

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL BUILDINGS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

CONTACT: -PATRICK M. WEST JR., AIA... FIRM: WEST & STEM ARCHITECTS, PLLC... PROJECT: BEE SAFE STORAGE AND WINE CELLAR

2017 FLORIDA BUILDING CODE 6TH EDITION... CONSTRUCTED (DATE): N/A... RENOVATED (DATE): N/A

BASIC BUILDING DATA... Construction Type: I-A... Sprinklers: No... Standpipes: No... Fire District: No

GROSS BUILDING AREA TABLE... FLOOR: 3rd Floor, 2nd Floor, Mezzanine, 1st Floor, Basement, TOTAL

ALLOWABLE AREA... Primary Occupancy Classification(s): Assembly... Accessory Occupancy Classification(s): NONE

Mixed Occupancy: No... Separation: ... Exception: ...

Table with columns: STORY NO., DESCRIPTION AND USE, (A) BLDG. AREA PER STORY, (B) TABLE 506.2.4 AREA, (C) AREA FOR FRONTAGE INCREASE, (D) ALLOWABLE AREA PER STORY OR UNLIMITED

1. Frontage area increases from Section 506.2 are computed thus: a. Perimeter which fronts a public way or open space having 20 feet minimum width = 869'-6" (F)

ALLOWABLE HEIGHT... Building Height in Feet (Table 504.3): 75'... Building Height in Stories (Table 504.4): 3

FIRE PROTECTION REQUIREMENTS... BUILDING ELEMENT, FIRE SEPARATION DISTANCE, RATING, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, DESIGN # FOR RATED PENETRATION, DESIGN # FOR RATED JOINTS

Table with columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, DESIGN # FOR RATED PENETRATION, DESIGN # FOR RATED JOINTS

PERCENTAGE OF WALL OPENING CALCULATIONS... FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION (TABLE 705.8), ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS... Emergency Lighting: No... Exit Signs: No... Fire Alarm: No... Smoke Detection Systems: No

LIFE SAFETY PLAN REQUIREMENTS... Life Safety Plan Sheet #: A1.01, A1.02, A1.03... Fire and / or smoke rated wall locations (Chapter 7)

ACCESSIBLE DWELLING UNITS (SECTION 1107)... TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE 'A' UNITS PROVIDED, TYPE 'B' UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)... LOT OR PARKING AREA, TOTAL # OF PARKING SPACES, # OF ACCESSIBLE SPACES PROVIDED, TOTAL # ACCESSIBLE PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)... USE, WATERCLOSETS, URINALS, LAVATORIES, SHOWERS/TUBS, DRINKING FOUNTAINS

SPECIAL APPROVALS... Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPL, DHS, ICC, etc., describe below)

DESIGN LOADS: STRUCTURAL DESIGN... Importance Factors: Wind (I)W, Snow (I)S, Seismic (I)E

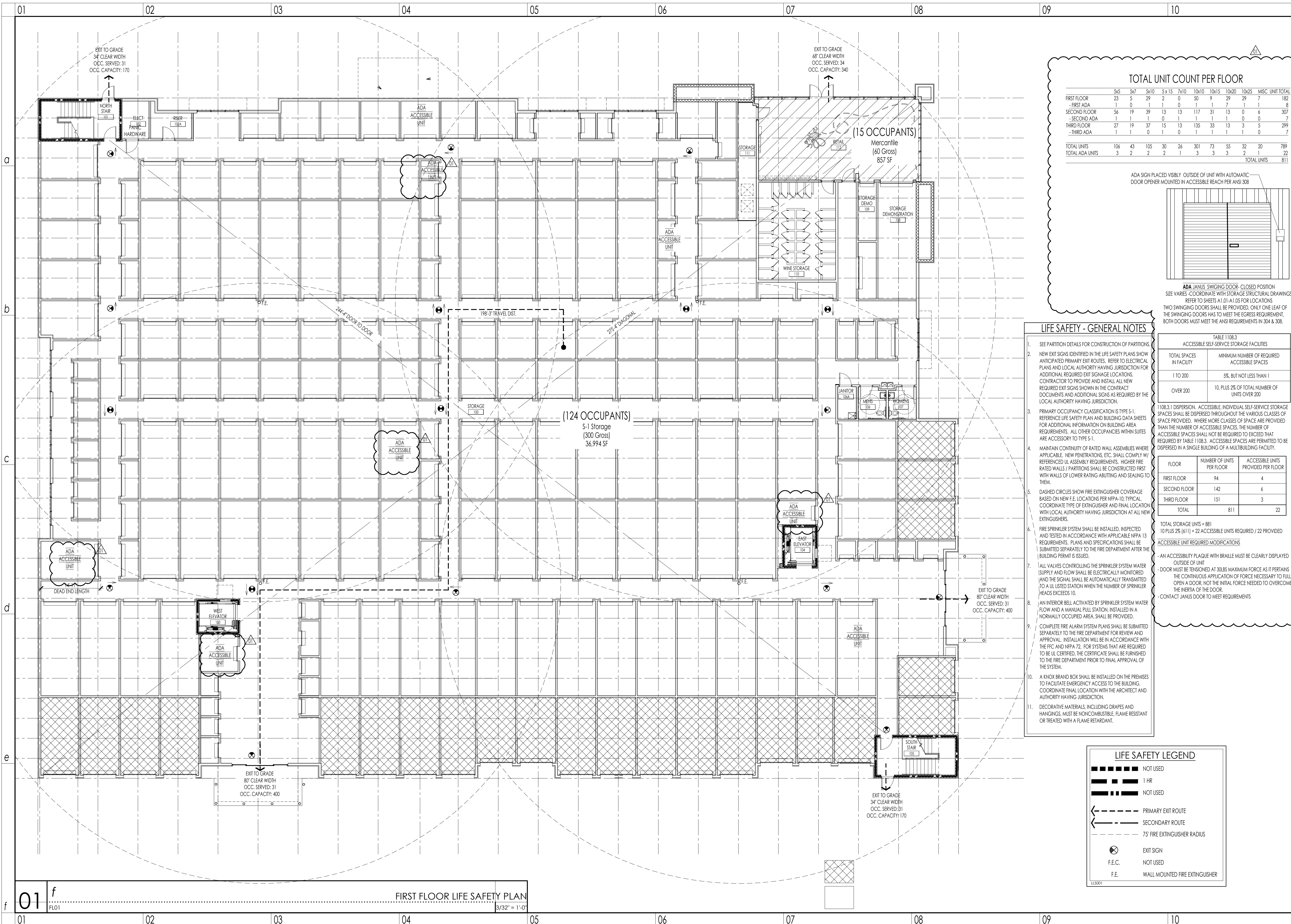
SEISMIC DESIGN CATEGORY... Provide the following Seismic Design Parameters: Occupancy Category (Table 1401.5), Spectral Response (Table 1601.2.8)

COMcheck Software Version 4.1.1.0 Envelope Compliance Certificate... Project Information: 2015 IECC, BEE SAFE STORAGE AND WINE CELLAR... Envelope Assemblies table with columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Proposed U-Factor, Budget U-Factor

MECHANICAL SUMMARY... MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT Thermal Zone... Interior design conditions: Winter Dry Bulb, Summer Dry Bulb, Relative Humidity

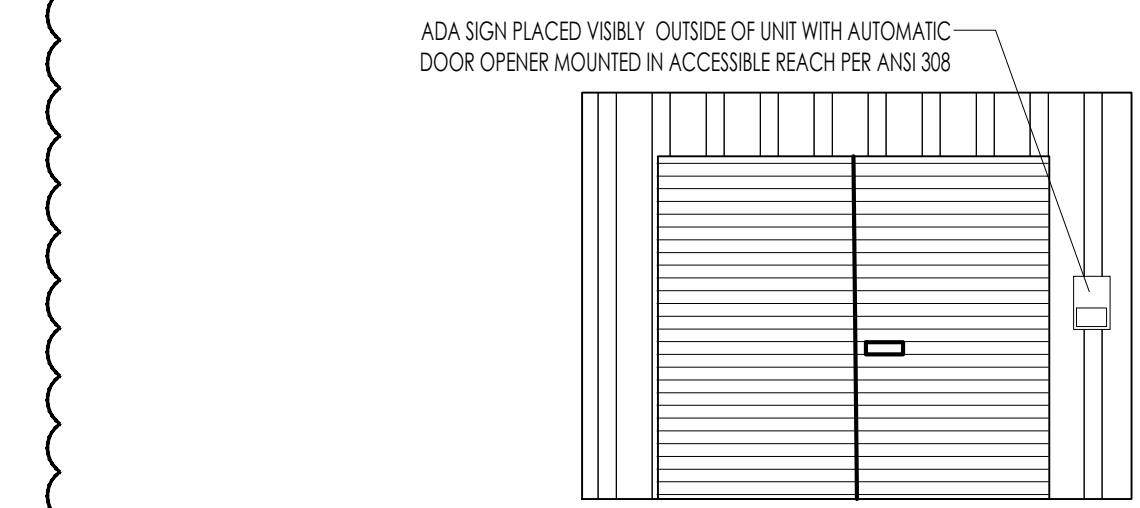
ELECTRICAL SUMMARY... ELECTRICAL SYSTEM AND EQUIPMENT Method of Compliance: Prescriptive (Energy Code), Performance (Energy Code)

WEST & STEM ARCHITECTS ARCHITECTS... FINAL CONSTRUCTION DRAWINGS... BEE SAFE STORAGE AND WINE CELLAR... MARINER VILLAGE STUART, FLORIDA... BUILDING DATE SHEET APPENDIX "B" sheet A0.01



