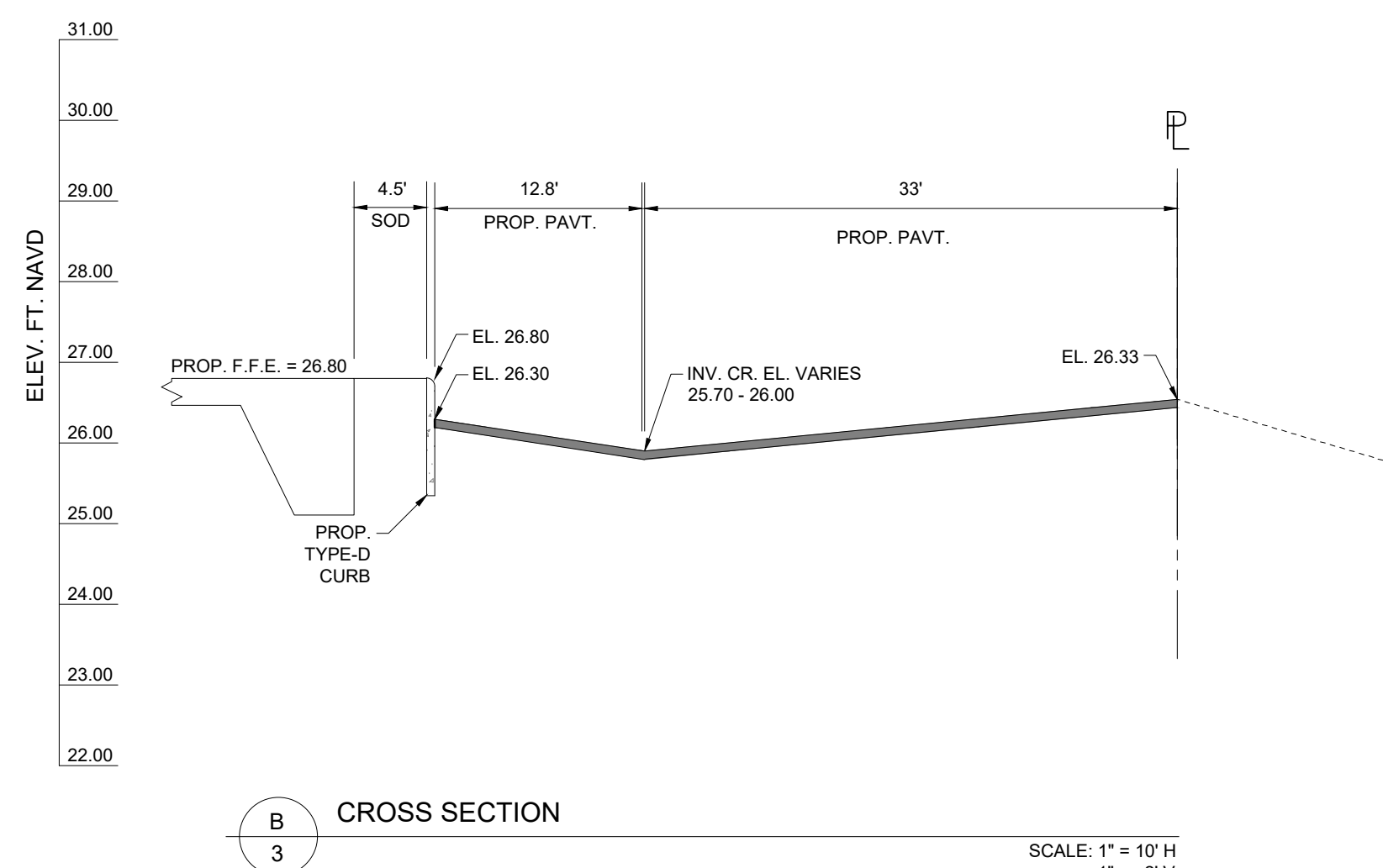
**PLAN**



| TYPE INLET | DIMENSIONS "A" | DIMENSIONS "B" |
|------------|----------------|----------------|
| C          | 2'-0"          | 3'-1"          |
| E          | 3'-0"          | 4'-6"          |

**STANDARD TYPE "C" & "E" INLET DETAIL**

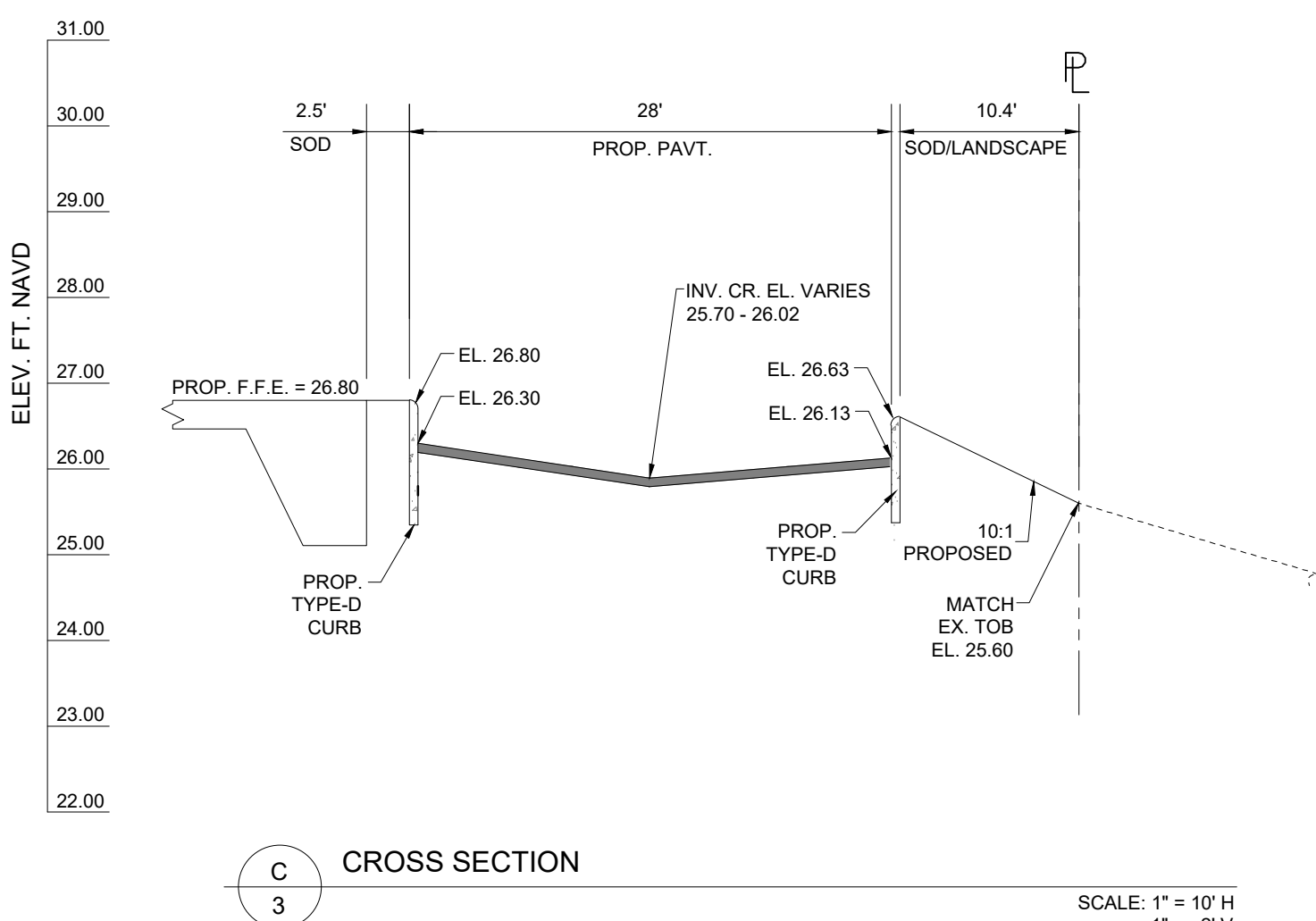
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**CROSS SECTION**

