

BHA - SILVER PALM

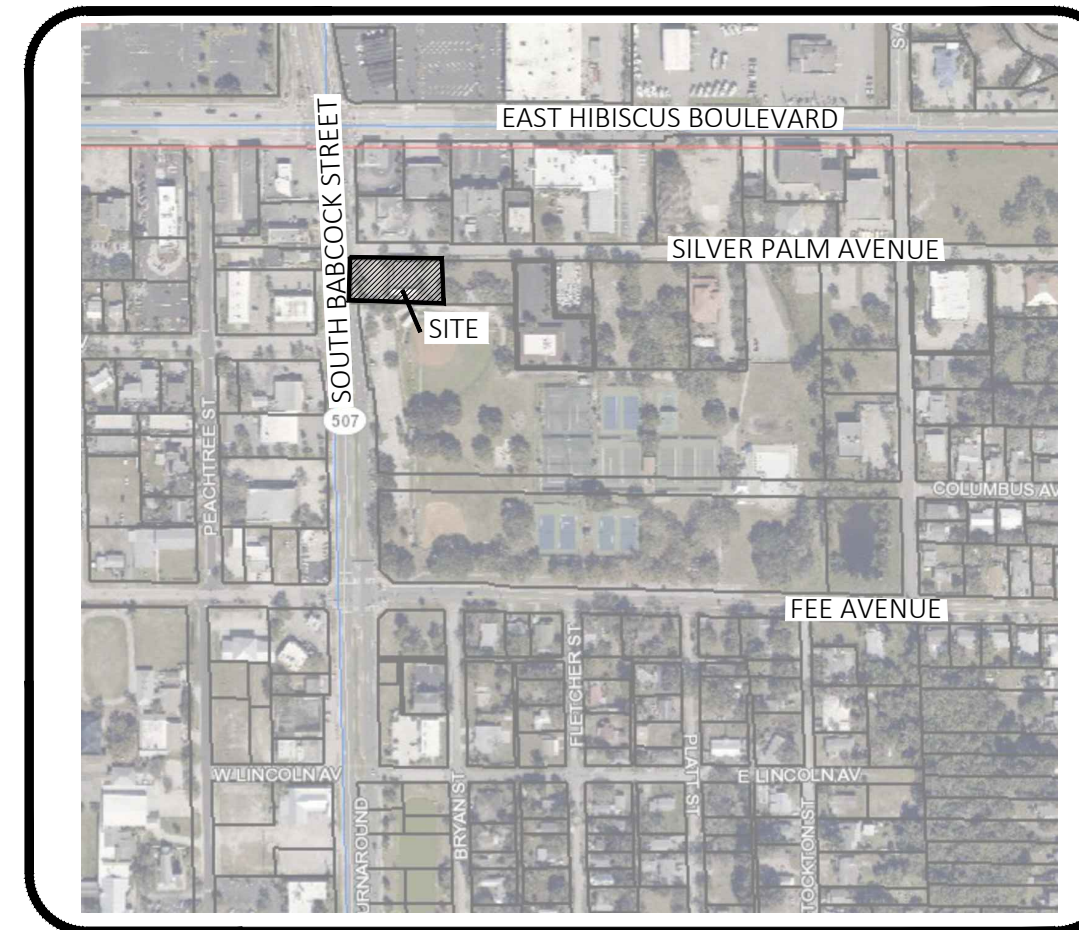
MELBOURNE, FLORIDA

DATE:

JUNE 1, 2023

PREPARED FOR:

BREVARD HEALTH ALLIANCE, INC.



VICINITY MAP
NTS

INDEX OF DRAWINGS:

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING CONDITION AND DEMO PLAN
C-3	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
C-4	DIMENSION AND STRIPING PLAN
C-5	SITE AND UTILITY PLAN
C-6	GRADING AND DRAINAGE PLAN
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C-9	SPECIFICATIONS
L-1	LANDSCAPE PLAN

GENERAL STATEMENT

THIS PROJECT CONSISTS OF TYPICAL SITE AMENITIES TO ACCOMMODATE A NEW TWO STORY COMMERCIAL MEDICAL OFFICE TO REPLACE THE EXISTING FACILITY ON THIS PROPERTY. THE PROPOSED SITE IMPROVEMENTS INCLUDE: REQUIRED HANDICAP PARKING SPACES, A BIKE RACK, EMPLOYEE AND PATIENT PARKING SPACES AS WELL AS A DUMPSTER FOR SOLID WASTE COLLECTION. WATER AND SEWER CONNECTIONS FROM THE EXISTING BUILDING SHALL BE UPGRADED AS NEEDED FOR THE PROPOSED BUILDING. A FIRE PROTECTION SYSTEM FOR THE BUILDING SHALL ALSO BE PROVIDED. THE OVERALL DEVELOPMENT WILL BE SUPPORTED BY A PROPOSED DRY RETENTION STORMWATER POND TO TREAT STORMWATER RUNOFF GENERATED FROM THE SITE.

CONTACT INFORMATION

OWNER BREVARD HEALTH ALLIANCE, INC. 4315 WOODLAND PARK DRIVE, SUITE 101 MELBOURNE, FL 32904 TEL: 321-241-6845	CIVIL ENGINEER: TRAUGER CONSULTING ENGINEERS, INC. 2210 FRONT STREET STE MELBOURNE, FL 32901 TEL: 321-652-5316 E-MAIL: JIM@TRAUGERCONSULTING.COM
SURVEYOR: MORGAN & ASSOCIATES CHRISTOPHER S. BOWERS 504 NORTH HARBOR CITY BOULEVARD MELBOURNE, FL 32955 TEL: 321-751-6088 FAX: 321-751-6089	ARCHITECT: MELD STUDIO ARCHITECTURE, LLC JEFF ANDERSON 1542 GUAVA AVENUE MELBOURNE, FL 32935 TEL: 321-428-3869 EMAIL: JEFF@MELDARCH.COM

SITE DATA

TOTAL LOT ACREAGE: 0.83 ACRES	TOWNSHIP: 28S
FUTURE LAND USE: GC - GENERAL COMMERCIAL	RANGE: 37E
ZONING CLASSIFICATION: C-1 - NEIGHBORHOOD COMMERCIAL	SECTION: 3
FIRM #12009C603G (3-17-2014) FLOOD ZONE 'X'	
PARCEL ID : 28-37-03-26*-20 AND 28-37-03-26*-20.01	
TAX ACCOUNT NUMBER: 2817590 AND 2865673	
ADDRESS: 17 SILVER PALM AVE MELBOURNE FL 32901	

CALCULATIONS

LOT COVERAGES - EXISTING:	SF	ACRE	PERCENT
EXISTING BUILDING:	3,941	0.09	11%
EXISTING IMPERVIOUS:	14,868	0.34	41%
TOTAL EXISTING IMPERVIOUS AREA:	18,809	0.43	52%
TOTAL EXISTING PERVIOUS AREA:	17,325	0.40	48%
TOTAL GROSS AREA:	36,134	0.83	100%

LOT COVERAGES - PROPOSED:	SF	ACRE	PERCENT
PROPOSED BUILDING:	4,538	0.10	13%
PROPOSED IMPERVIOUS:	18,230	0.42	50%
TOTAL PROPOSED IMPERVIOUS AREA:	22,758	0.52	63%
TOTAL PROPOSED PERVIOUS AREA:	13,376	0.31	37%
TOTAL GROSS AREA:	36,134	0.83	100%

SETBACKS:	MINIMUM	PROPOSED
SIDE INTERIOR (SOUTH)	0'	4.0'
FRONT (WEST)	20'	20.0'
REAR (EAST)	0'	275.6'
SIDE CORNER (NORTH)	20'	20.0'

PARKING SPACE CALCULATIONS:
1 SPACE PER 175 SF OF BUILDING EXCLUDING ACCESSORY STORAGE

PARKING SPACES REQUIRED:
2-STORY 4,539 BUILDING = 29,078 SF TOTAL
BUILDING STORAGE AREA REDUCTION = 1,236 SF (13.6% - BASED ON BUILDING FLOORPLAN)
7,850 SF / 175 = 45 SPACES REQUIRED

TOTAL SPACES PROVIDED:
45 SPACES INCLUDING 2 HANDICAP PARKING SPACES
INCLUDING 10 EMPLOYEE SPACES

BUILDING DATA

MAXIMUM ALLOWED BUILDING HEIGHT PERMITTED= 4 FLOORS WITH A MAXIMUM OF 48'
PROPOSED BUILDING HEIGHT ≤ 48' (2 STORY)
FAR ALLOWED: 2
FAR PROPOSED: ±9,078 SF / 36,155 SF = 0.25

FIRE FLOW CALCULATIONS

CONSTRUCTION TYPE: II B
NEW BUILDING: ±9,078 SF

FIRE FLOW RATE, PER FFPC TABLE 18.4.5.1.2: 2,000 GPM - 75% REDUCTION FOR AUTOMATIC SPRINKLER SYSTEM = 500 GPM.

NUMBER OF HYDRANTS REQUIRED: 1
NUMBER OF PROPOSED HYDRANTS: 1

LEGAL DESCRIPTION:

VERBATIM PER OFFICIAL RECORDS BOOK 6012, PAGE 2103,
PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

NORTH 100 FEET OF LOT 20 & 21, JOHNSON AND RODES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN DEED BOOK 58, PAGE(S) 409, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

SURVEY LEGEND:

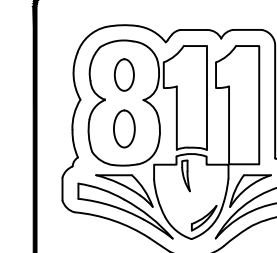
(C) = CALCULATED	— = SIGN	• = SPOT ELEVATION, AT GROUND
(D) = DEED	N = NORTH OR NORTHING	• = SPOT ELEVATION, HARD SURFACE
(M) = MEASURED	E = EAST OR EASTING	— = BOLLARD
(R) = RECORD	S = SOUTH	■ = 1/4" IR IN CONC. MONUMENT FOUND
(P) = PLAT	W = WEST	• = IRON WARMER FOUND
Δ = DELTA	IR = IRON ROD	• = 1/2" IRON MARKER SET "LB7040"
CL = CENTERLINE	IR-CAP = IRON ROD & CAP	• = NAIL & DISC FOUND
R = RADIUS	IR-DISC = IRON ROD & DISC	• = NAIL
R/W = RIGHT-OF-WAY	IR-NAIL = IRON ROD & NAIL	• = WOOD UTILITY POLE
TYP = TYPICAL	TRP = TRAVERSE POINT	— = BREAKLINE
N.T.S. = NOT TO SCALE	— = BACKFLOW PREVENTOR	■ = ASPHALT
ORB = OFFICIAL RECORDS BOOK	— = ASPHALT	■ = CONCRETE
PG. = PAGE	D.B. = DEED BOOK	
P.B. = PLAT BOOK		

LEGEND:

DESCRIPTION	
PROPOSED BUILDING	
CONCRETE SIDEWALK/CONCRETE DRIVEWAY	
ASPHALT DRIVE	
DEMOLITION	
PROPERTY LINE	
FIRE WATER LINE	
WATER LINE	
SEWER LINE	
SILT FENCE	
STORMWATER PIPE	
STORMWATER POND CONTOUR	
SPOT ELEVATION	
SWALE OR FLOW DIRECTION	
APPROXIMATE TREE LOCATION (DBH NOT VERIFIED)	
TREE REMOVAL	
TREE PRESERVATION	

This item has been digitally signed and sealed by J. Trauger PE, on the date listed on the digital seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

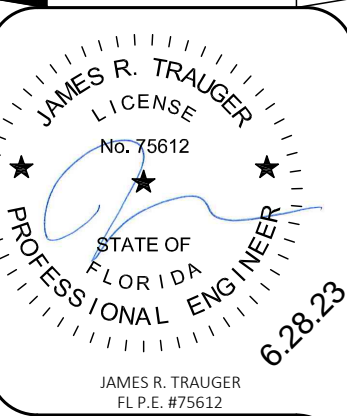
It's fast, it's free, it's the law.

Call 811 two business days before digging

REV#	DATE	REVISION

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2210 FRONT STREET STE 204, MELBOURNE, FL 32901
jim@TraugerConsulting.com 0321.372.3060 (C) 321.372.3060

BHA - SILVER PALM
MELBOURNE, FLORIDA
COVER SHEET



DATE: 6-1-2023

TOWNSHIP: 28S

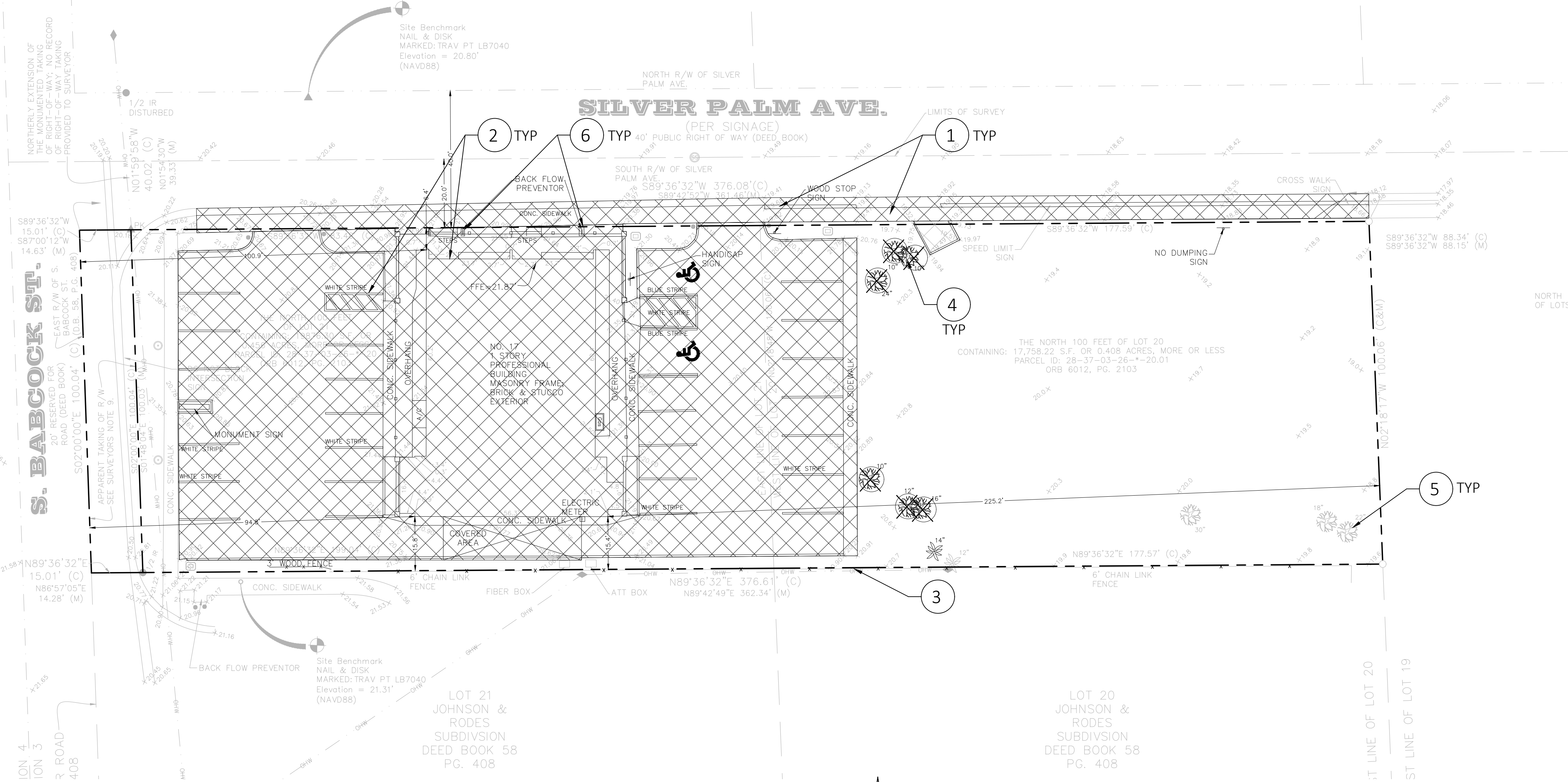
RANGE: 37E

SECTION: 3

SCALE: NTS

DRAWING NO. C-1

DRAWN BY: TLW
PROJECT: 22-145



EXISTING AND DEMOLITION PLAN
1"=20'

GENERAL NOTES: (ALL DRAWINGS)

- SEE TYPICAL DETAILS ON FOLLOWING SHEETS FOR ADDITIONAL CONSTRUCTION DETAIL INFORMATION.
- CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS.
- CONTRACTOR SHALL CONTACT ENGINEER OF RECORD AND ALL REGULATING AGENCIES FOR COORDINATION OF COMMENCEMENT PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED OFF-SITE SHALL BE RESTORED TO EQUAL OR BETTER CONDITION THAN PRE-CONSTRUCTION WITH SAME TYPE OF SOIL AS EXISTING.
- CONTRACTOR SHALL COMPLY WITH ALL RECOMMENDATIONS OF UNIVERSAL ENGINEERING SURFACE EXPLORATION REPORT FOR THIS SITE. CONTRACTOR SHALL OBTAIN FROM ENGINEER OF RECORD OR THE GEOTECHNICAL COMPANY.
- SLOPE ALL SIDEWALKS TO FLOW AWAY FROM BUILDING WITH A MINIMUM OF 1% AND A MAXIMUM 2% CROSS SLOPE.
- PROVIDE CONSTANT SLOPE BETWEEN ALL SPOT ELEVATIONS.
- UTILITY LENGTHS ARE APPROXIMATE BASED ON FIELD OBSERVATIONS AND AS-BUILT DRAWINGS. CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE, DEPTH, AND MATERIAL OF EXISTING UTILITIES. PROVIDE ADDITIONAL PIPING AND FITTINGS AS NECESSARY. NOTIFY ENGINEER OF SIGNIFICANT INCREASES.
- NOTIFY ENGINEER MINIMUM 72 HOURS (WEEKDAYS) PRIOR TO MAKING UTILITY CONNECTIONS OR BACK FILLING UTILITY TRENCHES FOR INSPECTION. IF NOT NOTIFIED, CONTRACTOR SHALL EXPOSE LINES PER ENGINEER'S REQUEST FOR INSPECTIONS.
- ALL TRAFFIC SIGNS SHALL BE INSTALLED PER STANDARD FDOT INDEX NOS. 700-010 AND 700-101.
- ALL RADII ARE 5' UNLESS IDENTIFIED OTHERWISE.
- PROVIDE 36" LONG TRANSITION WITH CONSTANT SLOPE FROM TOP OF CURB TO GRADE AT TERMINATION POINT OF CURBS.
- ALL DIMENSIONS ARE TO FACE OF CURB.
- CONTRACTOR SHALL CLEAR AND GRUB ALL VEGETATION ON-SITE EXCEPT TREES SHOWN TO REMAIN ON THIS PLAN OR LANDSCAPE PLANS.
- PROVIDE SILT FENCE ALONG ENTIRE PERIMETER OF PROJECT AREA EXCLUDING ENTRANCE DRIVEWAYS OR AS SHOWN ON DRAWING C-3. PLACE SILT FENCE ALONG TOP OF BANK OF STORM PONDS TO PREVENT SILTATION.
- ALL WASTE SHALL BE DISPOSED OF OFF-SITE IN A SAFE AND LEGAL MANNER UNLESS OWNER SPECIFICALLY REQUESTS OTHERWISE.
- FOR DEMOLITION OF ALL ASPHALT AND CONCRETE MATERIALS, SAWCUT EDGES FOR SMOOTH STRAIGHT EDGE. ALSO SAWCUT ALL EXISTING PAVEMENT EDGES FOR SMOOTH STRAIGHT EDGE AT ALL TIE-IN POINTS WITH NEW PAVEMENT OR CONCRETE.
- PROVIDE HANDICAP ACCESSIBLE CONNECTION WITH TRUNCATED DOMES AT TERMINATION POINT OF ALL SIDEWALKS ADJACENT TO DRIVING LANES WITHIN COUNTY OR CITY RIGHTS-OF-WAY PER FDOT STANDARD INDEX NO. 522-002.
- CONTRACTOR SHALL VERIFY ON-SITE PRIOR TO BIDDING WORK THE FULL EXTENT OF DEMOLITION REQUIRED BASED ON SITE PLAN CONSTRUCTION DRAWINGS. ALL ITEMS SHALL BE INCLUDED IN BASE BIDS.
- REMOVE ALL ABOVE GROUND IMPROVEMENTS IN AREAS SHOWN FOR DEMOLITION UNLESS SPECIFICALLY IDENTIFIED OTHERWISE.
- SEE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUTS AND MECHANICAL/PLUMBING DWGS FOR MODIFICATIONS TO BUILDING.
- ALL SLOPES 4H:1V OR STEEPER SHALL BE SODDED. ALL SLOPES STEEPER THAN 3H:1V SHALL BE SODDED AND STAKED.
- CONTRACTOR SHALL PROVIDE ALL FITTINGS REQUIRED TO INSTALL UTILITIES PER PLAN.
- SUBMIT PROPOSED JOINT PLAN TO ENGINEER A MINIMUM OF ONE WEEK PRIOR TO POURING CONCRETE PAVEMENT FOR APPROVAL OR MODIFICATIONS.
- CONTACT UNDERGROUND UTILITIES LOCATE BEFORE COMMENCING ANY DIGGING A MINIMUM OF 48 HOURS IN ADVANCE AT 811.
- VERIFY THAT THE LANDSCAPE WORK IS COORDINATED WITH ALL UTILITIES AND STORMWATER SYSTEMS. A MINIMUM OF FIVE (5) FOOT HORIZONTAL SEPARATION BETWEEN TREES AND BURIED, AERIAL, OR GRADE-MOUNTED UTILITY SYSTEMS IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PUBLIC ROADWAYS, EASEMENTS, CURBS, SIDEWALKS, DRAINAGE SYSTEM, BENCHMARKS, OR UTILITIES AS A DIRECT RESULT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL BOUNDARY CORNERS AND BENCHMARKS DISTURBED OR DESTROYED DURING CONSTRUCTION REPLACED BY A FLORIDA LICENSED LAND SURVEYOR.
- ALL EXCAVATIONS OF GREATER DEPTH THAN 5' SHALL COMPLY WITH THE CURRENT OSHA TRENCH SAFETY STANDARDS 29 C.F.R. s. 1926.650 SUBPART P. ANY EXCAVATION WITHIN THE CLEARZONE SHALL ALSO COMPLY WITH ALL WARNING AND/OR BARRIER REQUIREMENTS OF FDOT INDEX NO. 102-600.
- STORM DRAIN CLEAN OUT SHALL MATCH SANITARY SEWER CLEAN OUT.
- ENGINEER OF RECORD DOES NOT WARRANT THE ACCURACY OF THE RECORD SURVEY.
- GRADING ADJACENT TO BUILDINGS SHALL BE 6" BELOW FINISHED FLOOR UNLESS IDENTIFIED OTHERWISE BY ARCHITECT OR ON GRADING PLANS.
- PROVIDE TRUNCATED DOMES IN RIGHT-OF-WAYS ONLY AND TACTILE SURFACE PER FLORIDA BUILDING CODE REQUIREMENTS ON-SITE AND IN RIGHT OF WAY.
- ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC TO PROHIBIT THE SEEPAGE OF SEDIMENT THROUGH THE JOINTS. REFER TO THE MOST RECENT FDOT INDEX FOR PIPE JOINT DETAIL AND SPECIFICATION.
- OWNER TO COMPLETE MAINTENANCE INSPECTIONS QUARTERLY AND AFTER EACH RAIN EVENT TO ENSURE ALL STORM STRUCTURES AS WELL AS THE OVERFLOW STRUCTURE ARE NOT CLOGGED OR BLOCKED BY DEBRIS. IF THE SUMP IS FULL AND THERE APPEARS TO BE SILTATION OR DEBRIS CLOGGING FLOWS, MAINTENANCE WILL BE COMPLETED BY THE TENANT IN THE FORM OF DEBRIS REMOVAL AND VACUUM TRUCK SERVICE FOR SILT REMOVAL. OPEN ROAD CUTS REQUIRES PRIOR APPROVAL OF THE CITY OF MELBOURNE AND ANY OTHER AGENCY WHICH MAY HAVE JURISDICTION.
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CITY OF MELBOURNE CODE OF ORDINANCES, DETAILS AND SPECIFICATIONS.
- ALL AREAS IN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION SHALL RECEIVE SOD TO MATCH EXISTING SOD TYPE UNLESS NOTED OTHERWISE ON THE PLANS.
- TRAFFIC CONTROL ON ALL COUNTY AND STATE HIGHWAY RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
- ALL MUCK OR OTHER SUCH UNSUITABLE MATERIAL ENCOUNTERED WITHIN ROAD RIGHT-OF-WAYS AND LOT AREAS SHALL BE FULLY EXCAVATED AND REPLACED WITH CLEAN, ON-SITE FILL MATERIAL COMPACTED TO 95% MAXIMUM DENSITY. ACTUAL EXTENT AND QUANTITY OF EXCAVATION SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION BY APPROPRIATE FIELD MEASUREMENT. DISPOSAL OF UNSUITABLE MATERIAL SHALL BE AS DIRECTED BY OWNER OR OWNER'S ENGINEER.
- ENGINEER OF RECORD DOES NOT WARRANT ACCURACY OF WATER LINE LOCATION. LOCATION PROVIDED BASED ON GIS PROVIDED BY CITY OF MELBOURNE. CONTRACTOR TO VERIFY LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION WITH CALL IN 811 LOCATES, MELBOURNE AIRPORT AUTHORITY COORDINATION.
- ANY WALLS LESS THAN 10' FROM PROPERTY LINE MUST BE A FIRE RATED WALL.

