

# Bev Smith Recon Building

New Construction

3350 US-1  
Fort Pierce, FL 34982

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Fort Pierce, FL 34982

...



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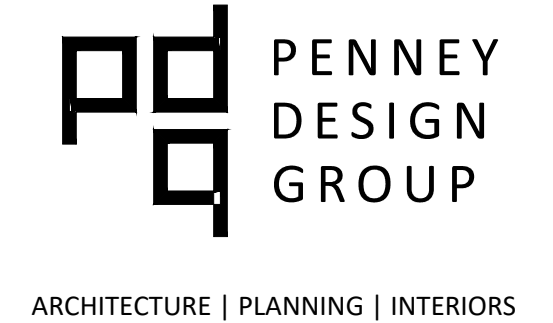
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Florida, license number: A007071, expiration date: February 28, 2022.

Bid Set	2021.10.04
No.	Issue / Revision
Drawn By:	TK
Checked By:	PS
Plot Date:	October 5, 2021

Sheet Number  
**G-001**  
Sheet Title  
**Cover Sheet**

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Sheet Number  
**G-002**  
 Sheet Title  
**Sheet Index**

Project Number File Name  
 BST001b BST001b\_G-002.dwg

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ABBREVIATIONS		GENERAL NOTES	
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
BLDG	BUILDING	MEZZ	MEZZANINE
BM	BEAM	MFR	MANUFACTURER
C/C	CENTER TO CENTER	MIN	MINIMUM
CJ	CONTROL JOINT	MISC	MISCELLANEOUS
C	CENTER LINE	MO	MASONRY OPENING
CLG	CEILING	MTL	METAL
CLR	CLEAR	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	PERF	PERFORATE
CONT	CONTINUOUS	PERIM	PERIMETER
CT	CERAMIC TILE	PERP	PERPENDICULAR
DEMO	DEMOLITION	PL	PLATE
DET	DETAIL	P LAM	PLASTIC LAMINATE
DIA	DIAMETER	PLWOD	PLYWOOD
DIM	DIMENSION	PSF	POUNDS PER SQ. FT.
DIV	DIVISION	PSI	POUNDS PER SQ. IN.
DN	DOWN	QTY	QUANTITY
DO	DITTO	R	RADIUS
DWG	DRAWING	RD	ROOF DRAIN
EX	EXISTING	REFL	REFLECTED
EA	EACH	REINF	REINFORCEMENT
EIFS	EXT. INSULATION AND FINISHING SYSTEM	REQ	REQUIRED
EJ	EXPANSION JOINT	RM	ROOM
EL	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRICAL	SCHED	SCHEDULE
ELEV	ELEVATOR	SCW	SOLID CORE WOOD SECTION
ENG	ENGINEER	SECT	SECTION
EQ	EQUAL	SF	SQUARE FOOT/FEET
EXP	EXPANSION	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
FD	FLOOR DRAIN	SPECS	SPECIFICATION(S)
FDN	FOUNDATION	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FINISHED FLOOR	STD	STANDARD
FIN	FINISH or FINISHED	STL	STEEL
FL	FLOOR	STOR	STORAGE
FLOUR	FLOURESCENT	STRUCT	STRUCTURAL
FT	FOOT or FEET	SY	SQUARE YARD(S)
FTG	FOOTING	SYM	SYMMETRICAL
GA	GAGE	TBD	TO BE DETERMINED
GALV	GALVANIZED	T&B	TOP AND BOTTOM
GC	GENERAL CONTRACTOR	T&G	TONGUE AND GROOVE
GL	GLASS or GLAZING	TEL	TELEPHONE
GYP BD	GYP SUM BOARD	TEMP	TEMPORARY
HC	HOLLOW CORE	THK	THICK
HM	HOLLOW METAL	THRU	THROUGH
HORIZ	HORIZONTAL	TYP	TYPICAL
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING, VENTILATION, AIR CONDITIONING	VB	VINYL BASE
IN	INCH	VCT	VINYL COMPOSITE TILE
INFO	INFORMATION	VERT	VERTICAL
INSUL	INSULATION	VIF	VERIFY IN FIELD
INT	INTERIOR	W	WIDTH
JT	JOINT	WD	WOOD
LAM	LAMINATE	W/O	WITHOUT
MAS	MASONRY	WWF	WELDED WIRE FABRIC

- Contractor shall coordinate the drawings between sub-contractors (i.e. mechanical, electrical, plumbing, structural) for conflict and notify the Architect prior to bid of any discrepancies and/or conflicts. Contractor shall also verify all dimensions and conditions shown on drawings at the job site and shall notify the Architect and the Owner of any discrepancies, omissions, and/or conflicts prior proceeding with the job. Contractor shall request an interpretation from the Architect before proceeding. To the extent Contractor discovers discrepancies and fails to make such a request, no excuse will thereafter be entertained for failure to carry out the work in a satisfactory manner acceptable to the Architect and the Owner.
- DO NOT SCALE DRAWINGS. Dimensions indicated on the drawings shall govern; large-scale detail drawings take precedence over small scale plans, etc.
- All partitions are dimensioned to face of wall finish, unless noted otherwise.
- Provide solid blocking between studs to attach and support wall-hung and wall-connected items (i.e. grab bars, sinks, cabinets, shelving, roof ladders, etc.). Attach blocking to substrate as required to support applied loading. Make tight connections between members. Install fasteners without splitting of wood; predrill as required.
- Where a vinyl base is specified, use a 4" coved-toe, unless noted otherwise.
- All floors shall be leveled and free of irregularities to assure one constant floor height, so that door bucks when set are at consistent dimensions from the ceiling with no gaps between the bottom of the door buck at the slab after carpeting and other floor finishes are installed.
- Any site demolition shall be coordinated with new construction. The General Contractor shall be responsible for removal and disposal of all construction debris and refuse.
- All contractors are responsible for laying out equipment runs to avoid interference.
- If ceiling diffusers, light fixtures or other elements on or above the ceiling cannot be located as shown on plan due to obstructions, General Contractor shall notify Architect and Owner prior to commencing work.
- All work shall conform to all applicable codes, i.e. federal, state, and local building codes. Contractor shall review for code compliance during the bidding process. To the extent contractor discovers code discrepancies and fails to make a request for code interpretation, no excuse will thereafter be entertained for failure to carry out the work in a satisfactory manner acceptable to the Architect and the Owner.
- Doors and frames which require a fire resistant rating shall be a type approved by the National Board of Fire Underwriters. See door schedule for ratings.
- After the job is in progress, "change orders" must be approved by the Owner and Architect in writing prior to commencing work. Work performed without prior written notice may not be compensated for.
- Exit and directional signs and lights shall comply with state and local building codes.
- Interior rooms shall be mechanically ventilated in accordance with state and local building codes.
- Contractor shall be responsible for bracing of partition walls as required and at all door openings.
- Drywall control joints shall be provided in accordance with recommended practices of the United States Gypsum Association.
- All miscellaneous wood blocking, sills, plywood, etc., to be fire retardant treated.
- All materials are to be stored properly. General Contractor is responsible for the safekeeping of materials including those supplied by the Owner.
- The General Contractor is responsible for coordination of special shipping items jointly with the Owner for Owner-supplied items. The General Contractor shall provide the Owner and Architect with a reasonable construction schedule to arrange shipping.
- The Contractor shall obtain and pay for necessary permits, including but not limited to mechanical, electrical, plumbing, etc. permits. The Contractor is responsible for securing the Certificate of Occupancy (and temporary C of O's, where applicable) and coordinate all the necessary inspections and approvals during phased construction and through final completion.
- The General Contractor may substitute materials, finishes, and/or equipment, upon written submittal and approval according to the Project Manual.
- No substitutions will be allowed during the construction process unless approved by the Owner and Architect, and according to the Project Manual.
- Dimensions noted "clear" or "hold" shall not be adjusted without prior approval by the Architect.
- Isolate dissimilar metals in contact with each other. Provide clear sealant between dissimilar materials.
- The contractor shall furnish and install fire extinguishers, fire dampers, smoke detectors, emergency lighting, and sprinkler heads as required by the Fire Marshall and local codes.
- The General Contractor shall provide all access panels which are required by code for all HVAC, electric, plumbing, signage, elevator and/or equipment conditions. Contractor shall make all possible efforts to provide the minimum number and size panels wherever feasible. Where access panels occur in drywall, GC shall provide "Stealth" models as manuf. by Wind-Lock. At restroom areas GC shall provide metal access panels with finish to match restroom accessory finish. GC shall notify architect of planned access panel locations for review and approval prior to such work commencing.
- Upon substantial completion of the work, the General Contractor shall prepare a punch list and notify Architect to review and verify punch-list for corrections.
- The General Contractor shall repair and restore existing site conditions damaged during construction.
- All door jambs to be installed plumb and square.
- The specifications and drawings are complementary and shall be equal in authority and priority. If duplications or conflicts are discovered either in themselves, or with each other, prices shall be based on the most expensive combination of quality and quantity of work indicated with no credit for all costs saved accruing to Owner if the Contract Documents and any duplications specified shall not become a basis for extra cost to the Owner. The appropriate method of performing the work, in the event of the above mentioned disagreements, shall be recommended by the Architect, reviewed by Owner's representative, and approved by the Owner.
- Unless otherwise provided in the Contract Documents, owner shall secure and pay for the building permit. Contractor shall secure and pay for all other permits and governmental fees, licenses, and inspections necessary for proper execution and completion of the work which are customarily secured after execution of the Contract and which are legally required at the time the bids are received, including but not limited to the demolition permit. Contractor shall procure all certificates of inspection, use, occupancy (excluding tenant occupancy permits), permits and licenses, pay all charges and fees and give all notices necessary and incidental to the due and lawful prosecution of the work. It is agreed that the Contractor is required to deliver all such certificates to the Owner or Architect before the project will be deemed to be substantially complete. Certificates of inspection, use, and occupancy shall be delivered to the Owner upon completion of the work in sufficient time for occupation of the project in accordance with the approved schedule for the work.

CODES / YEAR (EDITION) & SUPPLEMENTS		
The design and construction of all structures shall be in accordance with adopted codes of the State of Florida, including supplements and amendments. The following codes apply:		
YEAR	CODE	
2017	Florida Building Code, 6th Edition	State/Building
2017	Florida Building Code - Plumbing, 6th Edition	Plumbing
2017	Florida Building Code - Energy Conservation, 6th Edition	Energy
2017	Florida Building Code - Accessibility, 6th Edition	Accessibility
2017	Florida Building Code - Existing Building, 6th Edition	Existing Building
2017	Florida Building Code - Fuel Gas, 6th Edition	Fuel Gas
2017	Florida Building Code - Mechanical, 6th Edition	Mechanical
2014	National Electrical Code (NFPA 70)	Electrical
	Florida Fire Prevention Code, 6th Edition	Fire Prevention

- ### GENERAL ACCESSIBILITY REQUIREMENTS
- ALL WALKWAYS, HALLS, CORRIDORS, AISLES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH ARTICLES 4.2 AND 4.3.
  - SPACE ALLOWANCES AND REACH RANGES AT ALL ROOMS AND SPACES SHALL COMPLY WITH REFERENCE STANDARD 432. REACH RANGES TO BE: FORWARD REACH HEIGHT: 9" MINIMUM, 54" MAXIMUM.
  - GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ROOMS AND SPACES INCLUDING FLOORS, WALKWAYS, RAMPS, CORRIDORS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT AND COMPLY WITH ARTICLE 4.8.
  - ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH ARTICLE 4.3.8.
  - ALL THRESHOLDS AT OPENINGS SHALL NOT EXCEED 1/4" HEIGHT AND SHALL COMPLY WITH THE REQUIREMENTS IN ARTICLE 4.3.8. SEE PLAN FOR LOCATIONS.
  - ALL DOORS IN PUBLIC SPACES TO BE ACCESSIBLE U.N.O. AND SHALL COMPLY WITH REQUIREMENTS OF ARTICLE 4.13.
  - ALL HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES AT ENTRANCE SPACES SHALL COMPLY ARTICLE 4.13.9.
  - ALL ACCESSIBLE STORAGE FACILITIES, INCLUDING BUT NOT LIMITED TO CABINETS AND CLOSETS, SHALL COMPLY WITH ARTICLE 4.13.9.
  - ALL CONTROLS AND OPERATING MECHANISMS FOR LIGHT SWITCHES AND ALARMS SHALL BE ACCESSIBLE AND COMPLY WITH ARTICLE 4.27.
  - ALL EMERGENCY WARNING SIGNAGE AND CIRCULATION DIRECTION SIGNAGE SHALL COMPLY WITH ARTICLE 4.28.
  - ALL CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL REQUIRE TIGHT GRASPING OF THE WRIST PER ARTICLE 4.25.4.
  - ALL AREAS WILL COMPLY WITH ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AS ENFORCED BY THE AHJ, SEE COVER SHEETS.

### LEGEND

<p><b>SYMBOLS</b></p> <p>3 A-4 — DETAIL NUMBER DRAWING LOCATION NUMBER</p> <p>A A-4 INDICATES ELEVATION (EXTERIOR/INTERIOR)</p> <p>A-A A-4 INDICATES BUILDING CROSS SECTION</p> <p>1 A-4 INDICATES WALL SECTION</p> <p>↕ ELEVATION</p> <p>1 WALL TYPE</p> <p>A COLUMN DESIGNATION</p> <p>A A-4 WINDOW TYPE</p> <p>101 DOOR NUMBER</p> <p>101 ROOM NUMBER</p> <p>INDICATES RATED WALL ON FLOOR PLANS</p>	<p><b>MATERIALS</b></p> <p>CMU</p> <p>EARTH</p> <p>GRAVEL</p> <p>WOOD VENEER</p> <p>CONCRETE</p> <p>STEEL</p> <p>INSULATION</p> <p>RIGID INSULATION</p> <p>FINISHED STONE</p>
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- ### LEGEND
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  - Unless otherwise provided in the Contract Documents, owner shall secure and pay for the building permit. Contractor shall secure and pay for all other permits and governmental fees, licenses, and inspections necessary for proper execution and completion of the work which are customarily secured after execution of the Contract and which are legally required at the time the bids are received, including but not limited to the demolition permit. Contractor shall procure all certificates of inspection, use, occupancy (excluding tenant occupancy permits), permits and licenses, pay all charges and fees and give all notices necessary and incidental to the due and lawful prosecution of the work. It is agreed that the Contractor is required to deliver all such certificates to the Owner or Architect before the project will be deemed to be substantially complete. Certificates of inspection, use, and occupancy shall be delivered to the Owner upon completion of the work in sufficient time for occupation of the project in accordance with the approved schedule for the work.

### ACCESSIBILITY SIGNAGE NOTES

**TOILET ROOM WALL MOUNTED SIGN**

**INTERNATIONAL SYMBOL OF ACCESSIBILITY**

**TOILET ROOM DOOR MOUNTED SIGN**

CHARACTER PROPORTION:  
LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:1.0.

RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS (PICTOGRAMS):  
LETTERS AND NUMERALS SHALL BE RAISED 1/32 IN., UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 IN. (16 MM) HIGH, BUT NO HIGHER THAN 2 IN. (50 MM). PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6 IN. (152 MM) MINIMUM OF HEIGHT.

FINISH AND CONTRAST:  
THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

MOUNTING LOCATION AND HEIGHT:  
WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3 IN. (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR. MOUNTING HEIGHT SHALL BE 60 IN. (1525 MM) ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.

SYMBOLS OF ACCESSIBILITY:  
FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE BY SECTION 4.1 OF THE A.D.A.A.G. SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

### CODE ANALYSIS

### LOCATION MAP

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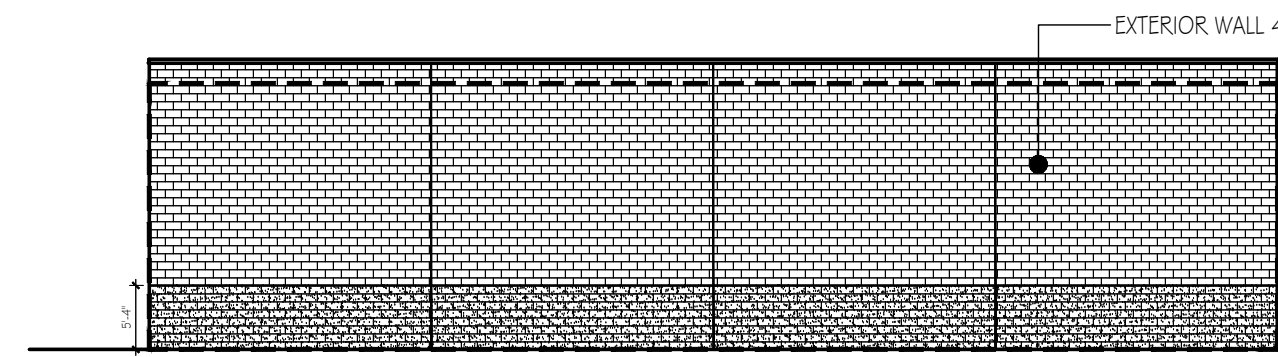
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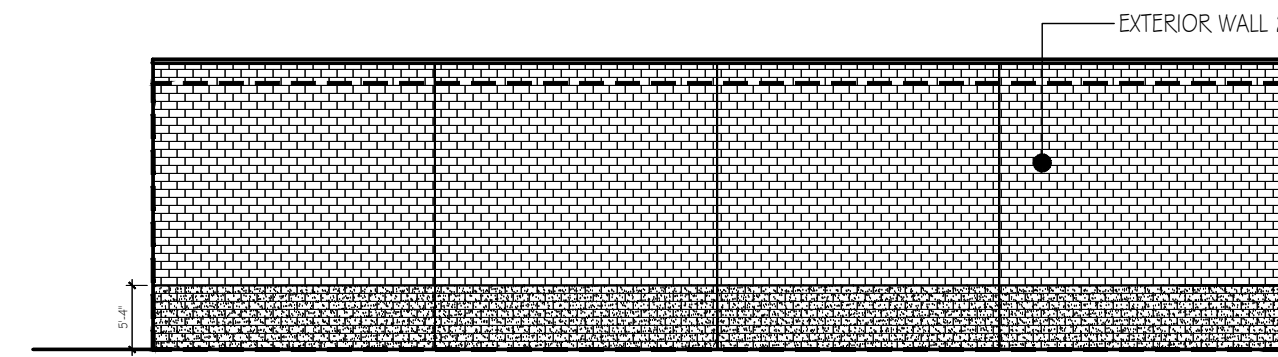
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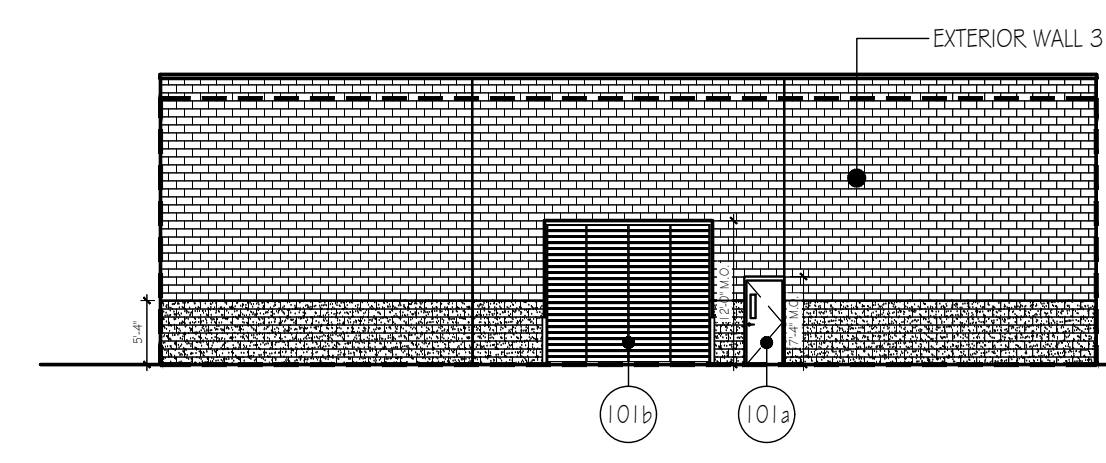