TOTAL UNIT COUNT PER FLOOR

	5x5	5x7	5x10	5x15	7x10	10x10	10x15	10x20	10x25	MISC	UNIT TOTAL
FIRST FLOOR	23	5	29	2	0	50	9	29	29	7	182
- FIRST ADA	1	0	1	1	0	1	7	1	1	1	8
SECOND FLOOR	56	19	39	13	13	117	31	13	0	6	307
- SECOND ADA	1	1	1	0	1	1	1	1	0	0	7
THIRD FLOOR	27	19	37	15	13	135	33	13	3	5	299
- THIRD ADA	1	1	0	1	0	1	1	1	1	0	7
TOTAL UNITS	106	43	105	30	26	301	73	55	32	20	789
TOTAL ADA UNITS	3	2	2	2	1	3	3	3	2	1	22
	TOTAL UNITS 811										



LIFE SAFETY - GENERAL NOTES

- SEE PARTITION DETAILS FOR CONSTRUCTION OF PARTITIONS.
- NEW EXIT SIGNS IDENTIFIED IN THE LIFE SAFETY PLANS SHOW ANTICIPATED PRIMARY EXIT ROUTES. REFER TO ELECTRICAL PLANS AND LOCAL AUTHORITY HAVING JURISDICTION FOR ADDITIONAL REQUIRED EXIT SIGNAGE LOCATIONS. CONTRACTOR TO PROVIDE AND INSTALL ALL NEW REQUIRED EXIT SIGNS SHOWN IN THE CONTRACT DOCUMENTS AND ADDITIONAL SIGNS AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
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- MAINTAIN CONTINUITY OF RATED WALL ASSEMBLIES WHERE APPLICABLE. NEW PENETRATIONS, ETC. SHALL COMPLY W/ REFERENCED UL ASSEMBLY REQUIREMENTS. HIGHER FIRE RATED WALLS / PARTITIONS SHALL BE CONSTRUCTED FIRST WITH WALLS OF LOWER RATING ABUTTING AND SEALING TO THEM.
- DASHED CIRCLES SHOW FIRE EXTINGUISHER COVERAGE BASED ON NEW F.E. LOCATIONS PER NFPA-10; TYPICAL. COORDINATE TYPE OF EXTINGUISHER AND FINAL LOCATION WITH LOCAL AUTHORITY HAVING JURISDICTION AT ALL NEW EXTINGUISHERS.
- FIRE SPRINKLER SYSTEM SHALL BE INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH APPLICABLE NFPA 13 REQUIREMENTS. PLANS AND SPECIFICATIONS SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT AFTER THE BUILDING PERMIT IS ISSUED.
- ALL VALVES CONTROLLING THE SPRINKLER SYSTEM WATER SUPPLY AND FLOW SHALL BE ELECTRICALLY MONITORED (AND THE SIGNAL SHALL BE AUTOMATICALLY TRANSMITTED TO A UL LISTED STATION WHEN THE NUMBER OF SPRINKLER HEADS EXCEEDS 10).
- AN INTERIOR BELL ACTIVATED BY SPRINKLER SYSTEM WATER FLOW AND A MANUAL PULL STATION, INSTALLED IN A NORMALLY OCCUPIED AREA, SHALL BE PROVIDED.
- COMPLETE FIRE ALARM SYSTEM PLANS SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. INSTALLATION WILL BE IN ACCORDANCE WITH THE FFC AND NFPA 72. FOR SYSTEMS THAT ARE REQUIRED TO BE UL CERTIFIED, THE CERTIFICATE SHALL BE FURNISHED TO THE FIRE DEPARTMENT PRIOR TO FINAL APPROVAL OF THE SYSTEM.
- A KNOX BRAND BOX SHALL BE INSTALLED ON THE PREMISES TO FACILITATE EMERGENCY ACCESS TO THE BUILDING. COORDINATE FINAL LOCATION WITH THE ARCHITECT AND AUTHORITY HAVING JURISDICTION.
- DECORATIVE MATERIALS, INCLUDING DRAPES AND HANGINGS, MUST BE NON-COMBUSTIBLE, FLAME RESISTANT OR TREATED WITH A FLAME RETARDANT.

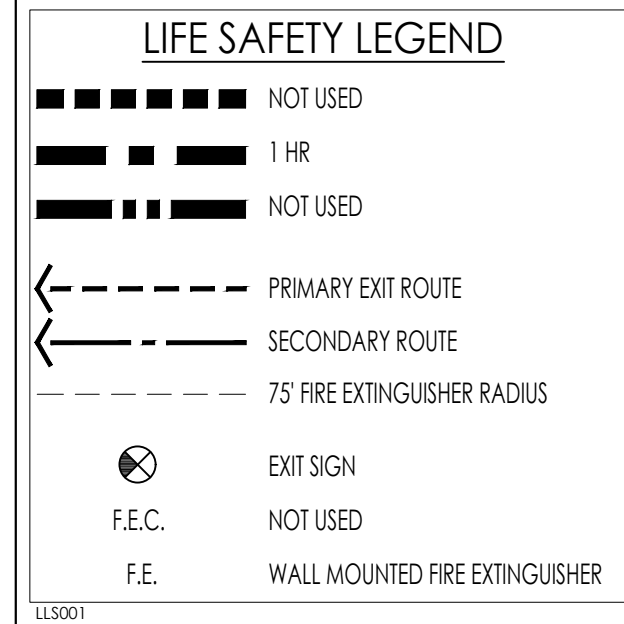
TABLE 1108.3 ACCESSIBLE SELF-SERVICE STORAGE FACILITIES

TOTAL SPACES IN FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE SPACES
1 TO 200	5%, BUT NOT LESS THAN 1
OVER 200	10, PLUS 2% OF TOTAL NUMBER OF UNITS OVER 200

1108.3.1 DISPERSION. ACCESSIBLE, INDIVIDUAL, SELF-SERVICE STORAGE SPACES SHALL BE DISPERSED THROUGHOUT THE VARIOUS CLASSES OF SPACE PROVIDED, WHERE MORE CLASSES OF SPACE ARE PROVIDED THAN THE NUMBER OF ACCESSIBLE SPACES, THE NUMBER OF ACCESSIBLE SPACES SHALL NOT BE REQUIRED TO EXCEED THAT REQUIRED BY TABLE 1108.3. ACCESSIBLE SPACES ARE PERMITTED TO BE DISPERSED IN A SINGLE BUILDING OF A MULTIBUILDING FACILITY.

FLOOR	NUMBER OF UNITS PER FLOOR	ACCESSIBLE UNITS PROVIDED PER FLOOR
FIRST FLOOR	94	4
SECOND FLOOR	142	6
THIRD FLOOR	151	3
TOTAL	811	22

TOTAL STORAGE UNITS = 881
 10 PLUS 2% (611) = 22 ACCESSIBLE UNITS REQUIRED / 22 PROVIDED
 ACCESSIBLE UNIT REQUIRED MODIFICATIONS
 - AN ACCESSIBILITY PLAQUE WITH BRAILLE MUST BE CLEARLY DISPLAYED OUTSIDE OF UNIT
 - DOOR MUST BE TENSORED AT 30BS MAXIMUM FORCE AS IT PERFORMS THE CONTINUOUS APPLICATION OF FORCE NECESSARY TO FULLY OPEN A DOOR, NOT THE INITIAL FORCE NEEDED TO OVERCOME THE INERTIA OF THE DOOR.
 - CONTACT JANUS DOOR TO MEET REQUIREMENTS



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FINAL CONSTRUCTION DRAWINGS

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 PROFESSIONAL ARCHITECT
 AR100839
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revisions

NO.	DATE	PLAN REVIEW COMMENTS
1	09.15.20	

NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
 STUART, FLORIDA

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FIRST FLOOR LIFE SAFETY PLAN AND NOTES