B  
3

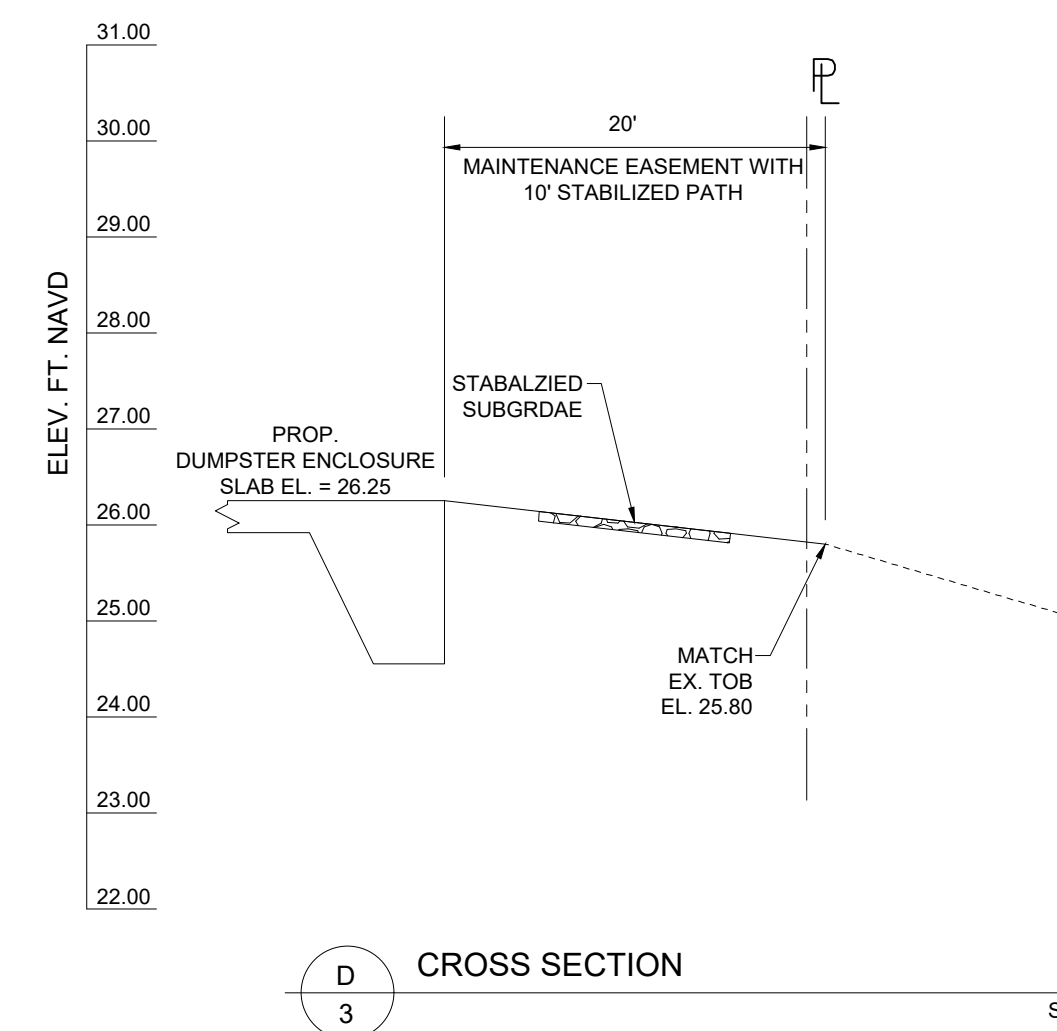
SCALE: 1" = 10' H  
1" = 2' V



**CROSS SECTION**

C  
3

SCALE: 1" = 10' H  
1" = 2' V



**CROSS SECTION**

D  
3

SCALE: 1" = 10' H  
1" = 2' V



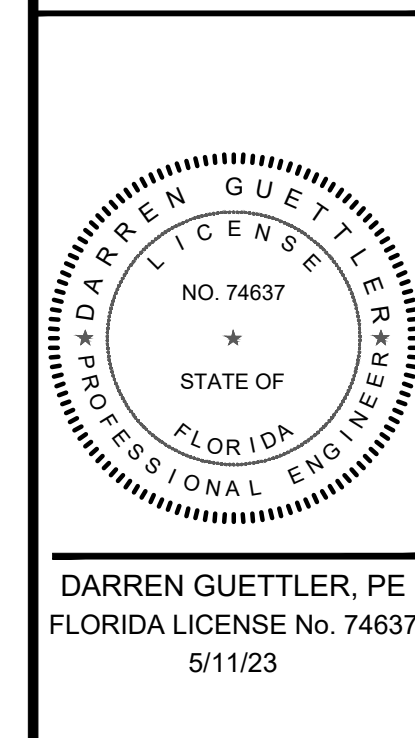
**REVISIONS:**

| BY: | DATE:    | COMMENT:                      |
|-----|----------|-------------------------------|
| JM  | 01/17/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 03/09/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 05/03/23 | PER CITY OF PSL SFRG COMMENTS |

**NOT FOR CONSTRUCTION**

**TRADITION STORAGE CROSSTOWN RETAIL**

**THE MAYFAIR LLC**



**DARREN GUETTLER, PE**  
FLORIDA LICENSE No. 74637  
5/11/23

PROJECT No.: 22-1033  
DRAWN BY: SOG  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD I.D.: 22-1033 - PSD DETAILS

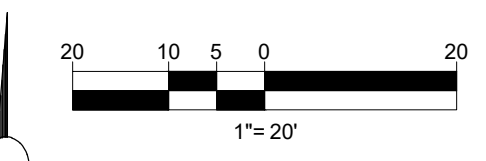
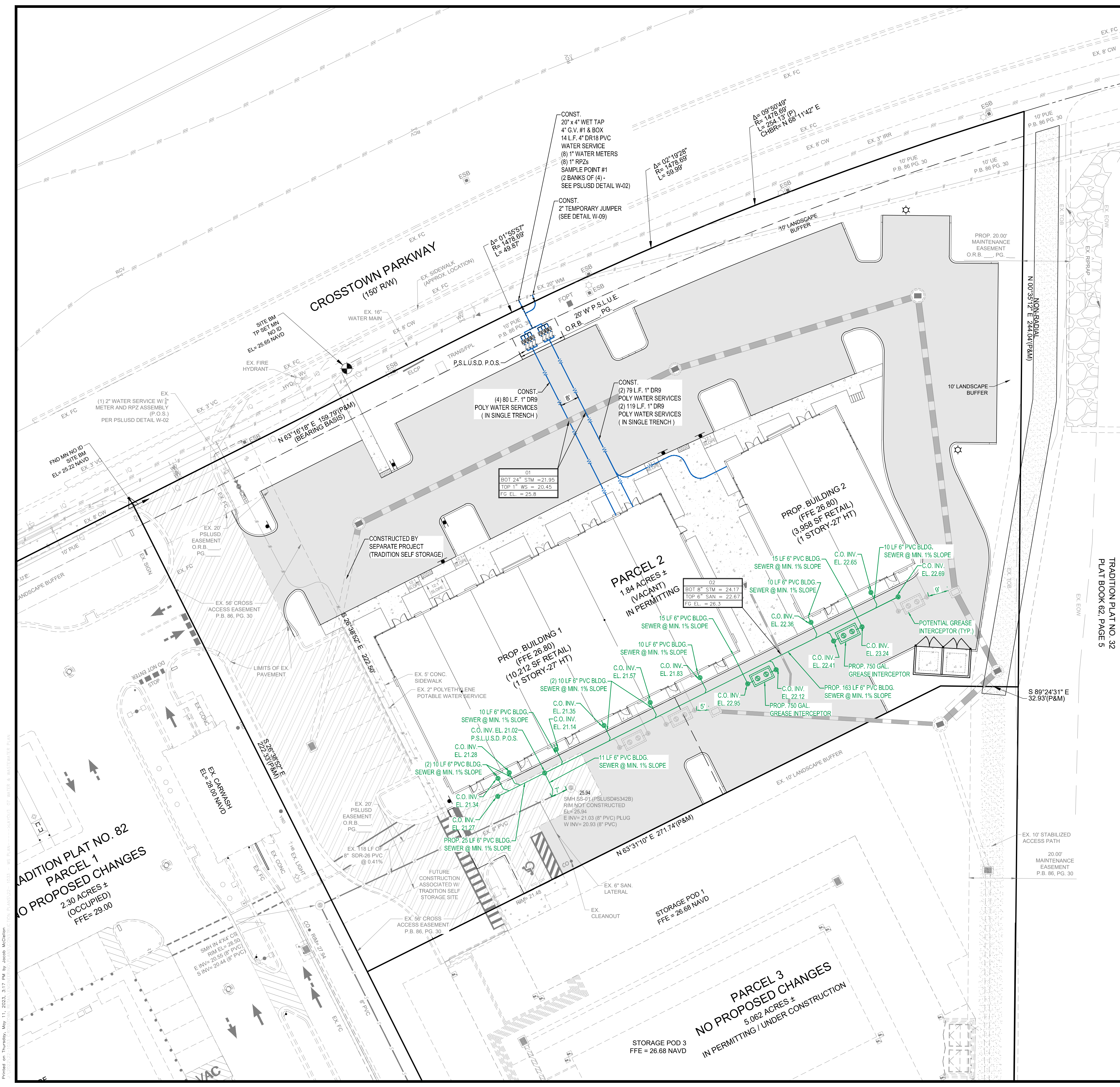
SHEET TITLE:  
**PAVING GRADING & DRAINAGE DETAILS AND SPECIFICATIONS**