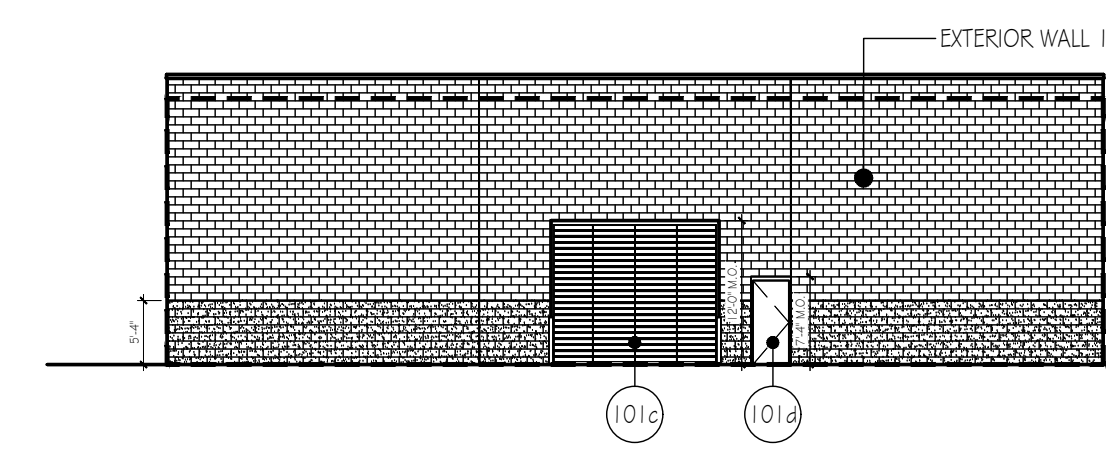
5 WEST ELEVATION 1/16" = 1'-0"



3 EAST ELEVATION 1/16" = 1'-0"



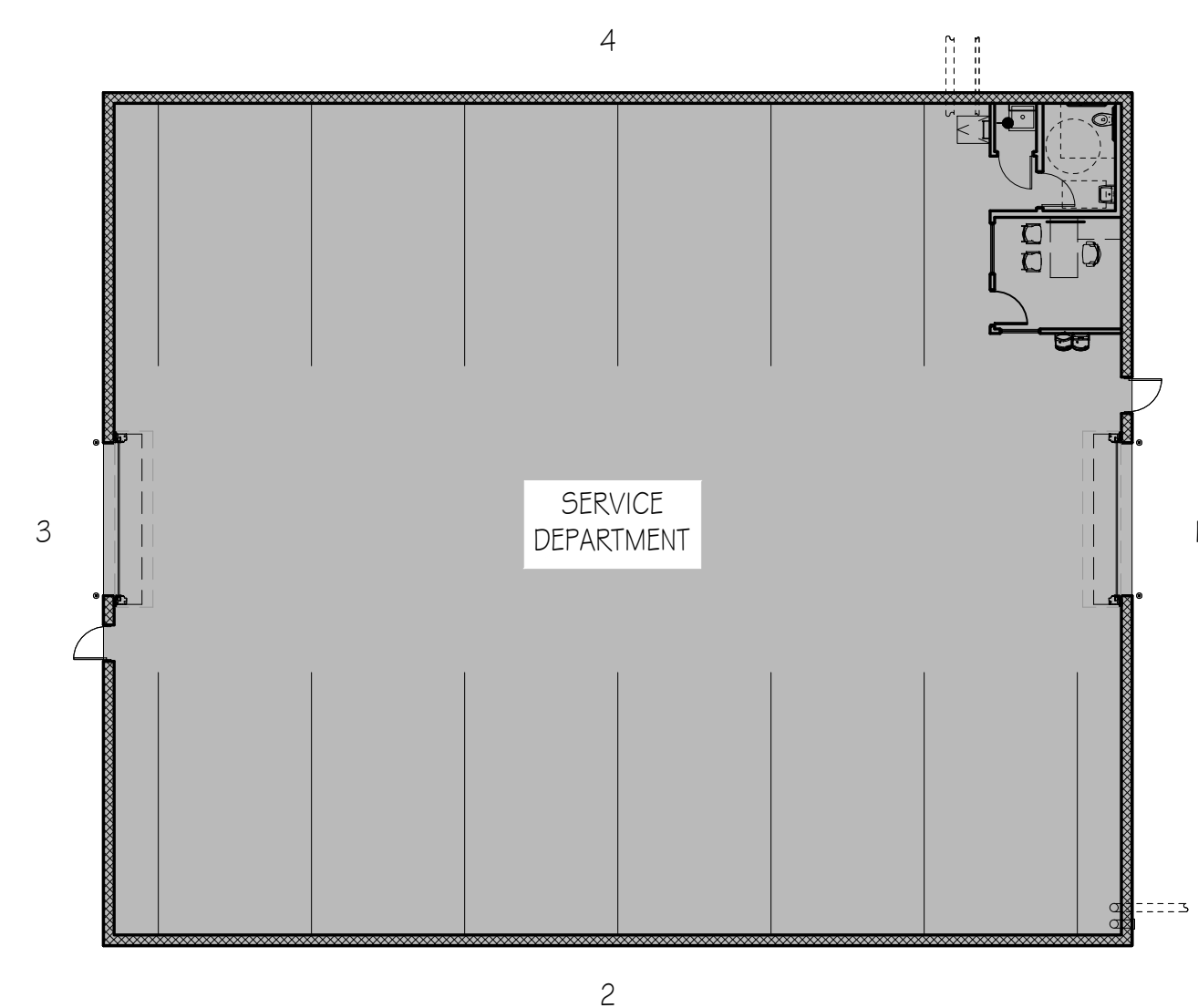
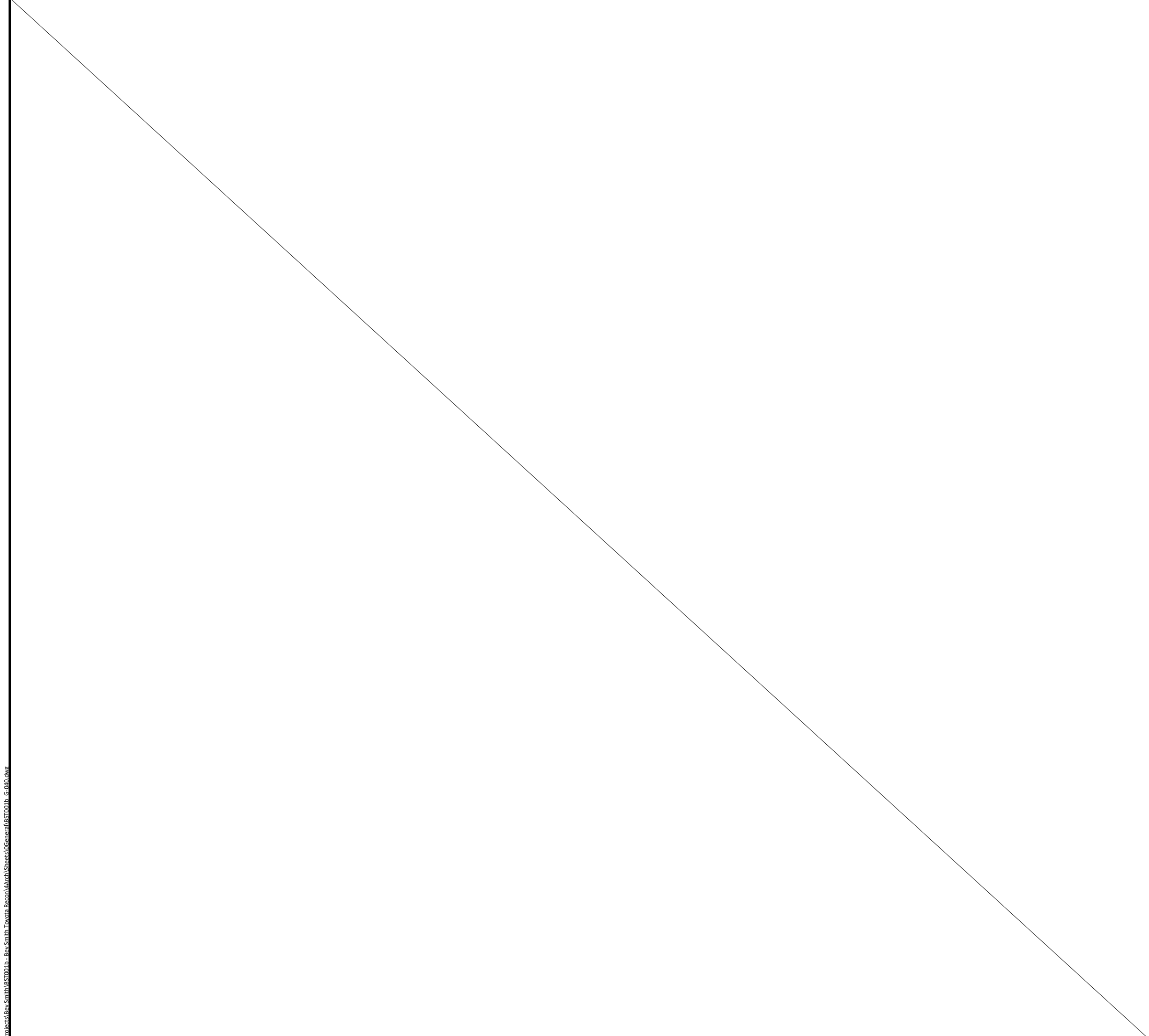
4 SOUTH ELEVATION 1/16" = 1'-0"



2 NORTH ELEVATION 1/16" = 1'-0"

ENVELOPE COMCHECK CERTIFICATE

ENVELOPE DIAGRAMS - PLANS



1 FLOOR PLAN 1/16" = 1'-0"

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Project Number	File Name
BST001b	BST001b_G-040.dwg

OCCUPANCY SCHEDULE

GROUND FLOOR					
ROOM	ROOM NAME	USE GROUP	FLOOR AREA	LOAD FACTOR (sq. ft./OCC.)	OCCUPANT LOAD
101	SERVICE BAYS	S-1	6,774 sq. ft.	300	23
102	OFFICE	S-1	119 sq. ft.	300	1
103	UNISEX	S-1	65 sq. ft.	300	1
104	JANITOR	S-1	17 sq. ft.	300	1
	SHAFTS & INTERIOR WALLS	S-1	27 sq. ft.	300	1
TOTAL FLOOR AREA & OCCUPANT LOAD: S-1 USE GROUPS			7,002 sq. ft.		26

AUTOMOTIVE SERVICE INDUSTRY LABOR STATISTICS

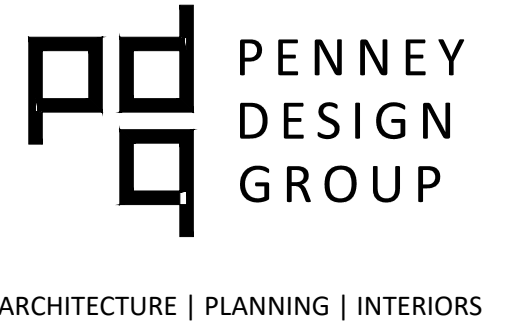
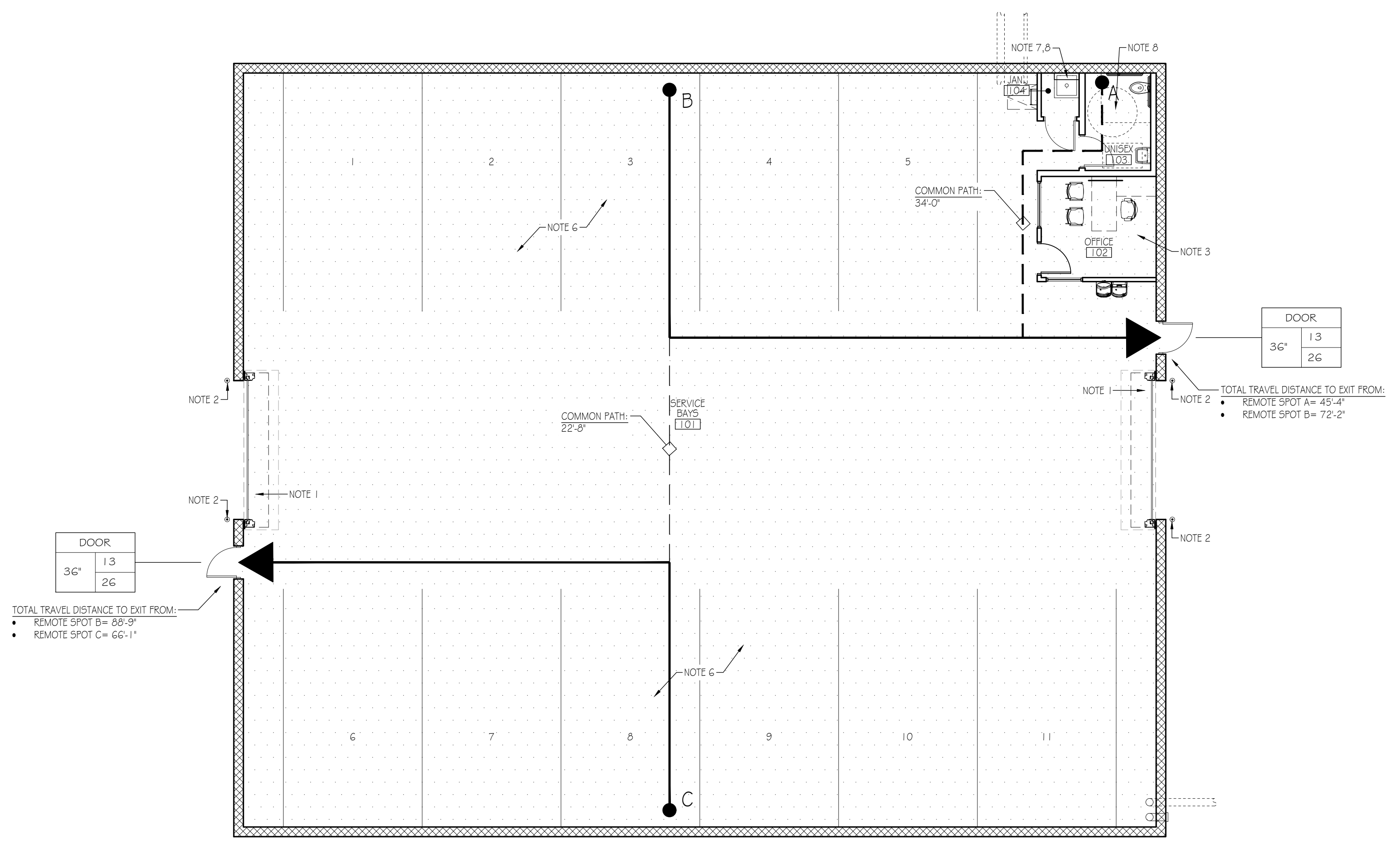
Employment data accessed via the web: <https://www.bls.gov/cps/cpsaat18.htm>

HOUSEHOLD DATA  
ANNUAL AVERAGES  
18. Employed persons by detailed industry, sex, race, and Hispanic or Latino ethnicity  
(Numbers in thousands)

Industry	Total employed	Percent of total employed				
		Women	White	Black or African American	Asian	Hispanic or Latino
Accommodation and food services	8,879	51.8	74.3	13.7	6.9	27.3
Accommodation	967	59.0	69.8	16.7	8.2	25.9
Traveler accommodation	906	59.7	68.7	17.5	8.6	27.2
Recreational vehicle parks and camps, and rooming and boarding houses, dormitories, and workers' camps	40	48.3	87.2	6.1	1.5	7.2
Food services and drinking places	7,912	51.0	74.9	13.4	6.8	27.5
Restaurants and other food services	7,763	51.0	74.7	13.5	6.8	27.7
Drinking places, alcoholic beverages	149	47.1	83.7	7.2	4.0	13.7
Other services	6,742	52.6	78.5	10.3	7.7	19.7
Other services, except private households	6,088	48.7	78.4	10.4	7.8	18.1
Repair and maintenance	1,907	12.1	85.9	7.2	3.7	27.0
Automotive repair and maintenance	1,167	9.0	87.0	6.6	2.8	26.6
Car washes	180	18.9	75.5	17.4	2.2	42.2
Electronic and precision equipment repair and maintenance	94	18.2	79.6	1.7	13.4	22.2
Commercial and industrial machinery and equipment repair and maintenance	282	9.5	88.2	7.3	2.8	33.2
Personal and household goods repair and maintenance	184	26.5	87.2	3.5	7.3	23.2
Personal and laundry services	2,207	73.4	69.5	11.8	15.2	16.3
Barber shops	108	30.3	63.2	28.0	4.6	34.6
Beauty salons	869	89.6	75.2	13.4	6.8	10.0
Nail salons and other personal care services	500	74.7	47.4	6.4	43.5	10.9
Drycleaning and laundry services	213	54.3	64.3	11.6	17.3	26.3
Funeral homes, and crematories and crematories	111	36.1	85.6	9.7	1.1	13.0
Other personal services	407	69.1	82.4	11.5	3.7	14.4
Membership associations and organizations	1,974	56.2	81.1	11.8	3.7	11.4
Religious organizations	989	45.7	84.4	10.3	3.1	11.5
Civic, social, advocacy organizations, and grantmaking and giving services	758	68.7	75.7	14.8	4.3	11.2
Labor unions	66	47.2	84.9	13.1	0.8	24.0
Business, professional, political, and similar organizations	161	66.1	84.9	6.0	5.6	6.5
Other services, private households	654	88.9	80.0	9.5	5.9	35.2
Public administration	7,501	46.4	73.3	17.5	4.6	13.1
Executive offices and legislative bodies	1,122	53.1	69.4	17.8	5.0	12.8
Public finance activities	310	57.0	72.8	17.6	5.6	12.7
Other general government and support	166	39.9	76.6	18.2	2.1	20.0
Justice, public order, and safety activities	2,771	35.5	78.2	16.1	2.7	12.5
Administration of human resource programs	1,186	70.8	65.4	22.8	6.1	15.9
Administration of environmental quality and housing programs	296	45.5	78.5	11.3	4.3	6.8
Administration of economic programs and space research	682	46.7	74.1	15.0	6.8	13.1
National security and international affairs	968	37.8	71.3	18.4	6.3	12.2

n.e.c. = not elsewhere classified.  
NOTE: Estimates for the above race groups (White, Black or African American, and Asian) do not sum to totals because data are not shown for all races. Persons whose ethnicity is identified as Hispanic or Latino may be of any race. Updated population controls are introduced annually with the release of January data. Effective with January 2020 data, industries reflect the introduction of the 2017 Census industry classification system, derived from the 2017 North American Industry Classification System (NAICS). No historical data have been revised. Data for 2020 are not strictly comparable with earlier years. Dash indicates no data or data that do not meet publication criteria (values not shown where base is less than 50,000).

LIFE SAFETY PLAN



ARCHITECTURE | PLANNING | INTERIORS  
8120 Woodmont Avenue  
Suite 750  
Bethesda, Maryland 20814  
p.301.979.7600  
f.301.710.6384  
[www.penneydesigngroup.com](http://www.penneydesigngroup.com)

Bev Smith Recon Building  
New Construction  
3350 US-1  
Fort Pierce, FL 34982



1 FLOOR PLAN USE AND EGRESS PLAN  
Scale: 1/8" = 1'-0"

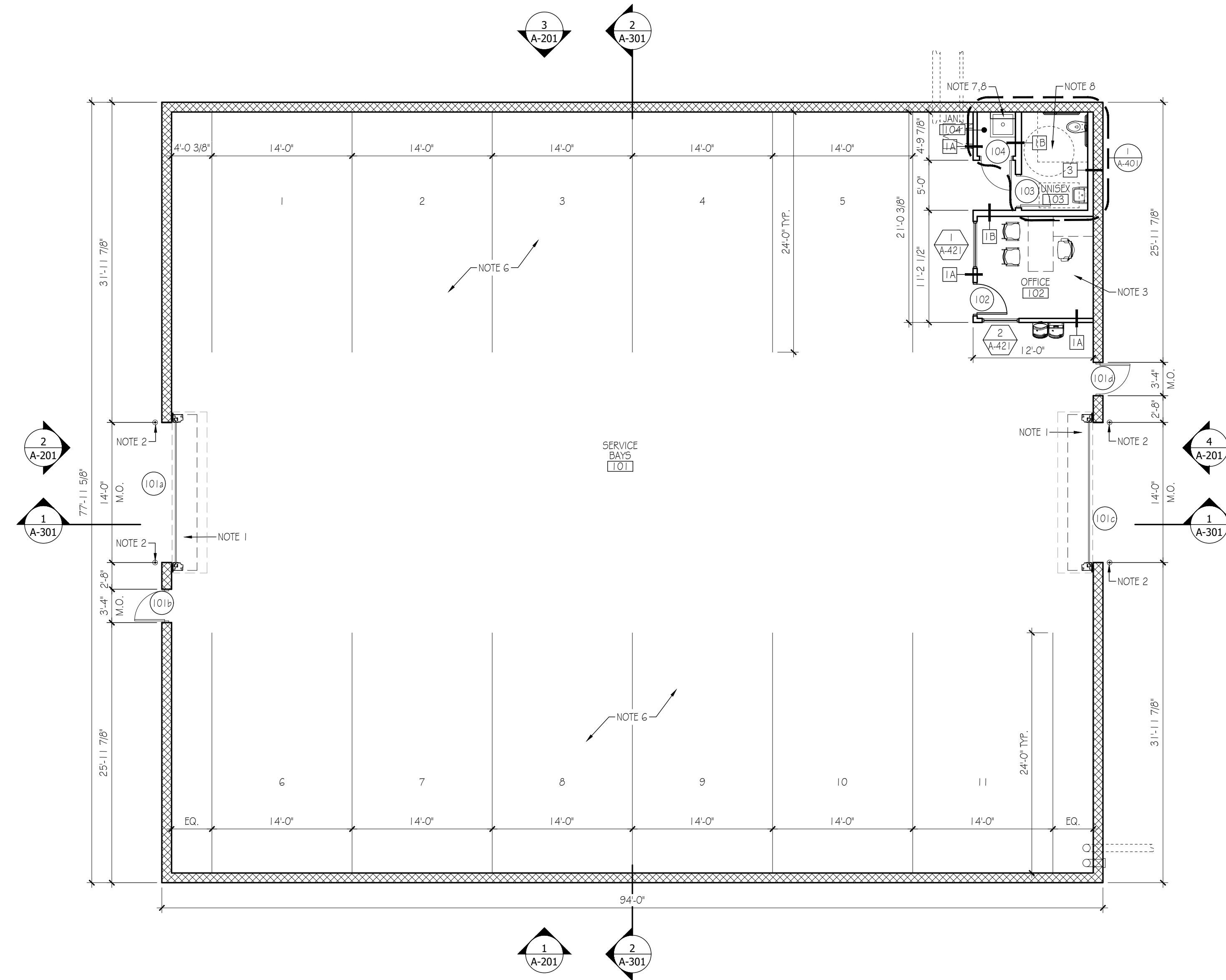
LIFE SAFETY PLAN LEGEND		NORTH ARROW & SCALE	
	USE GROUP B - MOTOR VEHICLE SHOWROOM		FIRE-RESISTANCE RATED ASSEMBLY - 2 HOURS
	USE GROUP B - SMALL ASSEMBLY SPACE		FIRE-RESISTANCE RATED ASSEMBLY - 1 HOUR
	USE GROUP S-1 - MOTOR VEHICLE REPAIR GARAGE		EXIT & REMOTE POINT
	DOOR 36"   XXX   XX		PATH OF TRAVEL
	EXPECTED # OF EGRESS OCCUPANTS		COMMON PATH OF TRAVEL
	MAXIMUM # OF EGRESS OCCUPANTS		ROOM OR SPACE OCCUPANT COUNT
		1/8" = 1'-0" @ 30"x42"	

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Florida, license number: A007071; expiration date: February 28, 2022.