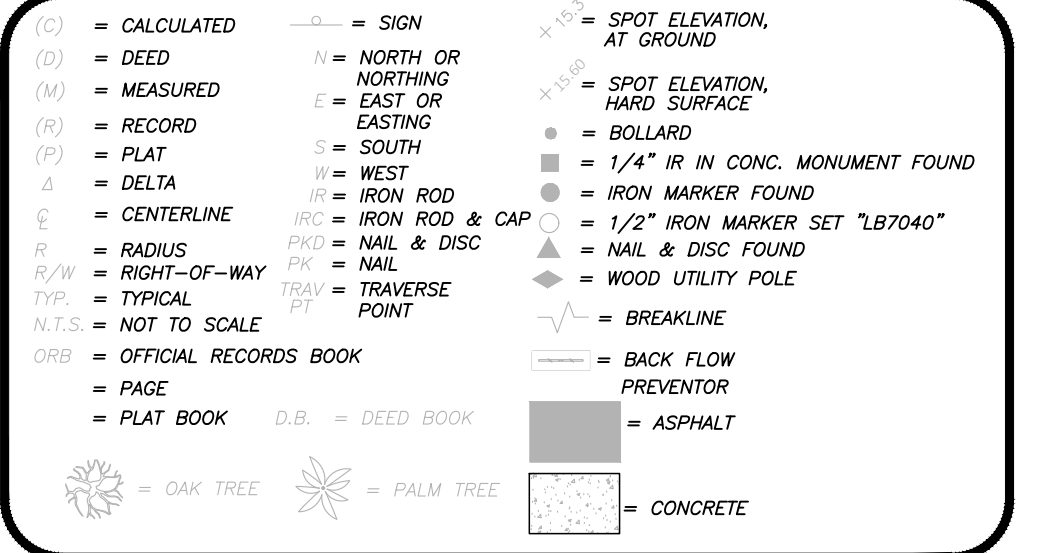
MELBOURNE (ALL DRAWINGS)

- STORMWATER FOR THE SITE WILL MEET ALL REQUIREMENT OF CHAPTER 50.
- ALL WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 CITY OF MELBOURNE TECHNICAL SPECIFICATIONS FOR CONSTRUCTION OF WATER DISTRIBUTION SYSTEMS.
- ALL SEWER COLLECTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 CITY OF MELBOURNE TECHNICAL SPECIFICATIONS FOR CONSTRUCTION OF WASTEWATER COLLECTION SYSTEMS.
- ALL SIGNS FOR SITE SHALL BE IN ACCORDANCE WITH APPENDIX D, CHAPTER 11.
- PARKING SHALL BE IN ACCORDANCE WITH APPENDIX D, CHAPTER 9 ARTICLE V, 7. ALL STREETS AND STORMWATER CONSTRUCTION SHALL BE ACCORDANCE WITH CITY OF MELBOURNE TECHNICAL SPECIFICATIONS FOR CONSTRUCTION OF STREETS, PAVING AND DRAINAGE SYSTEMS (1991).
- LANDSCAPING AND BUFFERING SHALL BE IN ACCORDANCE WITH APPENDIX D, CHAPTER 9, ARTICLE XV AND PART III, APPENDIX B, ARTICLE VI, SECTION 1(B)(4)(B)(6).
- ALL FENCING SHALL BE IN ACCORDANCE WITH APPENDIX D, CHAPTER 9, ARTICLE III. 10. A 50' BUFFER IS REQUIRED AND PROVIDED AS DETAILED IN THE PLAN VIEW ALONG REQUIRED COMMON PROPERTY LINES.
- ALL SIDEWALKS, RAMPS AND CROSS WALKS WILL BE BUILT AND INSPECTED TO MEET THE MOST CURRENT ADA GUIDELINES.
- PARKING WILL MEET ALL REQUIREMENTS OF APPENDIX D, CHAPTER 9, ARTICLE V AND APPENDIX B, ARTICLE VI, SECTION 1(B).
- ALL STREETS AND STORMWATER CONSTRUCTION SHALL BE ACCORDANCE WITH CITY OF MELBOURNE TECHNICAL SPECIFICATIONS FOR CONSTRUCTION OF STREETS, PAVING AND DRAINAGE SYSTEMS (1991).
- ALL DRAINAGE SYSTEMS WILL BE PRIVATELY MAINTAINED ON-SITE.
- ALL PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED.
- ANY WATER LINE CONNECTIONS OR EXPANSIONS TO THE EXISTING SYSTEM ON THE CUSTOMER SIDE OF THE METER WILL BE PRIVATELY OWNED AND MAINTAINED.
- THIS IS A PRIVATE SEWER SYSTEM. THE CITY'S POINT OF ACCEPTANCE SHALL BE THE CLEAN OUT AT THE PROPERTY LINE.
- WATER FOR FIRE FIGHTING PURPOSES SHALL BE AVAILABLE PRIOR TO COMBUSTIBLES BEING BROUGHT ON-SITE.
- ALL STOP SIGNS SHALL BE 30"x30" HIGH INTENSITY OR DIAMOND GRADE PER MUTCD R1-1. SEE TYPICAL CITY DETAIL.
- ALL SIGNS TO BE SHEETED WITH HIGH-INTENSITY OR BETTER REFLECTIVE SHEETING.
- STORMWATER PIPE JOINTS MUST BE WRAPPED WITH TYPAR WRAP WITH A MINIMUM OVERLAP OF 12". SEE TYPICAL DETAILS.
- THERE WILL BE NO UTILITY LATERALS, METER BOXES, OR VALVE BOXES IN EXISTING OR PROPOSED SIDEWALK OR DRIVEWAY AREAS.
- CONTRACTOR TO PROVIDE STABILIZED ALL-WEATHER TURNAROUND AREA DURING CONSTRUCTION FOR EMERGENCY VEHICLES.
- ALL 10-FOOT PARKING SPACES MUST BE SIGNED OR PAINTED "EMPLOYEE ONLY" ON FACE OF CURB.
- ANY DEBRIS ENTERING THE CITY SEWER SYSTEM WILL NEED TO BE REMOVED AT THE CONTRACTORS EXPENSE.
- IF THE SEPARATION BETWEEN A STORM PIPE AND SEWER LINE WITH STORM ABOVE SEWER IS LESS THAN 18", THE SEWER PIPE MUST BE UPGRADED WITH A 20" STICK OF C-900 GREEN IN COLOR. CONCRETE SADDLES MUST SUPPORT THE STORM PIPE.
- IF 3" OF COVER CANNOT BE MAINTAINED OVER THE SANITARY SEWER LINE, THE SEWER LINE MUST BE UPGRADED TO C-900 GREEN IN COLOR.
- MAXIMUM ELEVATION CHANGE AT THE ACCESSIBLE DOORS SHALL NOT EXCEED 1/4".
- ALL EXTERIOR WALLS LOCATED LESS THAN 10 FEET FROM PROPERTY LINES SHALL BE 1-HOUR FIRE RATED.
- ANY AREAS OFF-SITE MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION. MATCH EXISTING GRASS TYPE WITH NEW SOD FOR ALL DISTURBED AREAS.
- ALL INVASIVE AND NON-NATIVE TREES MUST BE REMOVED.
- PROVIDE TRUNCATED DOMES AND TACTILE SURFACE ON FULL LENGTH OF ALL RAMPS PER FLORIDA BUILDING CODE REQUIREMENTS. SEE TYPICAL DETAILS.
- MECHANICAL JOINT RESTRAINTS SHALL BE INSTALLED AT ALL CONNECTIONS, ON ANY BENDS, TEES, AND FIRE HYDRANTS.
- IRRIGATION HEADS MUST BE SHOWN AS PURPLE IN COLOR.
- ANY EXISTING SERVICE LINES THAT NEED TO BE RELOCATED OR REPLACED MUST BE CUT AND CAPPED AT THE CORPORATION STOP AND RUN A NEW SERVICE.
- ALL METERS WILL BE ABOVE GROUND.
- ALL ASPHALT CUTS ARE TO BE STRAIGHT CUTS WITH NO JIG SAW PUZZLE CUTS.
- ALL SIDEWALK AND CURBS ARE TO BE STRAIGHT CUTS.
- THE WATER LINE LOCATION HAS BEEN APPROXIMATED BASED ON CITY OF MELBOURNE GIS INFORMATION. CONTRACTOR TO VERIFY LOCATION IN FIELD PRIOR TO CONSTRUCTION.

CIVIL DEMO NOTES:

- REMOVE EXISTING CURB & SIDEWALK IN ROW AS NEEDED TO ACCOMMODATE IMPROVEMENTS SHOWN IN THESE DRAWINGS. SAW CUT CONCRETE & ASPHALT FOR SMOOTH STRAIGHT CONNECTIONS. CONTRACTOR TO PROVIDE MOT (INCLUDING PEDESTRIAN) WITH SCHEDULE TO CITY OF MELBOURNE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION COMMENCEMENT.
- REMOVE EXISTING ON SITE IMPROVEMENTS NOT SHOWN FOR PRESERVATION, INCLUDING BUT NOT LIMITED TO: BUILDING, SIDEWALKS, POSTS, SIGNAGE, ASPHALT, CURBS, & PLANTERS. IN AREAS OF PROPOSED LANDSCAPE ISLANDS, EXISTING SECTION TO BE REMOVED IN FULL DEPTH TO SUPPORT RE-VEGETATION.
- PROTECT EXISTING FENCE TO REMAIN.
- REMOVE EXISTING TREE COMPLETELY.
- PROVIDE TREE PROTECTION. SEE TYPICAL DETAIL.
- REMOVE UTILITY LINES NOT PROPOSED FOR USE IN NEW BUILDING CONSTRUCTION. CONTRACTOR TO CUT AND CAP UNUSED UTILITY SERVICES AT THE TAP OFF THE MAIN.

SURVEY LEGEND:



SURVEYOR'S NOTES:

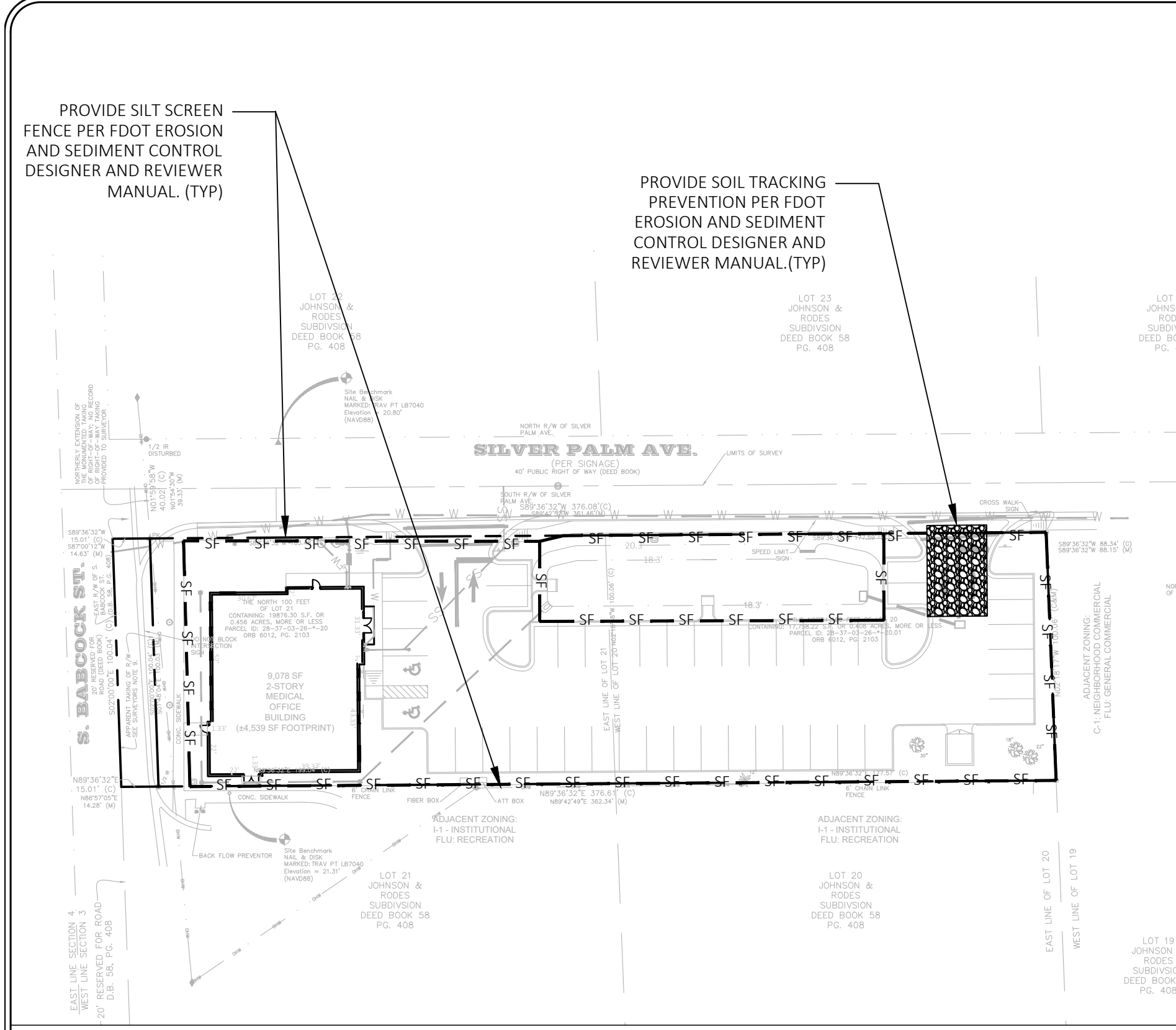
- TYPE OF SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY
- BEARINGS SHOWN HEREON ARE REFERRED TO AN ASSUMED VALUE OF S89°36'32"W FOR THE NORTH LINE OF LOTS 17, 18, 19, 20, & 21 OF JOHNSON AND RODES SUBDIVISION, AS RECORDED IN DEED BOOK 58, PAGE 408, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. SAID BEARING IS CALCULATED ACCORDING TO THE MONUMENTATION IN THE FIELD.
- ALL ELEVATIONS SHOWN HEREON ARE REFERENCED IN FEET TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED BY PERFORMING A CLOSED LEVEL LOOP USING A NATIONAL GEODETIC SURVEY BENCHMARK AS THE SOURCE. NGS PID: 056758, AN ALLOY ROD WITH A PUBLISHED ELEVATION OF 20.11 (NAVD88). THE SOURCE BENCHMARK IS LOCATED APPROXIMATELY 500' SOUTH OF THE SUBJECT PROPERTY AT FEE AVE. PARK.
- ONLY OPEN AND NOTORIOUS EVIDENCE OF EASEMENTS AND RIGHT-OF-WAY ARE LOCATED AND SHOWN HEREON. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, OR OTHER LIMITATIONS, EITHER RECORDED OR IMPLIED. NO OPINION OF TITLE OR OWNERSHIP IS HEREBY EXPRESSED OR IMPLIED BY THE SURVEYOR. EASEMENTS AND RIGHTS-OF-WAY SHOWN HEREON ONLY INCLUDE THOSE PROVIDED TO THE SURVEYOR OR THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE SURVEYOR HAS NOT LOCATED ANY UNDERGROUND UTILITIES OR FOUNDATIONS WHICH MAY ENCROACH.
- SOME FEATURES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES. PUBLISHED DIMENSIONS WILL PRECEDE MAP SCALING.
- UNDERGROUND UTILITIES AND IMPROVEMENTS WERE NOT SURVEYED AS PART OF THIS PROJECT.
- THE SUBJECT PROPERTY LIES IN ZONE "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 1200020303G, REVISED DATE: MARCH 17, 2014, COMMUNITY NO. 120025, PANEL NO. 0303, SURFEX 0.
- SURVEYOR WAS NOT PROVIDED WITH A CURRENT TITLE COMMITMENT. IT IS THE SURVEYOR'S OPINION BASED ON THE MONUMENTATION IN THE FIELD THAT THERE IS AN APPARENT TAKING OF RIGHT-OF-WAY ALONG S. BABCOCK ST.

REVISION	DATE	REV#

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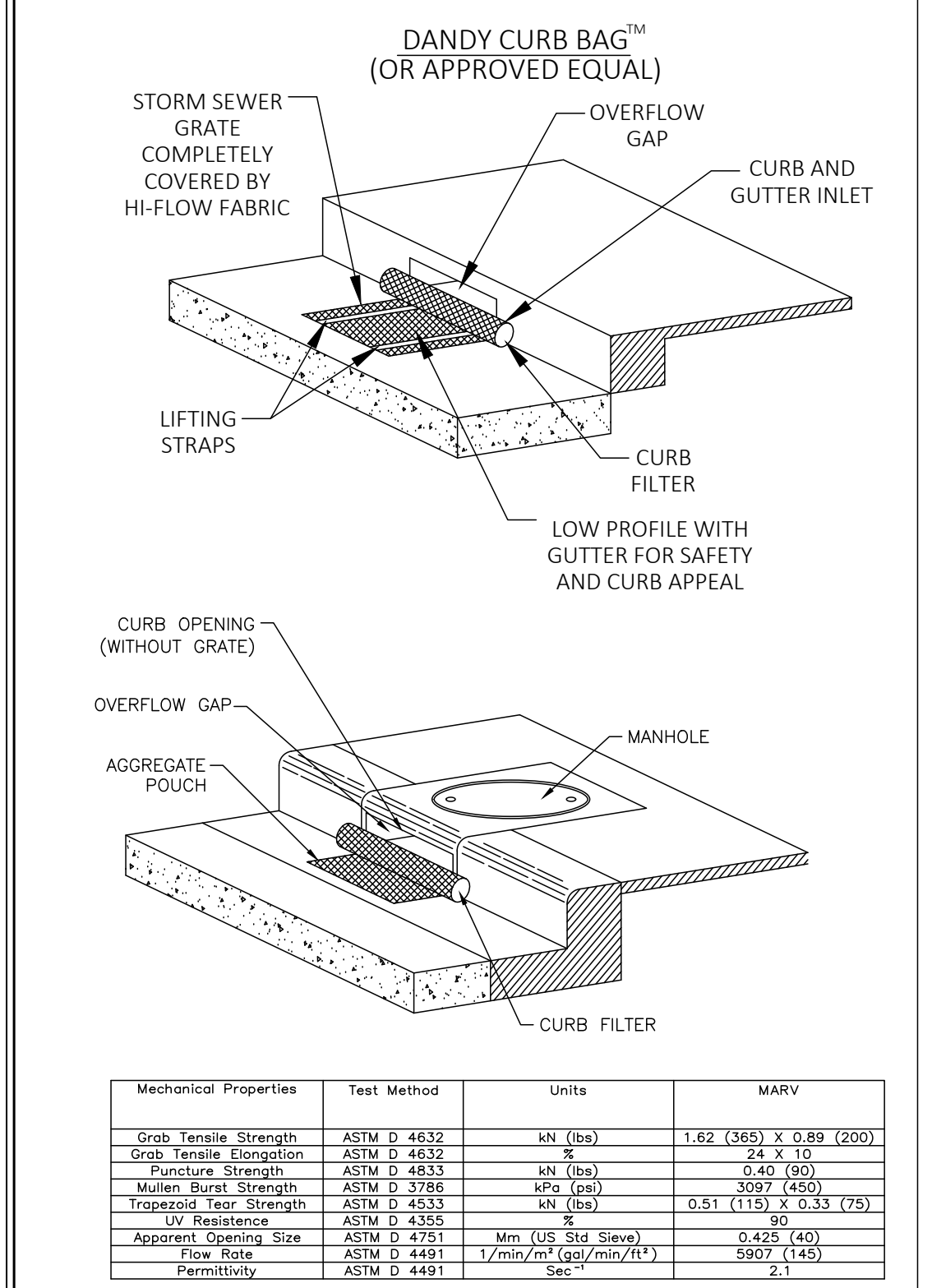
BHA - SILVER PALM
MELBOURNE, FLORIDA
EXISTING AND DEMOLITION PLAN

DATE:	6-1-2023
TOWNSHIP:	37E
RANGE:	28E
SECTION:	3
SCALE:	1"=20'
DRAWING NO.	C-2
DRAWN BY:	TLW
PROJECT:	22-145



DEWATERING SPECIFICATIONS:

- 1. MAINTAIN ADEQUATE SUPERVISION AND CONTROL TO ENSURE THAT STABILITY OF EXCAVATED AND CONSTRUCTED SLOPES ARE NOT ADVERSELY AFFECTED BY WATER, EROSION IS CONTROLLED, AND FLOODING OF EXCAVATION OR DAMAGE TO STRUCTURES DOES NOT OCCUR.