SHEET NUMBER:  
**06**



CITY OF PSL PROJECT NO. P19-133-A2  
PSLUD FILE NO. 5342C

Printed on Thursday, May 11, 2023, 3:17 PM by Jacob McQueen



- WATER DISTRIBUTION NOTES:**
1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE PSLUSD.
  2. WATER MAIN WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC), SHALL CONFORM TO AWWA C-900 OR C-905, PRESSURE CLASS 150, DR (18). WATER MAIN WHERE SPECIFIED AS POLYETHYLENE (PE), SHALL CONFORM TO AWWA C-901 OR C-906, STANDARD CODE DESIGNATION PE3408, PIPE CLASS 200, DIMENSION RATIO, DR (9).
  3. POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR.
  4. FITTINGS SHALL BE CAST OR DUCTILE IRON, CONFORMING TO AWWA C-110 AND ANSI A21.11, CLASS 250 MINIMUM, CEMENT LINED, AND SEAL COATED.
  5. GATE VALVES SHALL BE RESILIENT SEAT TYPE BY AN APPROVED MANUFACTURER AS DETERMINED BY THE PSLUSD. VALVES SHALL CONFORM TO AWWA C-509.
  6. WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH PSLUSD DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY THE PSLUSD, AS APPLICABLE. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE CONTRACTOR REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
  7. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE PSLUSD AND THE ENGINEER OF RECORD.
  8. THE CONTRACTOR SHALL NOTIFY THE PSLUSD AND CITY ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION AND PRIOR TO ALL INSPECTIONS.
  9. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND PSLUSD REPRESENTATIVES SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  10. MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND PSLUSD.
  11. DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
  12. EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
  13. WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.
  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
  15. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE ENGINEER AND PSLUSD STANDARDS.
  16. THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE PSLUSD ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
  17. WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 14 GAUGE INSULATED SOLID COPPER WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE PSLUSD SPECIFICATIONS.
  18. MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND PSLUSD REQUIREMENTS.
  19. ALL WATER MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-600 - 2 HR MINIMUM TEST.
  20. PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A LINE SIZE SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE. NOTE: SWAB SHOULD BE PLACED IN 15' JOINT OF NEW LINE. JOINT OF MAIN SHOULD BE "TURNED UP" AT 45% AND EXTENDED SO THAT SWABBING AND A FULL BORE FLUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSEMBLY CAN THEN BE PLACED. WHERE LINES BRANCH, SWABS WILL BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.
  21. CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

**LEGEND**

|                             |  |
|-----------------------------|--|
| EXISTING GRADE ELEVATION    | PROPOSED ELEVATION (H.P. = HIGH POINT) |
| EXISTING FORCE MAIN         | RUNOFF FLOW DIRECTION                  |
| EXISTING GRAVITY SEWER MAIN | EXISTING WATER MAIN                    |
| EXISTING EDGE OF PAVEMENT   | EXISTING FORCE MAIN                    |
| EXISTING LIGHT POLE         | EXISTING GRAVITY SEWER MAIN            |
| PROPOSED SQUARE CATCH BASIN | EXISTING ASPHALT PAVEMENT              |
| PROPOSED DRAINAGE MAN HOLE  | PROPOSED ASPHALT PAVEMENT              |
| PROPOSED ROUND CATCH BASIN  | PROPOSED CONCRETE SIDEWALK             |
| EXISTING ASPHALT PAVEMENT   | PROPOSED CLEAN OUT                     |
| PROPOSED ASPHALT PAVEMENT   | D.E. DRAINAGE EASEMENT                 |
| PROPOSED CONCRETE SIDEWALK  | U.E. UTILITY EASEMENT                  |
| PROPOSED CLEAN OUT          | L.B. LANDSCAPE BUFFER                  |
| D.E. DRAINAGE EASEMENT      | PROPOSED GRAVITY SEWER MAIN            |
| U.E. UTILITY EASEMENT       | PROPOSED BLDG. SEWER                   |
| L.B. LANDSCAPE BUFFER       | PROPOSED WATER SERVICE                 |
| PROPOSED GRAVITY SEWER MAIN | PROPOSED STORM SEWER                   |
| PROPOSED BLDG. SEWER        | PROPOSED MITERED END SWALE             |
| PROPOSED WATER SERVICE      |  |
| PROPOSED STORM SEWER        |  |
| PROPOSED MITERED END SWALE  |  |

**STANDARD POTABLE WATER SEPARATION STATEMENT:**

1. SANITARY SEWERS (INCLUDING LATERALS), FORCE MAINS, GAS MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS, SANITARY SEWERS, GAS MAINS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.

- GENERAL UTILITY CONSTRUCTION NOTES:**
1. LOCATION OF UTILITIES AND SERVICE POINTS ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES.
  2. WATER MAIN PRESSURE TESTING: 150 PSI. FORCE MAIN PRESSURE TESTING: 100 PSI.
  3. MAXIMUM OBTAINABLE SEPARATION OF RECLAIMED WATER LINES AND DOMESTIC WATER LINES SHALL BE PRACTICED. A MINIMUM HORIZONTAL SEPARATION OF FIVE FEET (CENTER TO CENTER) OF NEW LINES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN RECLAIMED WATER LINES AND EITHER POTABLE WATER MAINS OR SEWAGE COLLECTION LINES. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN RECLAIMED WATER LINES AND POTABLE SEWAGE COLLECTION LINES AT CROSSINGS. PROVISIONS OF FAC RULE 62-604 AND "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES" (10 STATES STANDARDS) LATEST EDITION SHALL APPLY.
  4. HORIZONTAL SEPARATION OF 15 FEET TO BUILDING, TOP OF BANKS OF LAKES AND CANALS AND OTHER STRUCTURES SHALL BE MAINTAINED, IF POSSIBLE, AN ABSOLUTE MINIMUM OF 10 FEET MAY BE ALLOWED ONLY WHEN UNAVOIDABLE.
  5. ALL UTILITY SEPARATIONS & CLEARANCES SHALL BE IN ACCORDANCE WITH PSLUSD STANDARD TECHNICAL SPECIFICATIONS, LATEST EDITION.

**HYDROSTATIC AND LEAKAGE TESTING**

A. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT SUCH AS PUMPS, GAUGES AND WATER MEASURING TANKS AND SHALL PERFORM ALL WORK REQUIRED FOR PIPE PRESSURE AND LEAKAGE TEST. HYDROSTATIC AND LEAKAGE TESTS SHALL BE MADE BETWEEN VALVES AND/OR CONNECTORS FOR EACH SECTION TESTED USING THE PROCEDURE OUTLINE IN ANSI/AWWA C600.

B. HYDROSTATIC TESTING SHALL BE PERFORMED AT 150 AND 100 POUNDS PER SQUARE INCH PRESSURE. FOR A PERIOD OF NOT LESS THAN TWO HOURS FOR WATER/FORCE MAINS AND LOW PRESSURE MAINS RESPECTIVELY. THE ALLOWABLE RATE OF LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{SD(P)^2}{148,000}$$

L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR.  
 S = LENGTH OF PIPE TESTED, FEET.  
 D = NOMINAL DIAMETER OF THE PIPE IN INCHES.  
 P = AVERAGE TEST PRESSURE MAINTAINED DURING THE LEAKAGE TEST IN POUNDS PER SQUARE INCH GAUGE.

C. THE TESTING PROCEDURE SHALL INCLUDE THE CONTINUED APPLICATION OF THE SPECIFIED PRESSURE TO THE TEST SYSTEM FOR THE TWO-HOUR PERIOD BY WAY OF A PUMP TAKING SUPPLY FROM A CONTAINER SUITABLE FOR MEASURING WATER LOSS. THE AMOUNT OF LOSS SHALL BE DETERMINED BY MEASURING THE VOLUME DISPLACED FROM SAID CONTAINER. ANY EXPOSED PIPE, FITTINGS, VALVES, HYDRANTS, AND JOINTS SHALL BE EXAMINED DURING THE TEST. ANY DAMAGED OR DEFECTIVE PIPE FITTINGS, VALVES, OR HYDRANTS THAT ARE DISCOVERED FOLLOWING THE PRESSURE TEST SHALL BE REPAIRED OR REPLACED WITH SOUND MATERIAL, AND ALL TESTS SHALL BE REPEATED.