Bid Set	2021.10.04
No. Issue / Revision	Date
Drawn By:	TK
Checked By:	PS
Plot Date:	
Sheet Number	
<b>G-100</b>	
Sheet Title	
<b>Life Safety Plan &amp; Occupancy</b>	
Project Number	File Name
BST001b	BST001b_G-100.dwg

**Bev Smith Recon Building**  
New Construction

3350 US-1  
Fort Pierce, FL 34982



**1 FLOOR PLAN** Scale: 1/8" = 1'-0"

KEYED FLOOR PLAN NOTES	GENERAL FLOOR PLAN NOTES	PLAN LEGEND	NORTH ARROW & SCALE										
<ol style="list-style-type: none"> <li>HIGH SPEED OVERHEAD DOOR COIL ABOVE; SEE SECTIONS 4 DOOR SCHEDULE; SEE MEP &amp; STRUCTURAL FOR ADDITIONAL REQUIREMENTS</li> <li>NON-CUSTOMER AREA BOLLARD @ OVERHEAD DOORS, PAINTED; SEE TYPICAL DETAILS</li> <li>COORD. INSTALLATION OF OWNERS I.T. EQUIPMENT w/ OWNERS VENDOR; SEE MEP FOR ADDL REQUIREMENTS</li> <li>OVERHEAD REEL &amp; STRUCTURAL SUPPORT BY OWNER VENDOR; SEE MEP &amp; COORD. INSTALLATION w/ VENDOR</li> <li>CATCH BASIN w/ TRAFFIC-RATED GRATE; 1/2 GRATE TO BE 1" BELOW TYPICAL FINISHED FLOOR</li> <li>SERVICE DEPARTMENT EQUIPMENT (INCL. LIFTS, TOOL BENCHES, WHEEL SERVICE, TIRE CAROUSELS, OIL STORAGE, COMPRESSORS, ETC.) BY OWNER VENDOR; G.C. SHALL COORDINATE ALL WORK w/ VENDOR; SEE MEP FOR ADDITIONAL REQUIREMENTS</li> <li>FLOOR MOP SINK, SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.</li> <li>FLOOR DRAIN, SLOPE FLOOR TOWARD DRAIN 1/8" PER 1'-0", TYP. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</li> <li>APPROXIMATE LOCATION OF HOSE BIB HYDRANT, SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.</li> </ol>	<p>ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE</p> <ul style="list-style-type: none"> <li>OUTSIDE EDGE OF ALL HM DOOR FRAMES TO BE 3" FROM ADJACENT WALL @ STUD WALLS &amp; 4" FROM ADJACENT WALL @ MASONRY WALLS, UNLESS OTHERWISE NOTED</li> <li>GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD; NOTIFY ARCHITECT OF DISCREPANCIES</li> </ul>	<table border="1"> <tr> <td></td> <td>NEW DOOR &amp; TAG - SEE DOOR SCHEDULE</td> </tr> <tr> <td></td> <td>EXISTING DOOR TO REMAIN</td> </tr> <tr> <td></td> <td>NEW WALL</td> </tr> <tr> <td></td> <td>EXISTING WALL/PARTITION TO REMAIN</td> </tr> <tr> <td></td> <td>AREA NOT IN CONTRACT - NO WORK PROPOSED</td> </tr> </table>		NEW DOOR & TAG - SEE DOOR SCHEDULE		EXISTING DOOR TO REMAIN		NEW WALL		EXISTING WALL/PARTITION TO REMAIN		AREA NOT IN CONTRACT - NO WORK PROPOSED	<p>North Arrow pointing up</p> <p>Scale: 1/8" = 1'-0" @ 30"x42"</p>
	NEW DOOR & TAG - SEE DOOR SCHEDULE												
	EXISTING DOOR TO REMAIN												
	NEW WALL												
	EXISTING WALL/PARTITION TO REMAIN												
	AREA NOT IN CONTRACT - NO WORK PROPOSED												
<p><b>Bid Set</b> 2021.10.04 <b>Date</b></p> <p><b>No. Issue / Revision</b> TK</p> <p><b>Drawn By:</b> PS</p> <p><b>Checked By:</b> PS</p> <p><b>Plot Date:</b> October 5, 2021</p>		<p>Sheet Number <b>A-110</b></p> <p>Sheet Title <b>Floor Plan</b></p>											
<p><b>Project Number</b> BST001b</p> <p><b>File Name</b> BST001b_A-110.dwg</p>													

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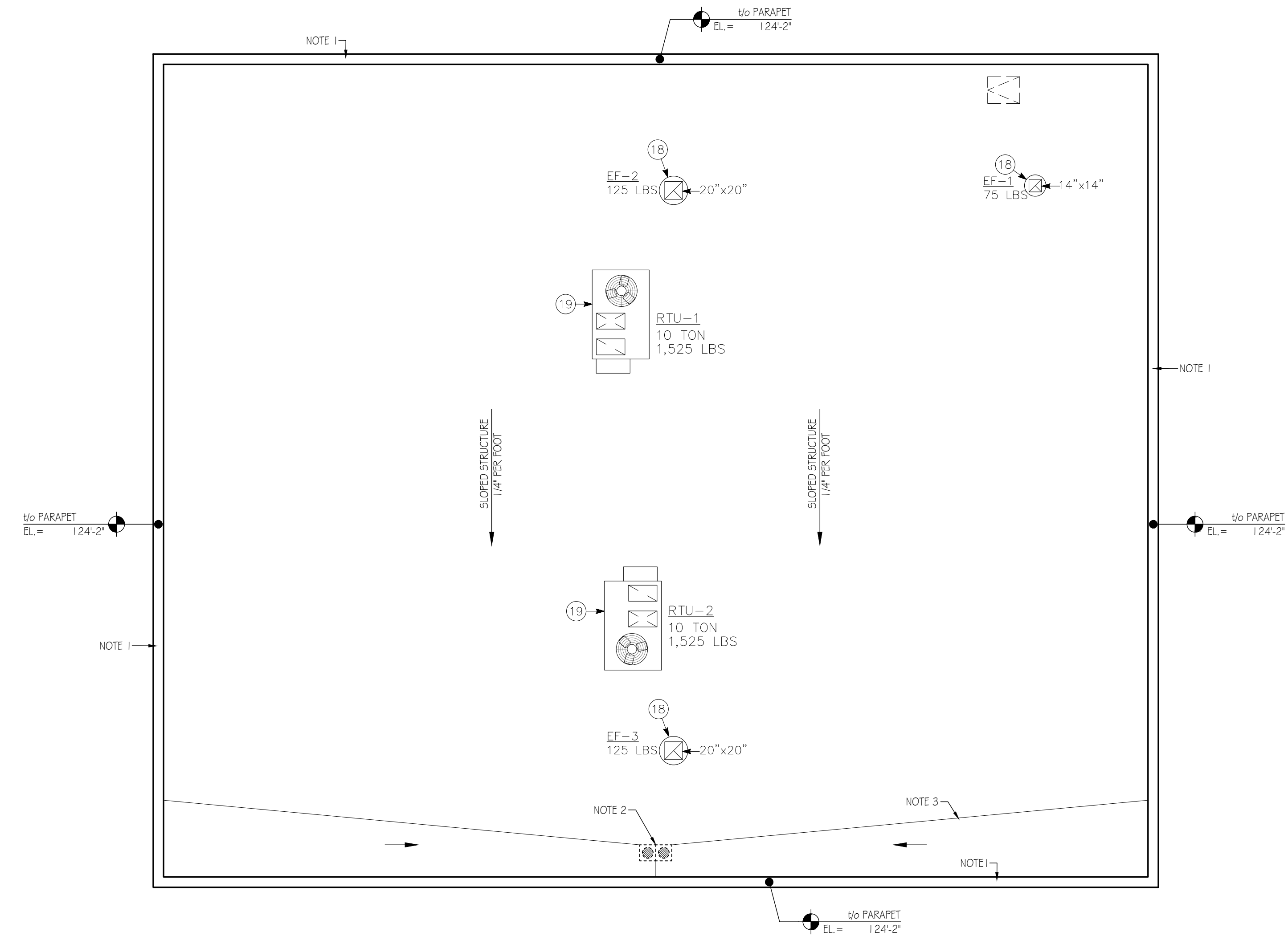


**Bev Smith Recon Building**  
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**1 ROOF PLAN**

Scale: 1/8" = 1'-0"

KEYED ROOF PLAN NOTES	GENERAL ROOF PLAN NOTES	PLAN LEGEND	NORTH ARROW & SCALE										
<ol style="list-style-type: none"> <li>PRE-FORMED PARAPET COPING, SEE ELEVATIONS FOR FINISH AND ADDITIONAL SPECIFICATIONS.</li> <li>ROOF DRAINS, SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION</li> <li>INSTALL NEW RIGID INSULATION CRICKETS AS SHOWN</li> <li>ROOF TOP UNIT, SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION</li> </ol>	<p>UNLESS NOTED OTHERWISE, PROVIDE ROOF SYSTEM AS FOLLOWS:</p> <ol style="list-style-type: none"> <li>FIRESTONE ULTRAPLY TPO ROOFING SYSTEM - FULLY-ADHERED - WHITE MEMBRANE - 60 mil THICKNESS - MIN. 20 YEAR WARRANTY - PROVIDE ALL REQ'D MATERIALS &amp; ACCESSORIES PER MANUFACTURER SPECIFICATIONS &amp; DETAILS AS REQ'D FOR WARRANTY TERM</li> <li>PROVIDE CONTINUOUS INSULATION ENTIRELY ABOVE ROOF DECK - BASIS OF DESIGN: FIRESTONE ISO 95+ GL INSULATION - ONE LAYER 4-1/2" THK TOTAL MIN. R-VALUE REQ'D = R-26.0</li> <li>RIGID INSULATION ROOF CRICKETS SHALL BE PRE-SLOPED MIN. 1/4" PER FOOT BY THE INSULATION MANUFACTURER</li> <li>PROVIDE LANDING &amp; WALKWAY PADS AS INDICATED ON THE PLANS</li> <li>COORD. ALL PENETRATIONS w/ MEP &amp; STRUCTURAL; FLASH &amp; SEAL ALL PENETRATIONS ACCORDING TO MANUFACTURER'S SPECIFICATIONS &amp; DETAILS AS REQ'D FOR WARRANTY TERM</li> </ol>	<table border="1"> <tr> <td></td> <td>NEW DOOR &amp; TAG - SEE DOOR SCHEDULE</td> </tr> <tr> <td></td> <td>EXISTING DOOR TO REMAIN</td> </tr> <tr> <td></td> <td>NEW WALL</td> </tr> <tr> <td></td> <td>EXISTING WALL/PARTITION TO REMAIN</td> </tr> <tr> <td></td> <td>AREA NOT IN CONTRACT - NO WORK PROPOSED</td> </tr> </table>		NEW DOOR & TAG - SEE DOOR SCHEDULE		EXISTING DOOR TO REMAIN		NEW WALL		EXISTING WALL/PARTITION TO REMAIN		AREA NOT IN CONTRACT - NO WORK PROPOSED	<p>North Arrow &amp; Scale</p> <p>1/8" = 1'-0" @ 30"x42"</p>
	NEW DOOR & TAG - SEE DOOR SCHEDULE												
	EXISTING DOOR TO REMAIN												
	NEW WALL												
	EXISTING WALL/PARTITION TO REMAIN												
	AREA NOT IN CONTRACT - NO WORK PROPOSED												
		<p>Bid Set 2021.10.04 Date</p> <p>No. Issue / Revision Date</p> <p>Drawn By: TK Checked By: PS Plot Date: October 5, 2021</p>	<p>Sheet Number <b>A-120</b> Sheet Title <b>Roof Plan</b></p>										
		<p>Project Number BST001b</p>	<p>File Name BST001b_A-120.dwg</p>										

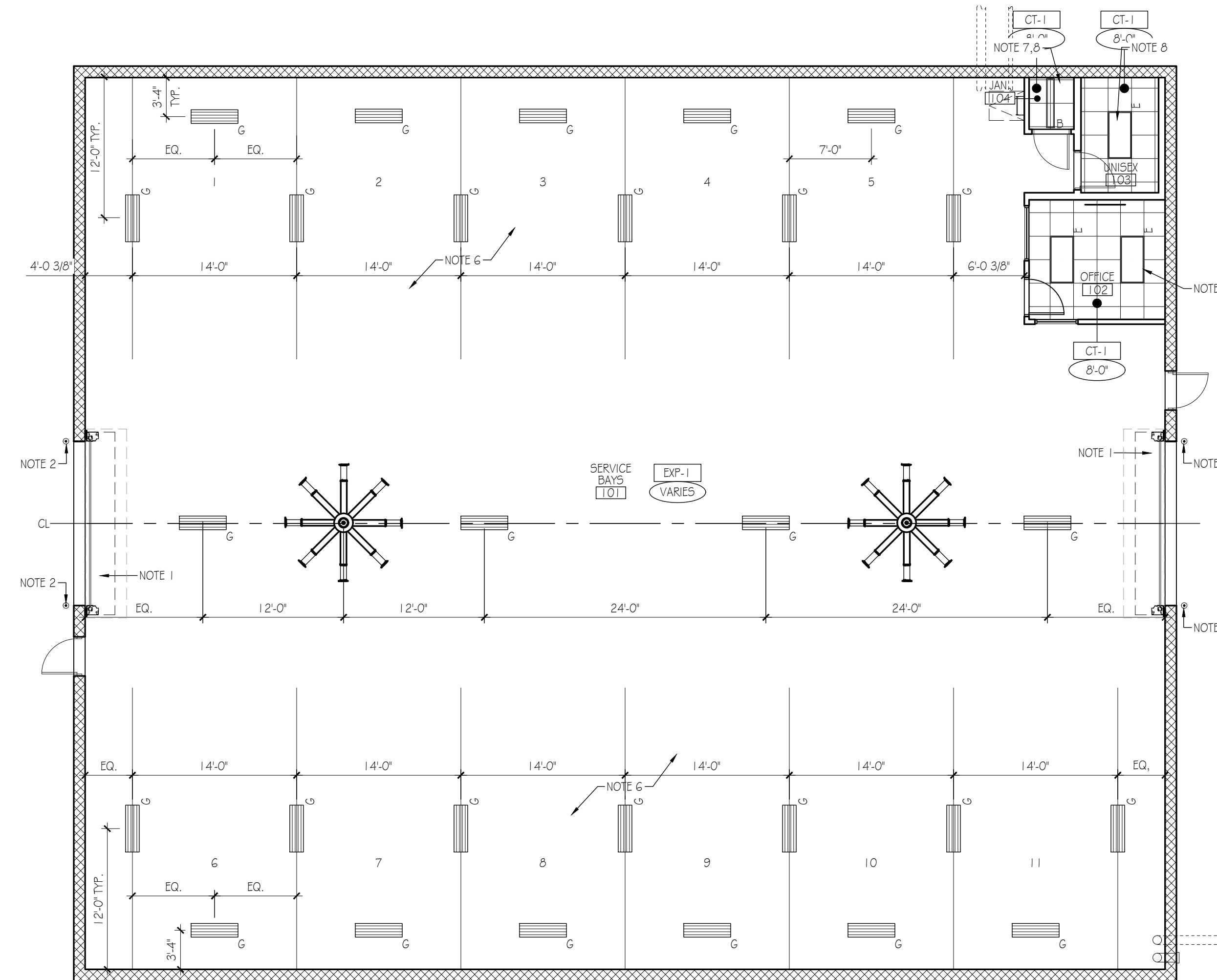
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**Bev Smith Recon Building**  
New Construction

3350 US-1  
Fort Pierce, FL 34982



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**1 REFLECTED CEILING PLAN**

Scale: 1/8" = 1'-0"

LIGHT FIXTURE LEGEND		CEILING TYPES		GENERAL CEILING PLAN NOTES		PLAN LEGEND		NORTH ARROW & SCALE	
	LED HIGH BAY SUSPENDED PENDANT		EXPOSED TO STRUCTURE ABOVE	<ul style="list-style-type: none"> <li>PAINT FACE OF BULKHEADS SAME AS ADJACENT WALL UNLESS OTHERWISE NOTED.</li> <li>GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED ACCESS PANELS. COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION.</li> <li>SEE MECHANICAL DRAWINGS FOR SUPPLY AND RETURN DIFFUSERS.</li> <li>SEE ELECTRICAL DRAWINGS FOR LIGHTING PLANS.</li> <li>LOCATE SPRINKLER HEADS AT CENTER LINE OF CEILING TILE OR AT THE CENTERLINE BETWEEN LIGHTS.</li> <li>PARTS DEPARTMENT LIGHT FIXTURE LOCATION CONTINGENT UPON PARTS BINS LAYOUT. GENERAL CONTRACTOR TO COORDINATE LAYOUT WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION OF LIGHTS.</li> <li>CENTER CEILING LAYOUT IN THE CENTER OF THE SPACE, U.N.O.</li> <li>CENTER LIGHT FIXTURES BETWEEN CEILING GRID.</li> </ul>		NEW DOOR & TAG - SEE DOOR SCHEDULE	  1/8" = 1'-0" @ 30"x42"		
	RECESSED FLUORESCENT 2x4		ACT-1 ACOUSTIC CEILING TILE			EXISTING DOOR TO REMAIN			
	4' FLUORESCENT STRIP FIXTURE - WET LOCATION					NEW WALL			
						EXISTING WALLPARTITION TO REMAIN			
						AREA NOT IN CONTRACT - NO WORK PROPOSED			

Bid Set	2021.10.04
No. Issue / Revision	Date
Drawn By:	TK
Checked By:	PS
Plot Date:	October 5, 2021

Sheet Number  
**A-130**  
Sheet Title  
**Reflected Ceiling Plan**

Project Number BST001b	File Name BST001b_A-130.dwg
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INTERIOR MATERIALS SCHEDULE