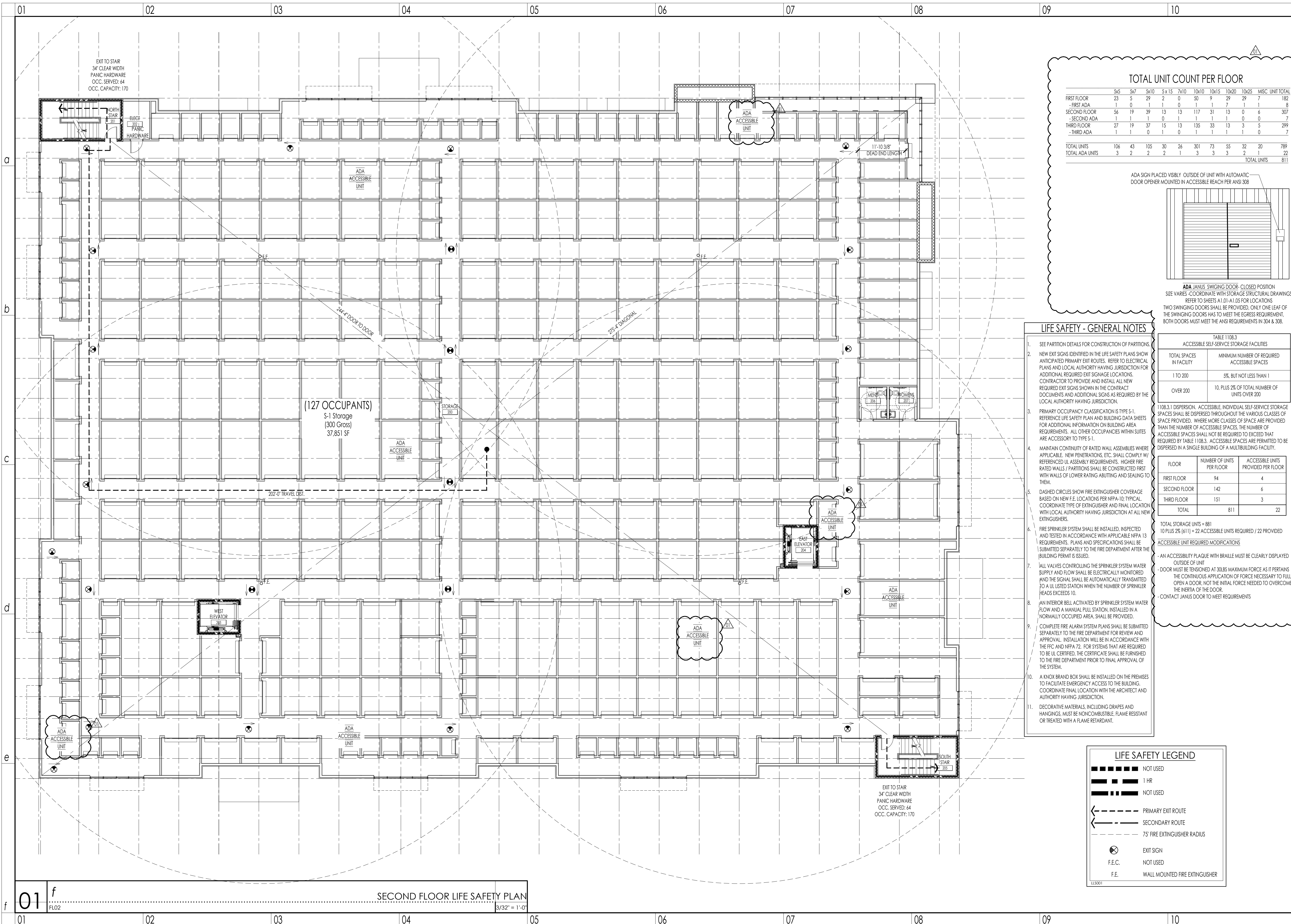
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A1.01-R1

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS

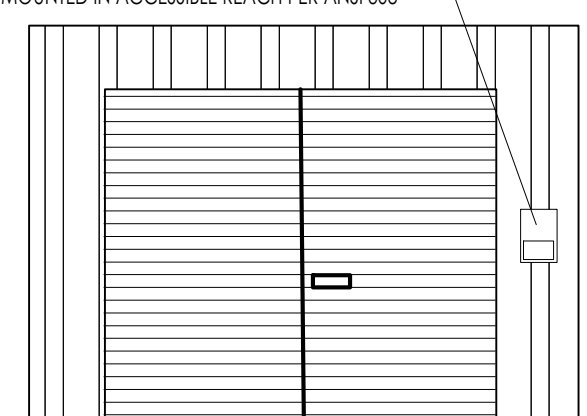
01 f
 FLO1

FIRST FLOOR LIFE SAFETY PLAN
 3/32" = 1'-0"



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 - CONTACT JANUS DOOR TO MEET REQUIREMENTS

LIFE SAFETY LEGEND

---	NOT USED
----	1 HR
----	NOT USED
---	NOT USED
---	PRIMARY EXIT ROUTE
---	SECONDARY ROUTE
○	7'5" FIRE EXTINGUISHER RADIUS
⊗	EXIT SIGN
F.E.C.	NOT USED
F.E.	WALL MOUNTED FIRE EXTINGUISHER

WEST & STEM ARCHITECTS

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FINAL CONSTRUCTION DRAWINGS

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 PROFESSIONAL ARCHITECT
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 REGISTERED ARCHITECT

revisions

NO.	DATE	PLAN REVIEW COMMENTS
1	09.15.20	

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BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
 STUART, FLORIDA

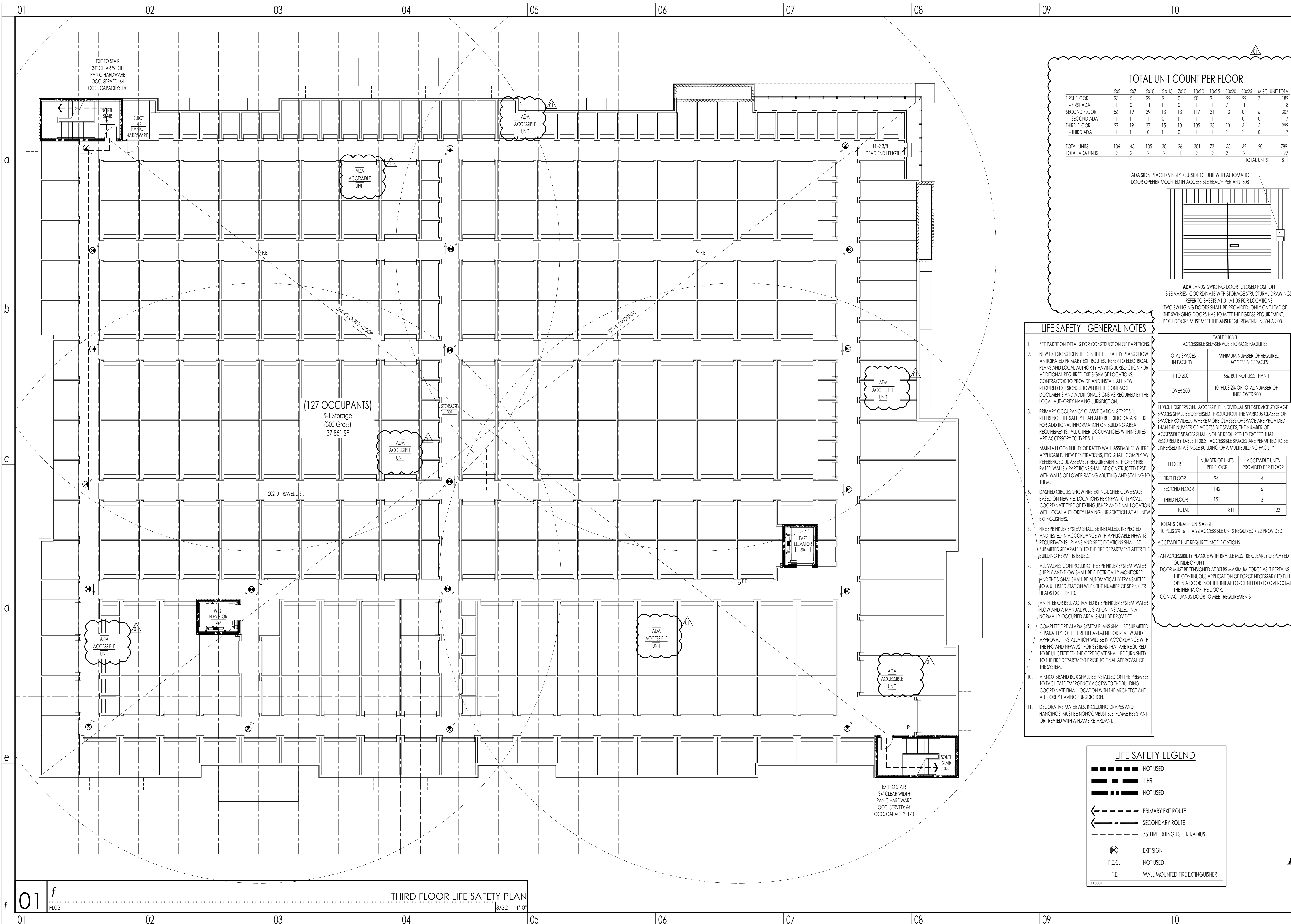
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SECOND FLOOR LIFE SAFETY PLAN AND NOTES