D. THE PRESSURE SHALL NOT VARY BY MORE THAN ±5 PSI FROM THE REQUIRED PRESSURE FOR THE DURATION OF THE TEST. IF AT ANY POINT DURING THE TEST THE PRESSURE LOSS EXCEEDS 5 PSI, THE TEST IS CONSIDERED FAILED. SHOULD THE TEST FAIL, NECESSARY REPAIRS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AND THE TEST REPEATED UNTIL WITHIN THE ESTABLISHED LIMITS.



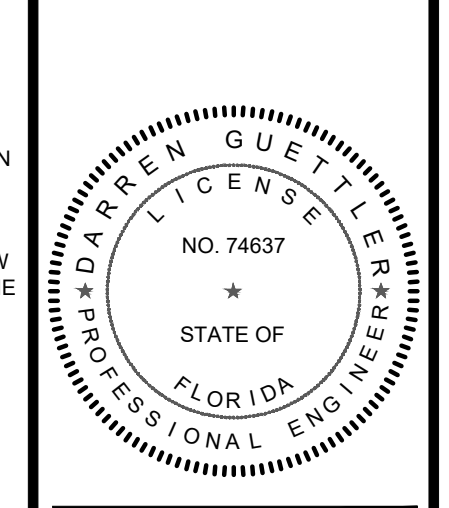
**REVISIONS:**

| BY: | DATE:    | COMMENT:                      |
|-----|----------|-------------------------------|
| JM  | 01/17/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 03/09/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 05/03/23 | PER CITY OF PSL SFRG COMMENTS |

**NOT FOR CONSTRUCTION**

**TRADITION STORAGE CROSS TOWN RETAIL**

**THE MAYFAIR LLC**



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
5/11/23

PROJECT NO.: 22-1033  
DRAWN BY: SOJC  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD ID.: 22-1033-WS PLAN

**WATER & WASTEWATER PLAN**

SHEET NUMBER: **07**

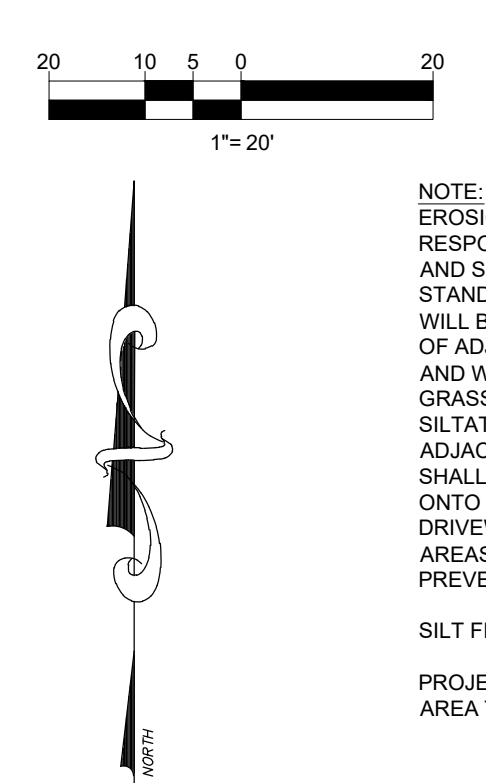
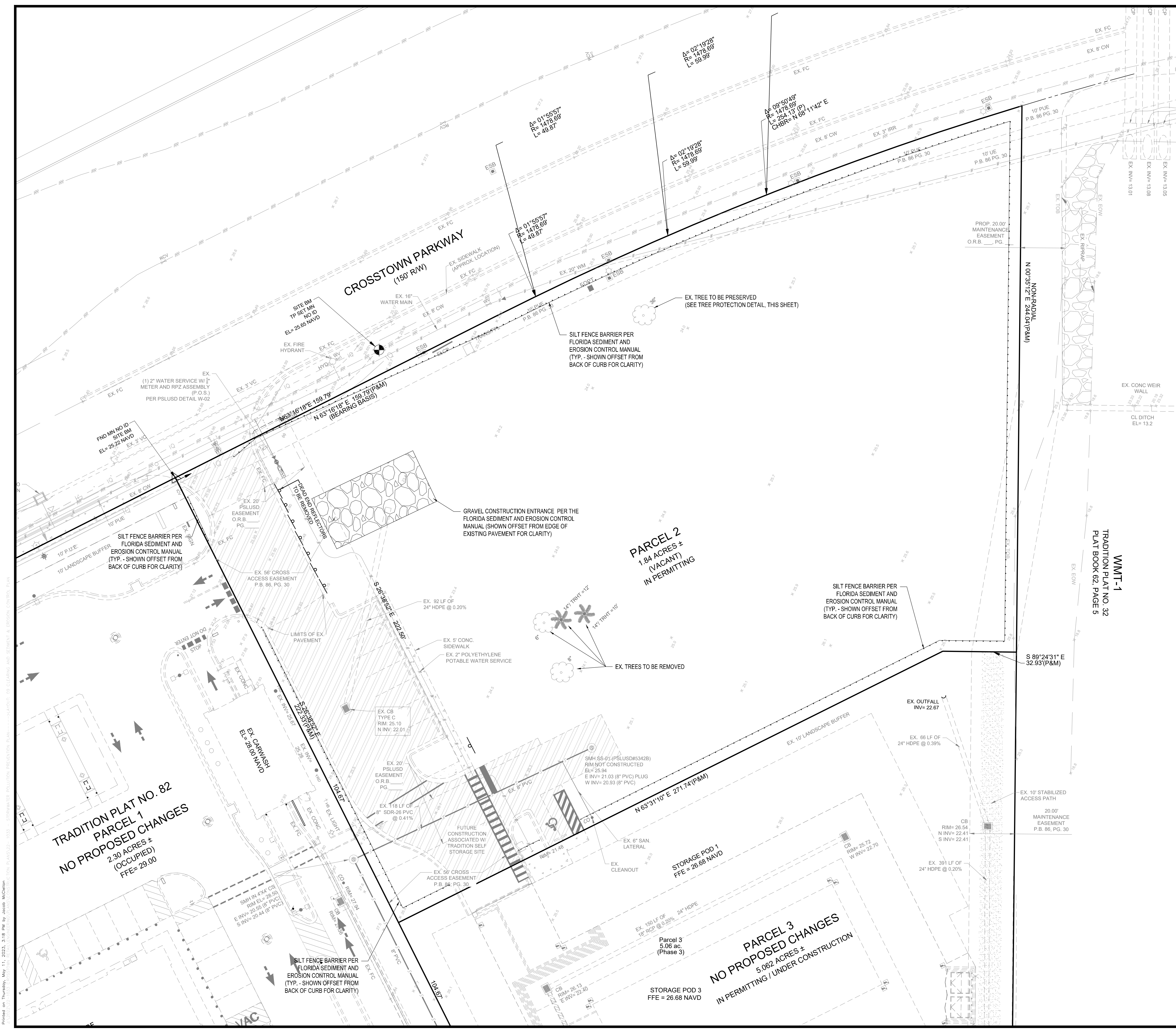


CITY OF PSL PROJECT NO. P19-133-A2  
PSLUSD FILE NO. 5342C

Printed on Thursday, May 11, 2023, 3:17 PM by Joseph McClellan







NOTE:  
 EROSION AND SEDIMENT CONTROL - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING EROSION AND SEDIMENT CONTROL USING THE LATEST F.O.T. STANDARDS. BALED HAY, STRAW, AND SILTATION BARRIERS WILL BE INSTALLED WHERE NEEDED TO PREVENT SILTATION OF ADJACENT PROPERTY, PUBLIC RIGHT-OF-WAY, WETLANDS AND WATERWAYS. THESE WILL REMAIN IN PLACE UNTIL GRASSING OR SOODING HAS BEEN COMPLETED OR UNTIL SILTATION AND EROSION ARE NO LONGER A THREAT TO ADJACENT PROPERTIES AND WATERWAYS. STREET SWEEPING SHALL BE PERFORMED ANYTIME SEDIMENT HAS BEEN TRACKED ONTO THE ADJACENT ROADWAYS FROM THE SITE OR THE DRIVEWAYS. SHOULD DUST BECOME AN ISSUE, ALL UNSTABILIZED AREAS SHALL BE WETTED DOWN SUFFICIENTLY IN ORDER TO PREVENT DUST.