INTERIOR MATERIAL SCHEDULE				
CODE	MATERIAL	MANUFACTURER	SPECIFICATION	REMARKS
<b>CEILINGS</b>				
CT-20	ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA 1910; 15/16" PRELUDE XL GRID; WHITE; 24" X 24" X 3/4"	OFFICE / ENCLOSED SPACES
EXP-1	EXPOSED STRUCTURE		PAINT TO MATCH P-20	
<b>PAINT</b>				
P-20	PAINT	SHERWIN-WILLIAMS	GENERAL PAINT, HARMONY INTERIOR SHOP; PRO INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY; 5W7005 PURE WHITE; WALLS: EGGSHELL; CEILING: FLAT; SHOP: EPOXY	GENERAL PAINT, SHOP ABOVE WAINSCOT AND SHOP CEILING
P-21	PAINT	SHERWIN-WILLIAMS	GENERAL PAINT, HARMONY INTERIOR SHOP PAINT; PRO INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY; 5W7066 GRAY MATTERS; WALLS: EGGSHELL; SHOP: EPOXY	OFFICE ACCENT PAINT; SHOP WAINSCOT TO 5'-0" AFF
P-22	PAINT	SHERWIN-WILLIAMS	GENERAL PAINT: PROMAR 200, 5W7675 SEALSIN, EGGSHELL	ACCENT PAINT
P-23	PAINT	SHERWIN-WILLIAMS	PROMAR 200, 5W6871 POSITIVE RED, EGGSHELL	ACCENT PAINT
<b>RESILIENT FLOORING</b>				
R-20	RESILIENT TILE FLOORING	MOHAWK GROUP	HOT 4 HEAVY COLLECTION - BOLDER COO10, 925 PEBBLE, 36" X 36"	
<b>TILE</b>				
T-20	PORCELAIN TILE	DALTILE	AMBASSADOR, AM36 WANDERLUST WHITE, UNPOLISHED, 12" X 24", GROUT: 47 CHARCOAL	GENERAL FLOOR TILE
T-21	PORCELAIN TILE	DALTILE	PORTFOLIO, PFO9 CHARCOAL, UNPOLISHED, 12" X 24", GROUT: 47 CHARCOAL	ACCENT FLOOR TILE, REST ROOM FLOOR TILE
T-22	PORCELAIN TILE	DALTILE	VOLUME 1.0, VL72 INTENSITY PEBBLE, MATTE, 12" X 24", GROUT: 47 CHARCOAL	NON-CUSTOMER AREA FLOOR TILE
T-23	CLINKER TILE	DALTILE	SISTEM T, GRIGIO SCURO, MATTE OR ROCK, 8" X 8" X 12MM, GROUT: 104 TIMBERWOLF	ALTERNATE SHOP FLOOR TILE AND / OR SERVICE DRIVE FLOOR TILE
T-24	CLINKER TILE	DALTILE	SISTEM T, GRIGIO CHIARO, MATTE OR ROCK, 8" X 8" X 12MM, GROUT: 104 TIMBERWOLF	ALTERNATE SHOP FLOOR TILE ACCENT AND / OR SERVICE DRIVE FLOOR TILE
T-25	CERAMIC WALL TILE	DALTILE	CLASSIC ROUNDS 9999441797, CR-10 OBSIDIAN, MOSAIC, GROUT: 47 CHARCOAL	GENERAL ACCENT TILE
T-26	CERAMIC WALL TILE	DALTILE	MODERN DIMENSIONS, D190 ARCTIC WHITE, POLISHED, 4" X 12", GROUT: 38 AVALANCHE	RESTROOM WALL TILE TO 48" AFF (MINIMUM); USE AS WALL BASE WHERE W-22 USED FROM FLOOR TO CEILING
T-27	PORCELAIN TILE	DALTILE	MARBLE ATTACHE, MA87, POLISHED, 12" X 24", GROUT: 38 AVALANCHE	RESTROOM WET WALL TILE FULL HEIGHT
T-28	CERAMIC WALL TILE	DALTILE	STONE A 1/4 MOD, M313 CONTEMPO WHITE, POLISHED, 2X3 WEDGE MOSAIC, GROUT: 38 AVALANCHE	RESTROOM ACCENT TILE AT SINKS
T-29	PORCELAIN TILE	DALTILE	VOLUME 1.0, VL71 DEGREES SILVER, MATTE, 12" X 24", GROUT: 77 FROST	NON-CUSTOMER AREA WALL TILE TO 48" AFF (MINIMUM)
<b>WALL BASE</b>				
B-20	WALL BASE	JOHNSONITE	RUBBER WALL BASE, 460 COTTON, 4" STRAIGHT (CARPET) 4" COVE	GENERAL WALL BASE
B-21	WALL BASE	JOHNSONITE	RUBBER WALL BASE, 82 BLACK PEARL, 4" STRAIGHT	NON-CUSTOMER AREA WALL BASE
<b>FLOOR FINISH</b>				
EP	IMPACT RESISTANT EPOXY		FLOOR FINISH WITH NON-SLIP ADDITIVE	
PC	POLISHED CONCRETE		1500-1800 GRIT	
SC	SEALED CONCRETE			

- GENERAL NOTES**
- ALL CMU WALLS, HM DOORS (W/ FRAMES), AND VERTICAL STRUCTURAL STEEL MEMBERS TO BE PAINTED ACCORDING TO SCHEDULE W A SEMI-GLOSS FINISH PAINT.
  - ALL GYPSUM WALLS AND BULKHEADS TO BE PAINTED ACCORDING TO SCHEDULE W A MATTE FINISH PAINT.
  - PROVIDE CRACK INSULATION MEMBRANE UNDER TILE FINISH AREAS.
  - PROVIDE TREAD NOSE SCHLUTER TREP-E FOR ALL THE TILE STAIR NOSING, U.N.O.
  - PROVIDE SATIN ANODIZED ALUMINUM SCHLUTER SCHIENE STRIPS @ ALL TILE-TO-TILE & CARPET-TO-TILE TRANSITIONS

FINISH SCHEDULE

RM #	ROOM NAME	FLOOR	BASE	WALL	CEILING	REMARKS
101	SERVICE BAYS	SC	B-21	P-20, P-21	EXP-1	
102	OFFICE	R-20	B-21	P-20	CT-20	
103	RESTROOM	T-22	B-21	P-20, T-29	CT-20	
104	JAN. CLOSET	SC	B-21	P-20, P-21	CT-20	

**KEYED FINISH SCHEDULE NOTES**

A. NOT USED

**GENERAL MATERIALS SCHEDULE NOTES**

- A. ALL WALL & CEILING FINISHES THROUGHOUT THE AREA OF WORK MUST BE MIN. CLASS C IN ACCORDANCE W/ VCC TABLE 803.1.1 W/ FLAME SPREAD INDEX BETWEEN 76-200 & SMOKE-DEVELOPED INDEX FROM 0-450
- B. THIS IS A FULLY-SPRINKLERED FACILITY; ALL FLOOR FINISHES SHALL BE MINIMUM CLASS II IN ACCORDANCE W/ VCC SECTION 804.4.2 EXCEPTION
- C. UNLESS NOTED OTHERWISE, PAINTED SURFACES SHALL BE PREPARED & FINISHED AS FOLLOWS:
- GYPSUM WALLBOARD WALLS - 1 COAT PRIMER - 2 FINISH COATS - SATIN FINISH
  - HOLLOW METAL DOOR FRAMES & PAINT GRADE WOOD DOORS - 1 COAT PRIMER - 2 FINISH COATS - SEMI-GLOSS FINISH
  - GYPSUM WALLBOARD CEILINGS - 1 COAT PRIMER - 2 FINISH COATS - FLAT FINISH
  - EXPOSED CEILINGS - 2 FINISH COATS - FLAT FINISH - CLEAN & PREP ALL GALVANIZED METAL SURFACES (EXISTING & NEW) AS REQ'D TO ENSURE PROPER PAINT ADHESION
- D. PROVIDE MIN. 5% ATTIC STOCK OF FLOOR TILE, CEILING TILES AND WALL COVERING TO OWNER PRIOR TO PROJECT CLOSEOUT
- E. REFER TO THE TCA HANDBOOK AND ANSI REQUIREMENTS FOR PROPER INSTALLATION METHODS FOR LARGE FORMAT CERAMIC WALL TILE, REFER TO ANSI A108.02 SECTION 4.3.7 REGARDING LIPPAGE & SECTION 4.3.8 REGARDING GROUT JOINT SIZE, PARTICULARLY IN RELATION TO THE TILE SIZE, DIMENSIONAL PRECISION & OFF-SET PATTERN; TO ACHIEVE PROPER INSTALLATION FOR LARGER FORMAT WALL TILES, CONTRACTOR MUST USE TUSCAN LEVELING SYSTEM OR EQUAL, DOUBLE SPREADING TECHNIQUE (BACK-BUTTERING); REFER TO THINSET MANUFACTURERS TECHNICAL DATA SHEET FOR RECOMMENDED TROWEL SIZE & COVERAGE RECOMMENDATIONS
- F. ALL FIELD-CUT TILE WALL BASE EXPOSED EDGES SHALL RECEIVE CAP TRIM: SCHLUTER SCHIENE AE125 SATIN ANODIZED, TYP. U.N.O.
- G. GC TO PROVIDE TILE LAYOUT PLAN FOR OWNERS REVIEW & APPROVAL PRIOR TO INSTALLATION; LAYOUT PLAN SHALL IDENTIFY MATERIAL, INSTALLATION PATTERN, TRANSITION STRIPS, EXPANSION JOINTS, ETC.
- H. GC TO PROVIDE FLOOR PREP, SLAB LEVELING & CRACK ISOLATION MEMBRANE AT ALL AREAS TO RECEIVE THIN SET FLOOR TILE, TYP.

FINISH PLAN LEGEND

	C-21, CARPET TILE	SC, SEALED CONCRETE
	T-20, PORCELAIN TILE	
	T-21, PORCELAIN TILE	
	T-22, PORCELAIN TILE	
	R-20, RESILIENT TILE	
	EP, IMPACT RESISTANT EPOXY	
	PC, POLISHED CONCRETE	

KEYED FINISH PLAN NOTES

- I. PROVIDE SLAB & WALL WATERPROOFING; SEE RESTROOM DETAILS

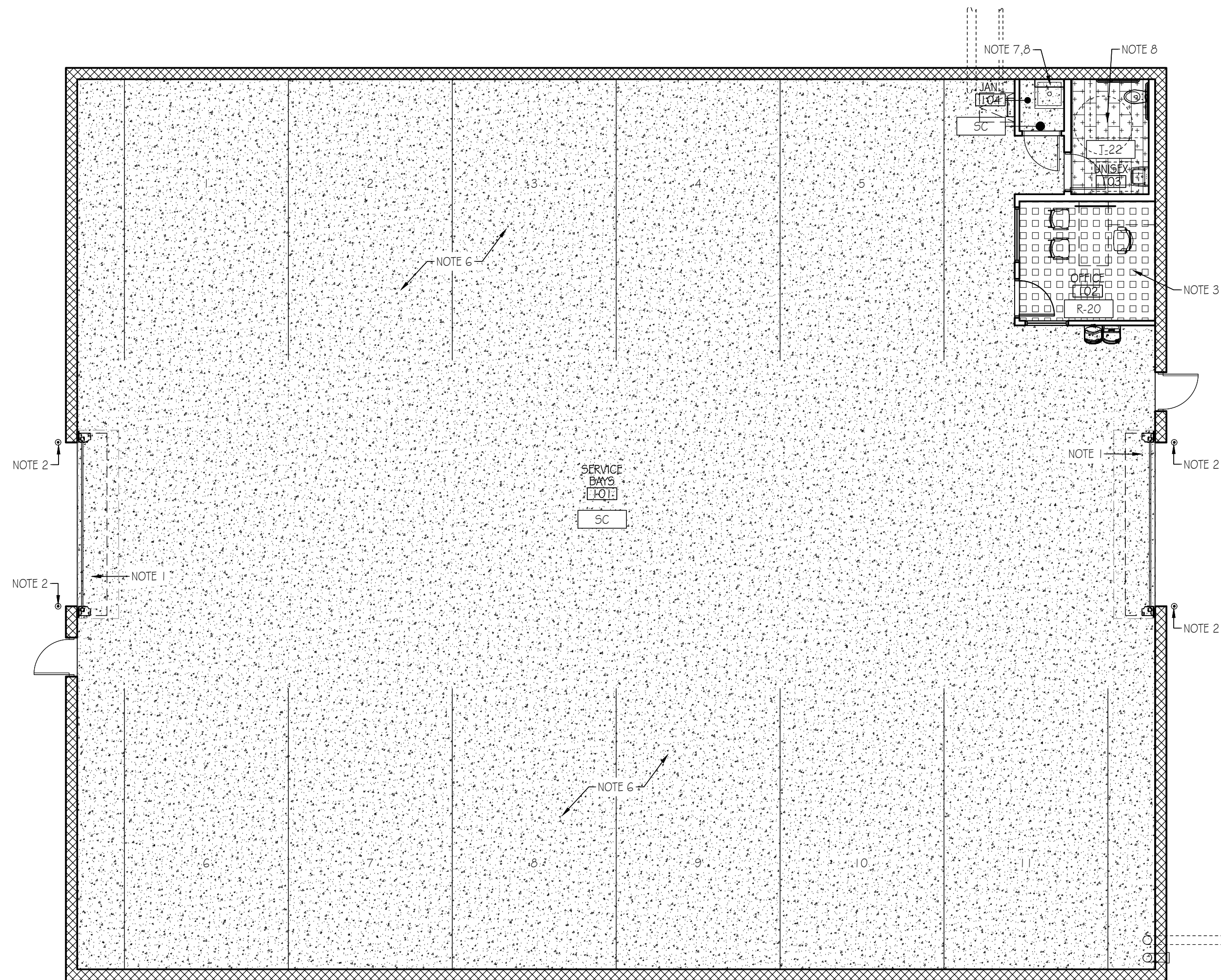
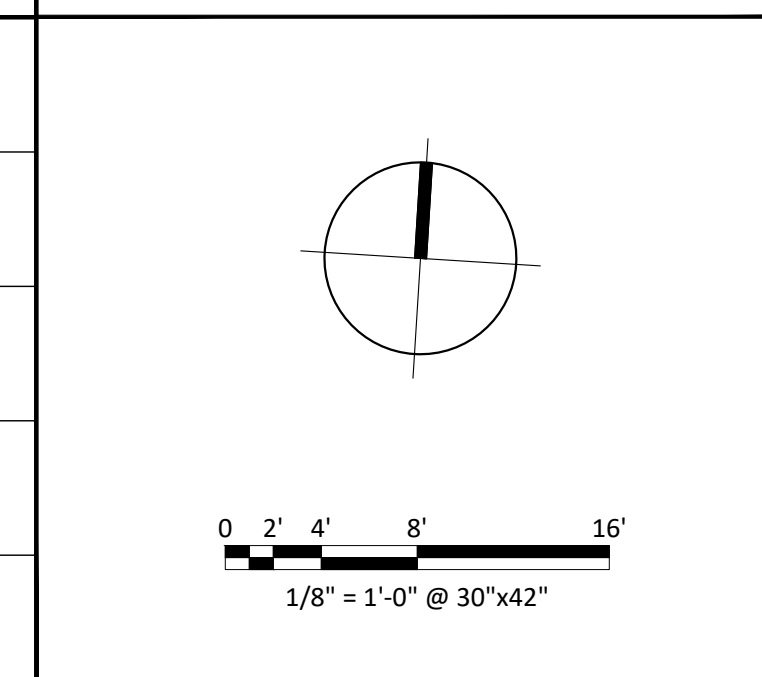
GENERAL FINISH PLAN NOTES

- A. SEE DOOR SCHEDULE FOR TRANSITION STRIPS/ THRESHOLDS @ ALL DOORS

PLAN LEGEND

	NEW DOOR & TAG - SEE DOOR SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW WALL
	EXISTING WALL/PARTITION TO REMAIN
	AREA NOT IN CONTRACT - NO WORK PROPOSED

NORTH ARROW & SCALE



1 FINISH PLAN

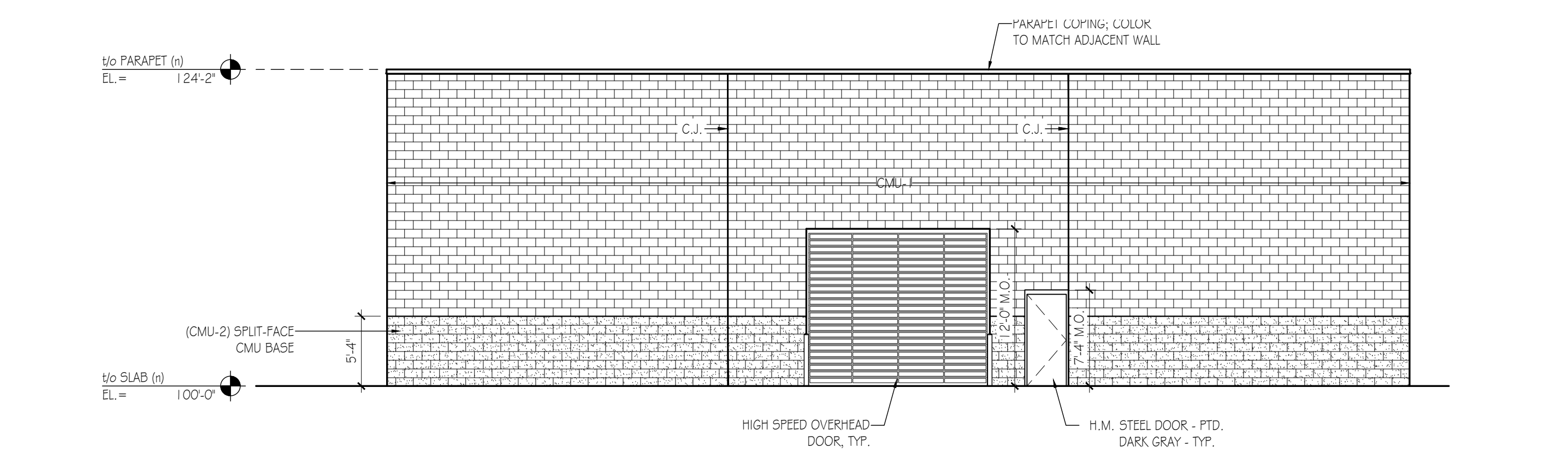
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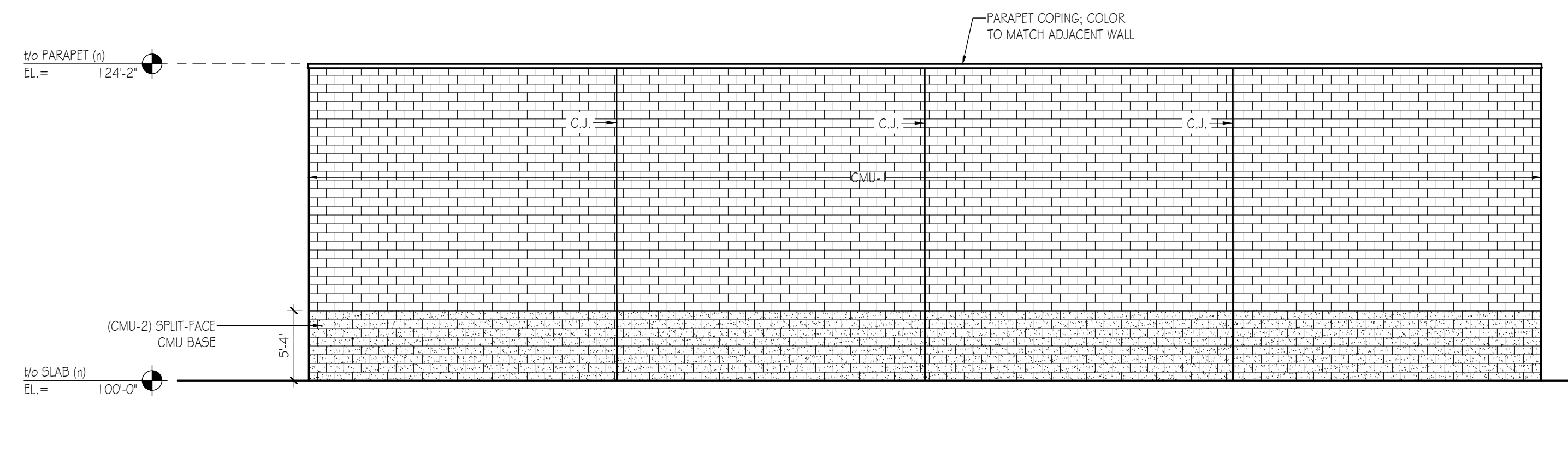
EXTERIOR MATERIALS SCHEDULE

TAG	TYPE	SPECIFICATION	REMARKS
WALLS			
CMU-1	CONCRETE MASONRY UNIT	YORK BUILDING PRODUCTS, "MIST"	SERVICE BAYS
CMU-2	CONCRETE MASONRY UNIT	YORK BUILDING PRODUCTS, "CHARCOAL", SPLIT FACE	SERVICE BAYS
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS, "GAUNTLET GRAY", SW7019	BOLLARDS, DOORS & OH DOOR STEEL JAMB, U.N.O
PC-1	PRE-FORMED PARAPET COPING	PAC-GLAD - PAC-TITE TAPERED - 4" FACE - .040" ALUMINUM - COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE	NEW PARAPET COPING AS INDICATED
GENERAL EXTERIOR FINISH SCHEDULE NOTES			
<ul style="list-style-type: none"> <li>UNLESS NOTED OTHERWISE, PAINTED SURFACES SHALL BE PREPARED &amp; FINISHED AS FOLLOWS:                             <ul style="list-style-type: none"> <li>EXTERIOR HOLLOW METAL DOOR FRAMES &amp; MISCELLANEOUS METALS - 1 COAT PRIMER - 2 FINISH COATS - SEMI-GLOSS FINISH</li> <li>EXTERIOR GYPSUM WALLBOARD CEILINGS/OFFITS - 1 COAT PRIMER - 2 FINISH COATS - FLAT FINISH</li> <li>EXTERIOR WALLS - STUCCO/EIPS - 1 COAT PRIMER - 2 FINISH COATS - SATIN FINISH</li> </ul> </li> </ul>			