sheet

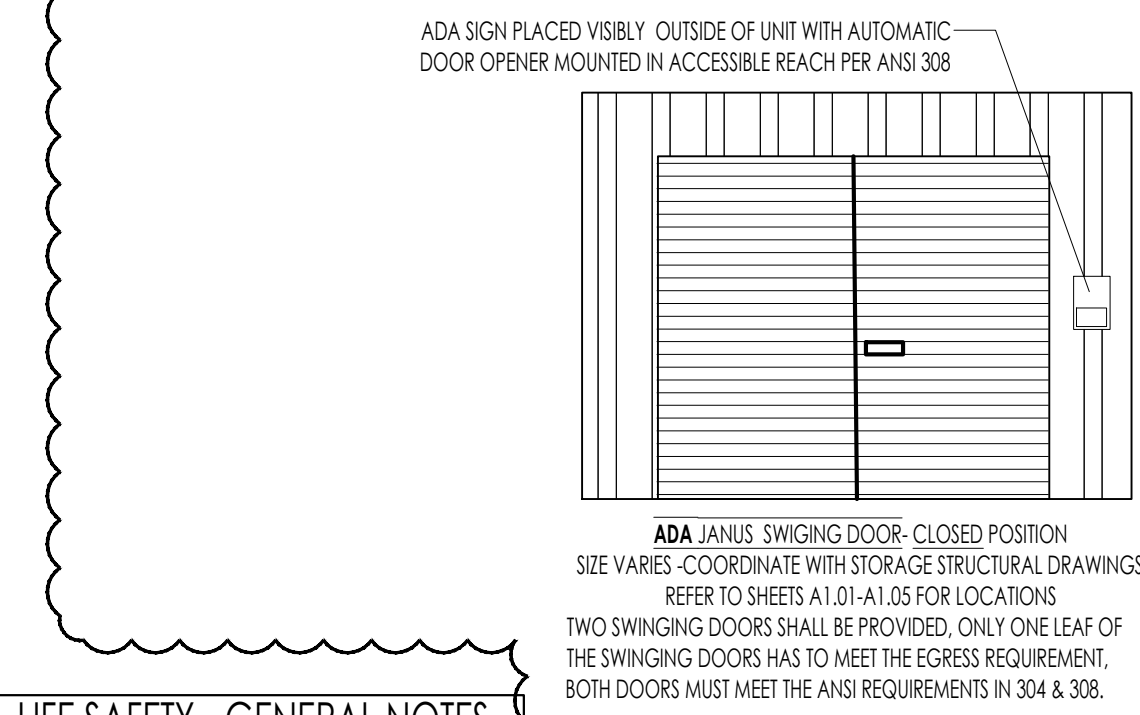
A1.02-R1

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS



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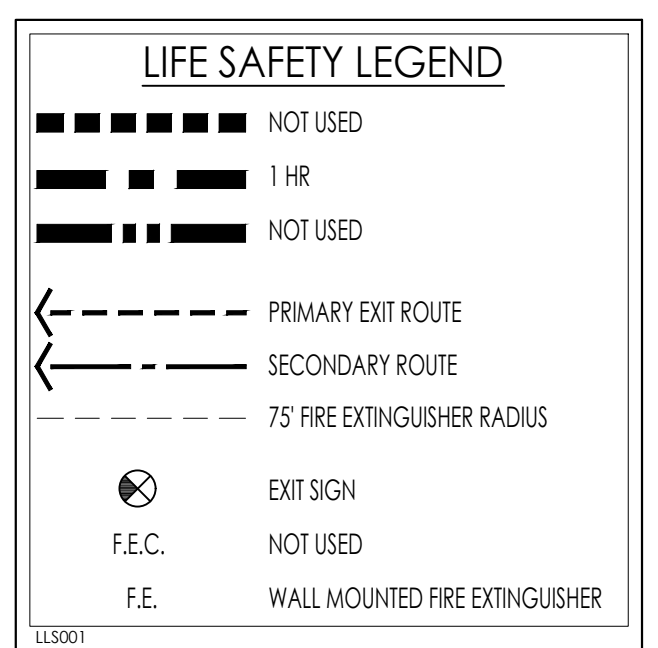
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FINAL CONSTRUCTION DRAWINGS

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revisions

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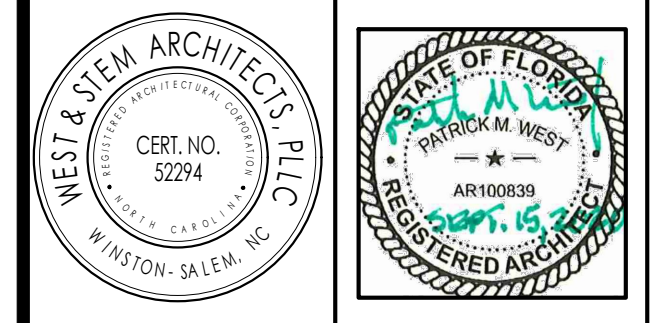
THIRD FLOOR LIFE SAFETY PLAN AND NOTES

sheet

A1.03-R1

date: AUGUST 14, 2020
commission: 19C.0030
drawn by: RBS

FINAL CONSTRUCTION DRAWINGS



revisions

09.15.20	OWNER COMMENTS
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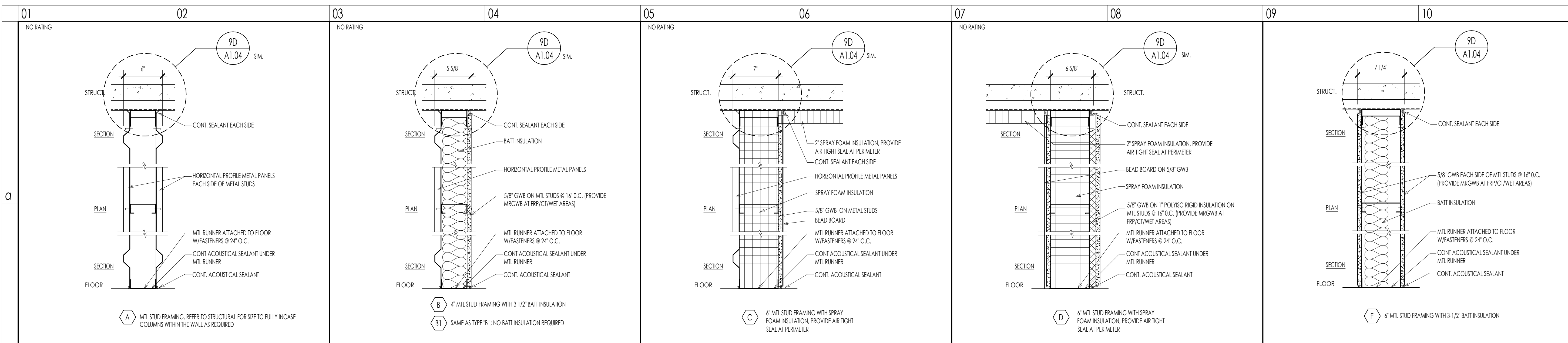


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WALL PARTITION TYPES, NOTES AND DETAILS

A1.04-R1

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS



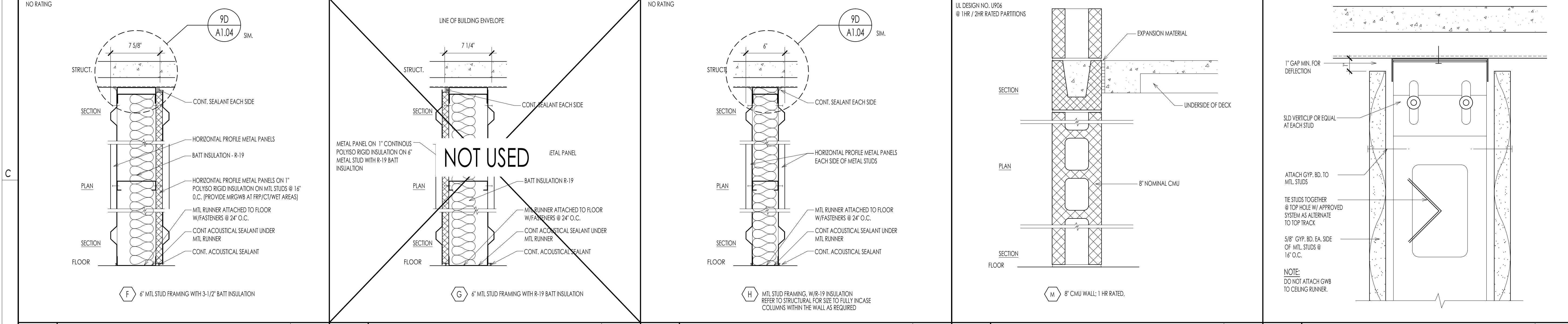
01 *b* PARTITION TYPE **A** 1 1/2" = 1'-0"

03 *b* PARTITION TYPE **B** 1 1/2" = 1'-0"

05 *b* PARTITION TYPE **C** 1 1/2" = 1'-0"

07 *b* PARTITION TYPE **D** 1 1/2" = 1'-0"

09 *b* PARTITION TYPE **E** 1 1/2" = 1'-0"



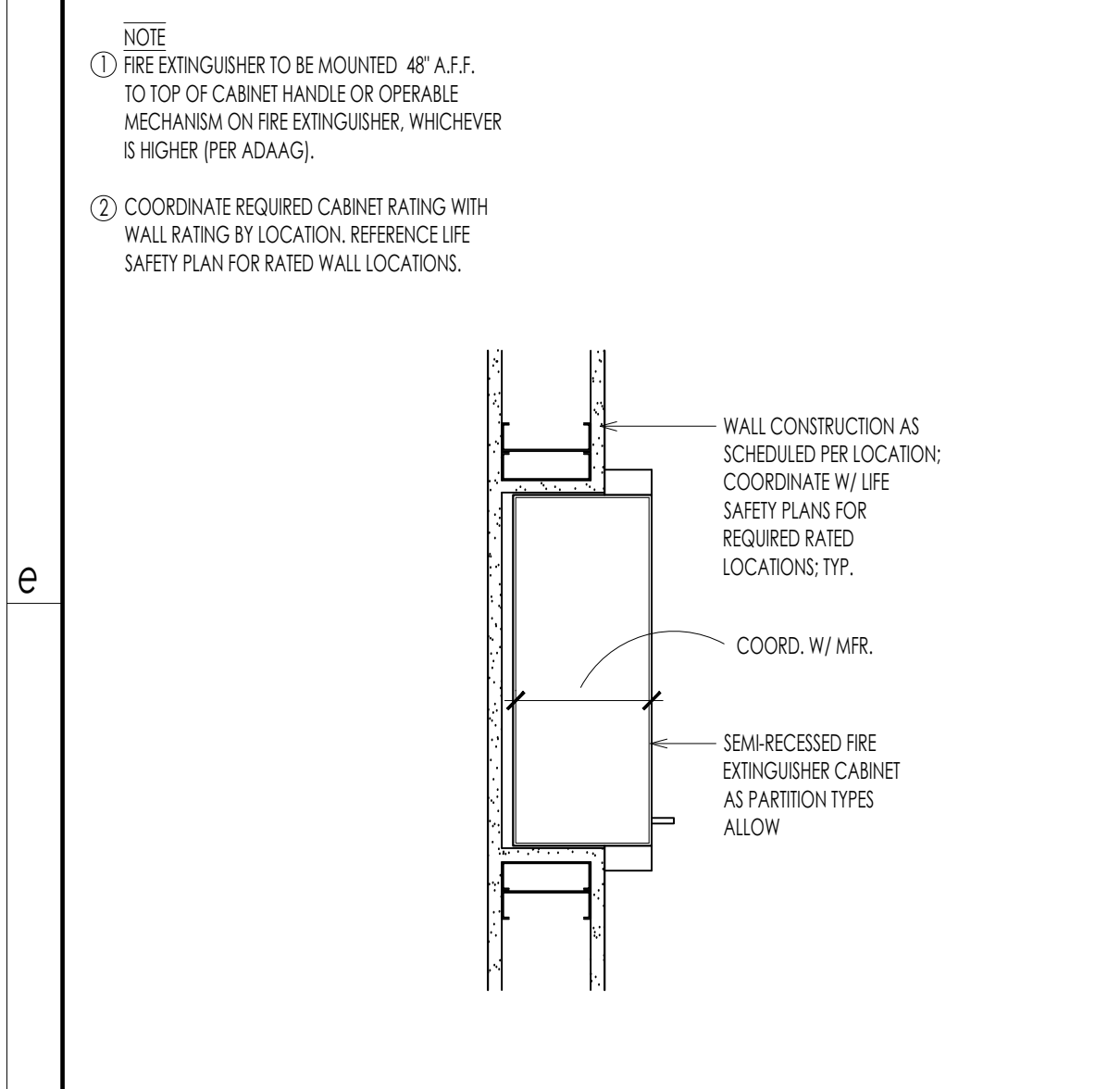
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03 *d* PARTITION TYPE **G** 1 1/2" = 1'-0"