CURB INLET SEDIMENT CONTROL INLET INSERT

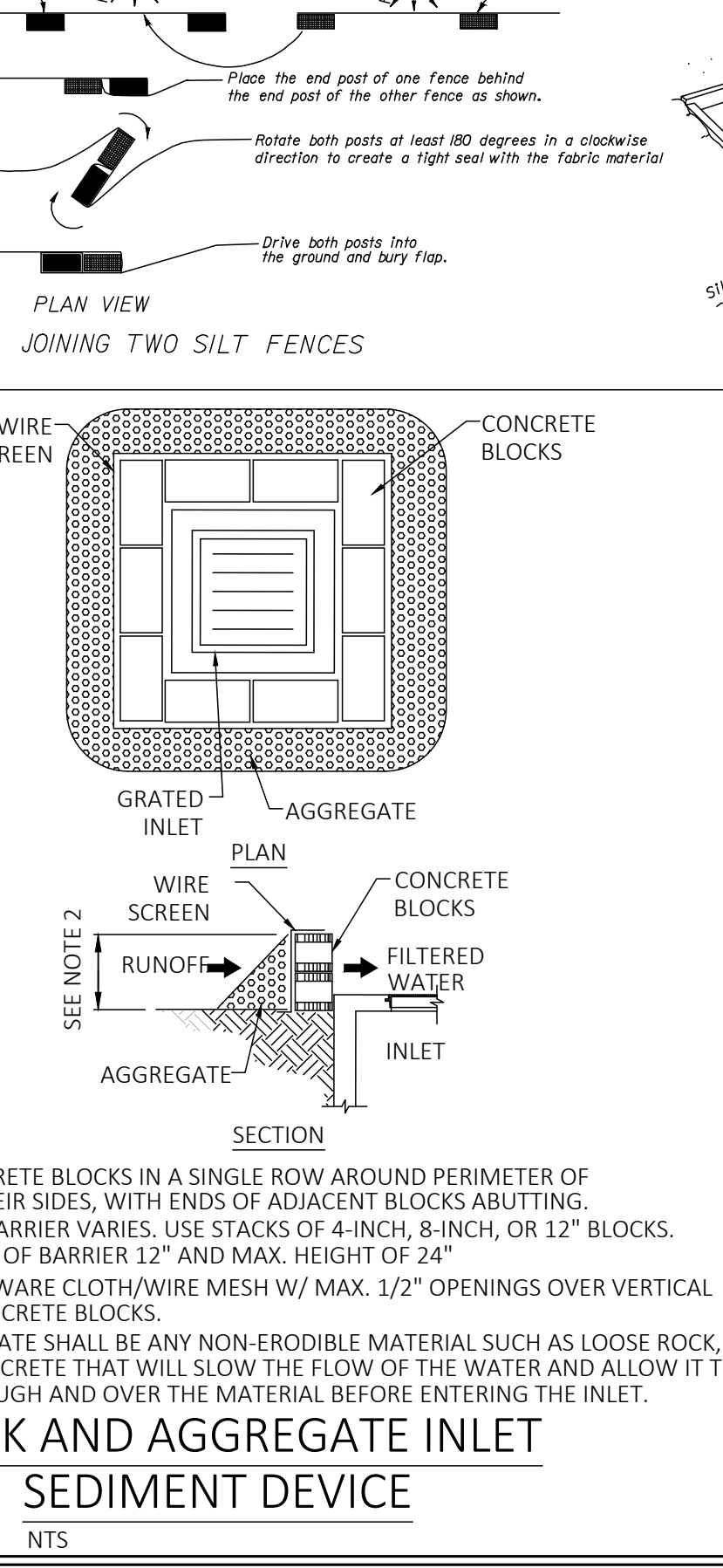
Table with 4 columns: Mechanical Properties, Test Method, Units, MARV. Lists properties like Grab Tensile Strength and Puncture Strength.

CONTRACTOR RESPONSIBILITIES FOR NPDES (SWPPP)

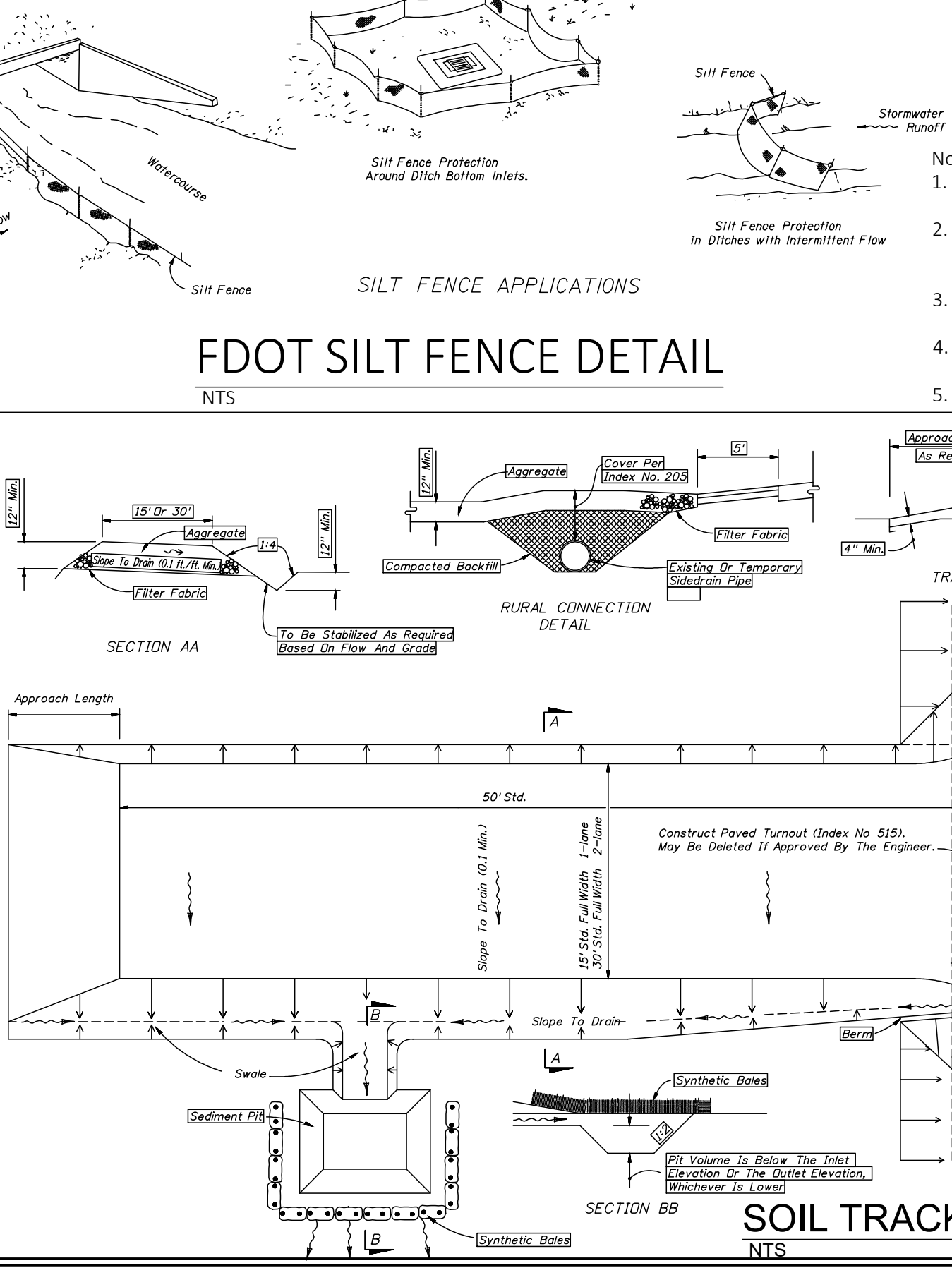
- 1. General Notes: A. Contractor shall comply with all requirements herein and all water management district, FDEP, EPA, Corps of Engineers, and Municipal/County with jurisdiction requirements.

DEWATERING PLAN:

- 1. Final grade and sod entire banks of dry retention ponds immediately. Stake sod in areas washouts occur.



BLOCK AND AGGREGATE INLET SEDIMENT DEVICE

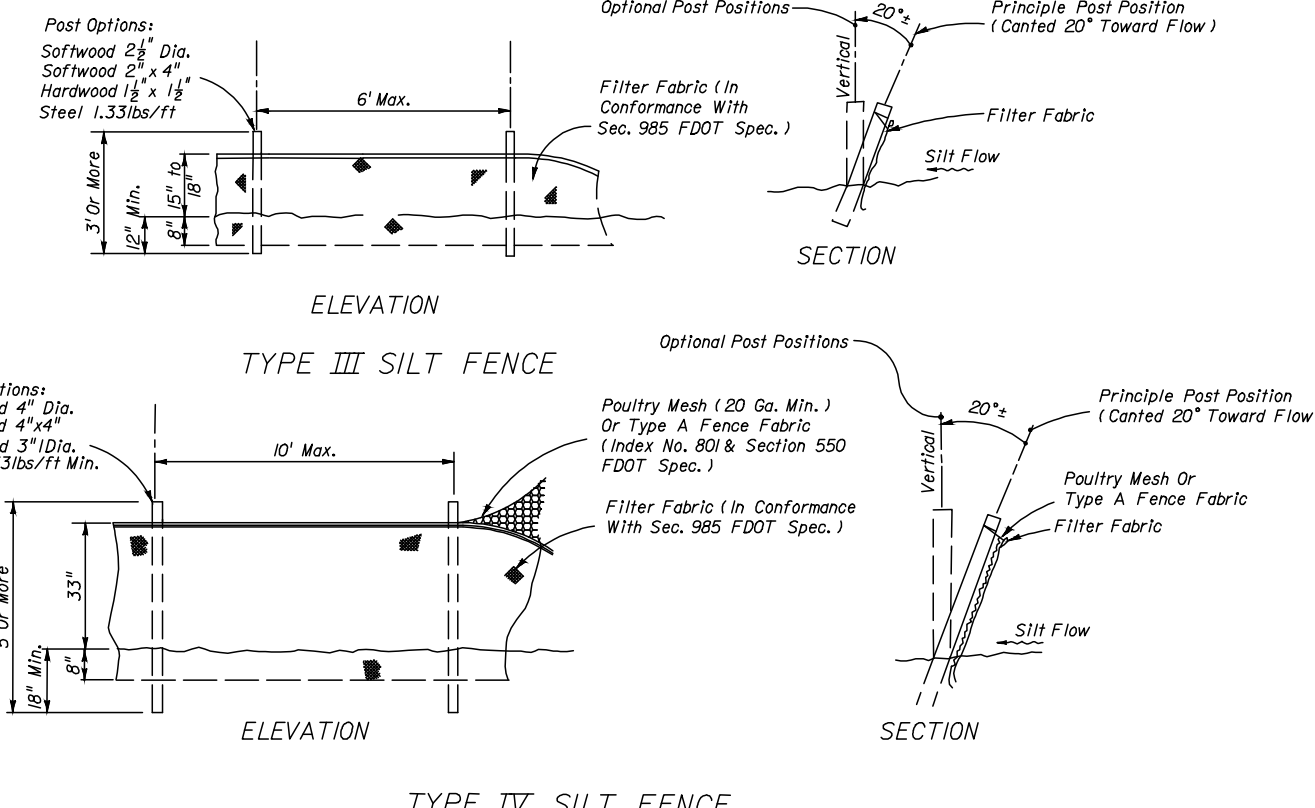


SOIL TRACKING PREVENTION DEVICE

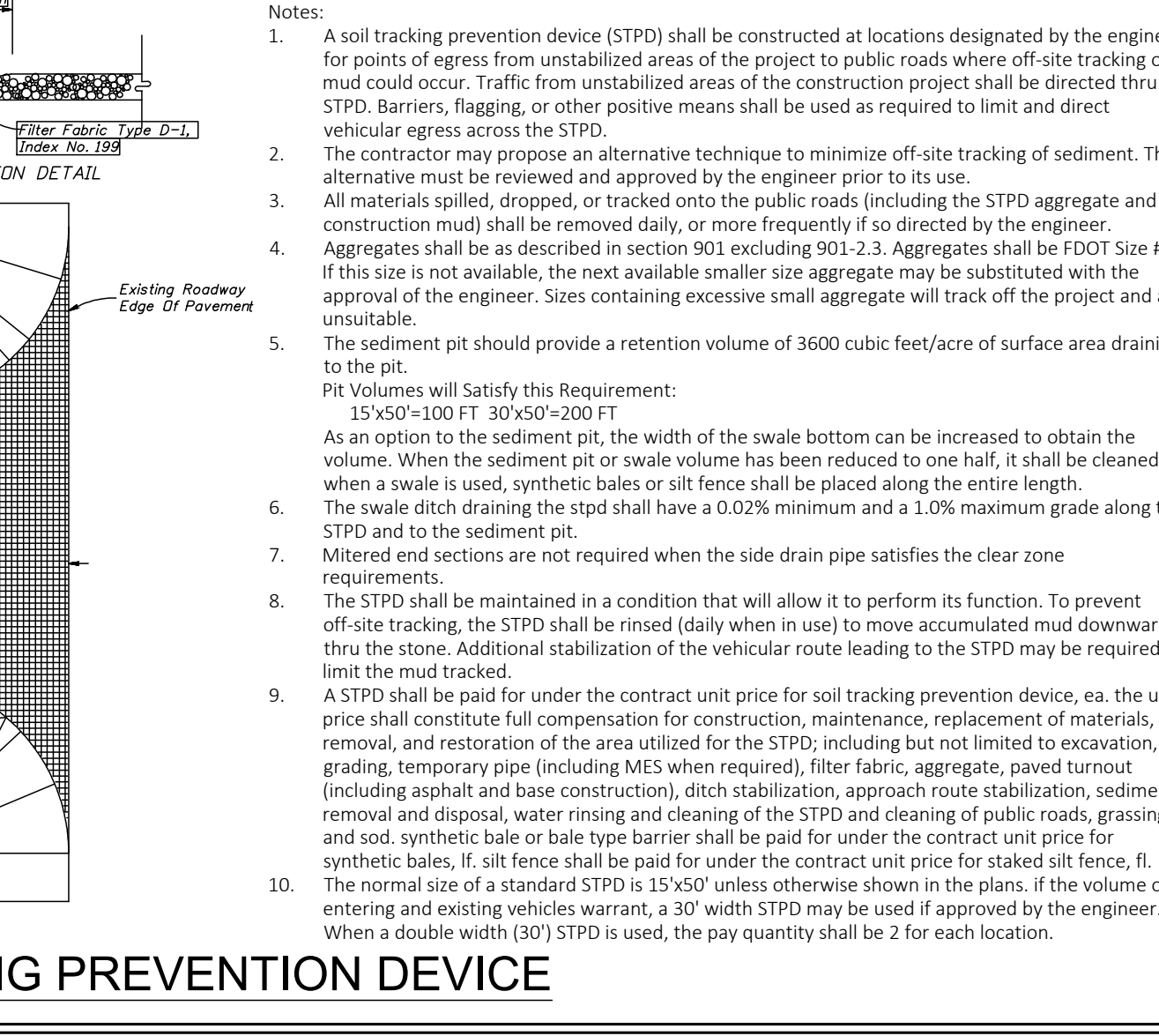
PERMITTEE / CONTRACTOR SIGN-OFF / ACKNOWLEDGEMENT: Operator (Permittee) Certification. Contractor's Certification. Subcontractor's Acknowledgement.

EROSION AND SEDIMENTATION CONTROL REQUIREMENTS

- 1. THE LAND-DISTURBING ACTIVITY SHALL CONFORM TO EXISTING TOPOGRAPHY AND SOIL TYPE SO AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL.



- Notes: 1. Type III silt fence to be used at most locations. Where used in ditches, the spacing for type III silt fence shall be in accordance with applicable State requirements.



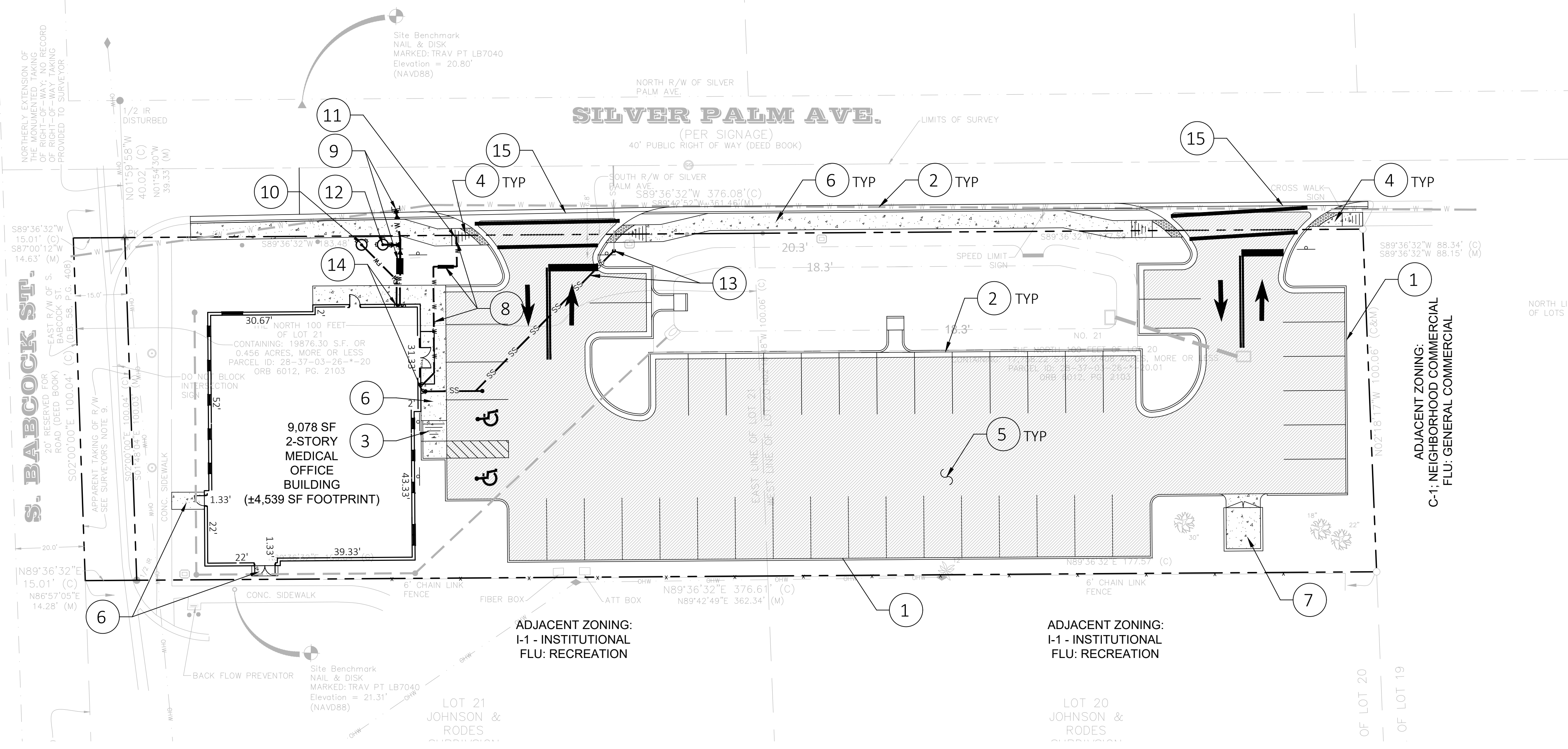
SEDIMENT PIT

Table with 2 columns: REVISION, DATE. For tracking changes to the plan.

TRAUGER CONSULTING ENGINEERS logo and address: 2210 FRONT STREET STE 204, MELBOURNE, FL 32901.

BHA - SILVER PALM MELBOURNE, FLORIDA STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

Professional Engineer seal for James R. Trauger, License No. 75612, State of Florida. Includes date: 6-1-2023.



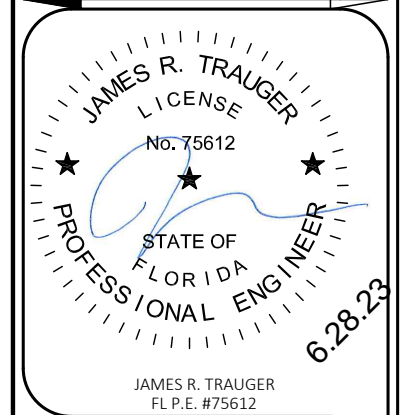
CIVIL SITE NOTES:

1. PROVIDE FDOT TYPE 'D' CURB PER FDOT INDEX NO. 520-001. SEE TYPICAL DETAILS.
2. PROVIDE FDOT TYPE 'F' CURB 7 GUTTER PER FDOT INDEX 520-001. SEE TYPICAL DETAILS.
3. PROVIDE CONCRETE SIDEWALK. SEE TYPICAL DETAILS.
4. PROVIDE CONCRETE 6" LONG AND 6" RISE HANDICAP ACCESSIBLE RAMP PER FDOT AND FLORIDA BUILDING CODE REQUIREMENTS. RAMP IN ROW SHALL INCLUDE TRUNCATED DOME MATS. SEE TYPICAL DETAILS.
5. PROVIDE ASPHALTIC PAVEMENT SECTION. SEE TYPICAL DETAILS.
6. PROVIDE RAISED CONCRETE SIDEWALK. SEE TYPICAL DETAILS.
7. PROVIDE DUMPSTER ENCLOSURE. SEE TYPICAL CITY OF MELBOURNE DETAIL.
8. PROVIDE ±53 LF OF 2" PVC WATER SERVICE LINE, 90° BENDS, 45° BENDS AND 1.5" ABOVE GROUND RPZ BACKFLOW PREVENTER AND METER PER CITY OF MELBOURNE REQUIREMENTS. SEE TYPICAL DETAILS.
9. PROVIDE 6"x6" WET TAP AND TRAFFIC RATED VALVE. PROVIDE ±16 LF OF 6" PVC WATER LINE, 11.25" BEND, 6"x4" REDUCER, ±12 LF OF 4" PVC AND ABOVE GROUND RPZ BACKFLOW PREVENTER PER CITY OF MELBOURNE REQUIREMENTS. CONTRACTOR TO FIELD VERIFY PIPE SIZE AND LOCATION PRIOR TO MATERIAL ORDER. CONTACT ENGINEER OF RECORD WITH ANY REVISIONS. SEE TYPICAL DETAILS.
10. PROVIDE FIRE DEPARTMENT CONNECTION, 4" PVC FIRE WATER LINE TO BUILDING AND 45° BEND. PER CITY OF MELBOURNE REQUIREMENTS. SEE TYPICAL DETAILS.
11. PROVIDE CONNECTION TO EXISTING POTABLE WATER SERVICE TAP. CONTRACTOR TO VERIFY EXISTING WATER STUB OUT AND METER ARE SUFFICIENT FOR CONNECTION OR A NEW TAP TO THE MAIN SHALL BE CONSTRUCTED. SEE TYPICAL DETAILS.
12. PROVIDE FIRE HYDRANT ASSEMBLY AND METER PER CITY OF MELBOURNE. SEE TYPICAL DETAIL.
13. PROVIDE CONNECTION TO EXISTING SANITARY SEWER SERVICE LINE. PROVIDE ±76 LF OF 6" PVC SEWER LATERAL AT MINIMUM 1% SLOPE PER CITY OF MELBOURNE SPECIFICATIONS. INCLUDE SANITARY SEWER CLEAN OUT PER PLUMBING DRAWINGS AND AT PROPERTY LINE, EVERY CHANGE IN DIRECTION AND AT A MAXIMUM OF 75' SPACING PER CITY OF MELBOURNE REQUIREMENTS. CONTRACTOR TO VERIFY DEPTH OF SEWER AND THAT A 1% SLOPE CAN BE MAINTAINED TO THE INVERT IDENTIFIED BY THE PLUMBING DRAWINGS FOR THE BUILDING SERVICE PRIOR TO MATERIAL ORDER OR CONSTRUCTION COMMENCEMENT. CONTACT ENGINEER OF RECORD IF 1% SLOPE CANNOT BE MAINTAINED.
14. SEE ARCHITECTURAL/ PLUMBING DRAWINGS FOR CONTINUATION.
15. PROVIDE VALLEY GUTTER PER FDOT INDEX NO. 300. SEE TYPICAL DETAILS.