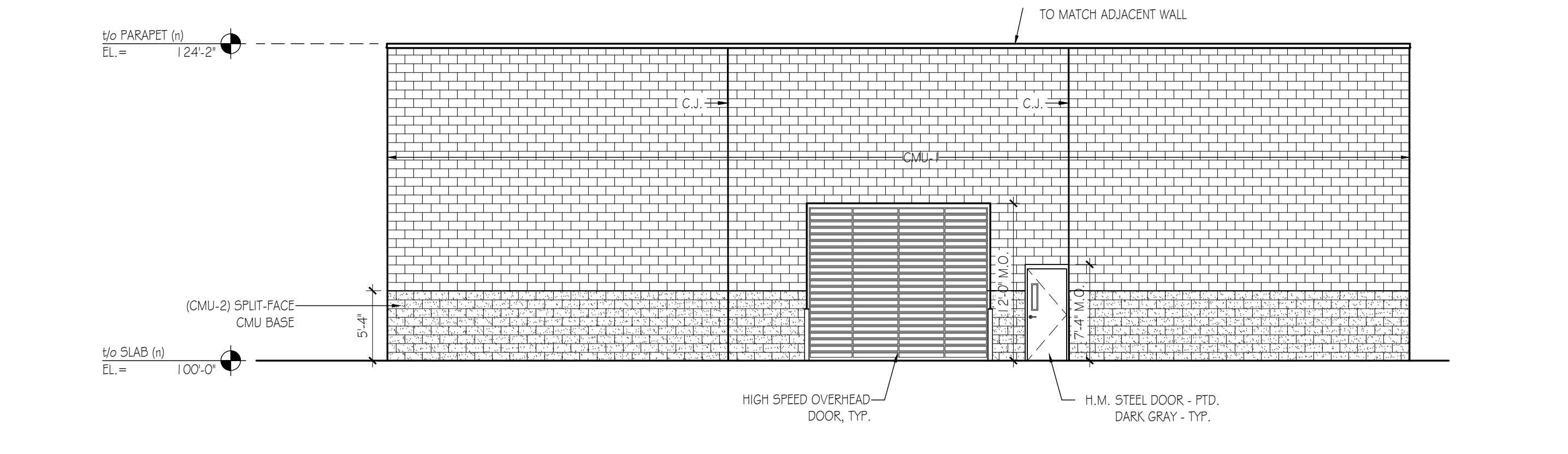
EXTERIOR ELEVATIONS



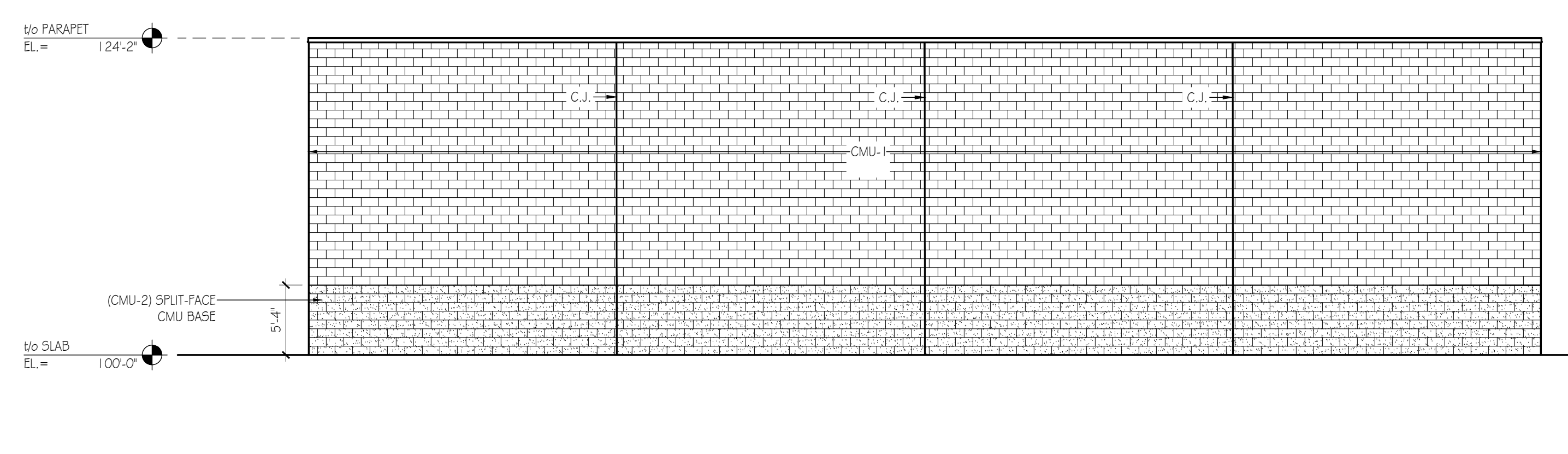
4 WEST ELEVATION Scale: 1/8" = 1'-0"



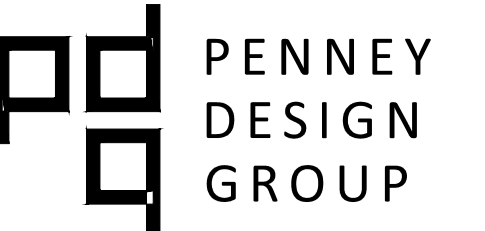
3 EAST ELEVATION Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION Scale: 1/8" = 1'-0"



1 NORTH ELEVATION Scale: 1/8" = 1'-0"



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No.	Issue / Revision	Date
	Bid Set	2021.10.04
	Drawn By: TK	
	Checked By: PS	
	Plot Date:	October 5, 2021

Sheet Number  
**A-201**  
 Sheet Title  
**Building Elevations**

Project Number: BST001b File Name: BST001b\_A-201.dwg



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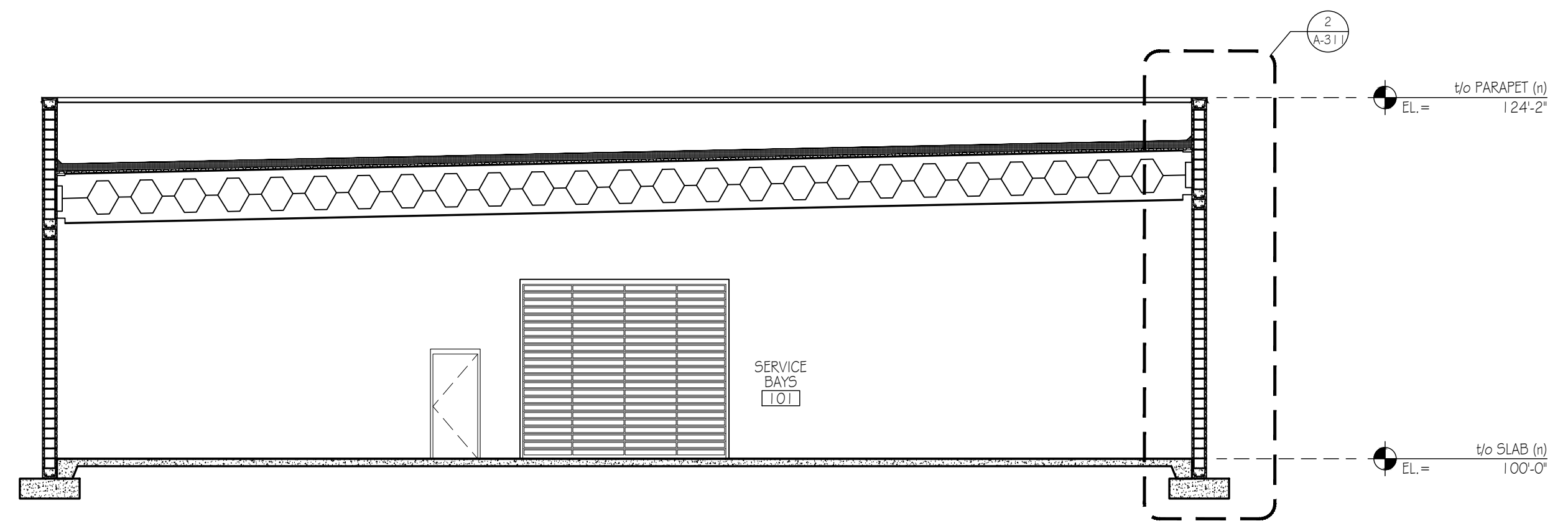


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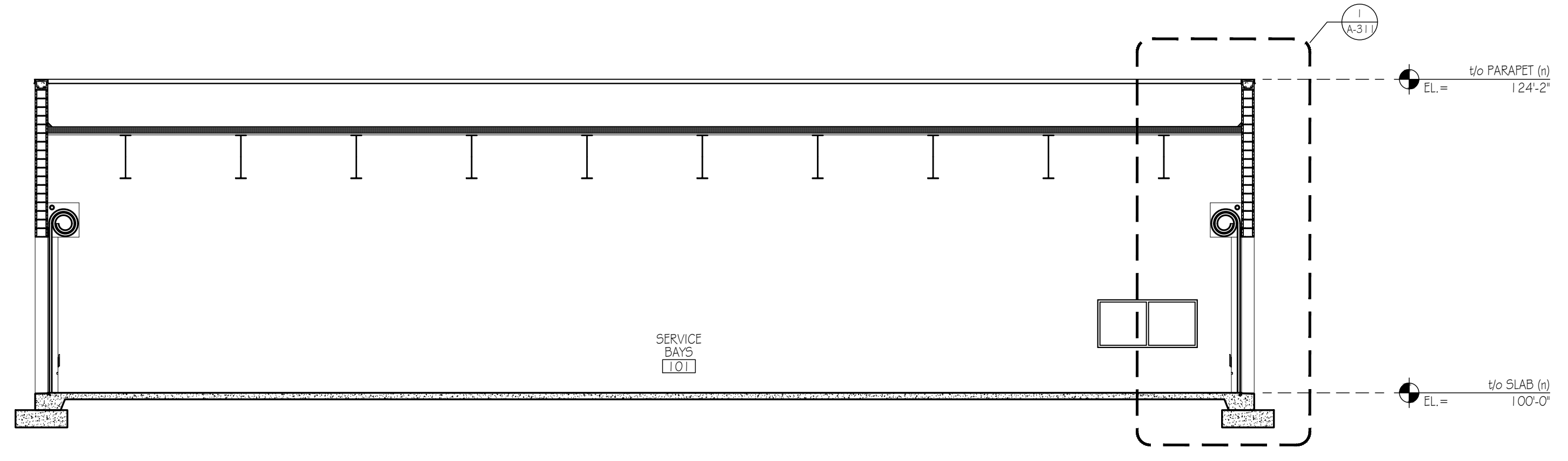
Bid Set	2021.10.04	Date
No. Issue / Revision		Date
Drawn By:	TK	
Checked By:	PS	
Plot Date:	October 5, 2021	

Sheet Number  
**A-301**  
Sheet Title  
**Building Sections**

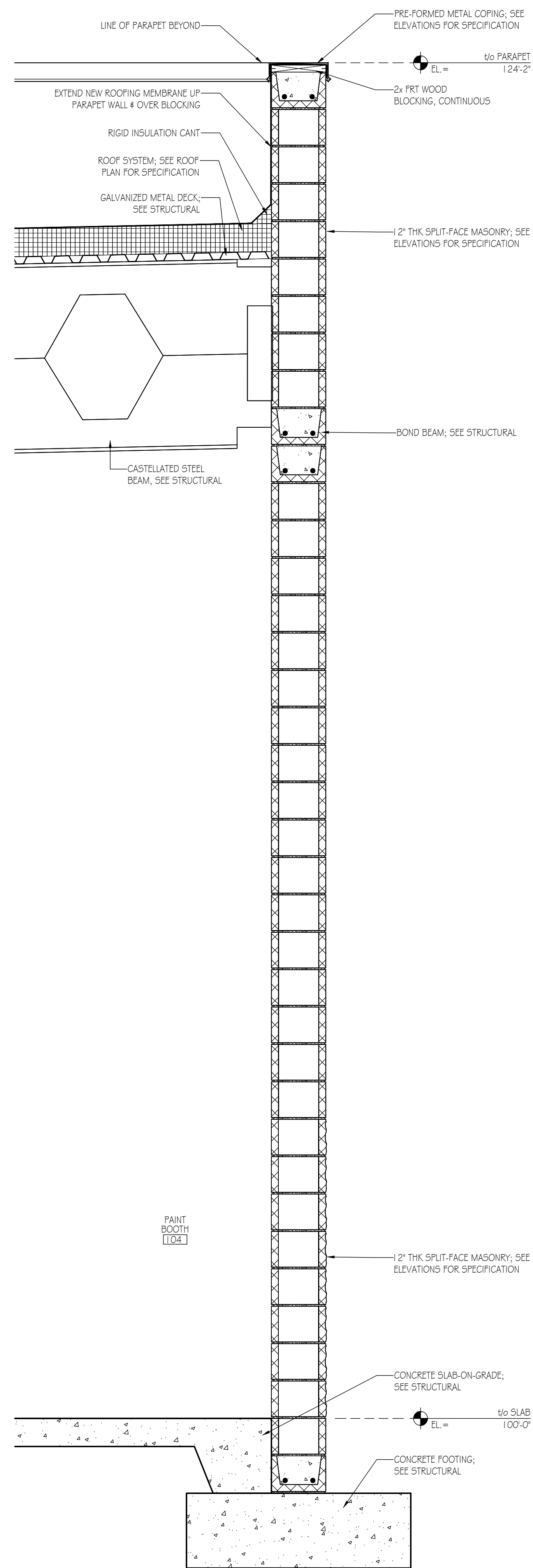
Project Number BST001b	File Name BST001b_A-301.dwg
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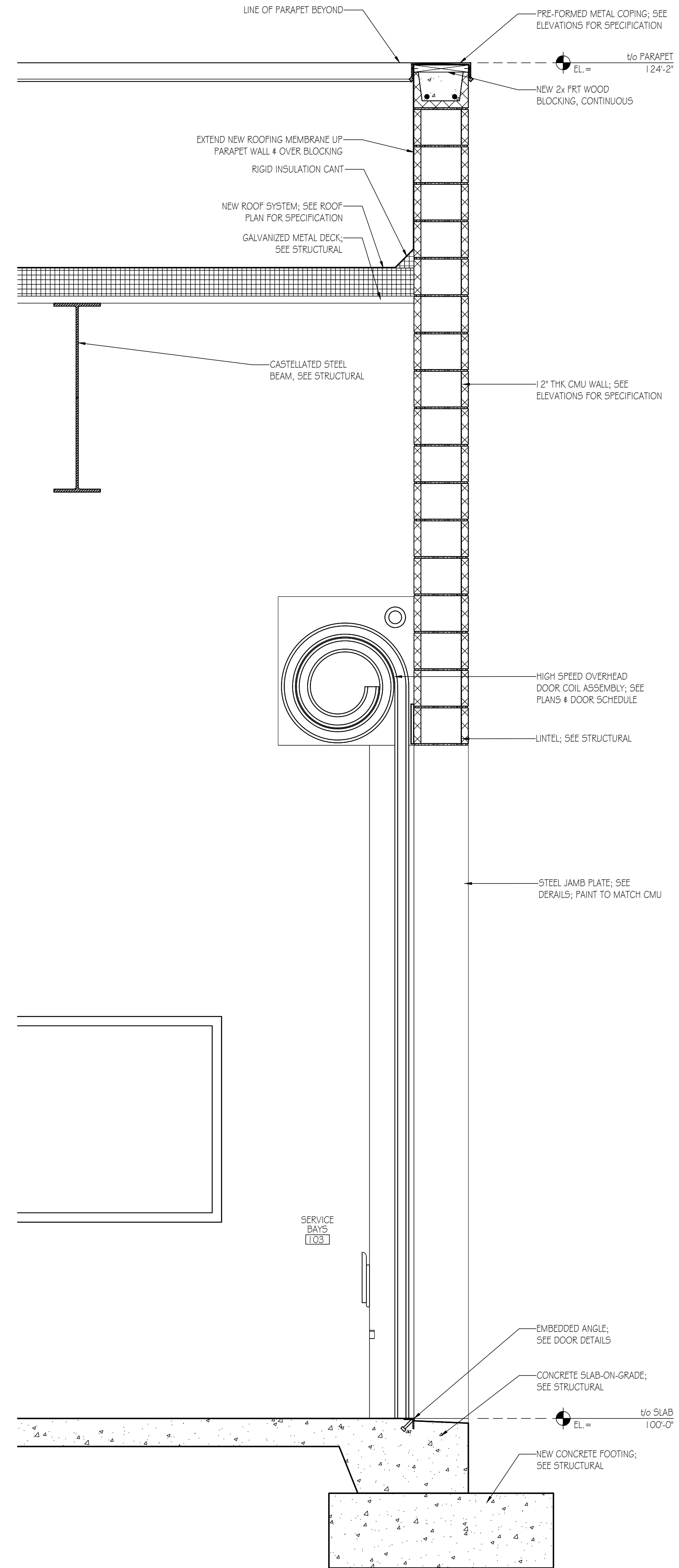
**2 BUILDING SECTION** Scale: 1/8" = 1'-0"



**1 BUILDING SECTION** Scale: 1/8" = 1'-0"



2 WALL SECTION  
Scale: 3/4" = 1'-0"



1 WALL SECTION  
Scale: 3/4" = 1'-0"

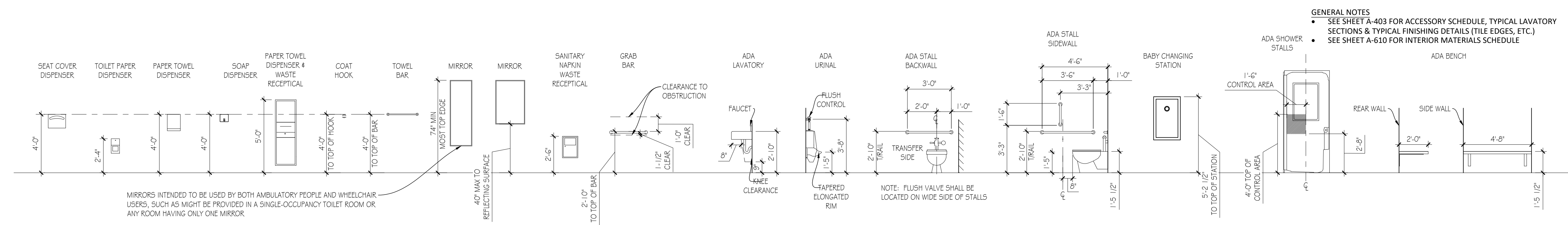
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Bid Set	2021.10.04
No. Issue / Revision	Date
Drawn By:	TK
Checked By:	PS
Plot Date:	October 5, 2021

Sheet Number  
**A-311**  
Sheet Title  
**Wall Sections**



RESTROOM DETAILS



GENERAL NOTES  
 • SEE SHEET A-403 FOR ACCESSORY SCHEDULE, TYPICAL LAVATORY SECTIONS & TYPICAL FINISHING DETAILS (TILE EDGES, ETC.)  
 • SEE SHEET A-610 FOR INTERIOR MATERIALS SCHEDULE

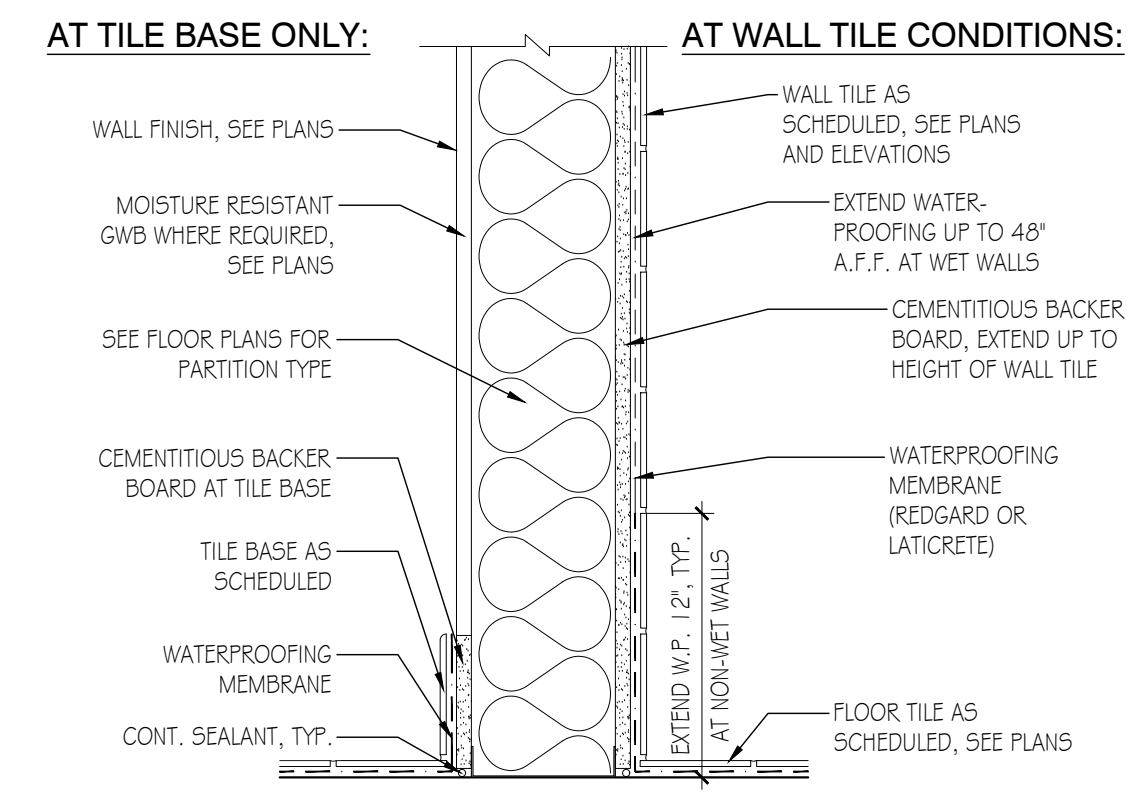
MIRRORS INTENDED TO BE USED BY BOTH AMBULATORY PEOPLE AND WHEELCHAIR USERS, SUCH AS MIGHT BE PROVIDED IN A SINGLE-OCCUPANCY TOILET ROOM OR ANY ROOM HAVING ONLY ONE MIRROR