05 *d* PARTITION TYPE **H** 1 1/2" = 1'-0"

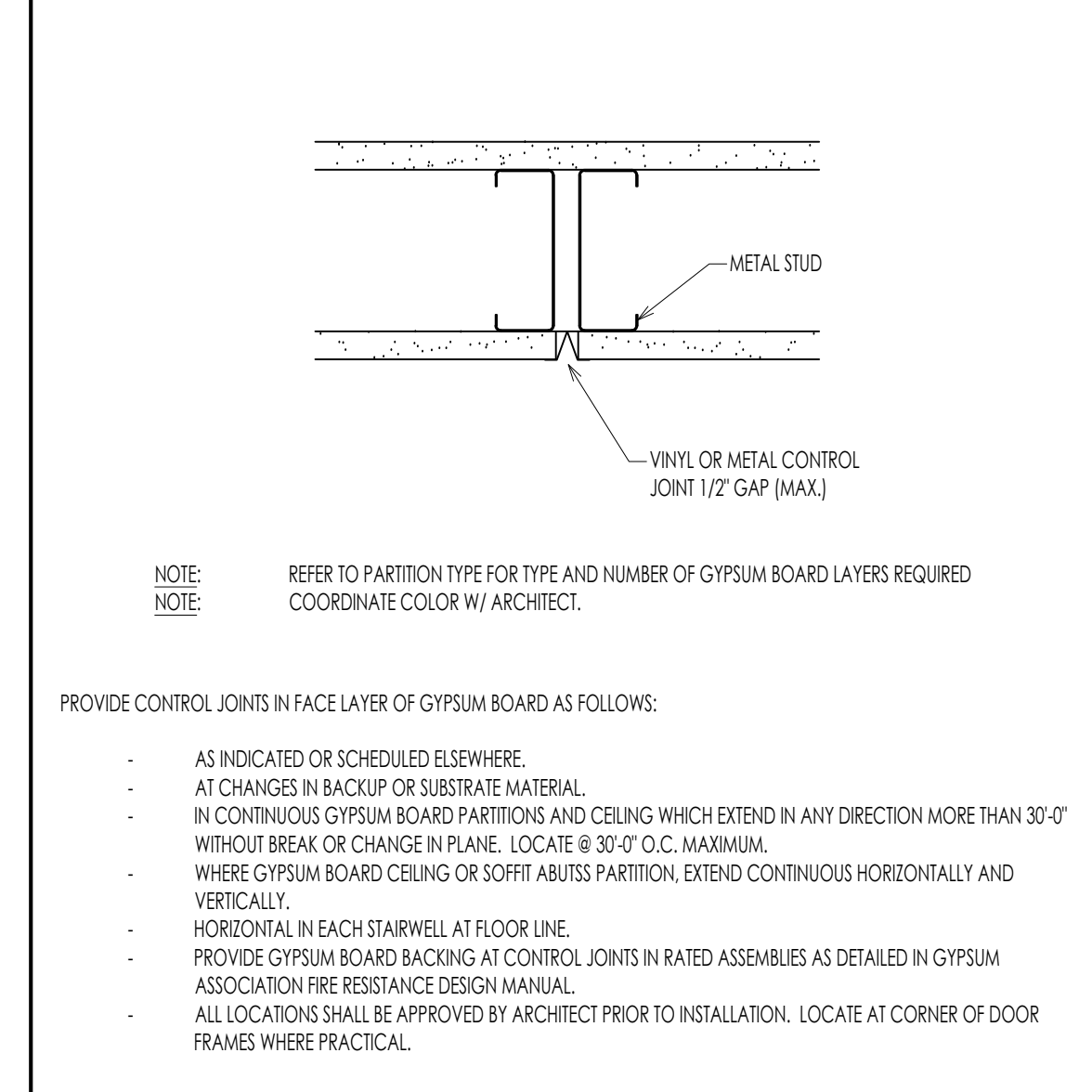
07 *d* PARTITION TYPE **M** 1 1/2" = 1'-0"

09 *d* UN-RATED VERTA-CLIP TRACK N.T.S.

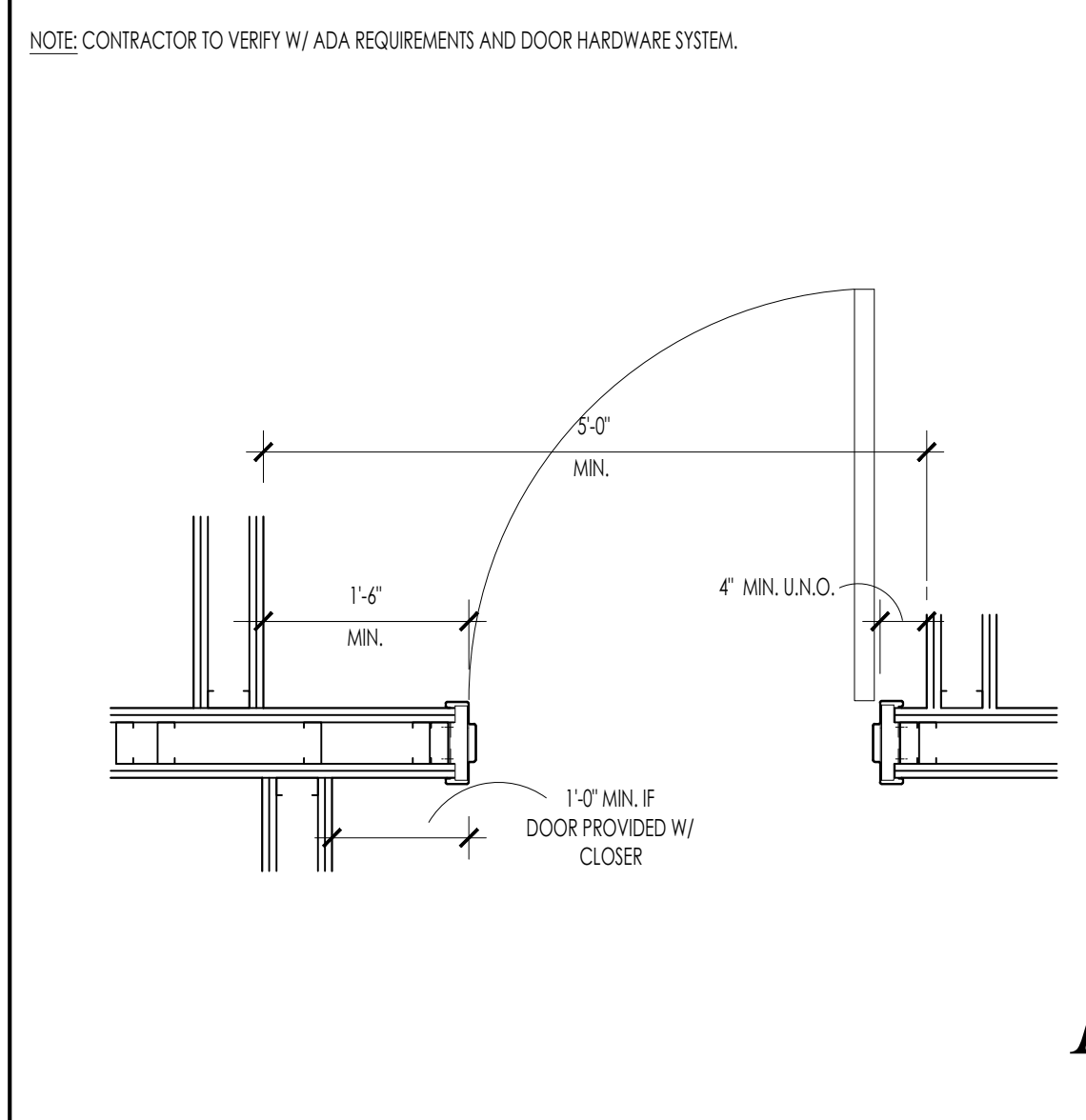


01 *f* FIRE EXTINGUISHER CABINET DETAIL N.T.S.