SILT FENCE SHALL BE IN PLACE PRIOR TO CLEARING  
 PROJECT AREA: 80,033 S.F. (1.84 AC)  
 AREA TO BE CLEARED: 80,033 S.F. (1.84 AC)

| LEGEND |   |
|--------|---|
|        | EXISTING WATER MAIN                     |
|        | EXISTING FORCE MAIN                     |
|        | EXISTING GRAVITY SEWER MAIN             |
|        | EXISTING EDGE OF PAVEMENT TO REMAIN     |
|        | EXISTING EDGE OF PAVEMENT TO BE REMOVED |
|        | SILT FENCE                              |
|        | SIGNAGE TO BE REMOVED                   |

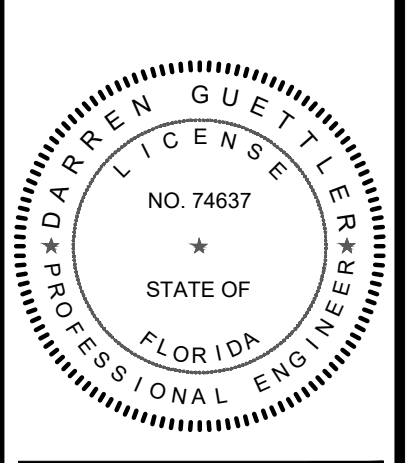


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| BY:        | DATE:    | COMMENT:                       |
| JM         | 01/17/23 | PER CITY OF PSL SFRFC COMMENTS |
| JM         | 03/09/23 | PER CITY OF PSL SFRFC COMMENTS |
| JM         | 05/03/23 | PER CITY OF PSL SFRFC COMMENTS |

**NOT FOR CONSTRUCTION**

PROJECT:  
**TRADITION STORAGE  
 CROSTOWN RETAIL**

CLIENT:  
**THE MAYFAIR  
 LLC**  
 FLORIDA

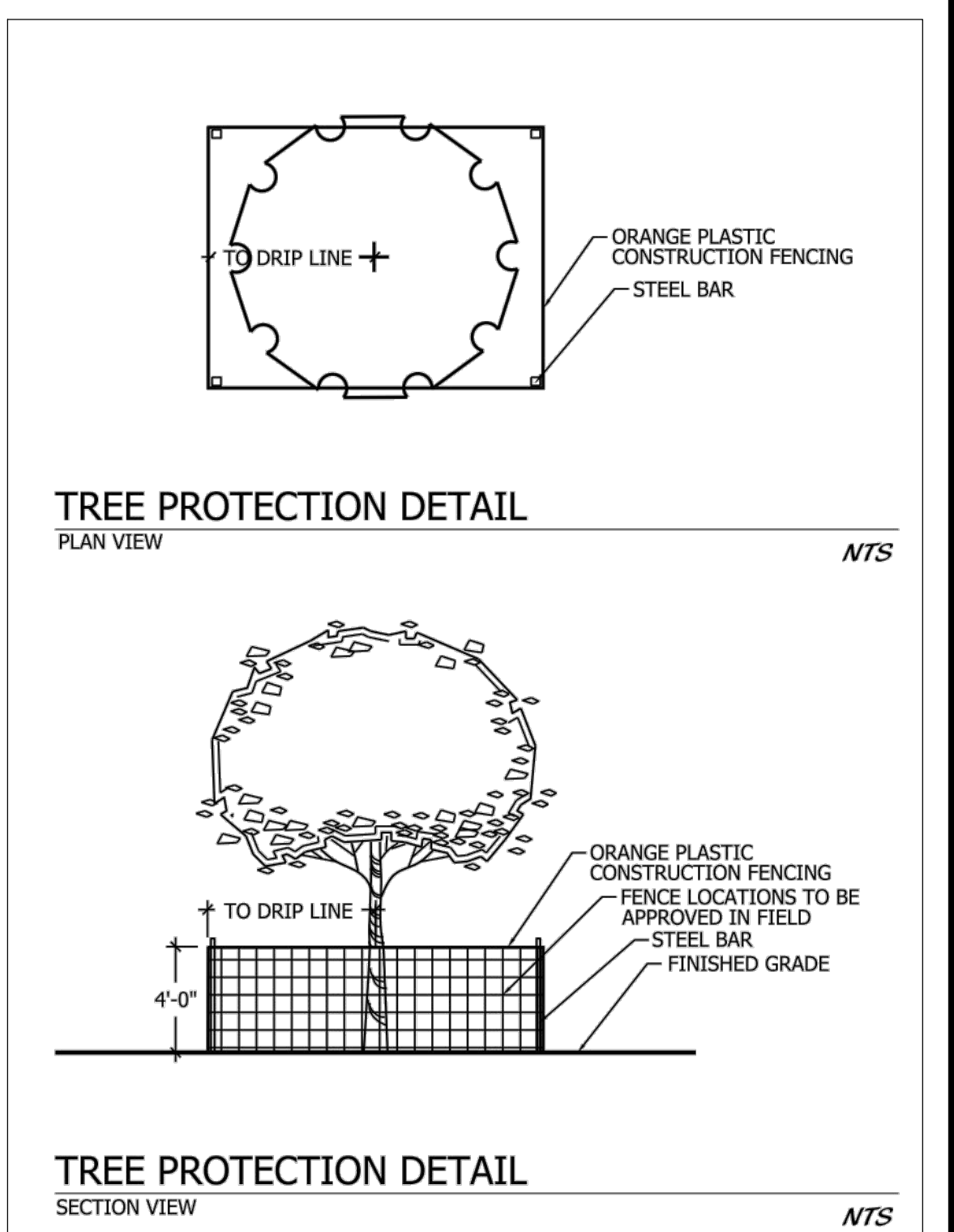


DARREN GUETTLER, PE  
 FLORIDA LICENSE NO. 74637  
 5/11/23

PROJECT NO.: 22-1033  
 DRAWN BY: SOG  
 CHECKED BY: DG  
 DATE: 09/26/2022  
 CAD ID: 22-1033-STORMWATER POLLUTION PREVENTION PLAN

SHEET TITLE:  
**CLEARING AND  
 SEDIMENT &  
 EROSION  
 CONTROL PLAN**

SHEET NUMBER:  
**09**



811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG  
 CITY OF PSL PROJECT NO. P19-133-A2  
 PSLUSD FILE NO. 5342C

|            |   |  |
|------------|---|--|
| Section 1  | Project Name and location information:  | Crosstown Retail<br>City of Port St. Lucie, Florida  |
| Section 2  | Describe the nature of the construction activity:   | Construction activities consist of the construction of two 1-story buildings and associated paved parking that will serve the project site in the City of Port St. Lucie, St. Lucie County, Florida  |
| Section 3  | Describe the intended sequence of major soil disturbing activities:<br>The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal or exceeds the erosion and sediment control practices described in this document, and is approved by the Engineer. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for providing a detailed sequence of construction for all construction activities.   | <ol style="list-style-type: none"> <li>1. Placement of all erosion control devices.</li> <li>2. Clearing and grubbing, earthwork, filling of the existing lake, and excavation of the dry detention area.</li> <li>3. Storm sewer construction; all storm sewer shall be constructed in the upstream direction.</li> <li>4. Water &amp; wastewater utility construction.</li> <li>5. Earthwork associated with roadway, curb, subgrade, base and pavement.</li> <li>6. Final seed and mulch and landscaping and sodding of the unpaved project area as called for in plans.</li> </ol>   |
| Section 4  | Total area onsite and offsite:  | 1.84 acres   |
| Section 5  | Total area onsite and offsite to be disturbed:  | 1.84 acres   |
| Section 6  | Existing data describing the soil or quality of any stormwater discharge from the site:<br>The soils are silty fine sand to clean sands. The small sand particle size will make the potential for erosion high.   | Runoff Data<br>Runoff Coefficients: Before: 0.81<br>During: 0.30-0.81<br>After: 0.81   |
| Section 7  | Estimate the drainage area size for each discharge point:   | 1.84 acres   |
| Section 8  | Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:  | There is one (1) discharge point for the project. Lat. 27° 17' 29.81" N, Long. 80° 25' 57.64" W to the MS4 is the City of Port St. Lucie - FLR04E001   |
| Section 9  | Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented.<br>NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in s. 62-40.432, F.A.C., the applicable Stormwater or Environmental Resource Permitting requirements of the Department or a Water Management District, and the guidelines contained in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual, FDOT, FDEP, and any subsequent amendments. | <p>The following defines general quantities for the sequence of construction and the use of stabilization and structural practices. The contractor is also responsible for documenting this portion of the SWPPP. The construction of this project is expected to last twelve months.</p> <p>Install stabilized construction entrances at all common areas where construction vehicles will be entering and exiting the construction site. The driveways shall be constructed per the Florida Sediment and Erosion Control Manual.</p> <p>Install silt fences, Type III, around all ditch bottom inlets on the project, and the project perimeter. Filter cloth under the grates on catch basins may be used in lieu of a silt fence.</p> <p>Install staked turbidity barriers at the locations as indicated in the Paving and Drainage Plan (discharge points).</p> |
| Section 10 | Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc.   | <p>Temporary:<br/>Seed and mulch, and sod in accordance with Specification Section 104.</p> <p>Permanent:<br/>All stabilization practices shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily ceased. The contractor is also responsible for documenting this portion of the SWPPP.</p>  |
| Section 11 | Describe all structural controls to be implemented to divert stormwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins.  | <p>Temporary:<br/>Silt fence in accordance with the Florida Sediment and Erosion Control Manual.<br/>Staked turbidity barrier in accordance with the Florida Sediment and Erosion Control Manual.<br/>Soil tracking prevention device in accordance with the Florida Sediment and Erosion Control Manual.<br/>A stabilized construction entrance to be constructed per the Florida Sediment and Erosion Control Manual.<br/>All sediment controls shall be in place prior to any soil disturbing activity upstream of the control.</p>   |
| Section 12 | Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3,600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres.  | N/A - less than 10 acres   |
| Section 13 | Describe all permanent stormwater management controls such as, but not limited to, detention or retention systems or vegetated swales that will be installed during the construction process.   | All stormwater will be conveyed to the detention area south of the project on Parcel 3 through drainage structures and pipes.  |
| Section 14 | Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:   | All construction materials and debris will be placed in a dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site.   |
| Section 15 | Offsite vehicle tracking from construction entrances/exits:   | Off site vehicle tracking of sediments and dust generation will be minimized via a rock construction entrance, street sweeping and the use of water to keep dust down.   |
| Section 16 | The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:   | Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.   |
| Section 17 | The storage, application, generation and migration of all toxic substances:   | All paints and other chemicals will be stored in a locked covered shed.  |
| Section 18 | Other:  | Port-o-lets will be placed away from storm sewer systems, storm inlet(s), surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow for the discharge of polluted runoff.   |