REV#	DATE	REVISION

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jim@traugerconsulting.com (321) 372-3060 (321) 372-3060

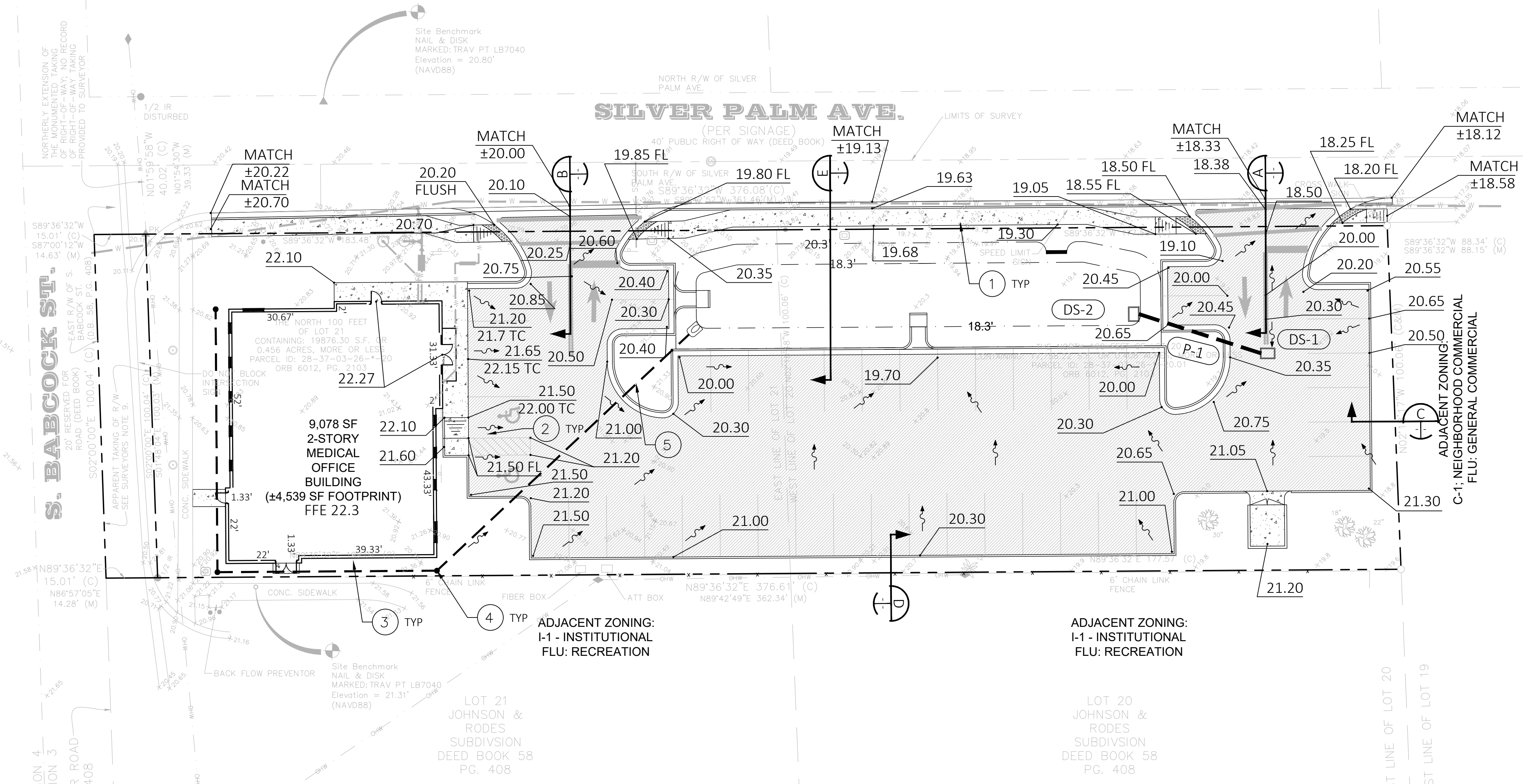
**BHA - SILVER PALM
MELBOURNE, FLORIDA
SITE AND UTILITY PLAN**



DATE: 6-1-2023
TOWNSHIP: 28S
RANGE: 37E
SECTION: 3
SCALE: 1"=20'
DRAWING NO. **C-5**
DRAWN BY: TLW
PROJECT: 22-145

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
It's fast. It's free. It's the law.
Call 811 two business days before digging





GRADING AND DRAINAGE PLAN
1"=20'

DRAINAGE STRUCTURE TABLE:

NO.	TYPE	FOOT INDEX NO.	RIM ELEVATION	N INVERT ELEVATION	S INVERT ELEVATION	E INVERT ELEVATION	W INVERT ELEVATION	COMMENTS
DS-1	C	425-052	20.20	-	-	20.50	18.40	-
DS-2	C	425-052	18.50	20.50	-	-	20.50	-
DS-3	WEIR	-	20.30	19.60	-	-	-	BUBBLE UP SKIMMER/ SEE DETAIL

- STORM DRAIN STRUCTURE NOTES:**
- ALL STRUCTURES SHALL BE MINIMUM 6" DEEPER THAN LOWEST PIPE INVERT.
 - ALL GRATES SHALL BE GALVANIZED STEEL WITH H-20 LOADING.

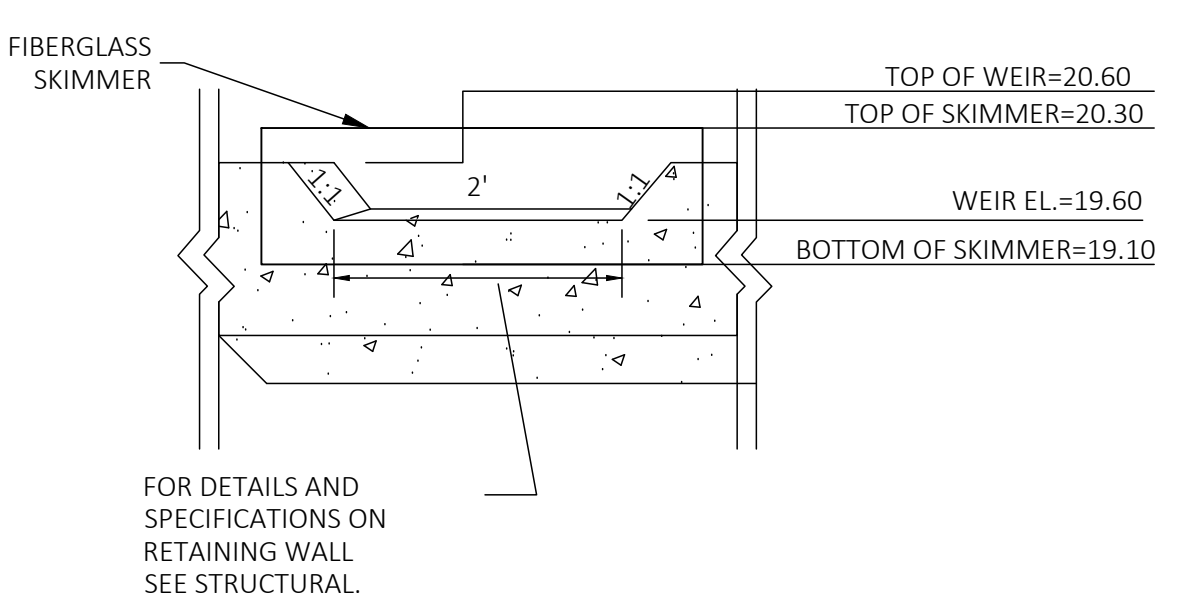
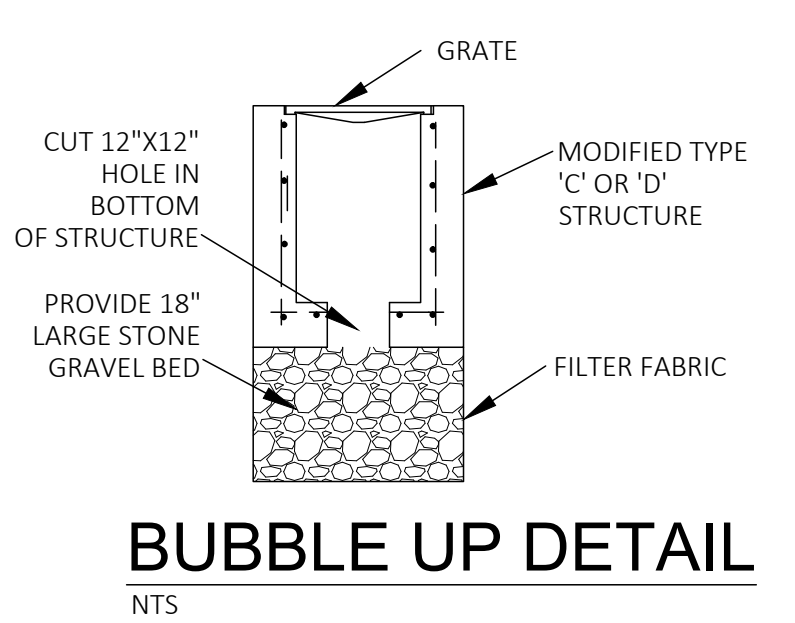
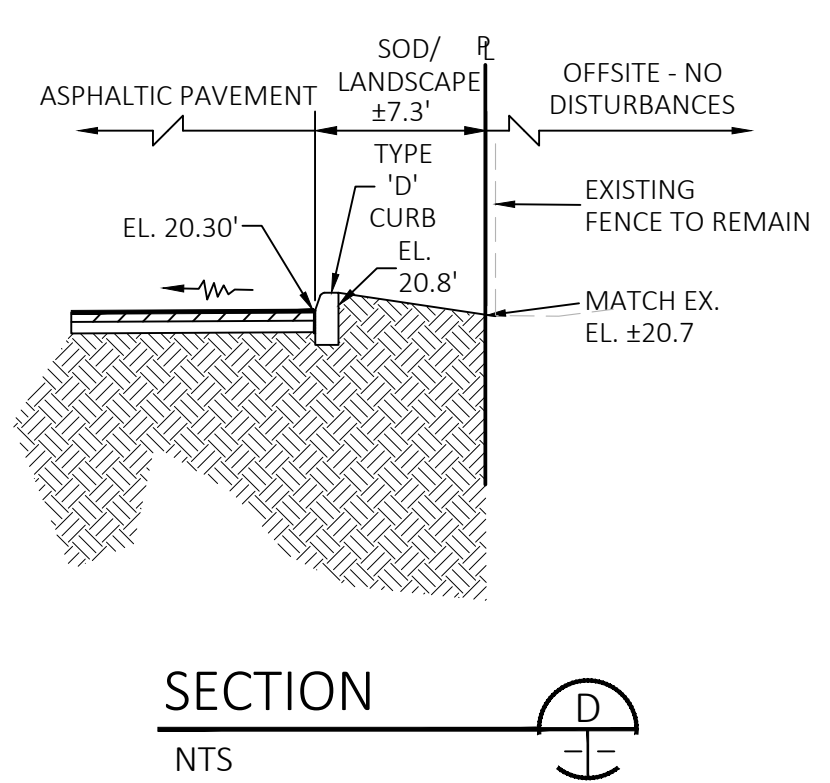
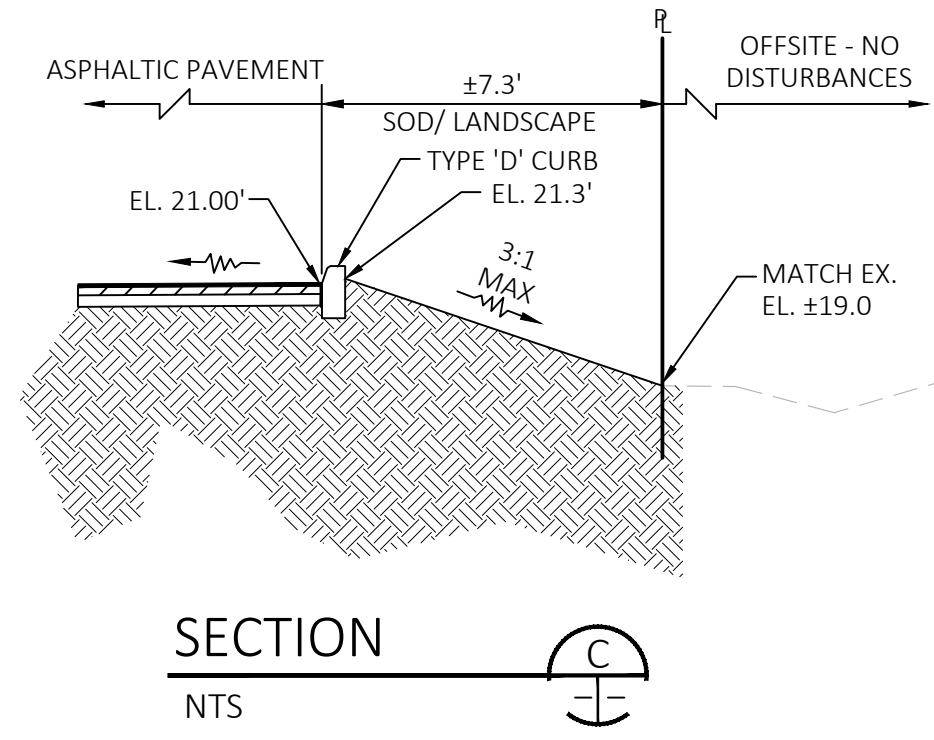
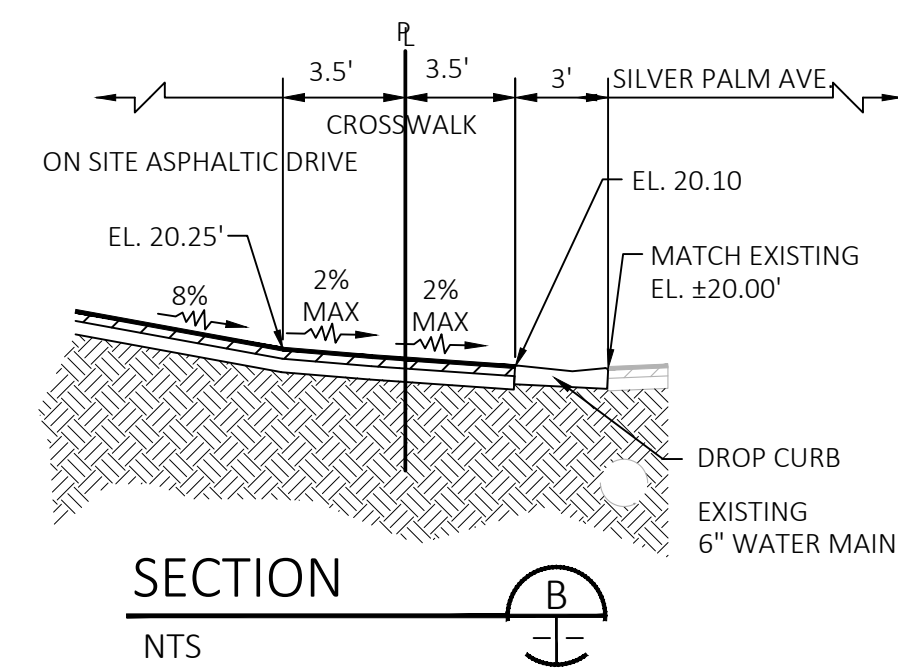
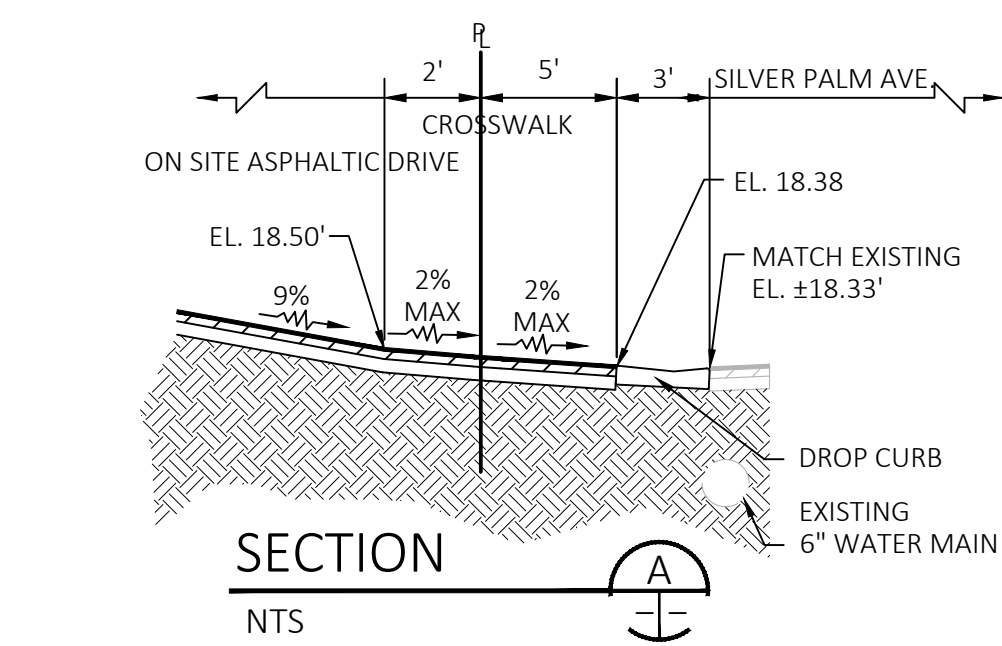
DRAINAGE PIPE TABLE:

PIPE NO.	SIZE	LENGTH	UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	COMMENTS
P-1	18"	40'	DS-2	DS-1	-

- DRAINAGE PIPE NOTES:**
- ADS N-12 PIPING IS AN ACCEPTABLE ALTERNATIVE TO RCP PIPING ON-SITE WITH WATERTIGHT JOINTS AND A MINIMUM 2" OF COVER PROVIDED.

CIVIL PAVING AND GRADING NOTES:

- CROSS SECTIONAL SLOPE OF CROSS WALKS/ SIDEWALKS SHALL NOT EXCEED 2% AT ANY POINT. LONGITUDINAL SLOPE OF CROSSWALK/ SIDEWALKS SHALL NOT EXCEED 5% SLOPE PER FLORIDA ACCESSIBILITY CODE, CITY OF MELBOURNE REQUIREMENTS. ENSURE 2' FLAT RECOVERY AREA IN GREEN SPACE ADJACENT TO SIDEWALK. SEE TYPICAL DETAIL.
- SLOPE OF HANDICAP PARKING SPACE AND ACCESS PATH SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION PER FLORIDA ACCESSIBILITY CODE AND CITY OF MELBOURNE REQUIREMENTS.
- SEE ARCHITECTURAL DRAWINGS FOR ROOF DRAIN DOWNSPOUT TIE IN LOCATIONS. PROVIDE 8" ADS/PVC PIPE AND DOWNSPOUT CONNECTION ADAPTER AT ALL CONNECTION POINTS TO PROPOSED DOWNSPOUTS (BY OTHERS).
- PROVIDE 12" ADS DRAIN BASIN/ INLINE DRAIN & TEE (OR 90° BEND AT TERMINUS), WITH DOMED GRATE IN LANDSCAPED AREA; INSTALL PER MANUFACTURERS SPECIFICATION.
- PROVIDE ±240 LF OF 8" ADS PIPE WITH CONSTANT 2% MINIMUM SLOPE & 2' MINIMUM COVER.