SCOPE	VENDOR	NAME	PHONE	EMAIL
OFFICE DECOR	EXTREMEMILKWORK	SAM ADAMS	919.880.9721	SAM@EXTREMEMILKWORK.COM
OFFICE DOOR STICKERS	TRIMAXX GRAPHICS	BROCK COMPTON	706.202.7029	BROCK@TRIMAXXGFX.COM
RECESSED LIGHTING	ALUMINUM	MICHAEL	919.278.3166	MICHAEL@ALUMINUM.COM
LIGHTING FIXTURES	WOMACK ELECTRICAL	JOHN CAMPBELL	336.854.7111	JCAMPBELL@WOMACKELECTRICAL.COM
PREFERRED VENDORS				
ELECTRICAL	LOWDERMILK ELECTRIC	JANET SOCKWELL	336.275.9494	JANET@LOWDERMILK.COM
FIRE ALARM/SPRINKLER	VSC	DANIEL SANTINELLI	704.805.9700	DPSANTINELLI@VSCS.COM
SECURITY/CCTV	AUTOMATED CONTROLS	JOSH PENN	980.253.6110	JOSH@AUTOMATEDCONTROLS-NC.COM
ROLL-UP DOORS/HALLWAY SYS	JANUS	RICHARD LILLIE	404.427.7025	RICHARDL@JANUSINTL.COM
METAL BUILDING INSTALL	RAPID BUILDINGS	RICHE WEBSTER	407.877.7475	RICHE@RAPIDBUILDINGSOLUTIONS.COM
GLASS/HOLLOW METAL DOORS	MSJ	FRANK SALIMBENE	336.669.9468	FRANK@MSJINC.COM
CONCRETE	QUALITY CONTROLLED CONC	ASHLEA GALLIMORE	336.906.9302	ASHLEA@QCCONCRETELLC.COM
EXTERIOR SIGNAGE	MAASTAR SIGNS	MARK BROWNING	864.787.2520	MARK.BROWNING@MAASTARSIGNS.COM



07 *f* CONTROL JOINTS @ PARTITIONS N.T.S.



09 *f* TYPICAL PUSH / PULL DETAIL N.T.S.

01	02	03	04	05	06	07	08	09	10
a						<p>System No. HW-D-0081 October 30, 2003 Assembly Rating — 2 HR Nominal Joint Width — 3/4 in.</p> <p>Class II Movement Capabilities — 33% Compression or Extension</p> <p>CONFIGURATION A</p> <p>CONFIGURATION B</p> <p>1. Floor Assembly — The fire-rated fluted steel floor unit/concrete floor assembly shall be constructed of the materials and in the manner described in the individual D700 or D900 Floor-Ceiling Design in the Fire Resistance Directory and shall include the following construction features:</p> <p>A. Steel Floor and Form Units* — Max 3 in. deep galv steel fluted floor units.</p> <p>B. Concrete — Min 2-1/2 in. thick reinforced concrete, as measured from the top plane of the floor units.</p> <p>1A. Roof Assembly — (Not Shown) — As an alternate to the floor assembly, a fire rated fluted steel deck roof assembly may be used. The roof assembly shall be constructed of the materials and in the manner described in the individual P900 Series Roof-Ceiling Design in the UL Fire Resistance Directory. The hourly rating of the roof assembly shall be equal to or greater than the hourly rating of the wall assembly. The roof assembly shall include the following construction features:</p> <p>A. Steel Roof Deck — Max 3 in. deep galv steel fluted roof deck.</p> <p>B. Roof Insulation — Min 2-1/4 in. thick poured insulating concrete, as measured from the top plane of the floor units.</p> <p>2. Wall Assembly — Min 5 in. thick steel reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of an UL Classified Concrete Blocks*. See Concrete Block (CAZT) category in the Fire Resistance Directory for names of manufacturers.</p> <p>3. Joint System — Max separation between bottom of floor or roof and top of wall is 3/4 in. The joint system is designed to accommodate a max 33 percent compression or extension from its installed width. The joint system consists of a packing material and a fill material between the top of the wall and the bottom of the floor or roof, as follows:</p> <p>Configuration A</p> <p>A. Forming Material* — Min 4 in. thickness of 4 pcf density mineral wool batt insulation was cut to the shape of the fluted deck, approximately 20 percent larger than the area of the flutes and compressed into the flutes of the steel deck above the wall assembly. The forming material shall be recessed 1/2 in. from each side of the wall. Additional pieces of forming material, compressed min 50 percent in thickness and installed edge first into joint opening between bottom of steel deck and top of wall, parallel with joint direction. Compressed batt sections recessed 1/2 in. from both wall surfaces. Adjoining lengths of batt to be tightly butted with butted seams spaced min 48 in. apart along the length of the joint.</p> <p>A1. Forming Material* — Plugs — (Optional-Not Shown) Performed mineral wool plugs, formed to the shape of the fluted deck, friction fit to completely fill the flutes. The plugs shall be recessed 1/2 in. from both wall surfaces. Additional forming material, described in Item 3A, to be used in conjunction with the plugs to fill the gap between the top of the wall and bottom of steel deck.</p> <p>HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP777 Speed Plugs</p> <p>B. Fill, Void or Cavity Material* — Sealant — Min 1/2 in. thickness of fill material installed on each side of the wall in the flutes of the steel deck and between the top of the wall and the bottom of the steel deck, flush with each surface of the wall.</p> <p>HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP606 Flexible Firestop Sealant</p> <p>Configuration B</p> <p>A. Forming Material* — Min 4 in. thickness of 4 pcf density mineral wool batt insulation compressed min 50 percent in thickness and installed edge first into joint opening between bottom of steel deck and top of wall, parallel with joint direction. Compressed batt sections recessed 1/2 in. from both wall surfaces. Adjoining lengths of batt to be tightly butted with butted seams spaced min 48 in. apart along the length of the joint.</p> <p>B. Fill, Void or Cavity Material* — Sealant — Min 1/2 in. thickness of fill material installed on each side of the wall between the top of the wall and the bottom of the steel deck, flush with each surface of the wall.</p> <p>HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP606 Flexible Firestop Sealant</p> <p>* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.</p>	<p>Design No. U906 March 17, 2004</p> <p>Bearing Wall Rating — 2 HR. Nonbearing Wall Rating — 2 HR. Load Restricted for Canadian Applications — See Guide BXUV</p> <p>1. Concrete Blocks* — Nominal 6 by 8 by 16 in. hollow or solid. ANCHOR CONCRETE PRODUCTS INC GAGNE & SON CONCRETE BLOCK INC Allowable compressive stress of 57% of max allowable compressive stress in accordance with the empirical design method. OLDCASTLE APG NE DBA ARTHUR WHITCOMB WESTBROOK CONCRETE BLOCK CO INC Allowable compressive stress of 75.6% of max allowable compressive stress in accordance with the empirical design method.</p> <p>2. Mortar — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.</p> <p>3. Portland Cement Stucco or Gypsum Plaster — Add 1/2 hr to Classification if used. Attached to concrete blocks (Item 1).</p> <p>4. Foamed Plastic* — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1). THE DOW CHEMICAL CO — Type Thermax</p> <p>*Bearing the UL Classification Mark</p>		
b								09	10
c								09	10
d								09	10
e								09	10
f								09	10