Section 19 Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good and effective operating condition.

Contractor shall provide routine maintenance of permanent and temporary sediment and erosion control features in accordance with the technical specifications or as follows, whichever is more stringent:

- Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier.
- Maintenance shall be performed on the rock entrance when any void spaces are full of sediment.
- Inlet(s)/outfalls shall be inspected immediately after each rain event and any required repairs to the filter inlets, silt fence, or filter fabric shall be performed immediately.
- Bare areas of the site that were previously seeded shall be reseeded per manufacturers' instructions.
- Mulch and sod that has been washed out shall be replaced immediately.
- Maintain all other areas of the site with proper controls as necessary.

Section 20 Inspections: Describe the inspection and inspection documentation procedures, as required by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

Qualified personnel will inspect all points of discharges, all disturbed areas of construction that have not been stabilized, constructed areas and locations where vehicles enter and exit the site, and all BMPs at least once every 7 calendar days and within 24 hours of the end of a rainfall event that is 0.5 inches or greater. Where sites have been finally stabilized, said inspections shall be conducted at least once every month until the Notice of Termination is filed.

Section 21 Identify and describe all sources of non-stormwater discharges as allowed by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The contractor is required to submit a dewatering plan to SFWMD for approval prior to commencement of any construction activities that require dewatering. This plan shall include any stockpile areas and excavation areas. The contractor is responsible for documenting this portion of the SWPPP. If contaminated soil or groundwater is encountered, contact the District Hazardous Materials Coordinator

Section 22 Site Map

The construction plans will substitute as site maps. Locations of the required information are described below.

Drainage Patterns:  
The drainage flow directions are shown on the Paving and Drainage Plan.

Approximate Slopes:  
The slopes of the site can be seen on the Grading and Drainage plan and cross sections.

Areas of Soil Disturbance:  
The areas to be disturbed are indicated on the plan. Any areas where permanent features are shown to be constructed above or below ground will be disturbed.

Areas not to be disturbed:  
Those areas shown outside of the limits of the silt fence will not be disturbed.

Locations of Controls:  
The erosion control devices and locations are shown on the Sediment & Erosion Control Plan.

Areas to be stabilized:  
Temporary stabilization practices are also shown on the plans, if applicable. Areas of permanent stabilization are shown on the Paving and Drainage Plan.

Surface Water:  
Surface water runoff will be collected by inlets and culverts and direct stormwater south to Parcel 3. Flows are then directed into the Tradition Master Stormwater Management System for Basin B/Canal.

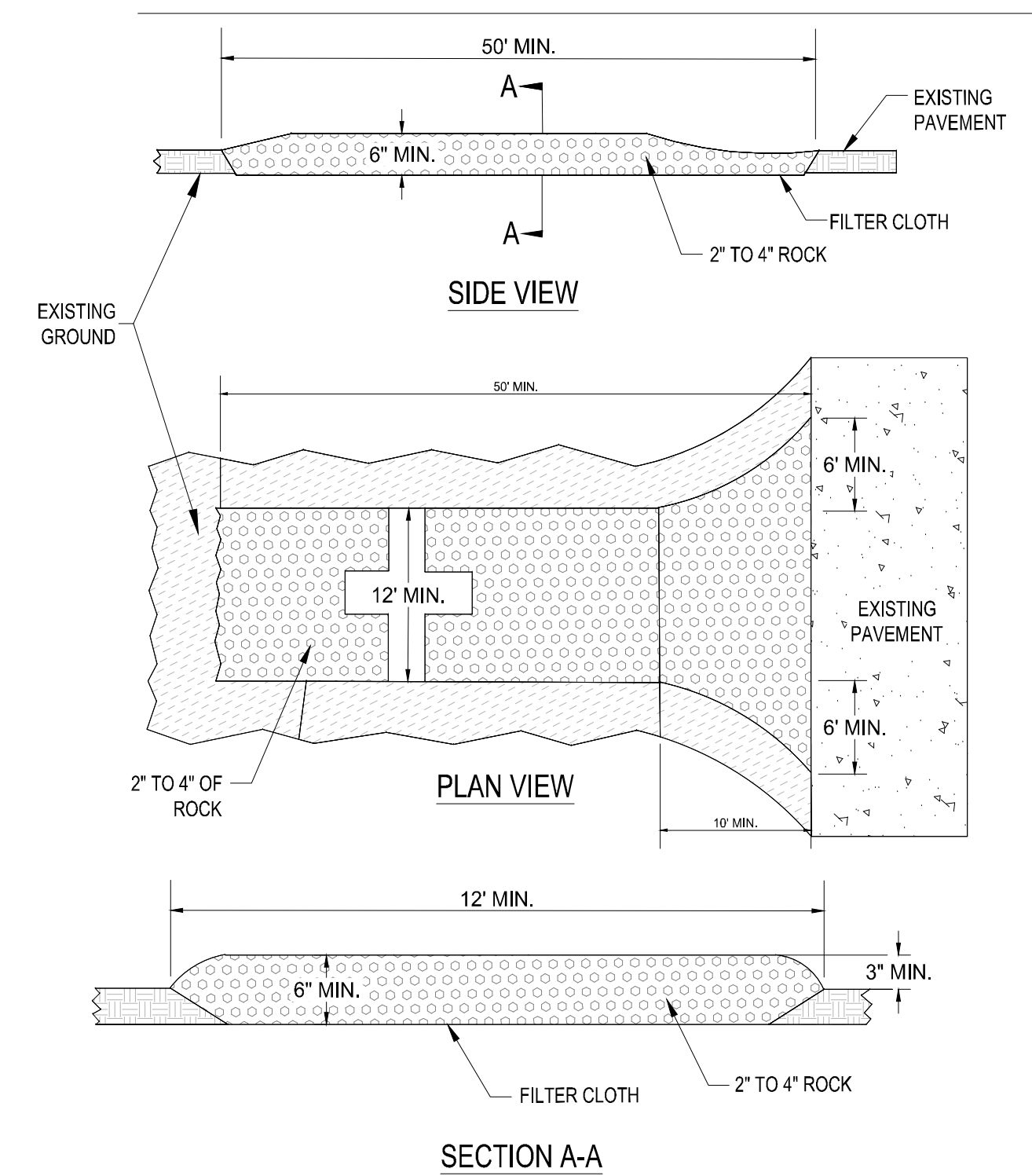
Receiving Waters:  
The master stormwater management system outfalls to the existing canal to the east. Flows are then directed north to the C-24 Canal via various existing canals. Ultimate outfall is the north fork of the St. Lucie River.