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Call 811 two business days before digging



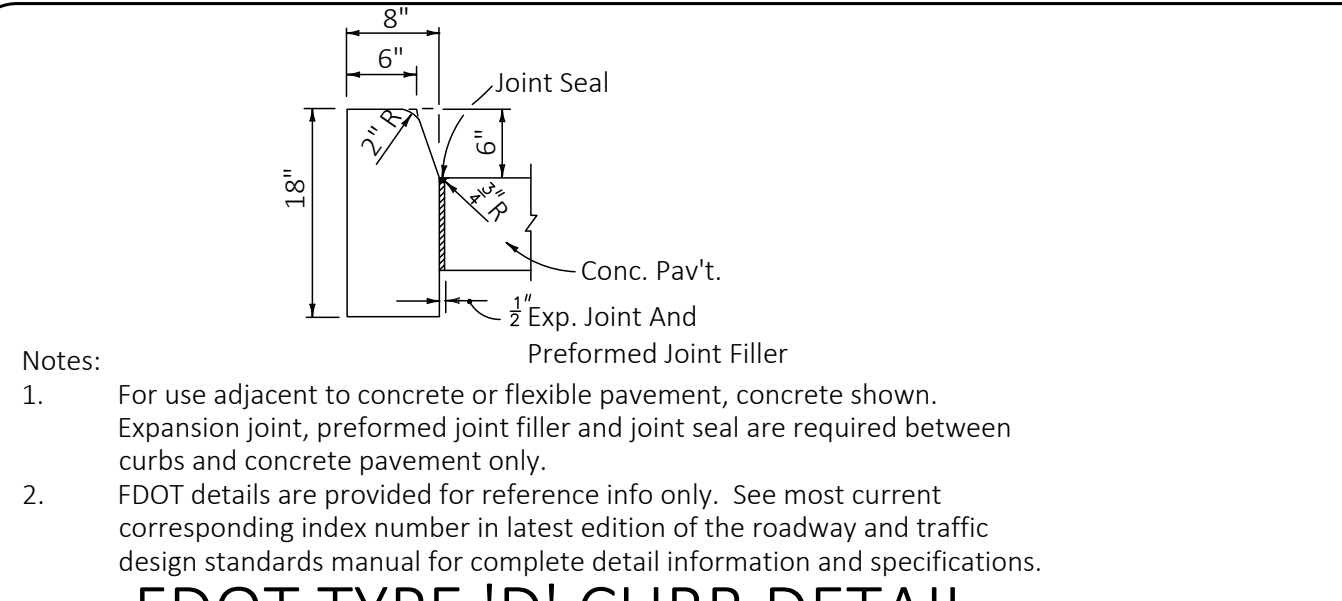
REVISION	DATE	REV#

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2210 FRONT STREET STE 204, MELBOURNE, FL 32901
jim@traugerconsulting.com (321) 372-3060 (321) 372-3060

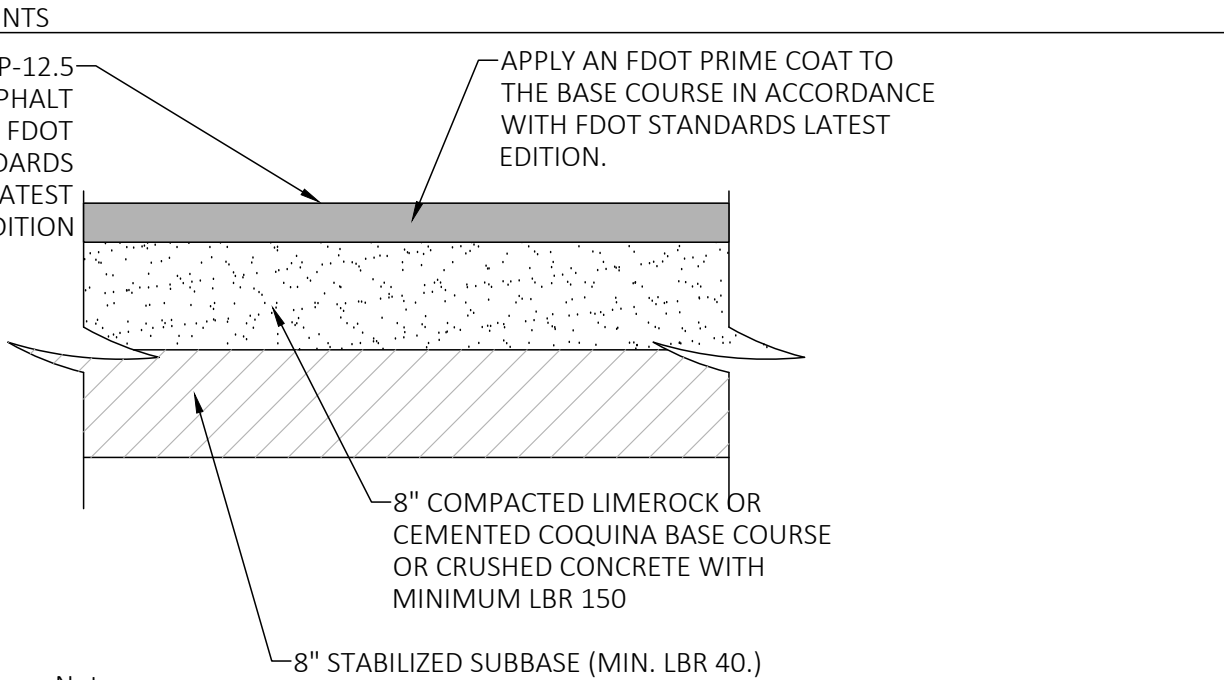
BREVARD HEALTH ALLIANCE
MELBOURNE, FLORIDA
GRADING AND DRAINAGE PLAN

JAMES R. TRAUGER
LICENSE No. 75612
STATE OF FLORIDA
PROFESSIONAL ENGINEER
6-28-22
JAMES R. TRAUGER
FL P.E. #75612

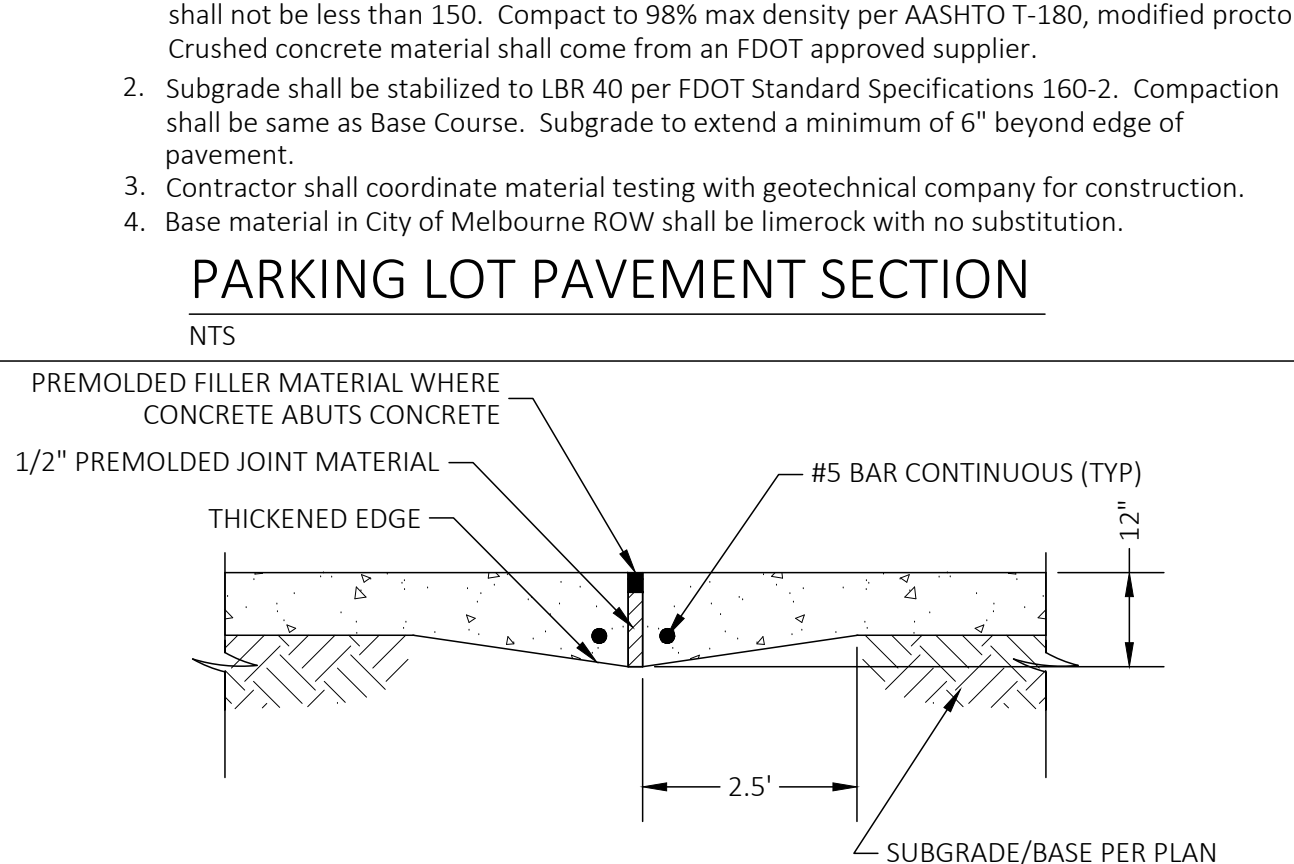
DATE: 6-1-2023
TOWNSHIP: 28S
RANGE: 37E
SECTION: 3
SCALE: 1"=20'
DRAWING NO. **C-6**
PROJECT: 22-145



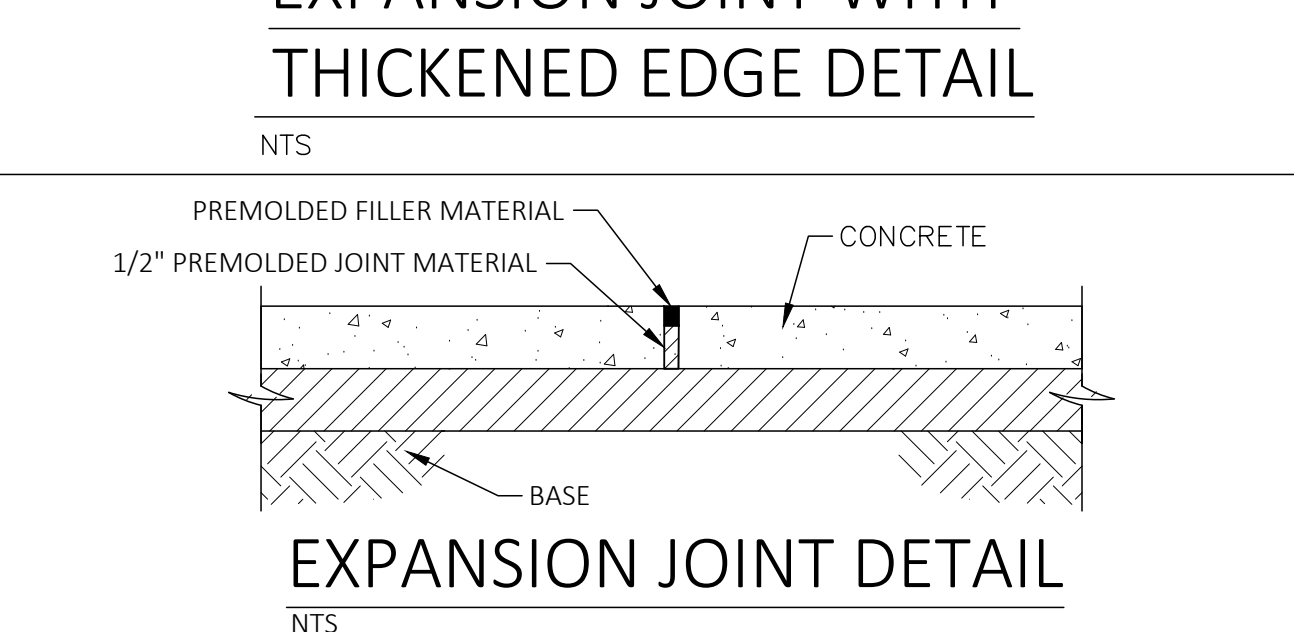
FDOT TYPE 'D' CURB DETAIL



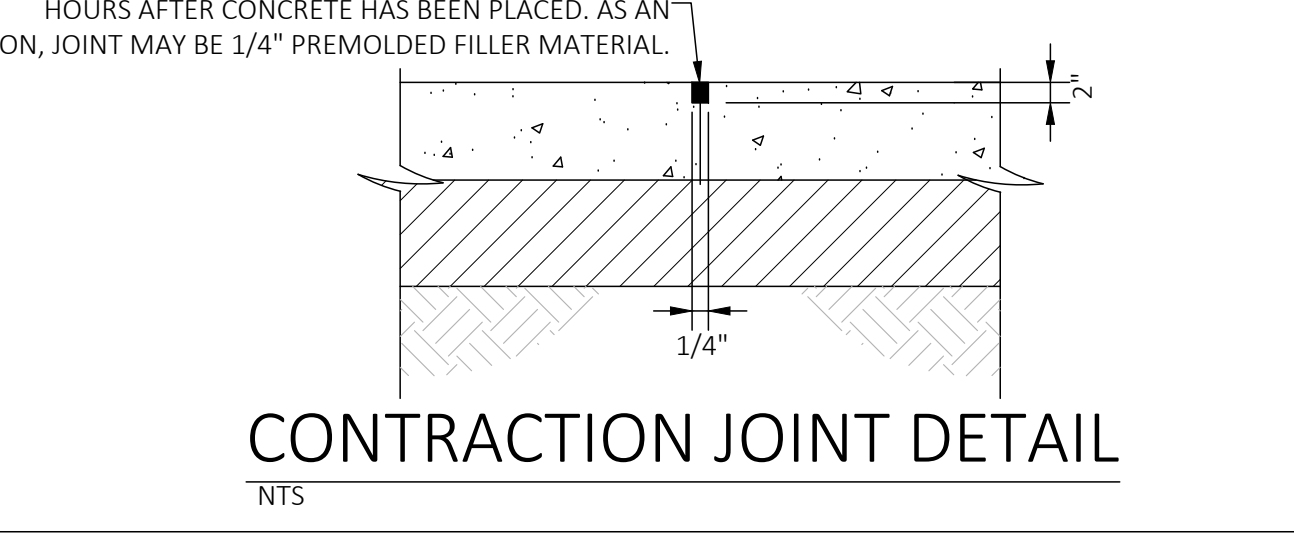
PARKING LOT PAVEMENT SECTION



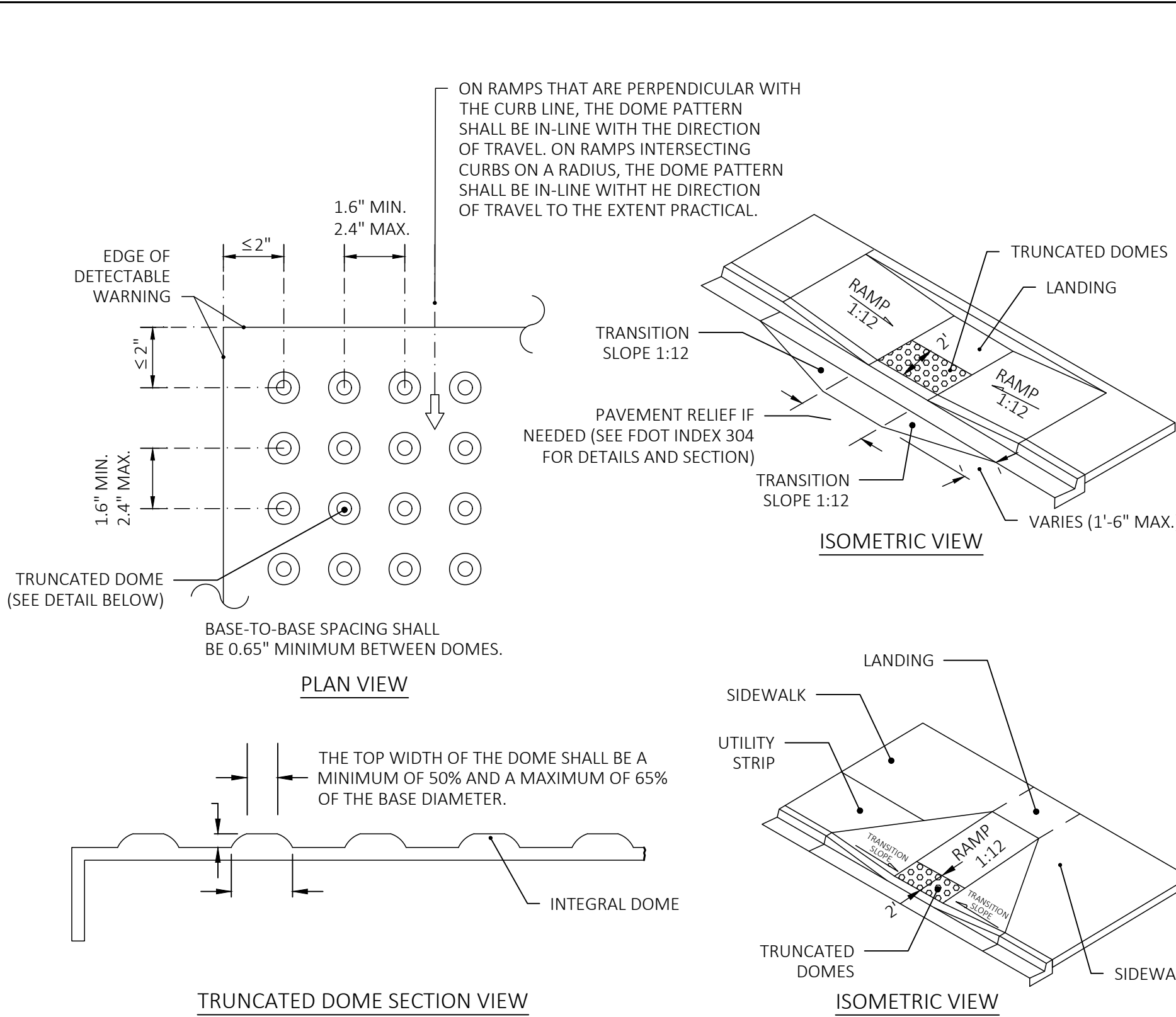
EXPANSION JOINT WITH THICKENED EDGE DETAIL