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FINAL CONSTRUCTION DRAWINGS

revisions

NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
STUART, FLORIDA

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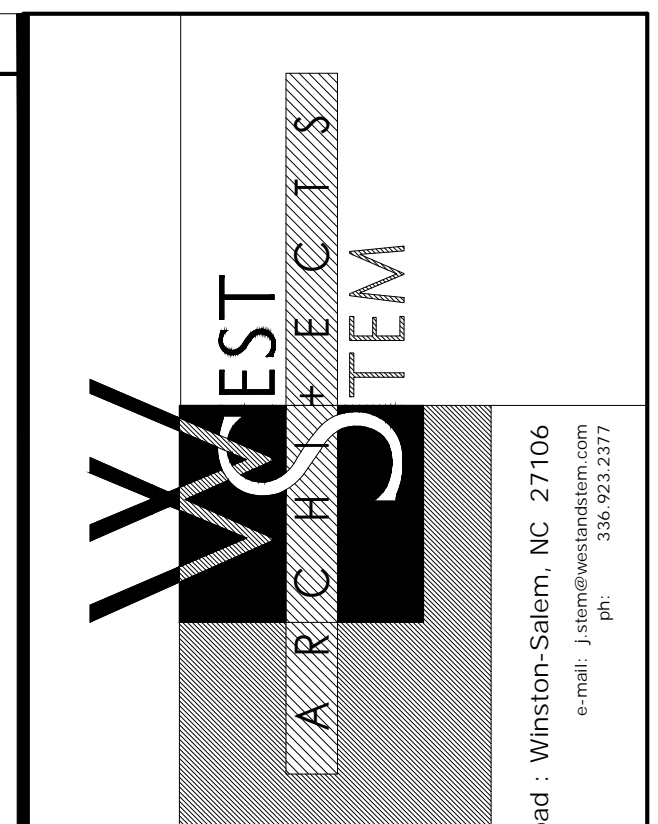
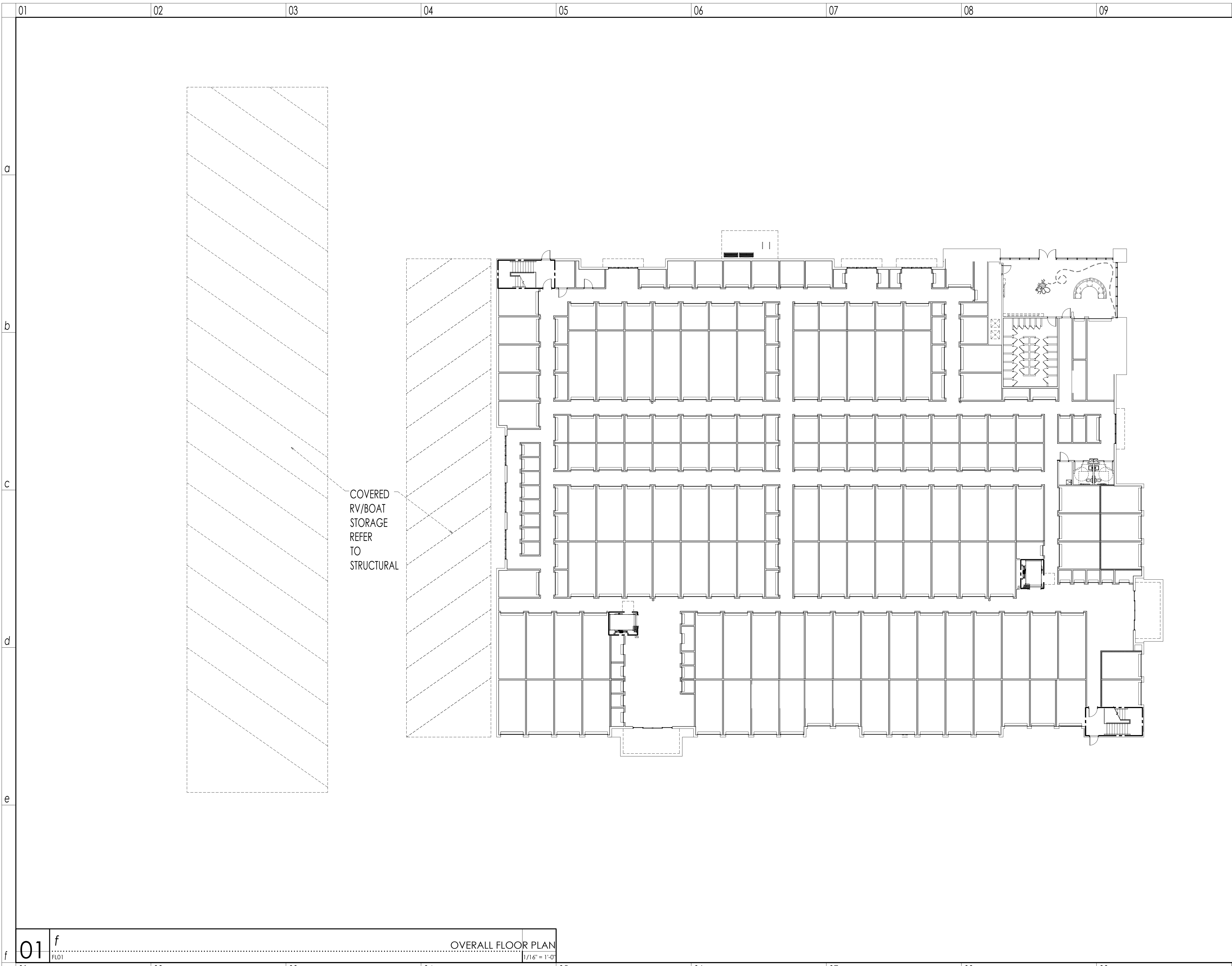
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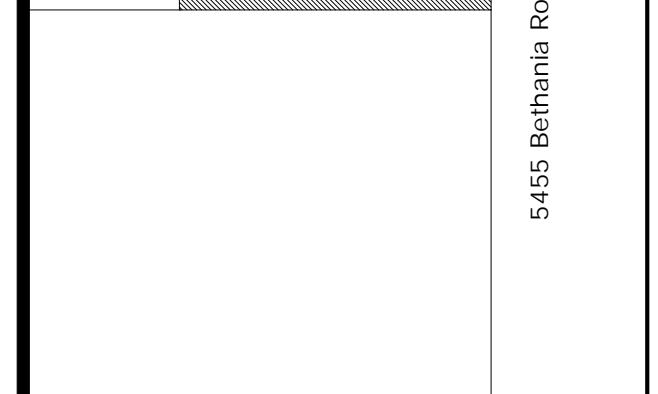
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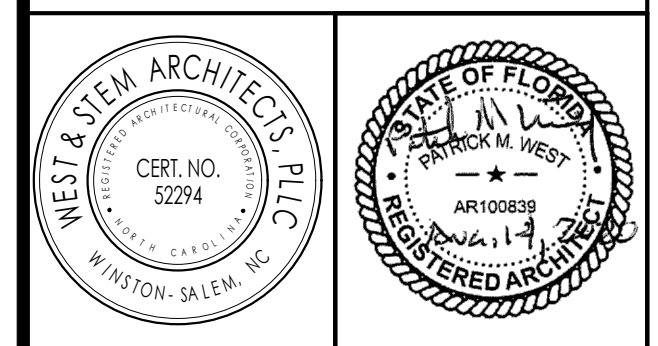
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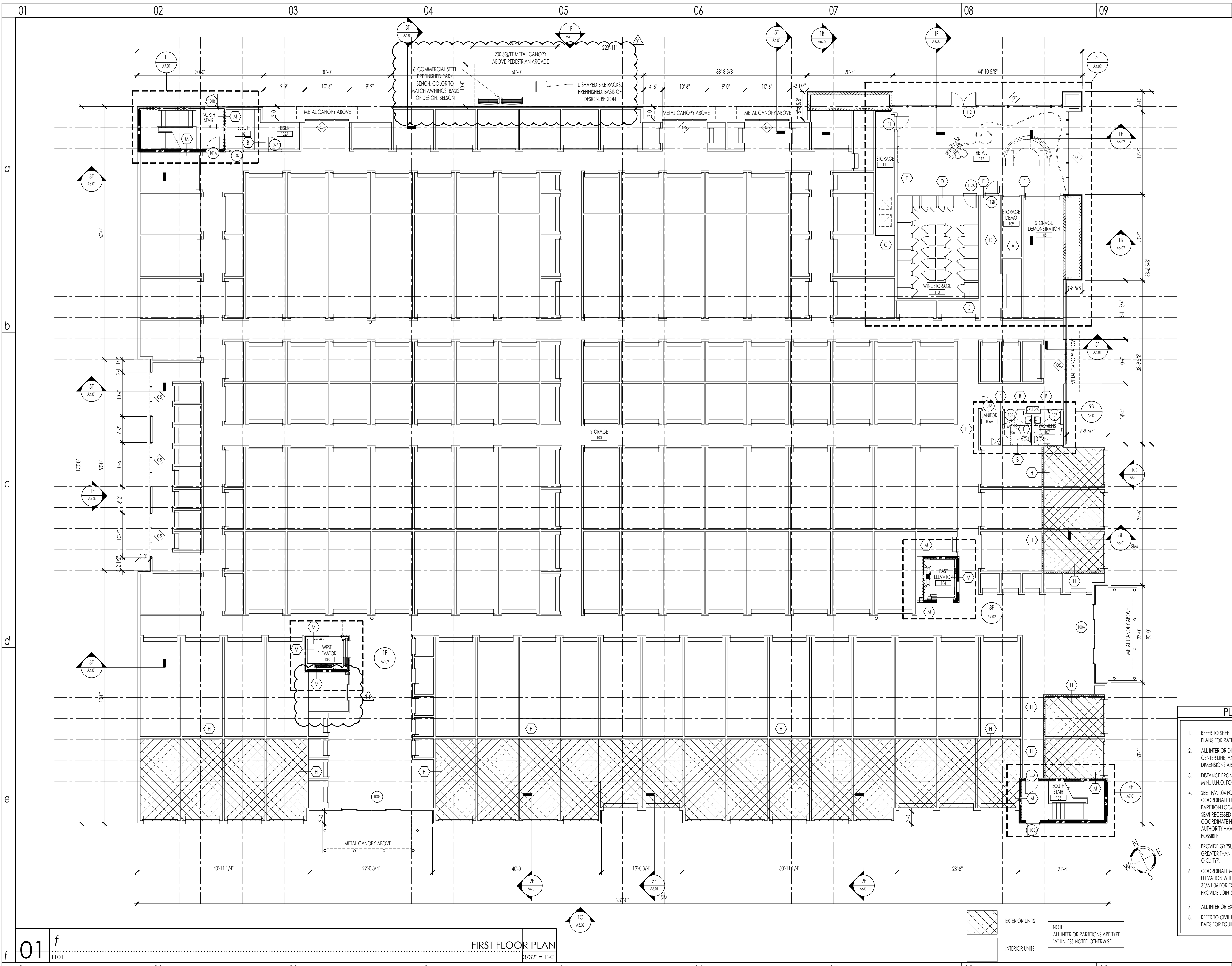
OVERALL PLAN

sheet

A2.00

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS

01 f OVERALL FLOOR PLAN 1/16" = 1'-0"



01 f
 FLO1
FIRST FLOOR PLAN
 3/32" = 1'-0"

- PLAN - GENERAL NOTES**
- REFER TO SHEET A1.04 FOR WALL TYPES AND COORDINATE W/ LIFE SAFETY PLANS FOR RATED WALLS.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL, COLUMN CENTER LINE, AND DOOR / ROUGH OPENING, U.N.O. ALL EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY OR ROUGH OPENING, U.N.O.
 - DISTANCE FROM BACK OF HINGE SIDE FRAME TO WALL SHALL BE 4" CLEAR MIN. U.N.O. FOR INTERIOR HOLLOW METAL FRAMES.
 - SEE IF/A.04 FOR F.E.C. RECESSED AND SEMI-RECESSED DETAIL. COORDINATE FIRE RATED AND NON-FIRE RATED BOXES WITH RATED PARTITION LOCATIONS. COORDINATE TYPE OF CABINET (RECESSED / SEMI-RECESSED WITH ALLOWABLE WALL CAVITY SPACE @ EACH LOCATION. COORDINATE HAZARD RATINGS AND TYPE OF EXTINGUISHER WITH LOCAL AUTHORITY HAVING JURISDICTION. RE-USE EXISTING FIXTURES WHEREVER POSSIBLE.
 - PROVIDE GYPSUM BOARD CONTROL JOINTS IN ALL INTERIOR PARTITIONS GREATER THAN 30'-0" IN LENGTH. LOCATE JOINTS NO MORE THAN 30'-0" O.C.; TYP.
 - COORDINATE MASONRY CONTROL JOINTS (M.C.J.) SHOWN IN PLAN AND ELEVATION WITH STANDARD MASONRY COURSING. REFERENCE DETAILS 35/A1.06 FOR EXTERIOR / INTERIOR MASONRY CONTROL JOINT DETAILS. PROVIDE JOINTS @ MAXIMUM 30'-0" O.C.
 - ALL INTERIOR EXPOSED CMU TO BE PAINTED WHITE.
 - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND UTILITY PADS FOR EQUIPMENT.