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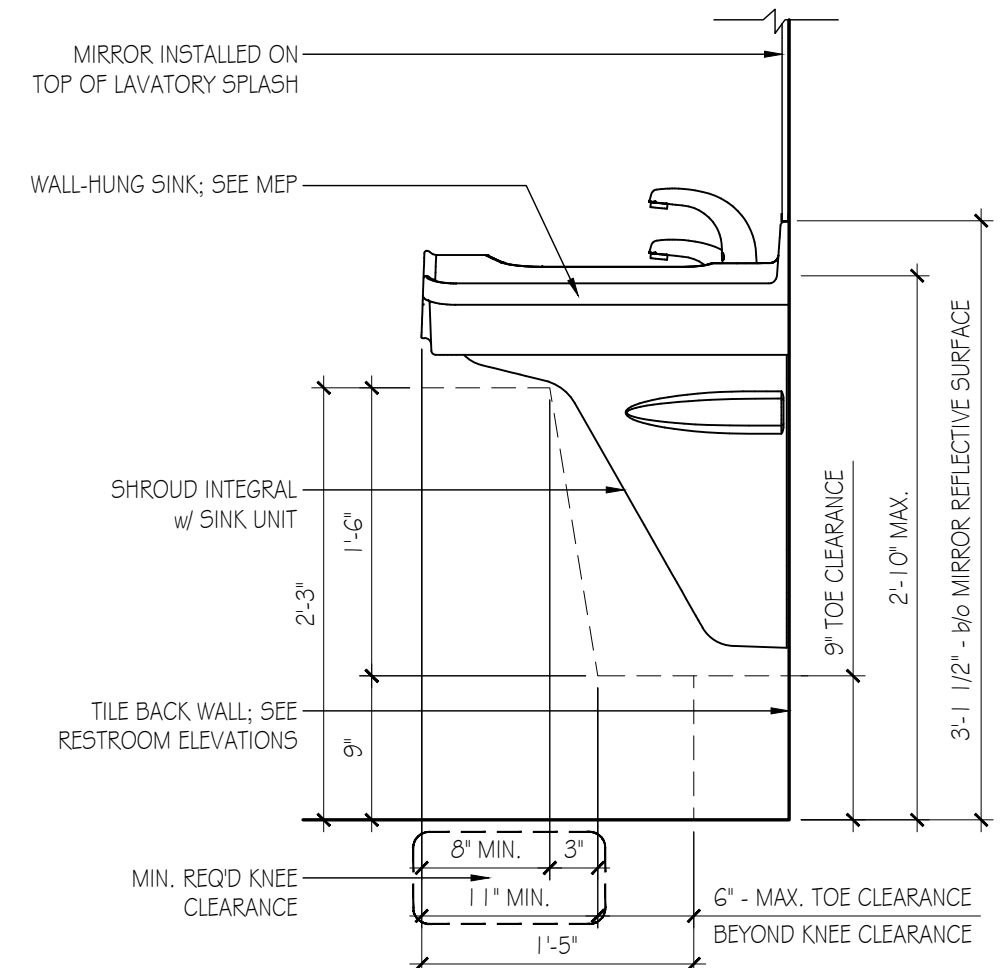
MISC. RESTROOM DETAILS

LAVATORY SECTION

RESTROOM ACCESSORIES SCHEDULE



CC WATERPROOFING DETAIL  
 Scale: 1 1/2" = 1'-0"

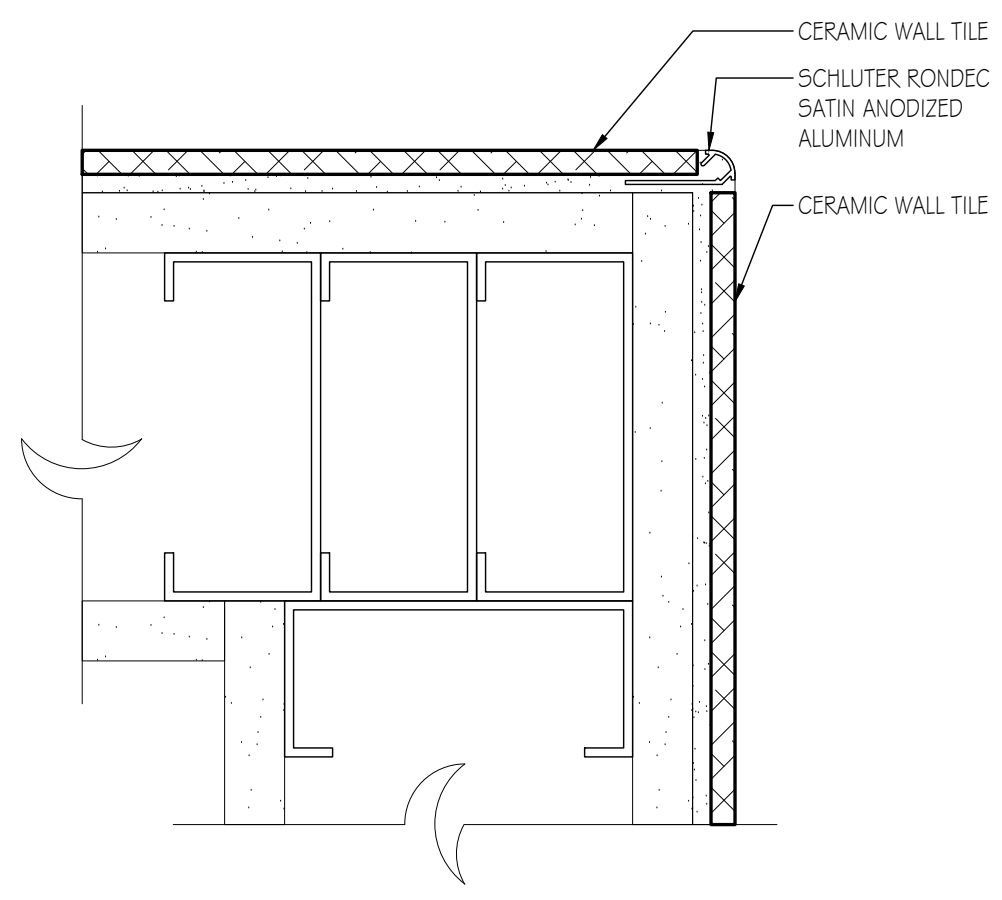


11 TECH LAVATORY  
 Scale: 1" = 1'-0"

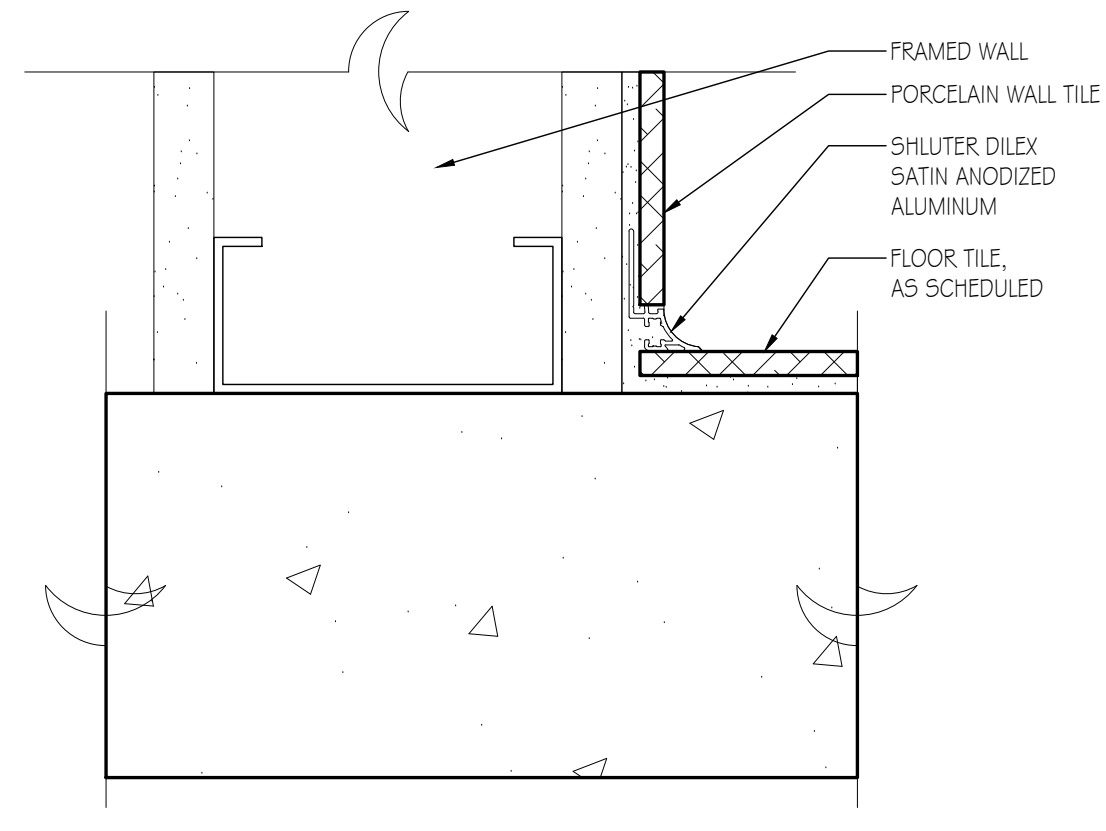
ITEM	MANUFACTURER	REMARKS	NOTES	
A	DUAL ROLL TISSUE DISPENSER	BOBRICK B-4288, CONTURA SERIES	SURFACE MOUNTED, SATIN FINISH	1,2
D	TECH SANITARY NAPKIN DISPOSAL	BOBRICK B-270 CONTURA SERIES	SURFACE MOUNTED, SATIN FINISH	1,2
E	TECH SEAT COVER	BOBRICK B-221, COUNTURA SERIES	SURFACE MOUNTED, SATIN FINISH	1,2
J	GRAB BAR	BOBRICK, B-6806x18"	PEENED GRIPPING SURFACE - VERTICAL	1,2
K	TWO-WALL GRAB BAR	BOBRICK B-6897	PEENED GRIPPING SURFACE - HORIZONTAL	1,2
M	SOAP DISPENSER	BOBRICK B18615 CONTURA SERIES	SURFACE MOUNTED	1,2
P	MOP AND BROOM HOLDER	BOBRICK, B-223	SURFACE MOUNTED	1,2
S	MIRROR	BOBRICK B-165 2436	2'-0" WIDE, CHANNEL FRAME	1,2
X	WASTE RECEPTABLE/ PAPER TOWEL DISP.	GEORGIA PACIFIC 59451 & 59466	RECESSED, SATIN FINISH, 55	1,2

GENERAL NOTES  
 • RESTROOMS SHALL RECEIVE 5/8" GREENBOARD ON WALLS  
 • G.C. SHALL COORDINATE ADDITIONAL ACCESSORIES & ALL FINAL SELECTIONS W/ OWNER  
 • G.C. SHALL TAKE NOTE THAT MANY ACCESSORIES ARE RECESSED & SHALL COORDINATE W/ ALL TRADES TO ENSURE OTHER SYSTEMS WILL NOT CONFLICT W/ REQUIRED ROUGH OPENINGS  
 • PROVIDE BLOCKING AS MAY BE REQUIRED FOR RESTROOM ACCESSORIES & FIXTURES  
 • ALL ACCESSORIES SHALL BE MOUNTED IN ACCORDANCE W/ THE ACCESSIBILITY REQUIREMENTS OF ANSI A117.1

NOTES:  
 1. PROVIDE BLOCKING AS REQUIRED.  
 2. MOUNT ALL ACCESSORIES PER ADA REQUIRED MOUNTING HEIGHTS



BB OUTSIDE TILE CORNERS  
 Scale: 6" = 1'-0"



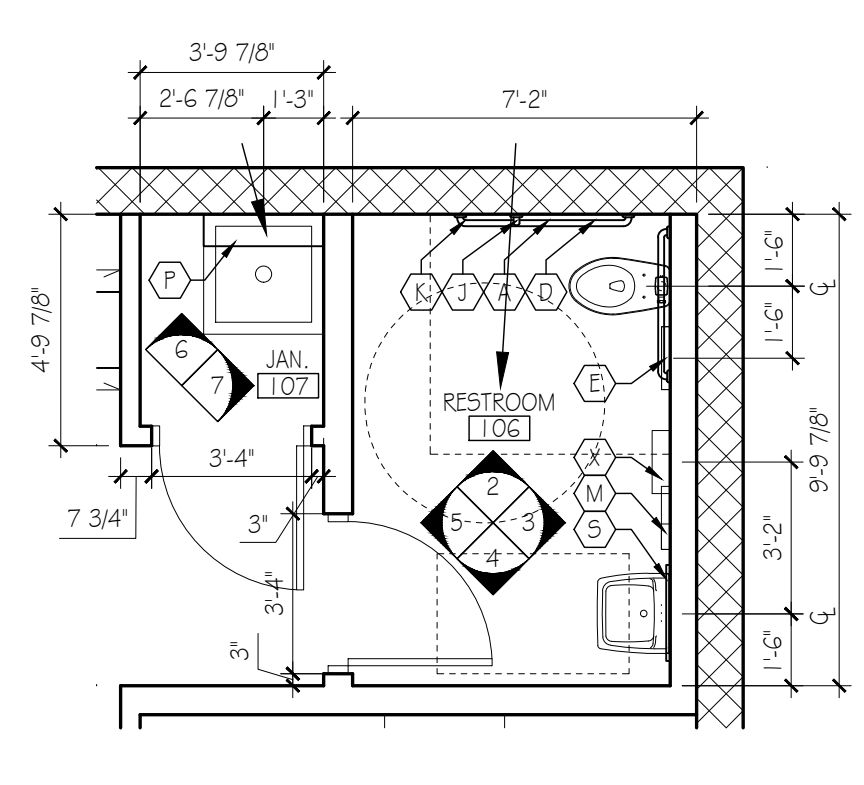
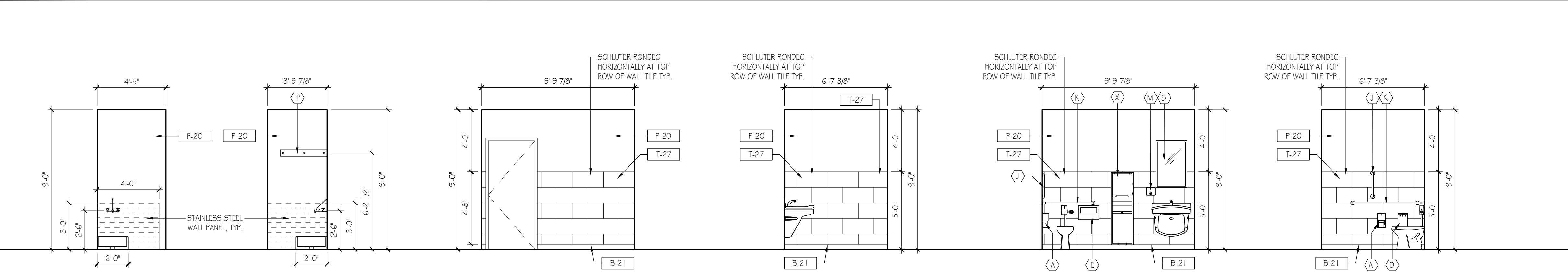
AA TILE WALL-TO-FLOOR JOINTS  
 Scale: 6" = 1'-0"

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RESTROOM ELEVATIONS



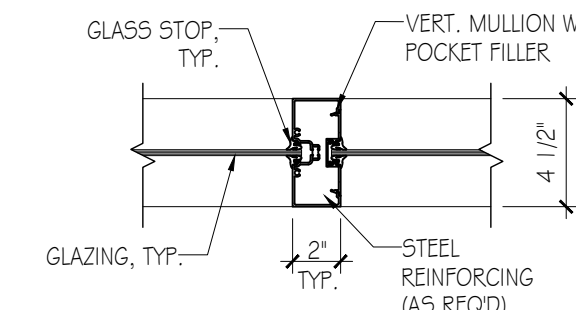
1 RESTROOM PLAN  
 Scale: 1/4" = 1'-0"

Bid Set	2021.10.04
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Drawn By:	TK
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Plot Date:	

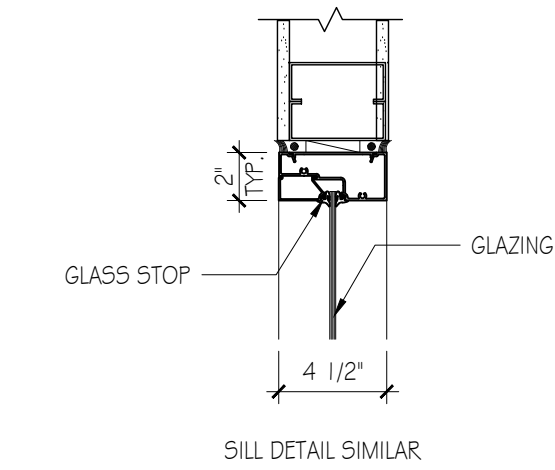
Sheet Number  
**A-401**  
 Sheet Title  
**Restroom Details**

Project Number BST001b	File Name BST001b_A-401.dwg
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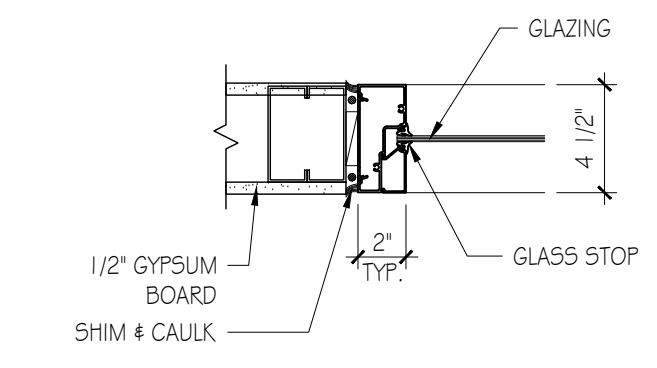
GLAZING DETAILS