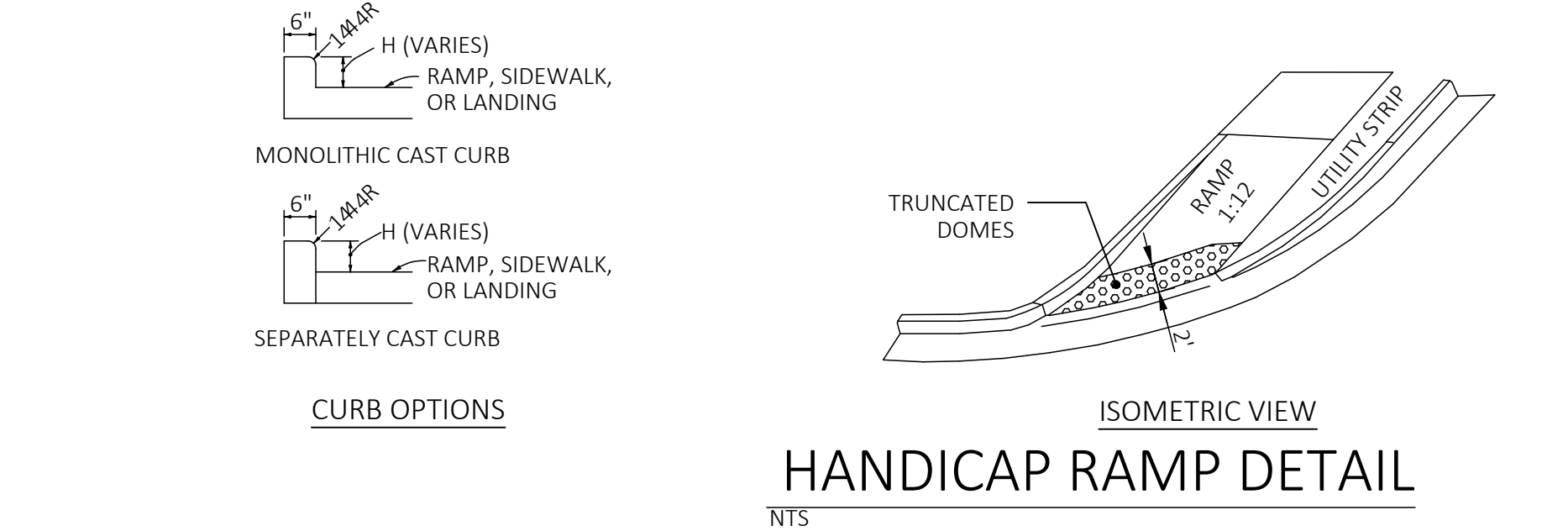
CONTRACTION JOINT DETAIL



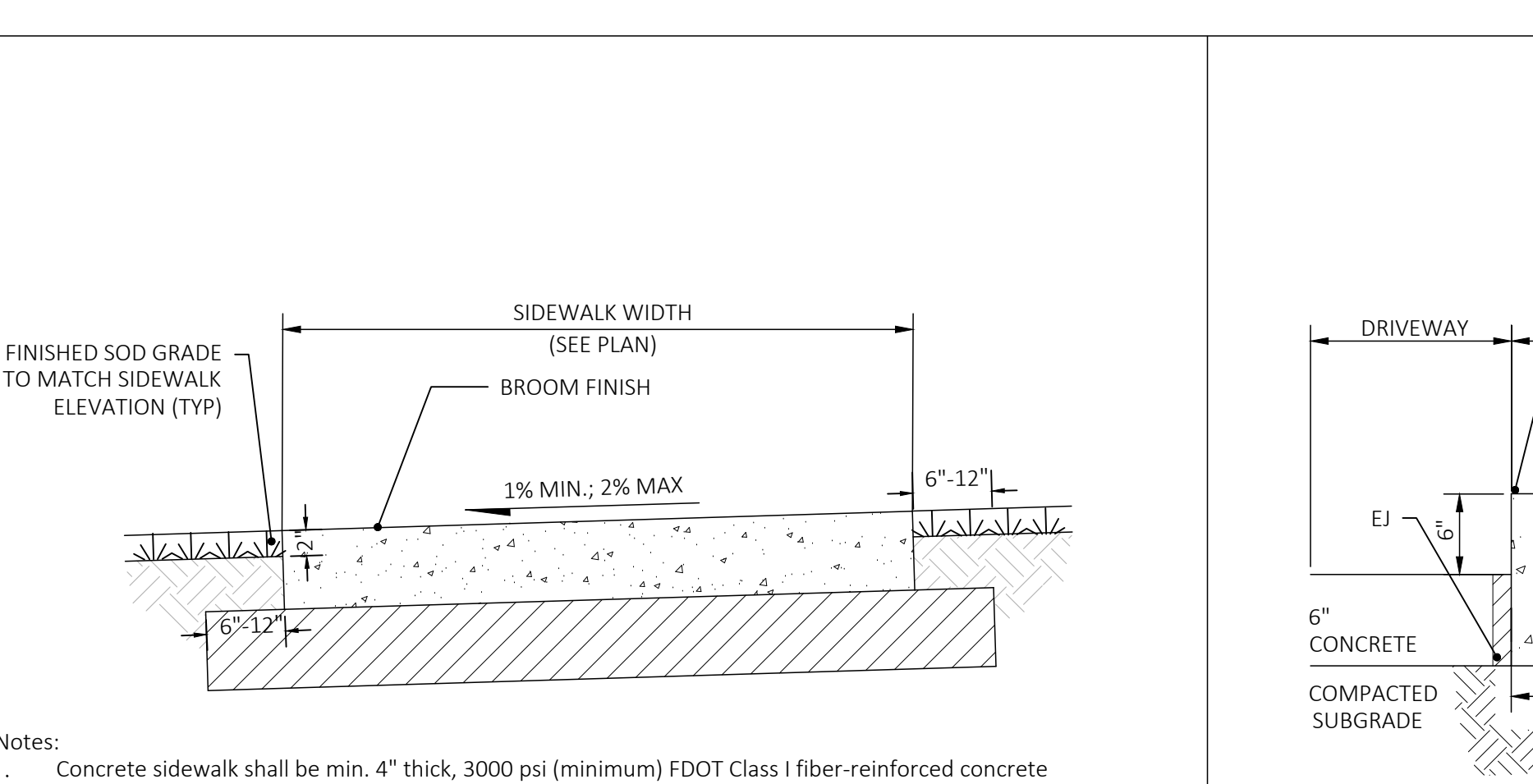
FDOT CURB AND GUTTER ENDING DETAIL



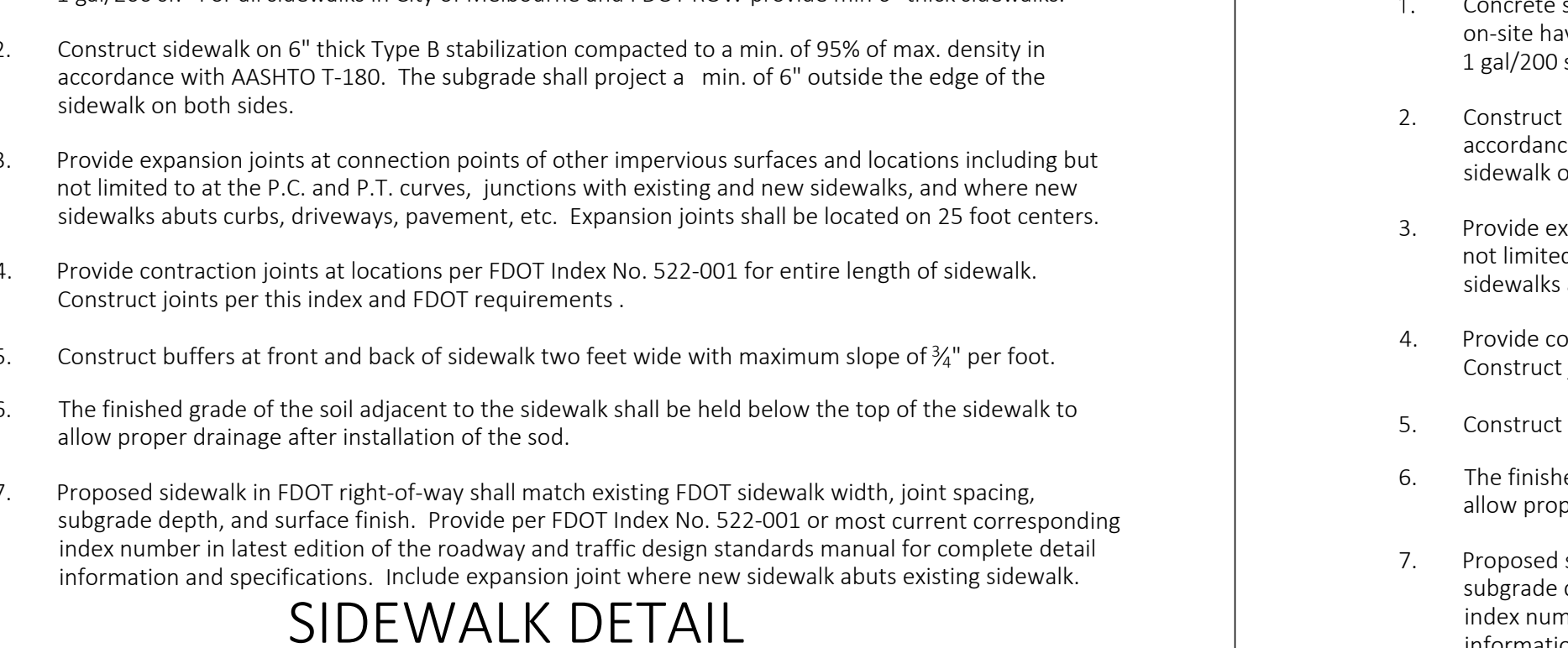
HANDICAP RAMP DETAIL



RAISED SIDEWALK DETAIL



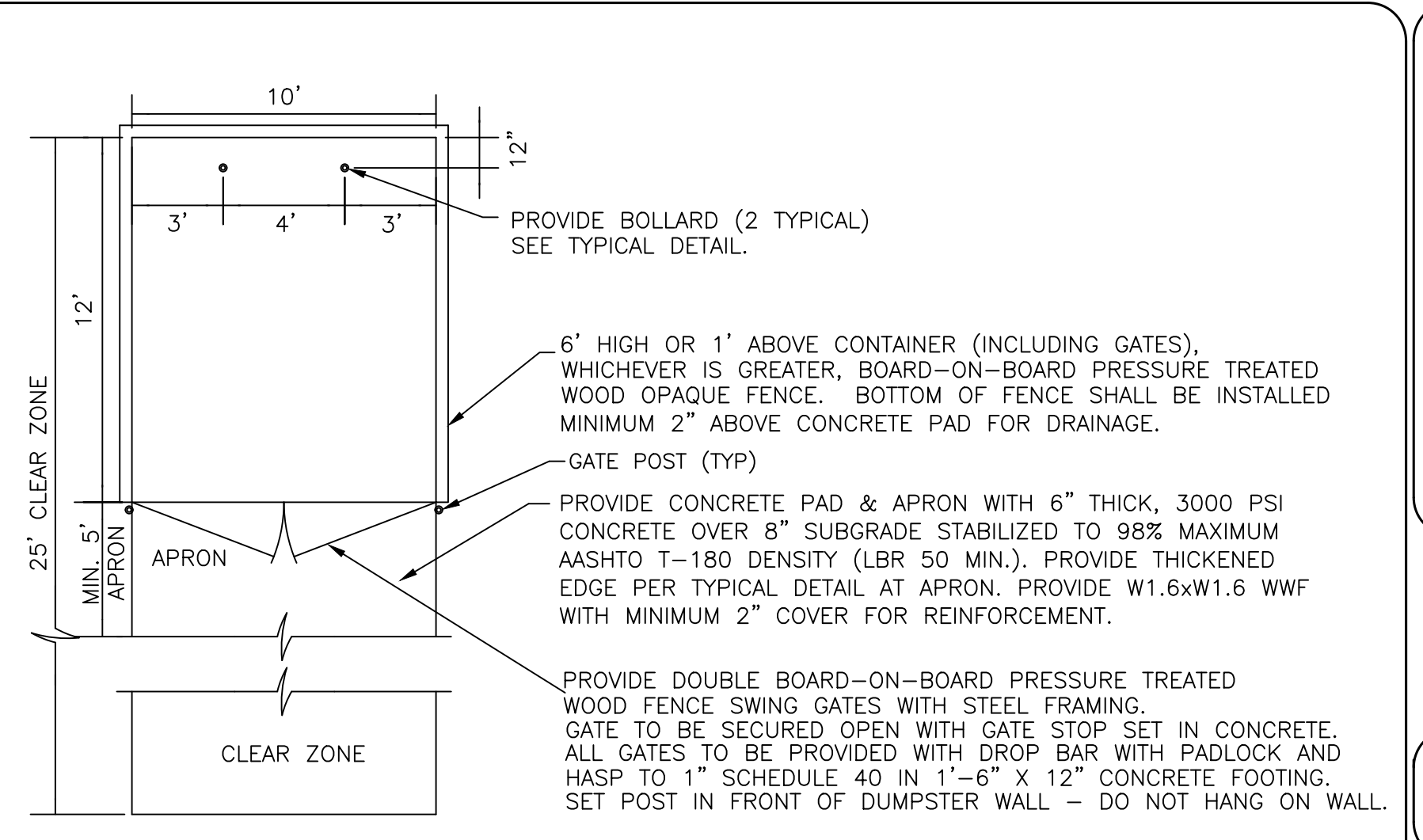
TYPICAL VALLEY GUTTER DETAIL



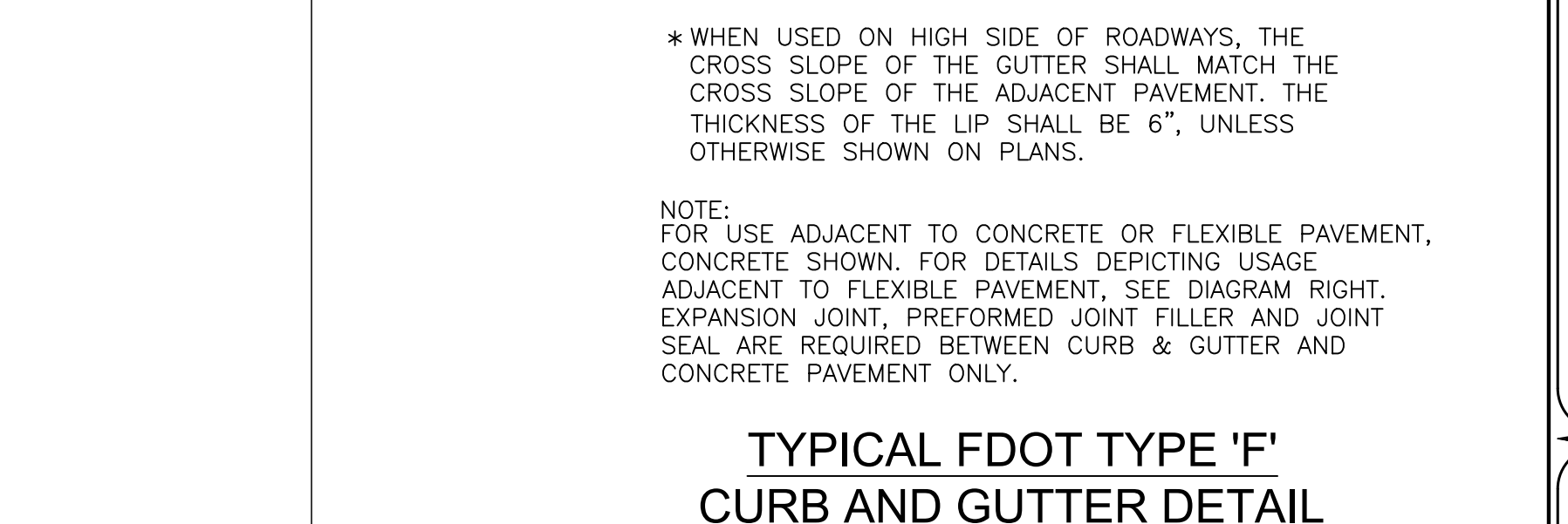
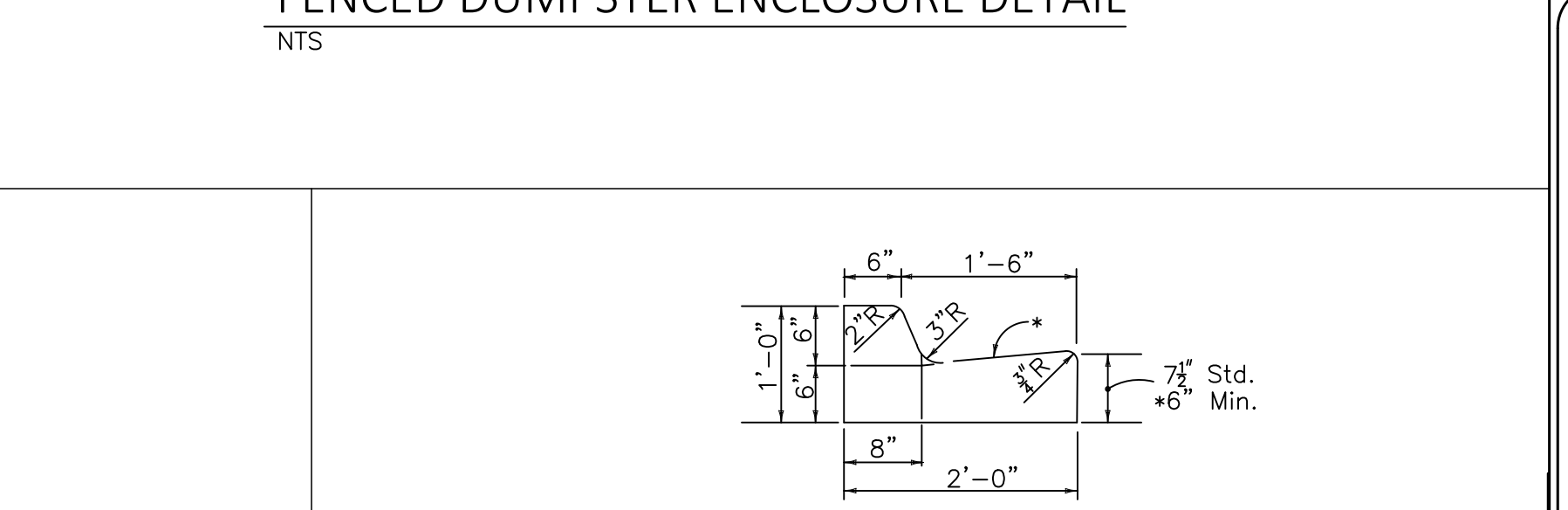
TYPICAL FDOT TYPE 'F' CURB AND GUTTER DETAIL



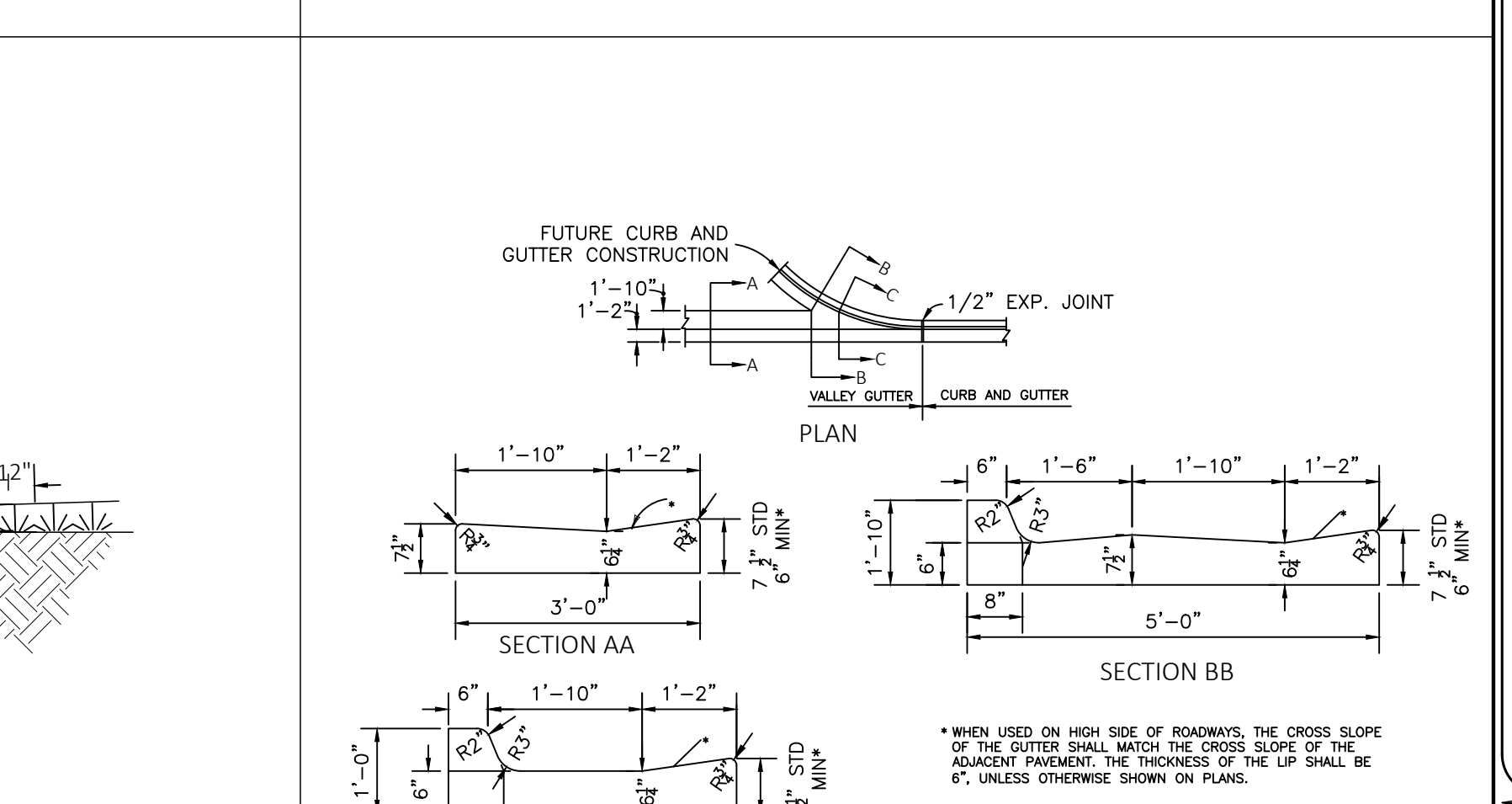
TYPICAL VALLEY GUTTER DETAIL



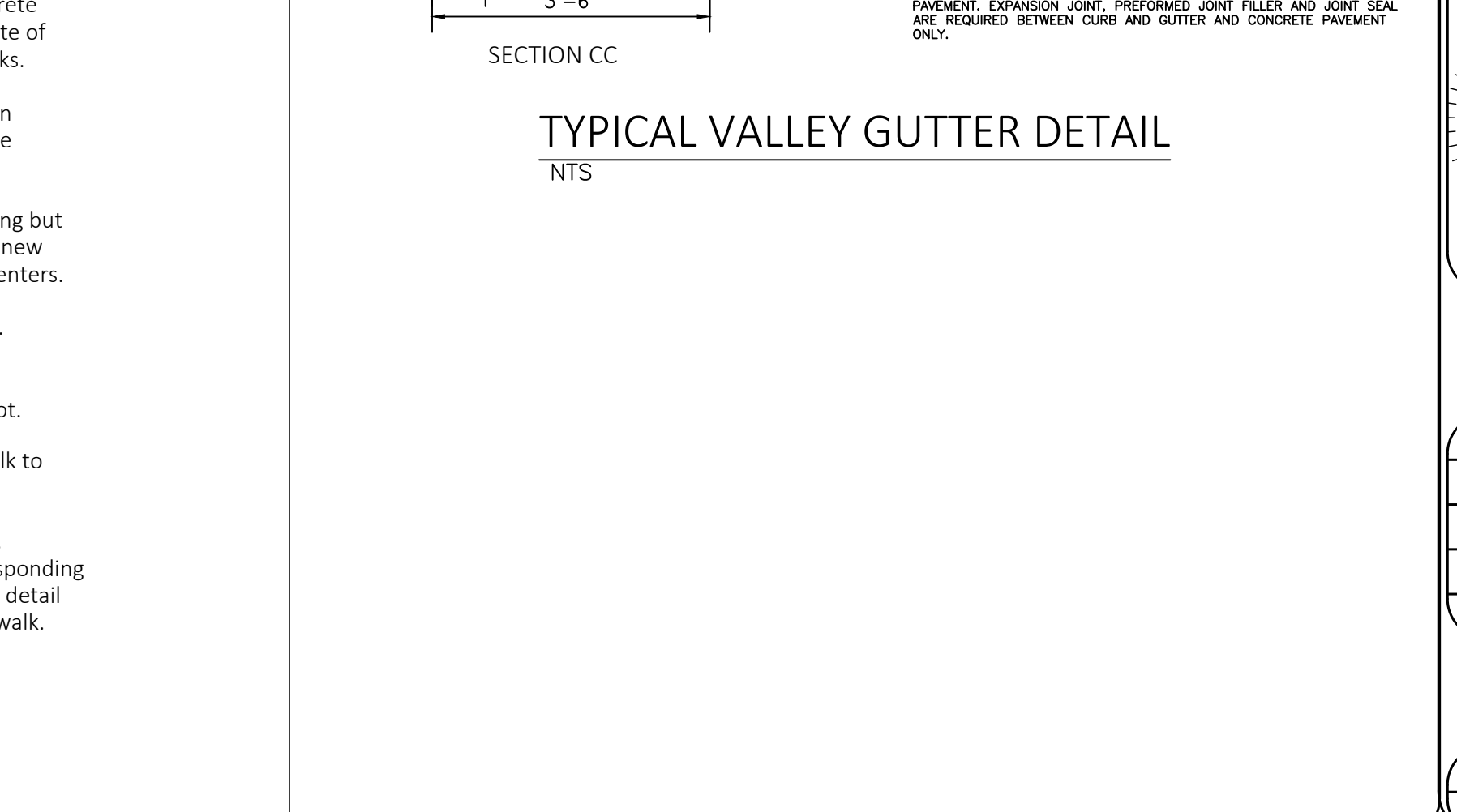
FENCED DUMPSTER ENCLOSURE DETAIL



TYPICAL FDOT TYPE 'F' CURB AND GUTTER DETAIL



TYPICAL VALLEY GUTTER DETAIL



FENCED DUMPSTER ENCLOSURE DETAIL

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TRAUGER CONSULTING ENGINEERS

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BHA - SILVER PALM MELBOURNE, FLORIDA

DETAILS

JAMES R. TRAUGER
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 75612
EL F. #75612

DATE: 6-1-2023
TOWNSHIP: 28S
RANGE: 37E
SECTION: 3
SCALE: NTS
DRAWING NO: C-7
DRAWN BY: TLW
PROJECT: 22-145

PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER		WASTEWATER (GRAVITY & FW)		STORM SEWER	
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.
POTABLE WATER	N/A	N/A	3"	12"	6"/10" NOTE 3	12"	3"	12"
RECLAIMED WATER	3"	12"	N/A	N/A	N/A	3"	12"	
WASTEWATER (GRAVITY & FW)	6"/10" NOTE 2	12" NOTE 4	3"	12"	N/A	N/A	3"	12"

SEPARATION REQUIREMENTS COMPLY WITH MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINES IN 62-555.314, F.A.C. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314, F.A.C., AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND CITY OF MELBOURNE.

DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.

NO WATER SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORMWATER MANHOLE OR STRUCTURE.

NOTES:

- WHERE UTILITY PIPE CROSSES UNDER STORMWATER PIPE WITH LESS THAN 18 INCHES OF SEPARATION, STORMWATER PIPE SHALL BE SUPPORTED BY CONCRETE SADDLE.
- FOR THE PURPOSE OF THIS TABLE AND SEPARATION REQUIREMENTS, RECLAIMED WATER SHALL MEAN UNRESTRICTED, PUBLIC ACCESS RECLAIMED WATER AS DEFINED BY PART III OF CHAPTER 62-610, F.A.C. ADDITIONAL SEPARATIONS SHALL APPLY FOR RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- MINIMUM SEPARATION IS 6 FEET, AND PREFERABLY 10 FEET, BETWEEN POTABLE WATER AND WASTEWATER GRAVITY SEWER OR FORCE MAIN.
- WHERE POTABLE WATER MAINS CROSS OVER WASTEWATER GRAVITY SEWER OR STORM SEWER, 6 INCH MINIMUM SEPARATION IS ACCEPTABLE, HOWEVER, 12 INCHES OF SEPARATION IS PREFERRED.
- THIS SEPARATION REQUIREMENT IS FOR ACCESSIBILITY PURPOSES AND NOT A FDEP REQUIREMENT. VARIANCES FROM THESE PREFERRED SEPARATIONS MAY BE APPROVED BY THE CITY ON A CASE BY CASE BASIS.