Section 23 All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following certification:

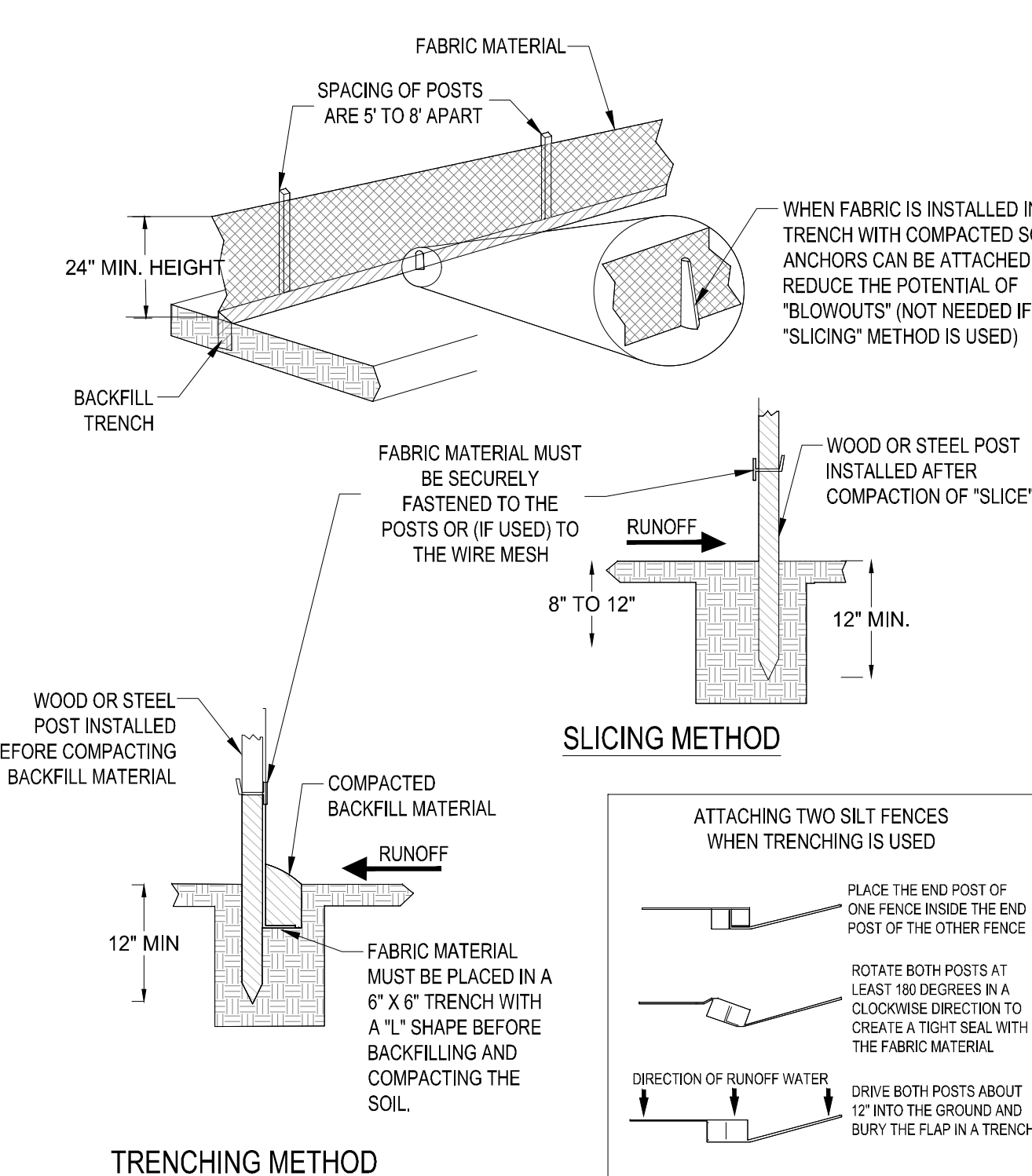
"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder. This document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Operator and/or Responsible Authority) \_\_\_\_\_ Date \_\_\_\_\_

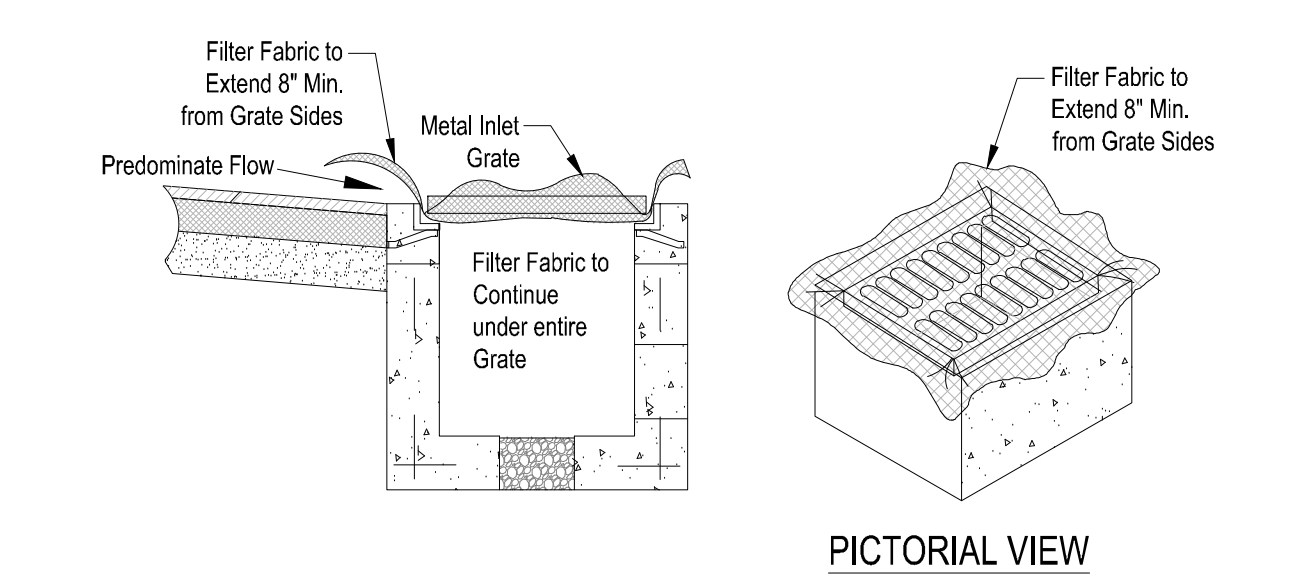
| Name | Title | Company Name, Address and Phone Number | Responsible Items | Date |
|------|-------|--|-------------------|------|
|      |       |  |                   |      |
|      |       |  |                   |      |
|      |       |  |                   |      |
|      |       |  |                   |      |