**MM** MULLION DETAIL PLAN  
Scale: 1 1/2" = 1'-0"

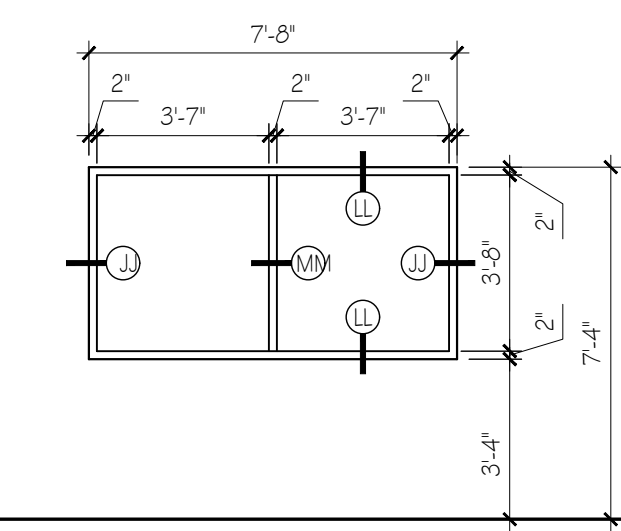


**LL** HEAD DETAIL  
Scale: 1 1/2" = 1'-0"

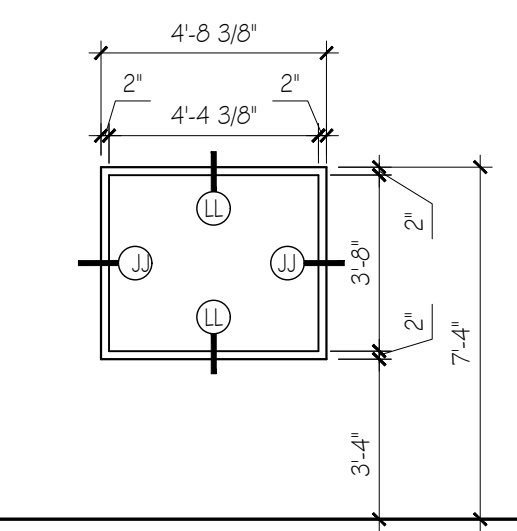


**JJ** JAMB PLAN  
Scale: 1 1/2" = 1'-0"

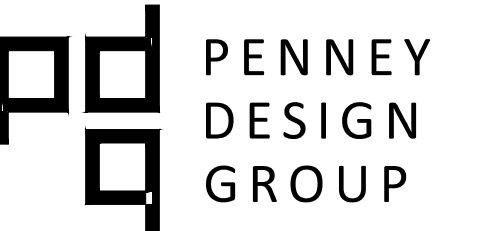
INTERIOR GLAZING ELEVATIONS



**2** INT. STOREFRONT ELEVATION  
SYSTEM ISF-1 Scale: 1/4"=1'-0"



**1** INT. STOREFRONT ELEVATION  
SYSTEM ISF-1 Scale: 1/4"=1'-0"



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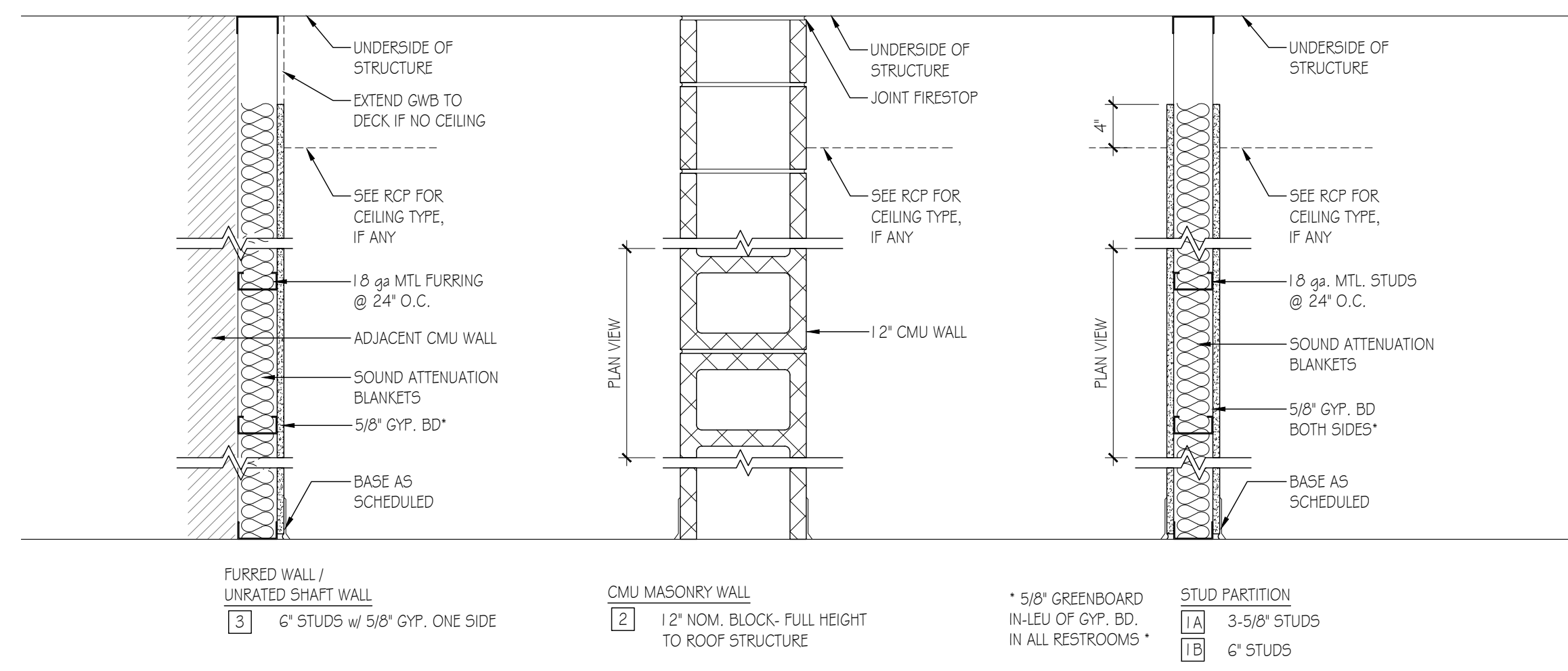
Bid Set	2021.10.04
No. / Issue / Revision	Date
Drawn By:	TK
Checked By:	PS
Plot Date:	

Sheet Number  
**A-421**  
Sheet Title  
**Glazing Details**

Project Number BST001b	File Name BST001b_A-421.dwg
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A:\Projects\2021\3350 US-1\3350 US-1.dwg

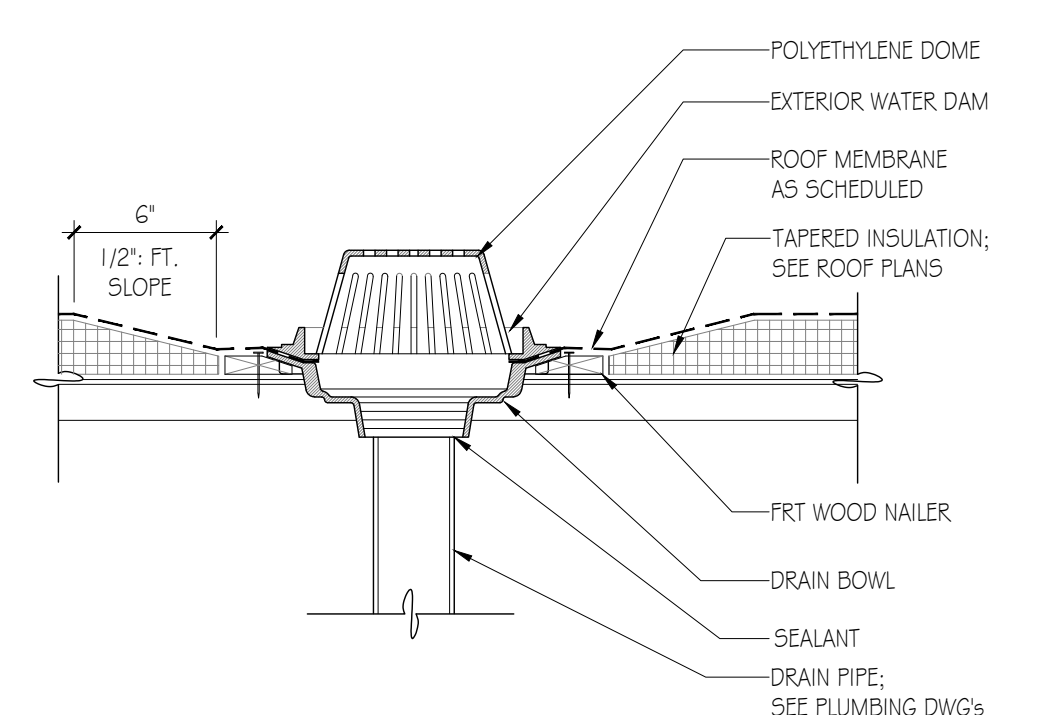




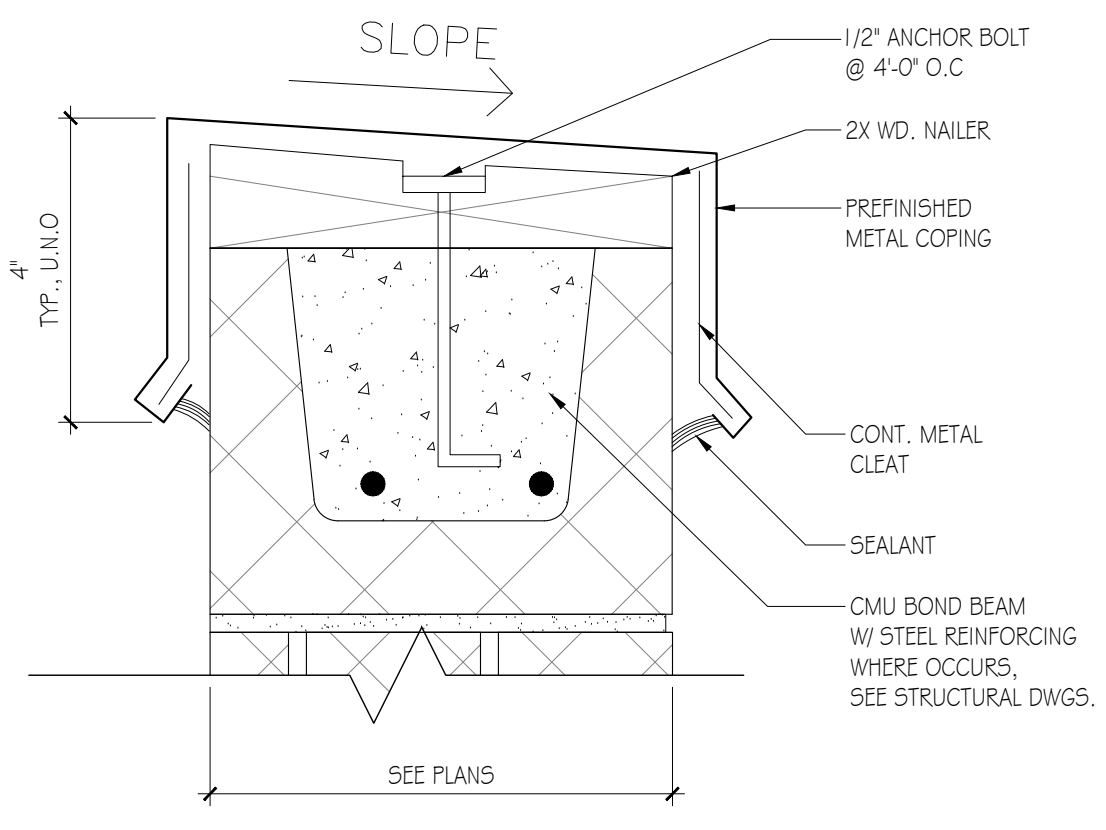
WALL TYPE GENERAL NOTES

- SEE FLOOR PLAN FOR PARTITIONS MARKED WITH A LINE SYMBOL DENOTING FIRE-RATED PARTITIONS AND OBSERVE THE UL FIRE-RATING CONSTRUCTION INSTRUCTIONS. SEE EGRESS / LIFE SAFETY PLAN FOR RATED WALL TYPE ASSEMBLIES AND LOCATIONS.
- ALL NEW INTERIOR STUD PARTITIONS SHALL BE TYPE 1A (U.O.N.). ALL NEW INTERIOR CMU WALLS SHALL BE TYPE 2 (U.O.N.) SEE SAMPLE WALL CONSTRUCTION DETAILS THIS SHEET.
- ALL FIRE-RATED PARTITIONS SHALL EXTEND TO THE FLOOR SLAB ABOVE AND BE SEALED AGAINST IT ACCORDING TO THE DESCRIPTION IN THE UL DESIGN.
- STUDS AND FURRING STRIPS SHALL BE SPACED A MAXIMUM OF 16" O.C., U.N.O.
- PROVIDE 22 ga. STUDS FOR PARTITIONS <math>\leq 13'-0''</math> TALL, TYP. FOR TALLER PARTITIONS, STUD GAUGE SHALL CONFORM TO THE RECOMMENDATIONS OF THE STUD MANUFACTURER FOR THE PARTITION HEIGHT AT EACH LOCATION.
- SUBSTITUTE CEMENTITIOUS BACKER BOARD FOR GWB IN ALL AREAS WHERE WALL TILE OR F.R.P. IS SCHEDULED. SUBSTITUTE MOISTURE-RESISTANT GWB FOR GWB IN ALL WET-RATED AREAS SUCH AS BATHROOMS, JANITOR CLOSETS.
- WHERE FIRE-RATED WALL IS INDICATED, PROVIDE TYPE 'X' GWB AS SPECIFIED IN UL DESCRIPTION.
- WHERE CHASE WALL IS FIRE RATED, WALL CONSTRUCTION SHALL CONFORM TO UL U420 DESIGN.
- ALL KITCHEN, BATHROOM AND LOCKER ROOM AREAS TO HAVE WATERPROOFING MEMBRANE EXTEND FROM FLOOR UP ONTO WALLS, SEE DETAILS.
- ALL OUTSIDE CORNERS WHERE GWB MEETS GWB SHALL RECEIVE CONTINUOUS METAL REINFORCING, TYPICAL. ALL EXPOSED EDGE GWB SHALL RECEIVE FASTMASK EDGE, TYP.

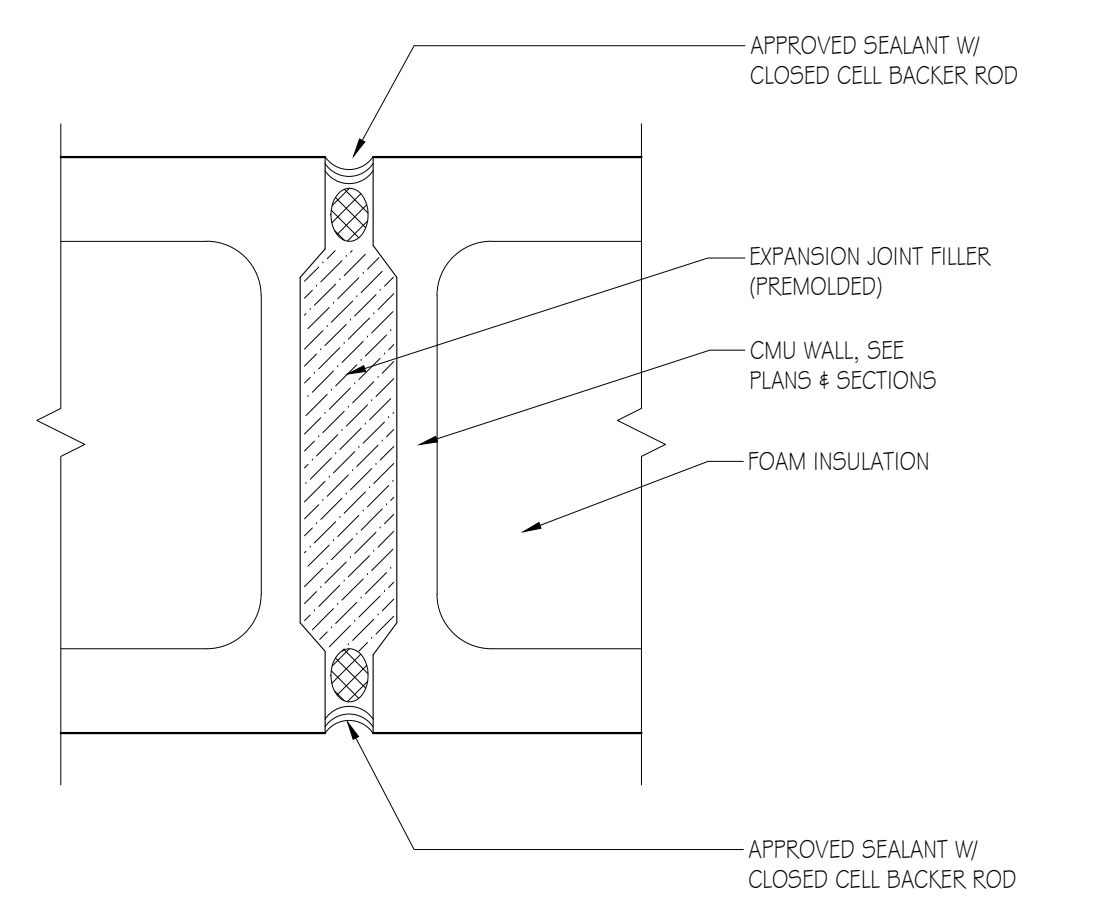
TYPICAL DETAILS



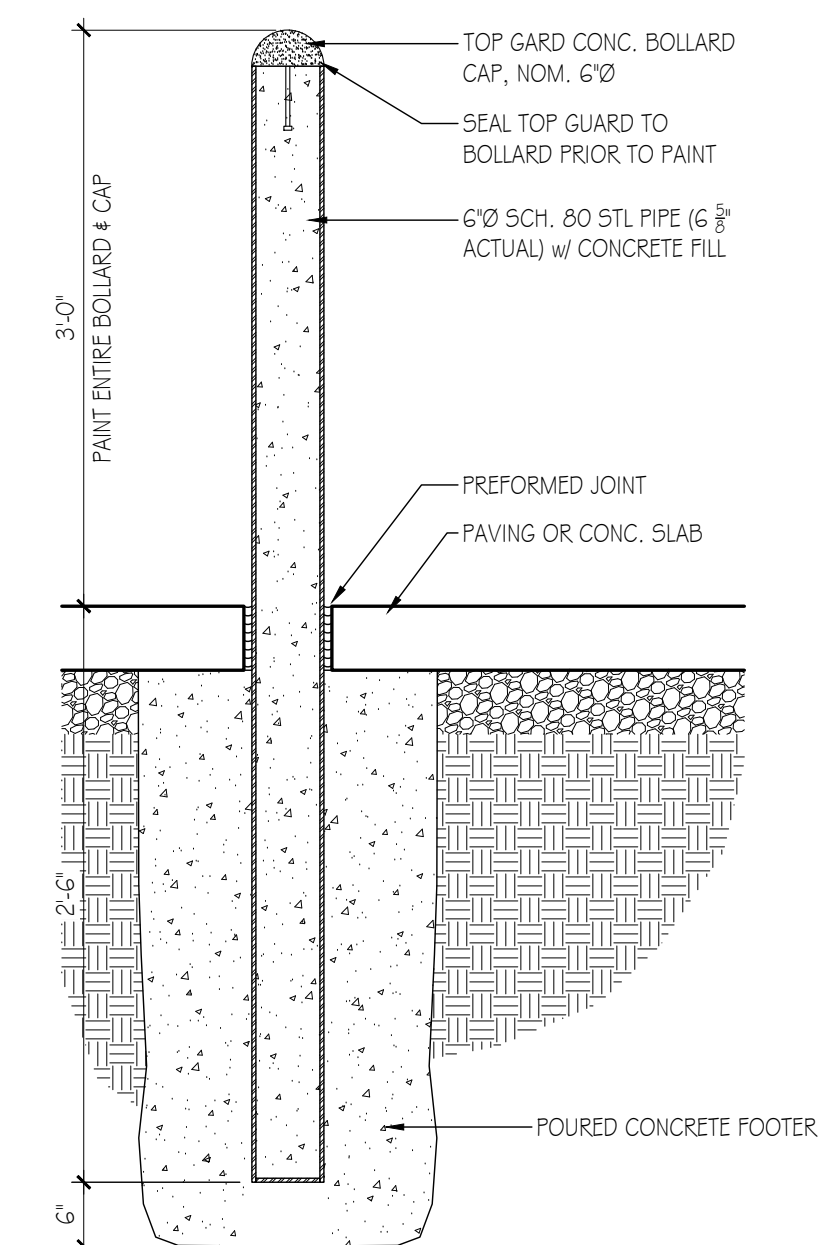
6 CATCH BASIN DETAIL Scale: 3/4"=1'-0"



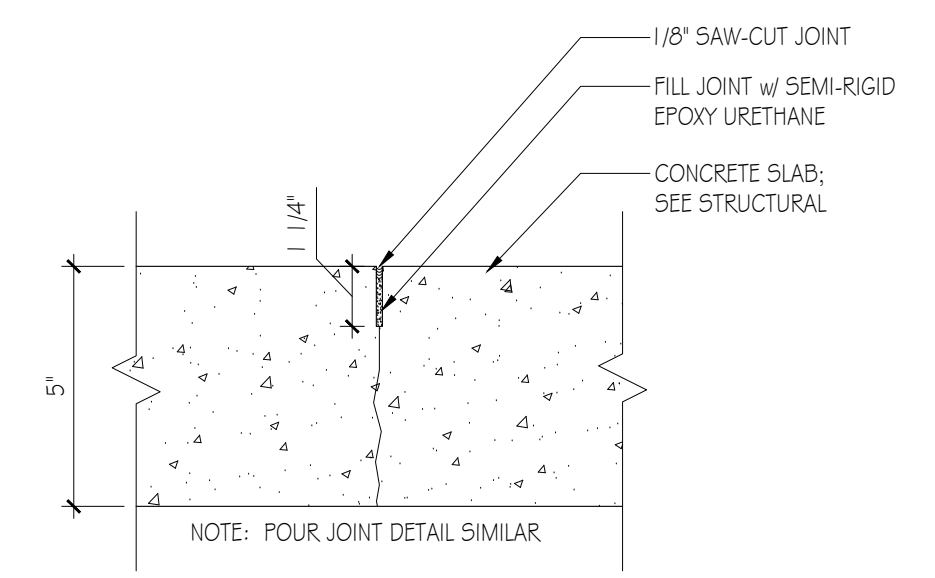
5 CMU PARAPET DETAIL Scale: 3"=1'-0"