DATE	REV	DESCRIPTION
7/1/16	1	ISSUED FOR PERMIT

CITY OF MELBOURNE UTILITIES ADMINISTRATION

OTHER PIPE COMPONENT	HORIZONTAL SEPARATION		CROSSINGS (1)		JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)	
	WATER MAIN	WATER MAIN	WATER MAIN	WATER MAIN	WATER MAIN	WATER MAIN
STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2)	3 FT. MINIMUM	12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM	---	---	---
VACUUM SANITARY SEWER	10 FT. PREFERRED 3 FT. MINIMUM	12 INCHES PREFERRED 6 INCHES MINIMUM	ALTERNATE 3 FT. MINIMUM	---	---	---
GRAVITY OR PRESSURE SANITARY SEWER	10 FT. PREFERRED 6 FT. MINIMUM (3)	12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT. MINIMUM	---	---	---
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM	10 FT. MINIMUM	---	---	---	---	---

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.

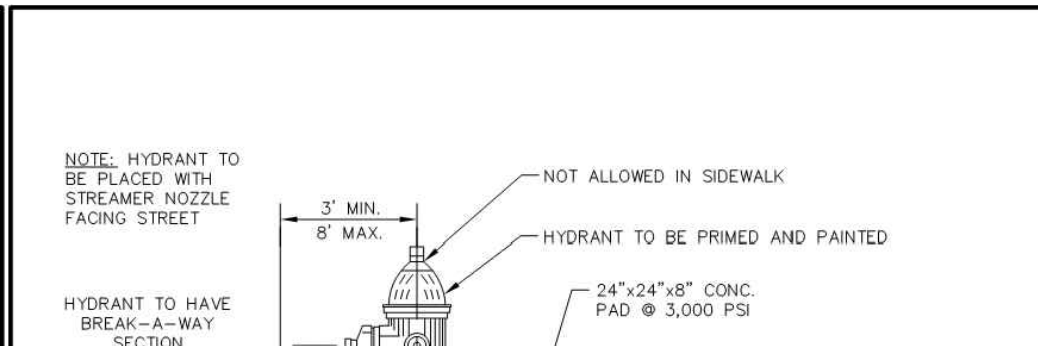
(2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAD AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER

(4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

DATE	REV	DESCRIPTION
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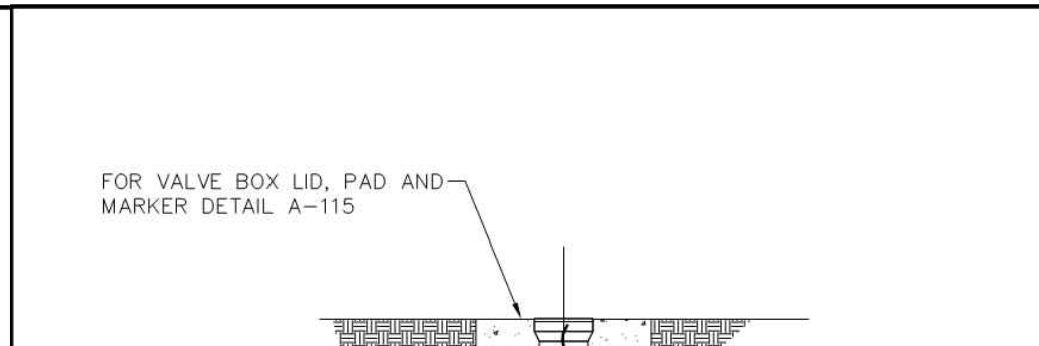
CITY OF MELBOURNE UTILITIES ADMINISTRATION



NOTE: HYDRANT TO BE PLACED WITH STREAMER NOZZLE FACING STREET

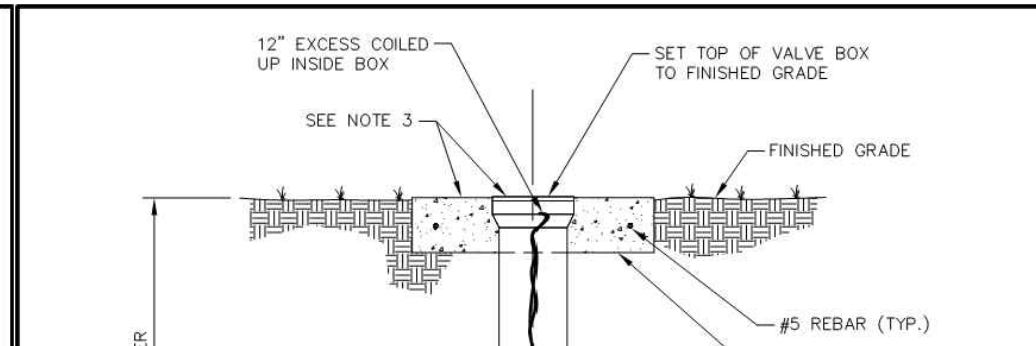
NOTE: ALL EXTERIOR BOLTS AND NUTS SHALL BE STAINLESS STEEL

CITY OF MELBOURNE UTILITIES ADMINISTRATION



NOTE: ALL EXTERIOR BOLTS AND NUTS SHALL BE STAINLESS STEEL

CITY OF MELBOURNE UTILITIES ADMINISTRATION



NOTE: ALL EXTERIOR BOLTS AND NUTS SHALL BE STAINLESS STEEL

CITY OF MELBOURNE UTILITIES ADMINISTRATION

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CITY OF MELBOURNE UTILITIES ADMINISTRATION

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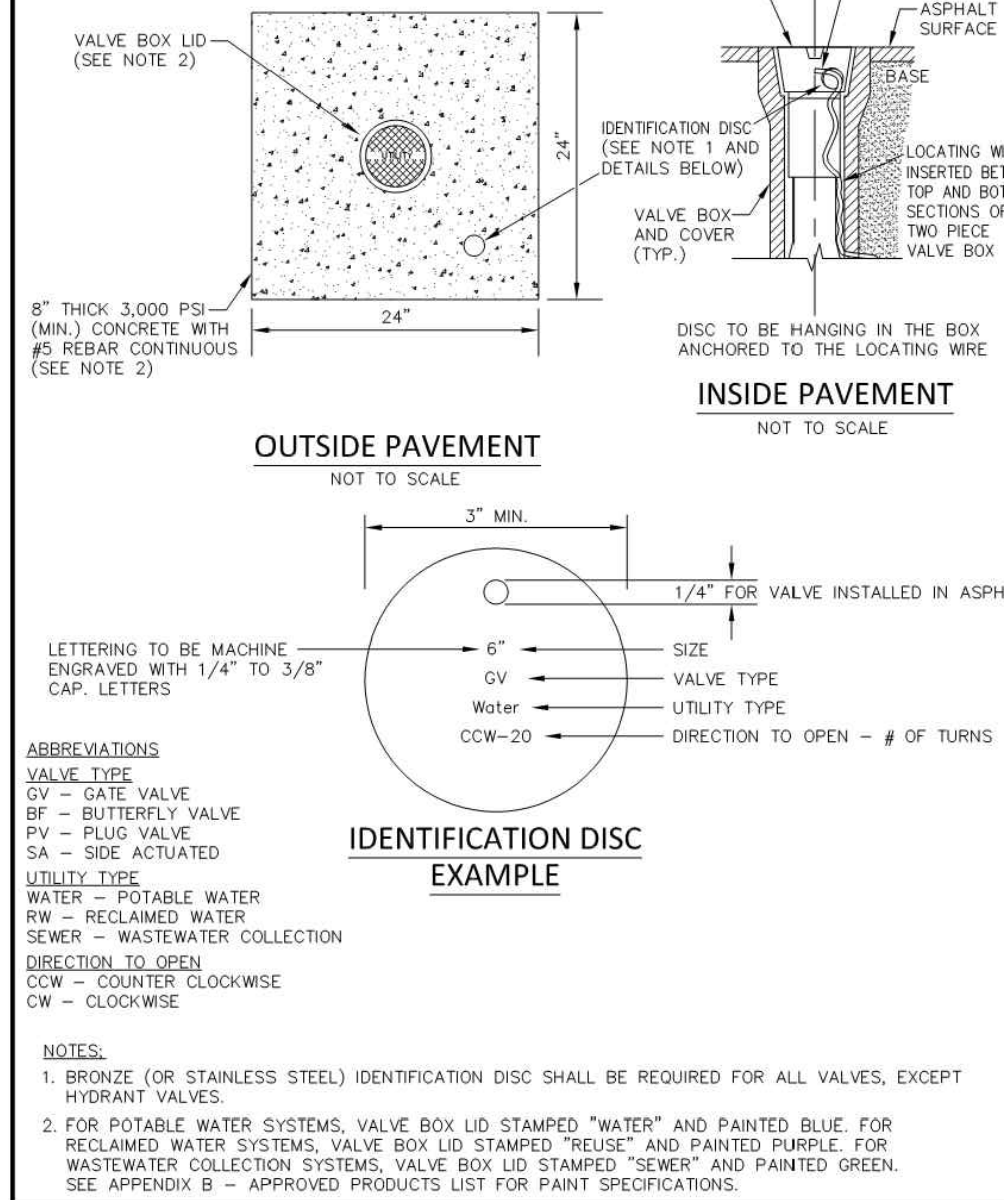
CITY OF MELBOURNE UTILITIES ADMINISTRATION

DATE	REV	DESCRIPTION
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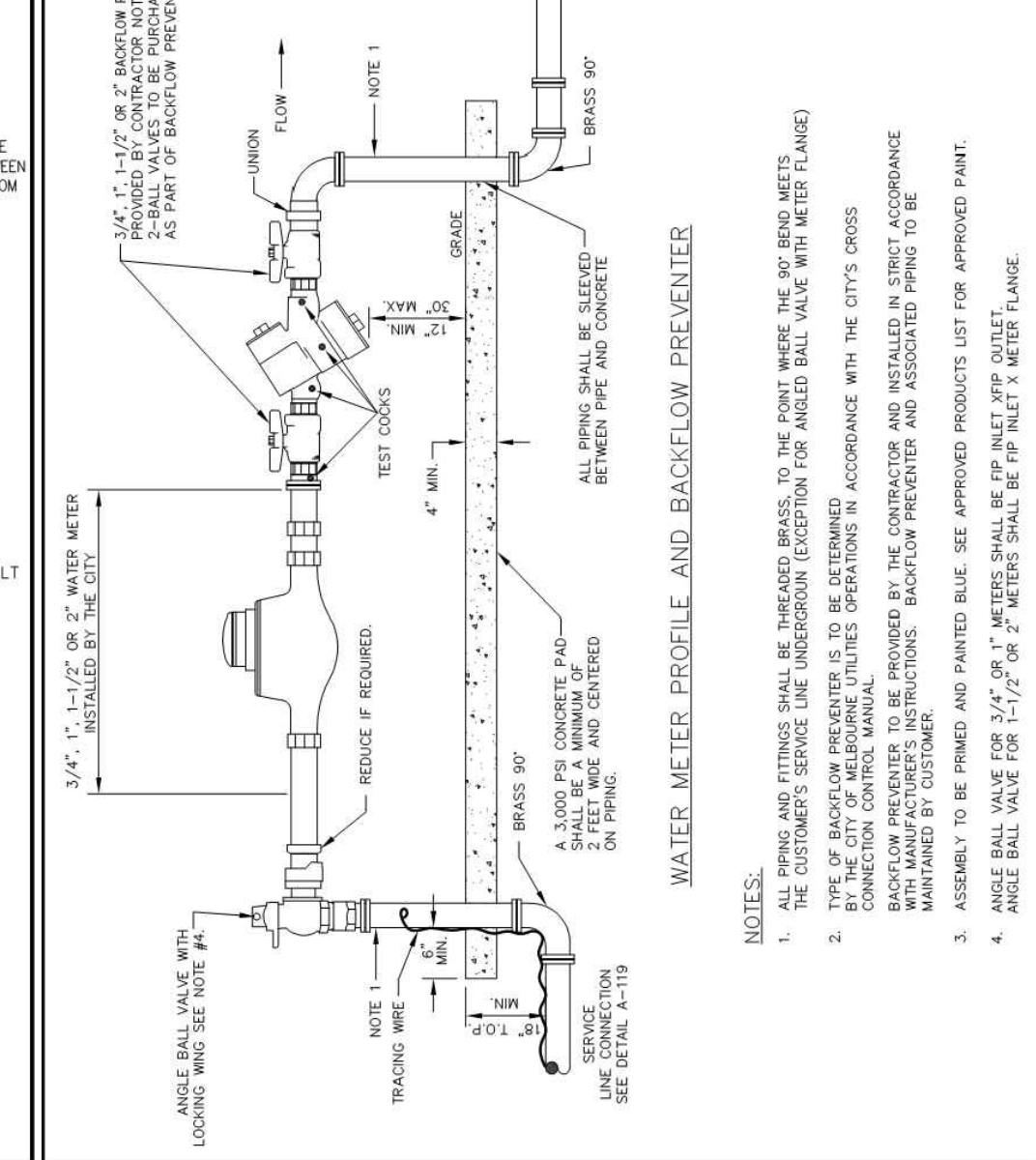
CITY OF MELBOURNE UTILITIES ADMINISTRATION

DATE	REV	DESCRIPTION
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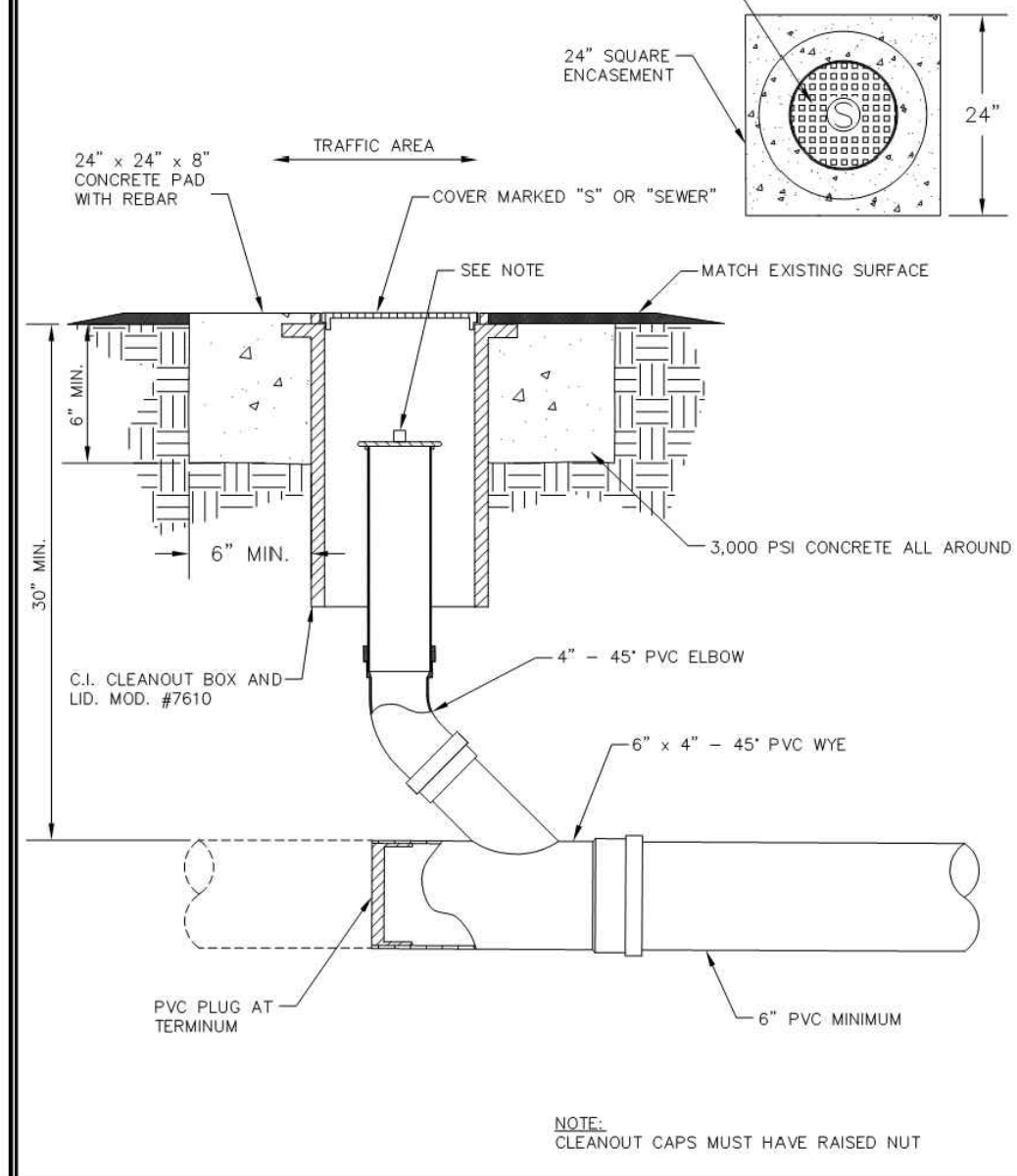
CITY OF MELBOURNE UTILITIES ADMINISTRATION



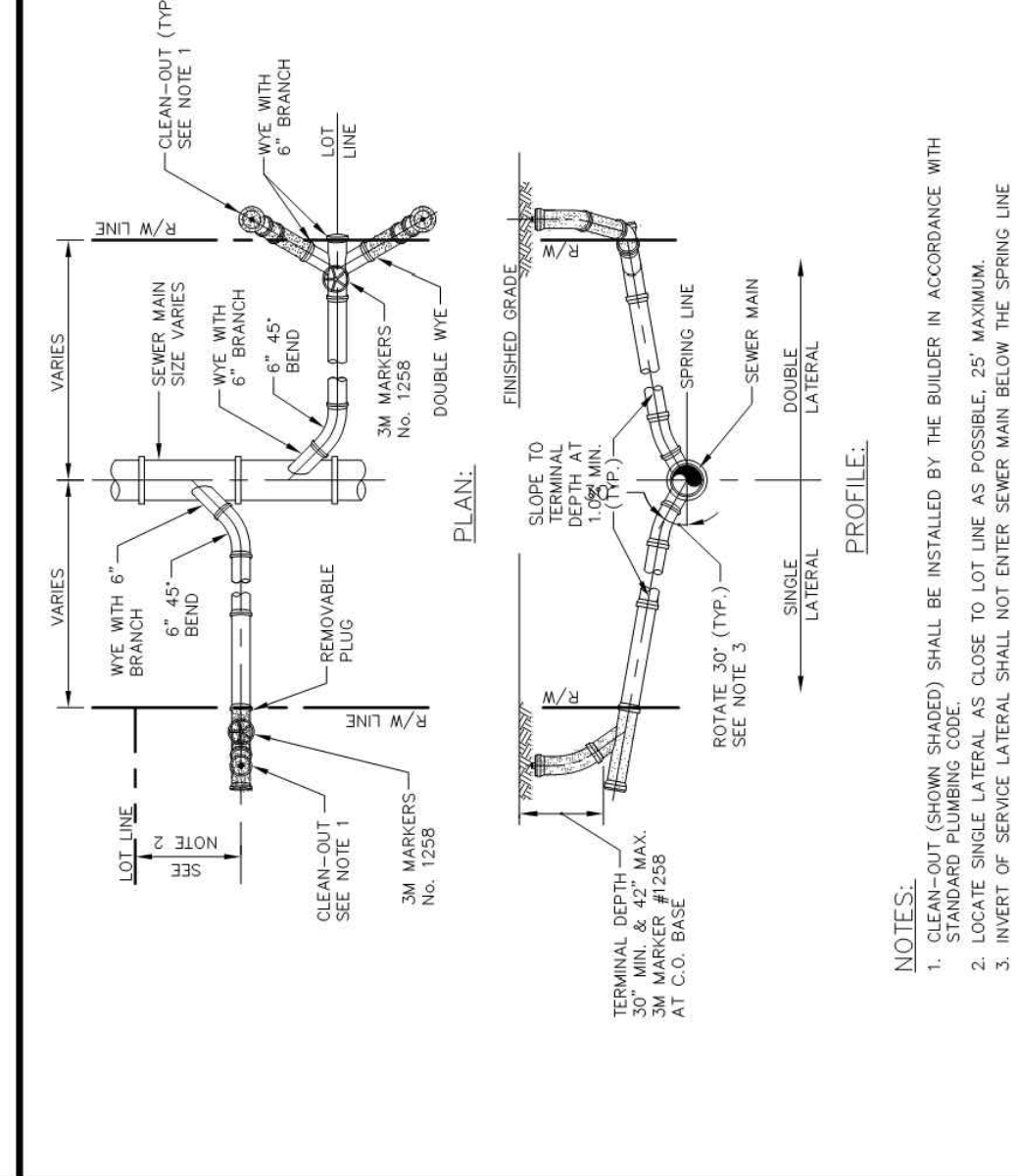
VALVE BOX LID, PAD AND MARKER



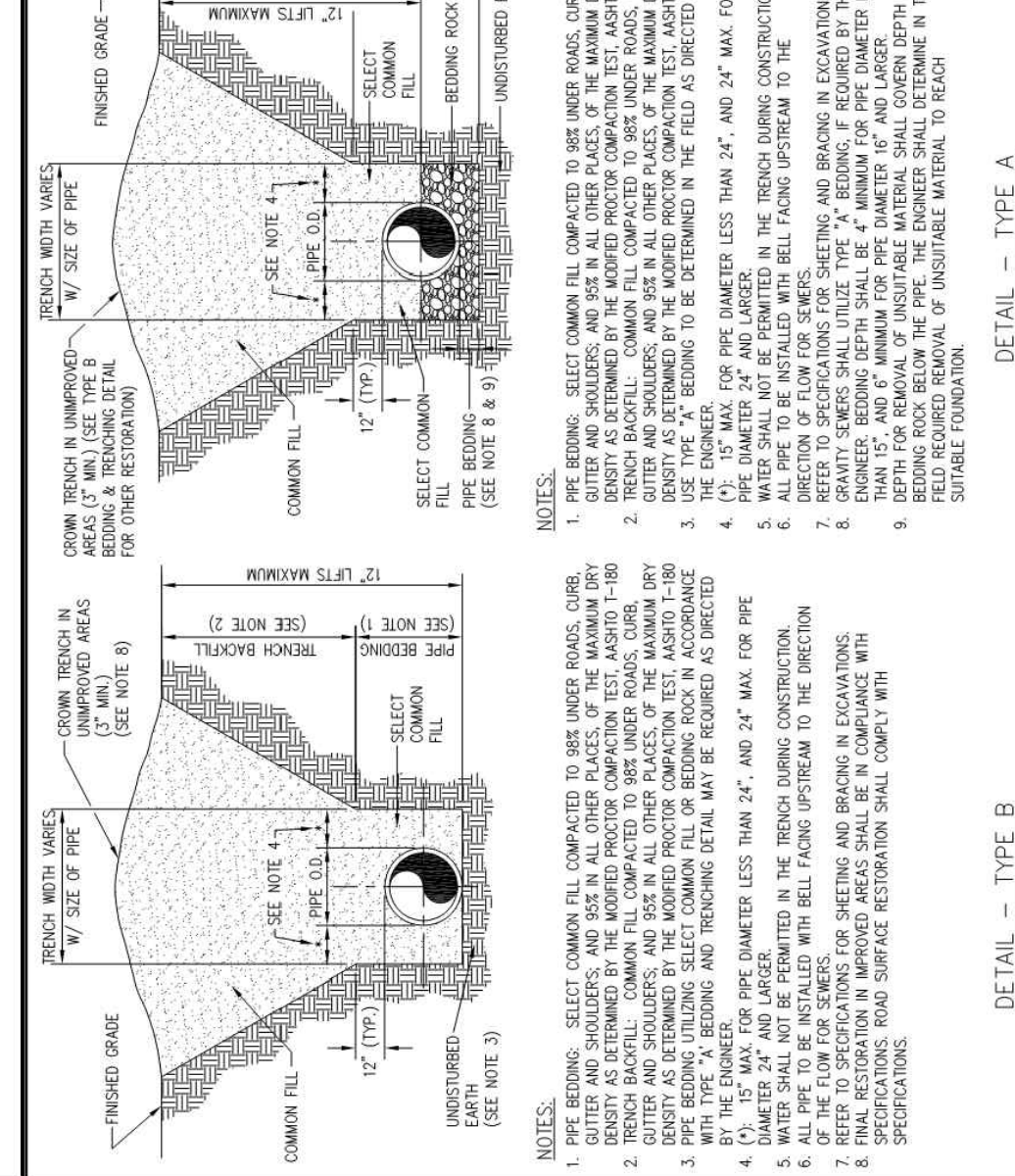
WATER METER PROFILE AND BACKFLOW PREVENTER