### SOIL TRACKING PREVENTION DEVICE

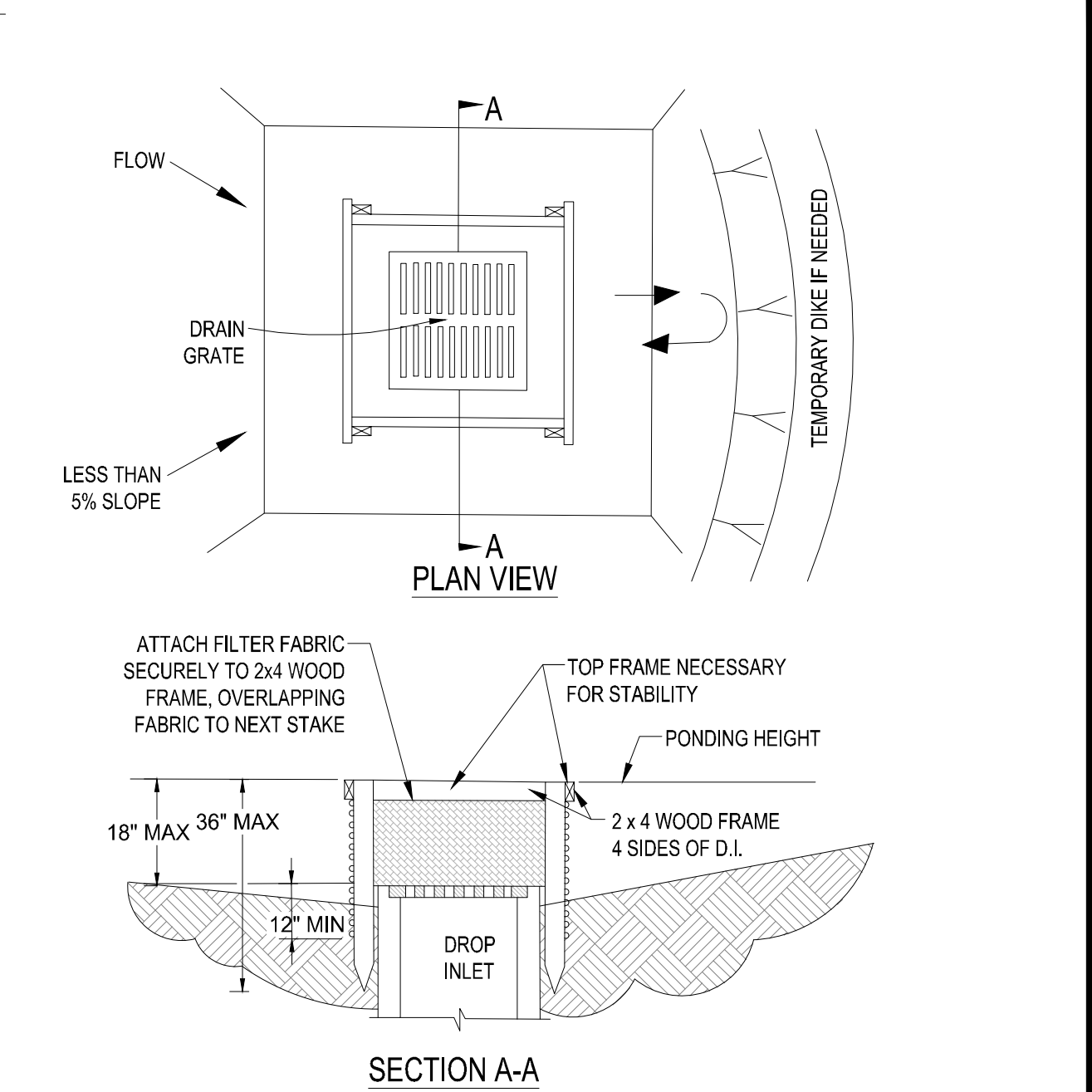


### SILT FENCE BARRIER INSTALLATION



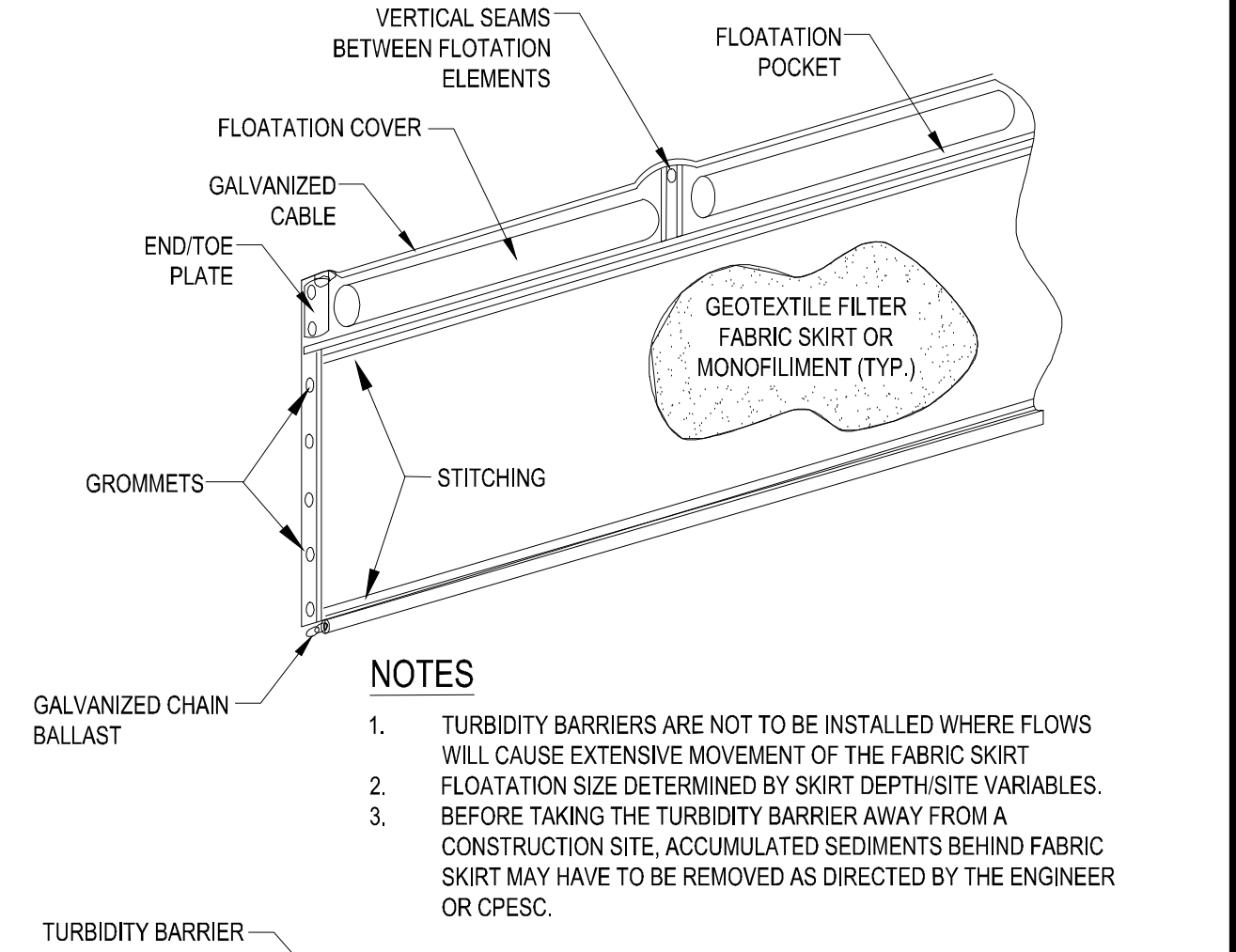
GENERAL NOTES:  
1. THIS INLET IS DESIGNED WITH FILTER FABRIC PROTRUDING 8" FROM SIDES FOR GRIPPING WHEN SEDIMENT NEEDS TO BE CLEARED AFTER FINAL CONSTRUCTION.  
2. FILTER FABRIC TO BE INSTALLED AND TRIMMED BEFORE GRATE IS INST.

### FILTER FABRIC DETAIL



NOTES:  
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)  
2. USE 2 x 4 WOOD OR EQUIVALENT METAL STAKES, (3' MIN. LENGTH)  
3. INSTALL 2 x 4 WOOD TOP FRAME TO INSURE STABILITY.  
4. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE OF THE STRUCTURE.

### SILT FENCE DROP INLET SEDIMENT BARRIER



NOTES  
1. TURBIDITY BARRIERS ARE NOT TO BE INSTALLED WHERE FLOWS WILL CAUSE EXTENSIVE MOVEMENT OF THE FABRIC SKIRT  
2. FLOATATION SIZE DETERMINED BY SKIRT DEPTH/SITE VARIABLES.  
3. BEFORE TAKING THE TURBIDITY BARRIER AWAY FROM A CONSTRUCTION SITE, ACCUMULATED SEDIMENTS BEHIND FABRIC SKIRT MAY HAVE TO BE REMOVED AS DIRECTED BY THE ENGINEER OR CPESC.

### TURBIDITY BARRIER

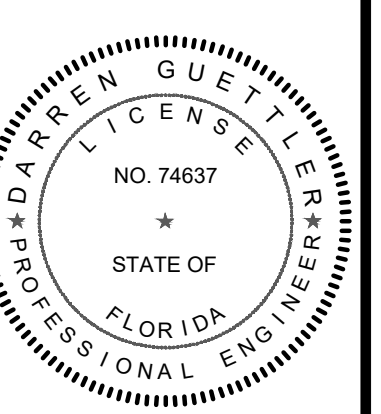


| BY: | DATE:    | COMMENT:                      |
|-----|----------|-------------------------------|
| JM  | 01/17/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 03/09/23 | PER CITY OF PSL SFRG COMMENTS |
| JM  | 05/03/23 | PER CITY OF PSL SFRG COMMENTS |

NOT FOR CONSTRUCTION

PROJECT:  
TRADITION STORAGE  
CROSSTOWN RETAIL

CLIENT:  
THE MAYFAIR  
LLC  
FLORIDA



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
5/11/23

PROJECT No.: 22-1033  
DRAWN BY: SOIC  
CHECKED BY: DG  
DATE: 09/26/2022  
CAD ID: 22-1033 - STORMWATER POLLUTION PREVENTION PLAN

SHEET TITLE:  
STORMWATER POLLUTION PREVENTION PLAN

SHEET NUMBER:  
10



CITY OF PSL PROJECT NO. P19-133-A2  
PSLUSD FILE NO. 5342C