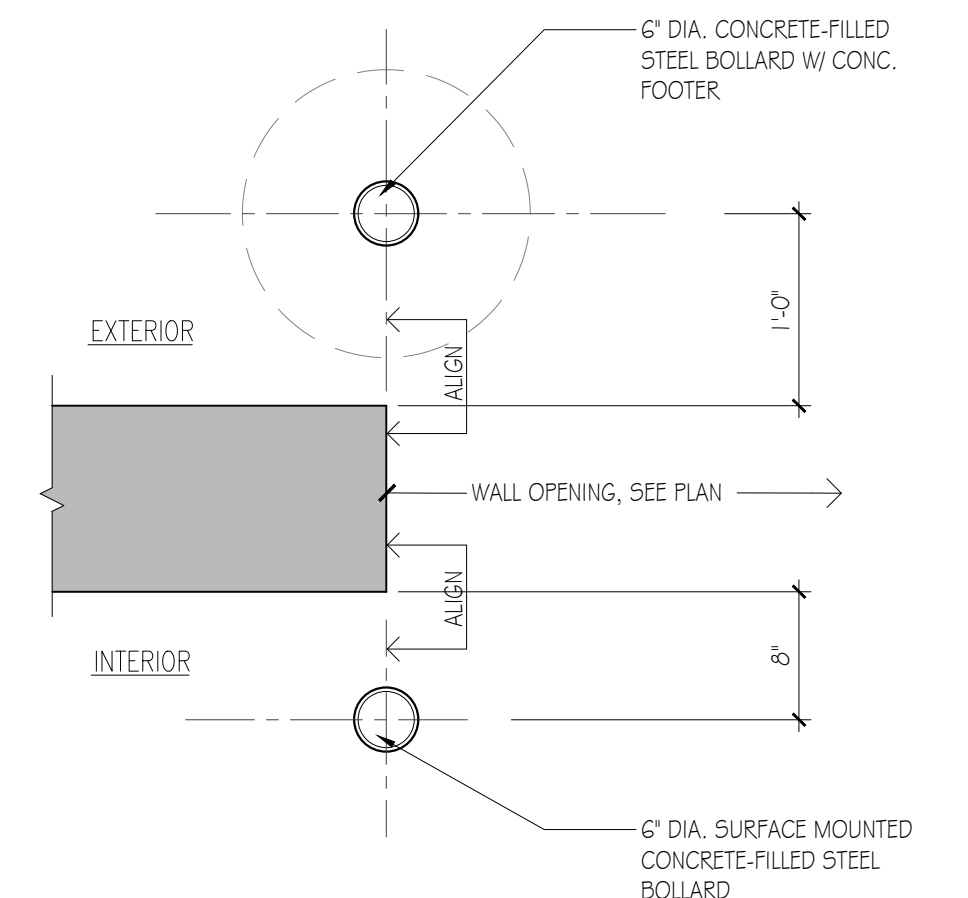
4 CMU JOINT Scale: 3"=1'-0"



3 TYP. NON-CUSTOMER AREA BOLLARD Scale: 1"=1'-0"



2 SAW CUT DETAIL Scale: 3"=1'-0"



1 TYP. BOLLARDS PLAN DETAIL Scale: 1"=1'-0"



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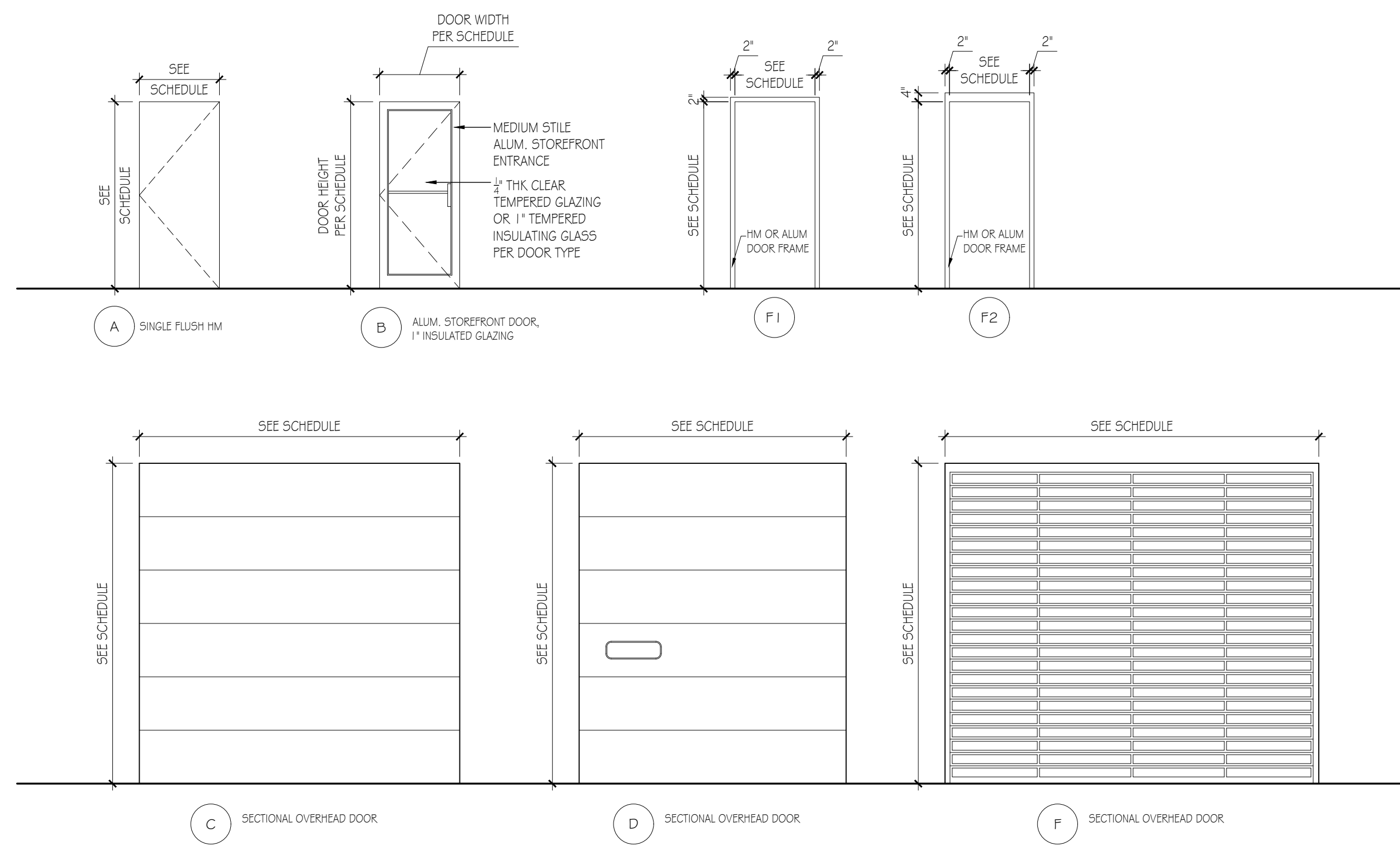
Bid Set	2021.10.04
No. Issue / Revision	Date
Drawn By:	TK
Checked By:	PS
Plot Date:	

Sheet Number  
**A-501**  
Sheet Title  
**Typical Details**

Project Number BST001b	File Name BST001b_A-501.dwg
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DOOR & FRAME ELEVATIONS



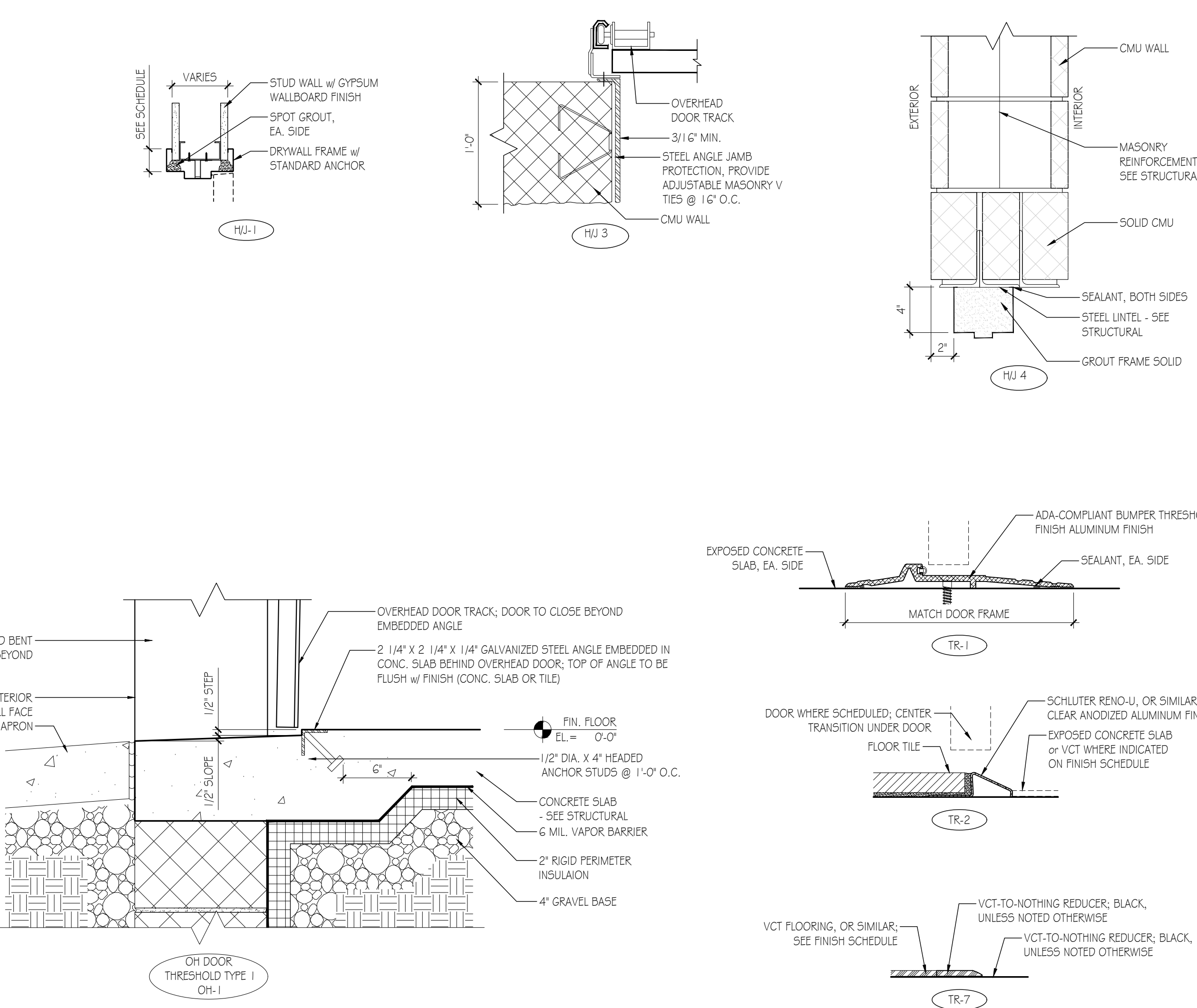
DOOR SCHEDULE

NUMBER	TYPE	MATERIAL	DOOR					FRAME			DETAILS			ACCESS CONTROL	REMARKS			
			WIDTH	HEIGHT	THK.	FINISH	UNDERCUT	RATING	HRDWR	MATERIAL	TYPE	FINISH	HEAD			JAMB	THRESH.	
101a	F	ALUMPOLY	14'-0"	12'-0"	2"	CLEAR ANOD.				14	ALUM		CLEAR ANOD.		J3	OH-1		
101b	A	HM	3'-0"	7'-0"	1-3/4"	NOTE 2			3	HM	F2	NOTE 2	H4	J4	TR-1		RAIN DRIP, CLOSER	
101c	A	HM	3'-0"	7'-0"	1-3/4"	NOTE 2			3	HM	F2	NOTE 2	H4	J4	TR-1		RAIN DRIP, CLOSER	
101d	F	ALUMPOLY	14'-0"	12'-0"	2"	CLEAR ANOD.			14	ALUM		CLEAR ANOD.		J3	OH-1			
102	B	ALUM GLASS	3'-0"	7'-0"	1-3/4"	CLEAR ANOD.			8	ALUM		CLEAR ANOD.			TR-7			
103	A	HM	3'-0"	7'-0"	1-3/4"	NOTE 2	NOTE 3		18	HM	F1	NOTE 2	H1	J1	TR-2		CLOSER	
104	A	HM	3'-0"	7'-0"	1-3/4"	NOTE 2	NOTE 3		7	HM	F1	NOTE 2	H1	J1	TR-1			

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DOOR & FRAME DETAILS



DOOR SCHEDULE NOTES

**GENERAL NOTES**

- G.C. TO REVIEW ALL HARDWARE & KEYING WITH OWNER PRIOR TO PLACING FINAL ORDER; CONTRACTOR SHALL ORGANIZE A KEYING CONFERENCE w/ OWNER PRIOR TO CLOSE-OUT
- SEE EXTERIOR MATERIALS SCHEDULE (SHEET A-200) FOR EXTERIOR DOOR & FRAME FINISH INFO.
- PROVIDE SOLID FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL WALL STOPS IN METAL STUD WALLS WHERE FINISHED w/ GYPSUM WALLBOARD
- IN THE CASE OF DISCREPANCIES OR ERRORS, CONTACT ARCHITECT FOR CLARIFICATION; PROVIDE SUBMITTALS OF HARDWARE COMPONENTS TO ARCHITECT FOR APPROVAL
- HARDWARE SHALL COMPLY w/ ALL CODES FOR OPERATION & HANDICAP ACCESSIBILITY AS REQUIRED
- DOOR HARDWARE SHALL COMPLY w/ VCC 10101.1.9
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT
- PROVIDE SAFETY GLAZING IN DOORS PER VCC 2406.4.1
- SEE DOOR SCHEDULE REMARKS FOR CLOSER, HOLD-OPEN & FLOOR/WALL STOP REQUIREMENTS
- PROVIDE NRP HINGES, RAIN DRIP, GASKETING, DOOR SWEEP, LOCK GUARD & SADDLE THRESHOLD @ ALL EXTERIOR HM DOORS
- UNLESS NOTED OTHERWISE, PROVIDE HARDWARE SETS AS FOLLOWS
- HM & SOW DOORS: SCHLAGE AL SERIES, SATURN LEVER w/ SATIN NICKEL FINISH OR EQUAL, U.O.N.
- MONOLITHIC GLASS DOORS: DORMA LADDER PULLS (84"), LOCKING WHERE SPECIFIED w/ THUMB LATCH OR EQUAL; CLOSERS (IF SPECIFIED) SHALL BE OVERHEAD CONCEALED STYLE, U.O.N.
- STOREFRONT GLASS DOORS: KAWNEER WIRE PUSH / PULL SETS, U.O.N.
- DOOR ACCESSORIES: ALLEGION, ASSA ABLOY, HAGER, OR SIMILAR

**EXTERIOR DOORS SHALL HAVE THE FOLLOWING PROPERTIES:**

- OPAQUE DOORS (GLAZING MAX. 50%) - SWINGING: MAX. U VALUE = 0.61
- OPAQUE DOORS (GLAZING MAX. 50%) - NON-SWINGING: MIN. R VALUE = R-4.75
- GLAZED DOORS (GLAZING MIN. 50%) - SWINGING: MAX. U VALUE = 0.77 & MAX. SHGC = 0.40
- AIR LEAKAGE RATINGS:
  - SWINGING DOORS: MAX. 0.20 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ AAMA WDMA/CSA 101 (1) 5.2/A440 @ 6.24 psf OR 0.30 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ NFRC 400
  - OVERHEAD (GARAGE) DOORS: MAX. 0.40 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ ANS/DASMA 105, NFRC 400 OR ASTM E 283 @ 1.57 psf
  - ROLLING DOORS: MAX. 40 cfm/sq. ft. WHEN TESTED IN ACCORDANCE w/ ANS/DASMA 105, NFRC 400 OR ASTM E 283 @ 1.57 psf

**KEYED NOTES**

- DOOR SET IN STOREFRONT FRAMING; SEE STOREFRONT DETAILS
- FINISH TO MATCH ADJACENT WALL
- PROVIDE 1" UNDERCUT; SEE MEP

HARDWARE SCHEDULE

<p><b>HARDWARE TYPE 2:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>ELECTRIC STRIKE - HES5200-LBM</li> <li>1 LOCKSET - F66 - STOREROOM LOCK</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 3:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>1 LOCKSET - F109 - ENTRANCE LOCKSET</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 4:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>1 LOCKSET - F75 - PASSAGE LATCH</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 5:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED 3" LIFT CLEARANCE TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>ELECTRIC OPERATOR</li> <li>EXTERIOR KEYPAD w/ KEYPAD CYLINDER OVERRIDE</li> <li>INTERIOR 3-BUTTON PUSH STATION</li> <li>PHOTOELECTRIC SENSOR</li> <li>BOTTOM-EDGE &amp; JAMBHEAD WEATHERSTRIPPING</li> </ul>	<p><b>HARDWARE TYPE 6:</b>                      EXT. SINGLE STOREFRONT ENTRY DOOR</p> <ul style="list-style-type: none"> <li>ALUM. / GLASS NARROW STILE DOOR w/ ALUM.</li> </ul>	<p><b>HARDWARE TYPE 7:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>1 LOCKSET - F84 CLASSROOM LOCK</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 8:</b>                      HIGH SPEED OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>STAINLESS STEEL FRAME</li> <li>PHOTOELECTRIC SENSOR</li> <li>VARIABLE SPEED AC DRIVE SYSTEM w/ COMPUTERIZED ELECTRIC CONTROLS</li> <li>BEA 1540/ 1540XL, EA. SIDE</li> </ul>	<p><b>HARDWARE TYPE 9:</b>                      ROLLING STEEL DOOR</p> <ul style="list-style-type: none"> <li>MOTOR OPERATOR</li> <li>EXTERIOR KEYPAD w/ KEYPAD CYLINDER OVERRIDE</li> <li>INTERIOR 3-BUTTON PUSH STATION</li> </ul>	<p><b>HARDWARE TYPE 10:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>1 LOCKSET - F76 - BED/BATH PRIVACY LOCKSET</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 11:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>1 LOCKSET - F77 - BED/BATH PRIVACY LOCKSET</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 12:</b>                      SINGLE DOOR / HM FRAME</p> <ul style="list-style-type: none"> <li>FR 1/2 HINGES</li> <li>3 SILENCERS</li> <li>1 LOCKSET - F78 - BED/BATH PRIVACY LOCKSET</li> <li>CLOSER</li> </ul>	<p><b>HARDWARE TYPE 13:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED 3" LIFT CLEARANCE TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>ELECTRIC OPERATOR</li> <li>EXTERIOR KEYPAD w/ KEYPAD CYLINDER OVERRIDE</li> <li>INTERIOR 3-BUTTON PUSH STATION</li> <li>PHOTOELECTRIC SENSOR</li> <li>BOTTOM-EDGE &amp; JAMBHEAD WEATHERSTRIPPING</li> </ul>	<p><b>HARDWARE TYPE 14:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED 3" LIFT CLEARANCE TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>ELECTRIC OPERATOR</li> <li>EXTERIOR MOTION SENSOR</li> </ul>	<p><b>HARDWARE TYPE 15:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED 3" LIFT CLEARANCE TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>ELECTRIC OPERATOR</li> <li>EXTERIOR MOTION SENSOR</li> </ul>	<p><b>HARDWARE TYPE 16:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED VERTICAL LIFT TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>MANUAL LIFT</li> <li>BOTTOM-EDGE &amp; JAMBHEAD WEATHERSTRIPPING</li> </ul>	<p><b>HARDWARE TYPE 17:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED VERTICAL LIFT TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>MANUAL LIFT</li> <li>BOTTOM-EDGE &amp; JAMBHEAD WEATHERSTRIPPING</li> </ul>	<p><b>HARDWARE TYPE 18:</b>                      SECTIONAL OVERHEAD DOOR</p> <ul style="list-style-type: none"> <li>ANGLE-MOUNTED VERTICAL LIFT TRACK</li> <li>100,000 CYCLE SPRINGS</li> <li>MANUAL LIFT</li> <li>BOTTOM-EDGE &amp; JAMBHEAD WEATHERSTRIPPING</li> </ul>
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I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Florida, license number: AB07071, expiration date: February 28, 2022.

Bid Set 2021.10.04  
 No. Issue / Revision Date  
 Drawn By: TK  
 Checked By: PS  
 Plot Date: October 5, 2021

Sheet Number  
**A-601**  
 Sheet Title  
**Door Schedule**

Project Number B5T001b File Name B5T001b\_A-601.dwg