SEWER CLEANOUT - TRAFFIC



SANITARY SERVICE CONNECTION DETAIL



PIPE BEDDING DETAILS TYPE "A" & "B"

DATE	REV	DESCRIPTION
7/1/16	1	ISSUED FOR PERMIT

CITY OF MELBOURNE UTILITIES ADMINISTRATION

DATE	REV	DESCRIPTION
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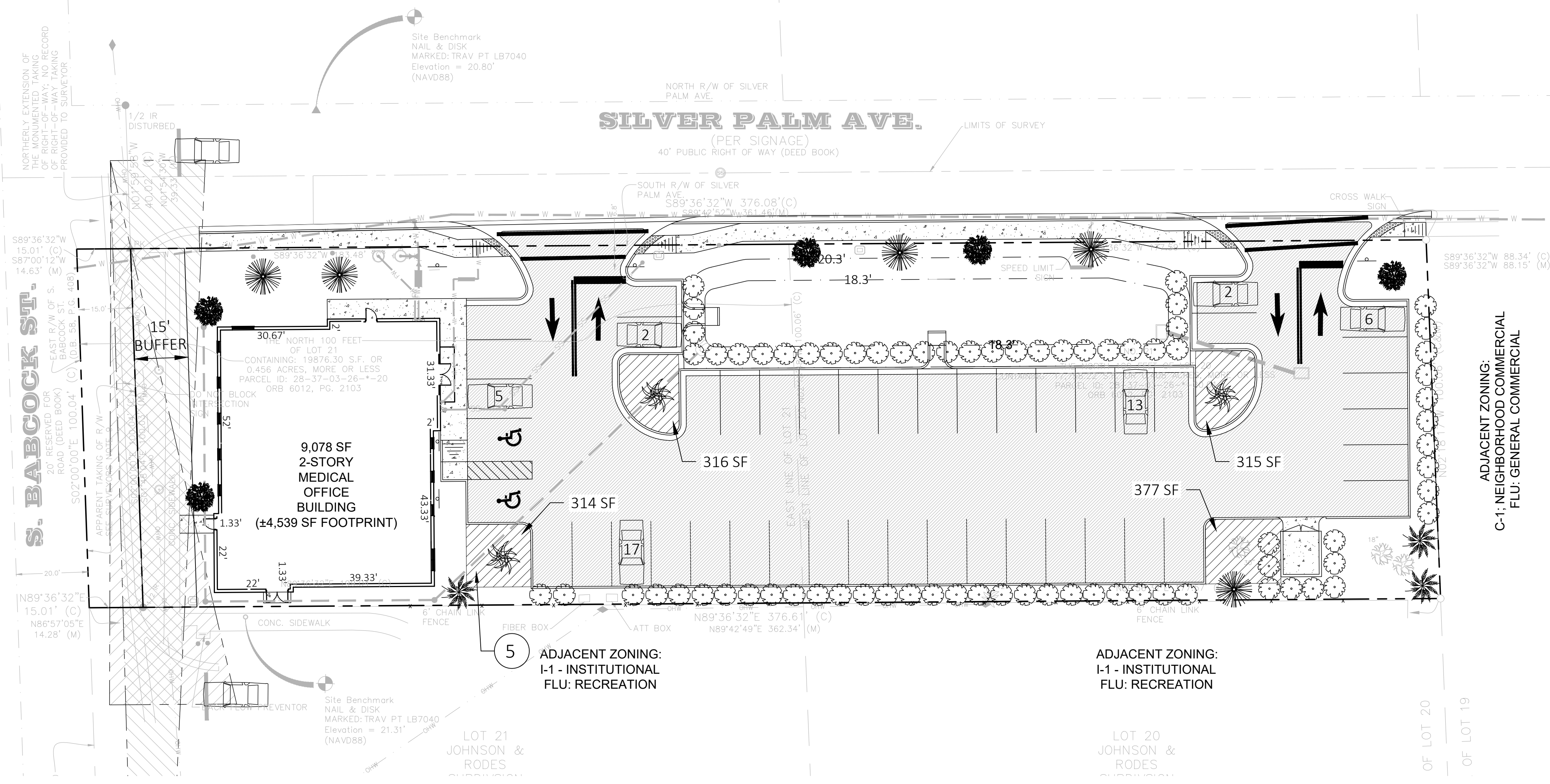
DETAILS

JAMES R. TRAUGER
LICENSE
No. 75612
STATE OF FLORIDA
PROFESSIONAL ENGINEER
628-22

DATE: 6-1-2023
TOWNSHIP: 28S
RANGE: 37E
SECTION: 3
SCALE: NTS
DRAWING NO: **C-8**
DRAWN BY: TLW
PROJECT: 22-145

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.
Call 811 two business days before
digging



ADJACENT ZONING:
C-1- NEIGHBORHOOD COMMERCIAL
FLU- GENERAL COMMERCIAL

ADJACENT ZONING:
I-1 - INSTITUTIONAL
FLU: RECREATION

ADJACENT ZONING:
I-1 - INSTITUTIONAL
FLU: RECREATION

LANDSCAPE PLAN
1"=20'

LANDSCAPE NOTES:

- SPACING FOR ALL LARGE TREES (MIN. 10' HEIGHT) SHALL BE MAX. 50' O.C. PER THIS PLAN.
- ALL ON-SITE AREAS NOT IDENTIFIED FOR LANDSCAPING SHALL BE SODDED WITH ST. AUGUSTINE SOD EXCEPT DRY RETENTION SWALE AREAS. THEY SHALL BE SEEDED AND MULCHED OR SODDED WITH SAND-BASED ST. AUGUSTINE SOD.
- LANDSCAPE PLANTS AND PLANTING METHODS SHALL MEET OR EXCEED ALL REQUIREMENTS HEREIN AND ALL CITY OF MELBOURNE LAND DEVELOPMENT CODE REQUIREMENTS.
- AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED BY IRRIGATION CONTRACTOR FOR ALL PVIOUS AREAS ON-SITE. IRRIGATION CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE AS NEEDED. PROVIDE A WELL FOR IRRIGATION SOURCE.
- ALL SODDED AREAS OFF-SITE SHALL BE COMMON BERMUDA TYPE.
- ONCE RECLAIMED WATER SERVICE BECOMES AVAILABLE, CONNECTION WILL BE REQUIRED. IRRIGATION SYSTEM SHALL BE DESIGNED TO EASILY ACCOMMODATE A RETROFIT CONNECTION TO A RECLAIMED WATER SERVICE MAIN.
- USE 35# ARGENTINE BAHIA SEED/ACRE, MIXED WITH 20# OF MILLET/ACRE. INCLUDE GRANULAR SLOW-RELEASE FERTILIZER 16-4-8 IN THIS MIXTURE, PER MANUFACTURER'S RECOMMENDATION.
- WHETHER PRESERVED OR NEWLY PLANTED, ALL PLANT MATERIALS UTILIZED TO SATISFY THE LANDSCAPING REQUIREMENTS HEREIN SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 PLANTS, AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, 1973, PUBLISHED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, OR THEIR EQUIVALENT.
- THE LOCATION OF VEGETATION OR TREE(S) SHALL NOT INTERFERE WITH UTILITY SERVICES OR CREATE AN UNSAFE VISUAL CLEARANCE OR OTHER SAFETY HAZARD TO THE EXTENT THAT CORRECTION CANNOT BE REMEDIED BY TRIMMING.
- UPON FINAL INSPECTION, ANY PLANT THAT APPEARS TO BE DAMAGED OR IN SHOCK SO THAT IT IS NO LONGER FLORIDA GRADE #1 WILL BE REMOVED AND REPLACED WITH A HEALTHY PLANT OF THE SAME SPECIFIED TYPE AND SIZE.
- NEW PLANTS AND NEW BEDS ARE TO HAVE A 3" LAYER OF GRADE A PINE BARK MULCH, UNLESS OTHERWISE SHOWN TO HAVE RIVER ROCK MULCH. ALL TREES IN SOD AREAS ARE TO HAVE A 4" DIAMETER RING OF PINE BARK MULCH. INSTALL PINE BARK MULCH IN ALL UTILITY/EQUIPMENT AREAS. INSTALL WEED CONTROL FABRIC UNDER ALL PINE BARK AND RIVER ROCK MULCH.
- ALL PLANTS ARE TO BE INSTALLED IN HOLES WHICH ARE TWICE THE WIDTH OF THE ROOT BALL. REMOVE EXTRANEOUS DEBRIS AND BACKFILL PLANTS WITH LOOSE, EXCAVATED SOIL.
- INSTALL ALL PLANTS WITH PROPER SPACING AS INDICATED ON THE PLANT LIST. DO NOT INSTALL PLANTS IN LOCATIONS THAT ARE TOO CLOSE TO EQUIPMENT, PAVEMENT, CONCRETE, FENCES, OVERHEAD WIRES, UTILITY STRUCTURES, LIGHTS, SPRINKLER HEADS OR VALVES. MAKE FIELD ADJUSTMENTS TO AVOID SUCH CONFLICTS CONSIDERING FUTURE GROWTH OF PLANTS. SPACING OF SHRUBS AND PLANTS FROM EDGE OF SOD OR EDGE OF CONCRETE IS TO BE A MINIMUM OF 2/3 OF THE SPECIFIED O.C. SPACING. INSTALL PLANTS LOCATED AT THE END OF PARKING SPACES 4' OFF BACK OF CURB OR WHEEL STOP.
- THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSES AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE PROTECTION OF THE WORK.
- SHOULD ANY OBJECTIONABLE MATERIALS SUCH AS OLD CONCRETE, BRICKS, OR OTHER DEBRIS BE ENCOUNTERED DURING PLANTING OPERATIONS, THEY SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ALL OTHER PARTIES INVOLVED WITH THE JOB IN ORDER TO ELIMINATE UNNECESSARY COMPLICATION DURING THE INSTALLATION OF HIS WORK.
- ALL NEW PLANT MATERIALS, EXCEPT SOD, SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF FINAL INSPECTION AND INTERIM ACCEPTANCE, AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH FOR EACH SPECIFIC KIND OF PLANT AT THE END OF THE GUARANTEE PERIOD. SOD SHALL BE GUARANTEED FOR A PERIOD OF 60 DAYS AND SEED FOR A PERIOD OF 90 DAYS FROM THE DATE FINAL REVIEW AND INTERIM ACCEPTANCE.
- DURING THE GUARANTEE PERIOD, ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY GROWTH, AS DETERMINED BY THE PROJECT REPRESENTATIVE SHALL BE REMOVED. REPLACEMENTS SHALL BE MADE WITHIN TEN DAYS OF NOTICE TO THE LANDSCAPE CONTRACTOR.
- SPECIFICALLY EXCLUDED FROM THE GUARANTEE ARE DAMAGES RESULTING FROM NATURAL CAUSES SUCH AS FLOOD, LIGHTNING STRIKES, FREEZING RAINS OR WINDS OVER 60 MPH, DAMAGES FROM ACTS OF NEGLIGENCE ON THE PART OF THE OWNER OR OTHERS OCCUPYING THE SITE, FIRES, VANDALISM AND HERBIVOROUS ANIMALS.
- THE SOD SHALL BE OF FIRM, TOUGH TEXTURE HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO WEEDS, OR ANY OTHER OBJECTIONABLE VEGETATION. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN AND OTHER DISEASES. SOD SHALL BE AS SPECIFIED ON PLANS.
- GRASS SEED SHALL BE ARGENTINE BAHIA WITH A MINIMUM PURITY OF 85%, MINIMUM GERMINATION OF 80% AND WEED CONTENT NOT TO EXCEED ONE-HALF PERCENT (1/2%). A COVER GRASS SHALL BE MIXED WITH THE BAHIA SEED AS FOLLOWS:
1. MARCH - OCTOBER: 2/3 BAHIA AND 1/3 BROWN TOP MILLET.
- STAKES AND GUYS: PROVIDE STAKES AND DEADEN OF SOUND NEW HARDWOOD, TREATED SOFTWOOD, OR REDWOOD, FREE OF KNOT HOLES AND OTHER DEFECTS. PROVIDE WIRE TIES AND GUYS OF 2-STRAND, TWISTED, PLIABLE GALVANIZED IRON WIRE NOT LIGHTER THAN 12 GA. WITH ZINC COATED TURNBUCKLES. PROVIDE NOT LESS THAN 1/2" DIAMETER RUBBER OR PLASTIC HOSE, CUT TO REQUIRED LENGTHS AND OF UNIFORM COLOR, MATERIAL AND SIZE TO PROTECT TREE TRUNKS FROM DAMAGE BY WIRES.
- ALL PLANTS EXCEPT AS OTHERWISE SPECIFIED, SHALL BE CENTERED IN PITS AND SET ON COMPACTED TOP SOIL TO SUCH A DEPTH THAT THE FINISHED GRADE LEVEL AT THE PLANT AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. NO BURLAP SHALL BE PULLED OUT FROM UNDER BALLS. ROOTS SHALL BE SPREAD IN THEIR NORMAL POSITION. ALL BROKEN OR FRAYED ROOTS SHALL BE CUT OFF CLEANLY. SOIL SHALL BE PLACED AND COMPACTED THOROUGHLY, AVOIDING INJURY AND SHALL BE SETTLED BY WATERING. NO FILLING ROUND TRUNKS WILL BE PERMITTED.
- NEW PLANTING SHALL BE SO SET THAT THE FINAL LEVEL OF GROUND AROUND THE PLANTS SHALL CONFORM TO SURROUNDING GRADES, OR AS OTHERWISE SPECIFIED.
- SOLID SOD SHALL BE LAID WITH CLOSELY ABUTTING JOINTS WITH A TAMPED OR ROLLED EVEN SURFACE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT-CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS. AFTER THE SOD IS LAID, A TOP DRESSING OF CLEAN SAND SHALL BE EVENLY APPLIED OVER THE ENTIRE SURFACE AND THOROUGHLY WASHED, (IF DETERMINED NECESSARY BY ENGINEER. NOTE: SAND WILL NOT BE REQUIRED ON PROPERLY LAID SOD
- SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR. SUBMIT PRIOR TO EXPIRATION OF REQUIRED MAINTENANCE PERIOD.

PLANT SCHEDULE:

SYMBOL	QUANTITY	SPECIFICATIONS	COMMON NAME (GENUS)
	5	10' HT, 2" CALIPER	JAPANESE BLUEBERRY (ELAEOCARPUS DECIPENS)
	5	10' HT, 2" CALIPER (COMBINED)	CREPE MYRTLE (LAGERSTROEMIA INDICA)
	3 (TRIPLE)	MINIMUM 8' CLEAR TRUNK	CHRISTMAS PALM (ADONIDIA MERRILLII)
	3	MINIMUM 8' CLEAR TRUNK	FOXTAIL PALM (WODYETIA BIFURCATA)
	73	3 GAL, 24" MIN. HT, PLANT 3" O.C.	SILVER BUTTONWOOD (CONOCARPUS ERECTUS VAR. SERICEUS)

LANDSCAPING CALCULATIONS:

Tree Requirement Along Property Lines:

- 361 LF along North property line, 361 feet/50 feet per tree = 7.24 trees
- 100 LF along East property line, 100 feet/50 feet per tree = 2 trees
- 362 LF along South property line, 362 feet/ 50 feet per tree = 7.24 trees
- 100 LF along West property line, 100 feet/50 feet per tree = 2 trees
- Total Tree Requirement along perimeter property lines = 19 trees

Existing Trees to Remain:

- 2 palm trees along the north property line to remain
- 3 Oak trees and 1 palm tree along the south property line to remain

Total Perimeter Tree Calculations = 19 trees
Total Interior Tree Calculations (required 1 tree per island) = 3 trees
Total Preserved Trees = 7 trees preserved on-site
Total New Trees Required On-site = 16 trees
Total Trees Provided On-site = 16 new interior and new perimeter trees (see Plant Schedule)
 All new trees on-site are entirely of the species listed in Section 9.273(c)(2)a, therefore 1 tree/50 feet is used.

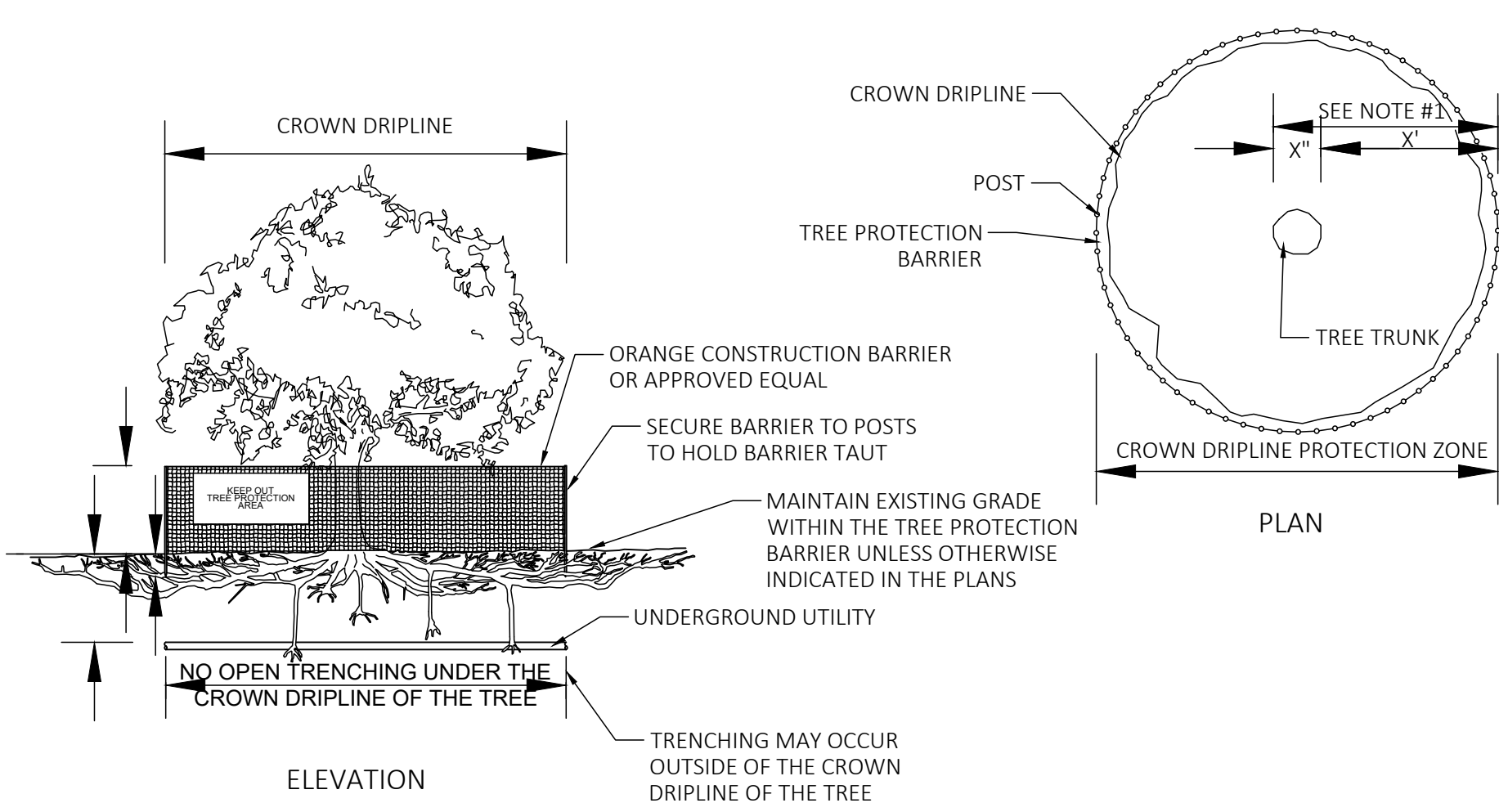
Landscaping Buffer Requirement:

- 100.03' along the frontage x 15' buffer = 1501 SF of buffer along South Babcock Street required
- Landscaping Buffer Area provided along frontage = 1501 SF provided

Interior parking Landscaping Requirement:

- 22 spaces = 1,100 SF of interior landscaping area

Interior Landscaping Provided = 1,322 SF (DESIGNATED BY ANGLE HATCH)



- Notes:**
- Crown Dripline Protection Zone: Extends in all directions from trunk of tree to a distance equal to one foot per inch of trunk diameter at breast height for protected tree species.
 - Staging, storage, dumping, washing and operation of equipment is not permitted within the limits of the tree protection barrier, including during barrier installation.
 - Install all tree protection prior to commencement of construction and remove when directed by the engineer. Maintain protection at all times.
 - For closely spaced groups of trees, place the tree protection barrier around the entire group.
 - Inspect trunk protection and tree quarterly to prevent girdling. Adjust bands to allow tree growth as needed.
 - See plans for any additional requirements or modifications within the tree protection area.
 - Place weather resistant sign every 50' along the barrier, with 6" minimum text height and provide text in English and Spanish in environmentally sensitive areas. Sign should read "Keep Out Tree Protection Area".
 - FDOT details are provided for reference info only. See most current corresponding index number in latest edition of the roadway and traffic design standards manual for complete detail information and specifications. Alternate tree protection systems approved by the Engineer may be used in lieu of the tree protection barrier detailed on this index.

TREE PROTECTION DETAIL



REVISION	DATE	REV#

TRAUGER CONSULTING ENGINEERS

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**BHA - SILVER PALM
MELBOURNE, FLORIDA
LANDSCAPE PLAN**

JAMES R. TRAUGER
 LICENSE
 NO. 75612
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 6-28-23

DATE: 6-1-2023
 TOWNSHIP: 28S
 RANGE: 37E
 SECTION: 3
 SCALE: 1"=20'
 DRAWING NO. L-1
 DRAWN BY: TLW
 PROJECT: 22-145