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BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
 STUART, FLORIDA

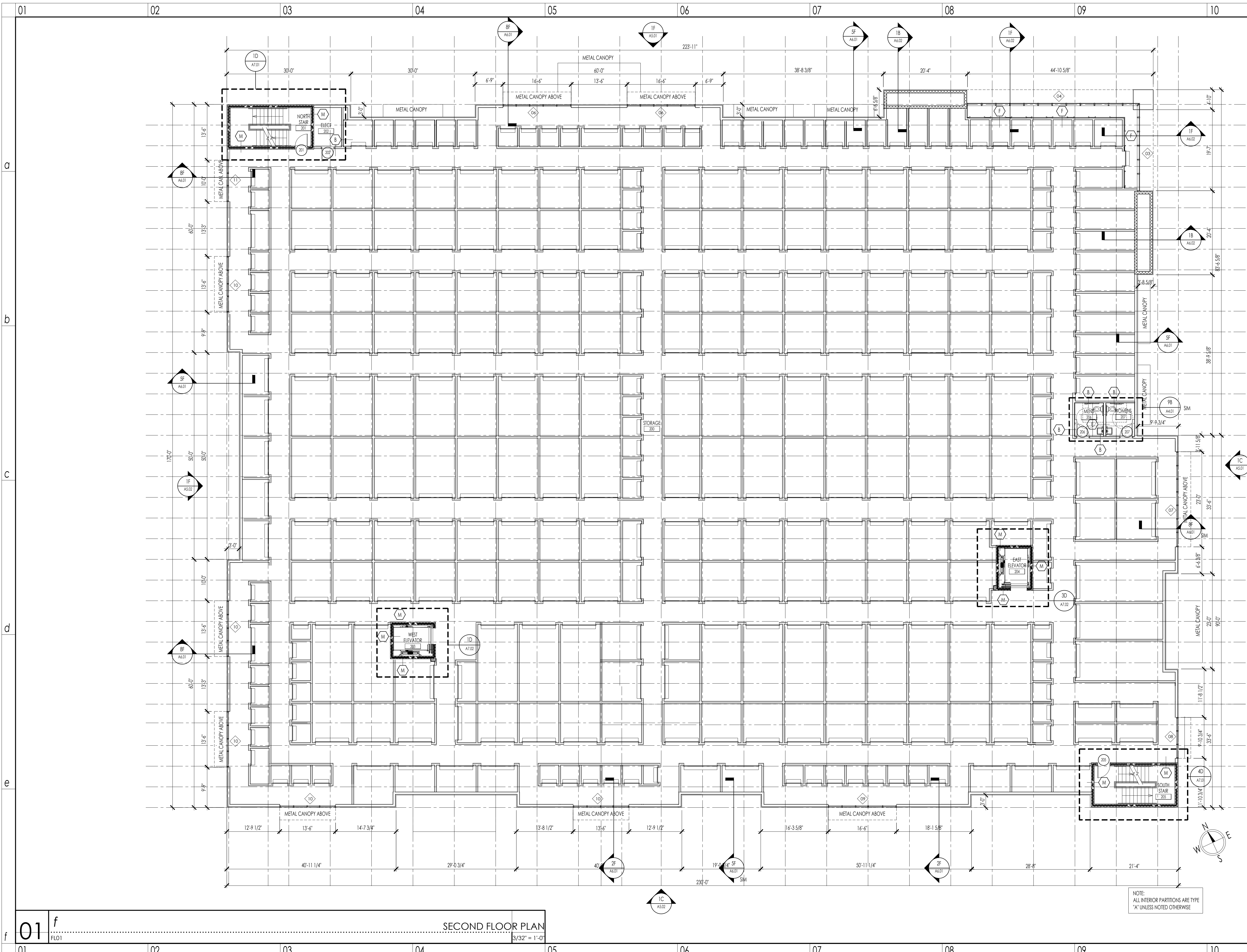
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FIRST FLOOR PLAN

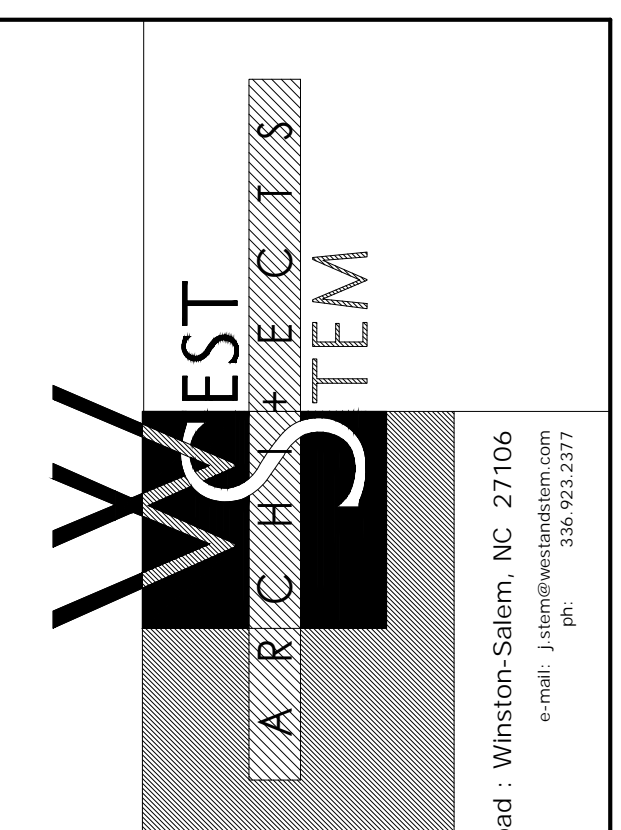
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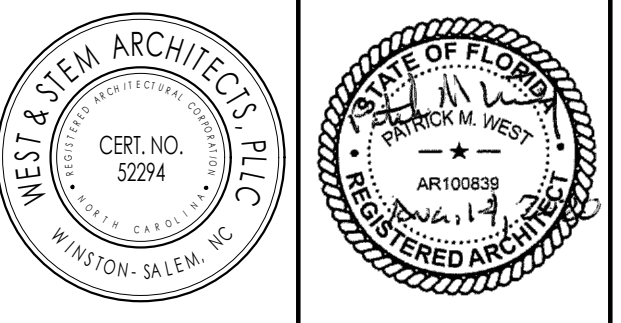


01 f
FL01
SECOND FLOOR PLAN
3/32" = 1'-0"

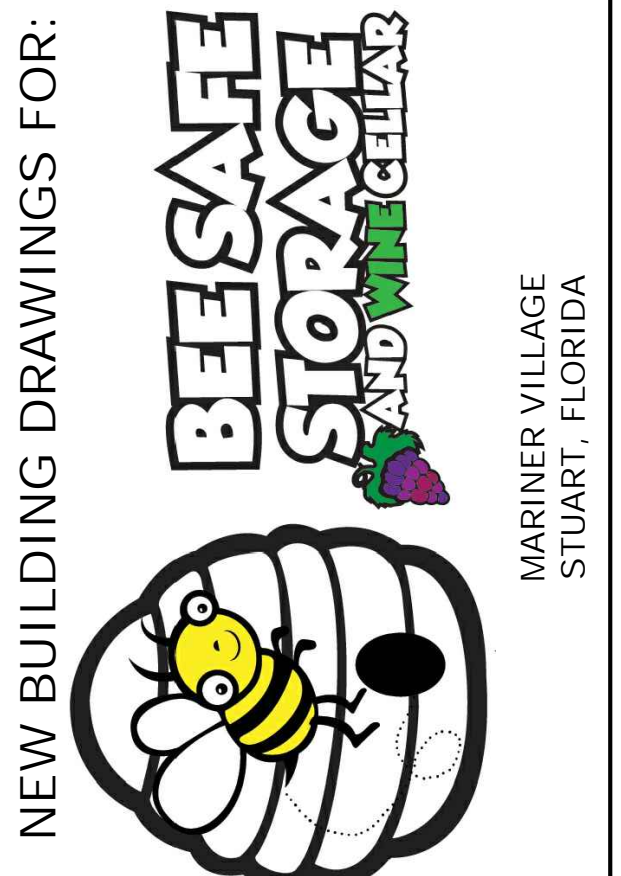


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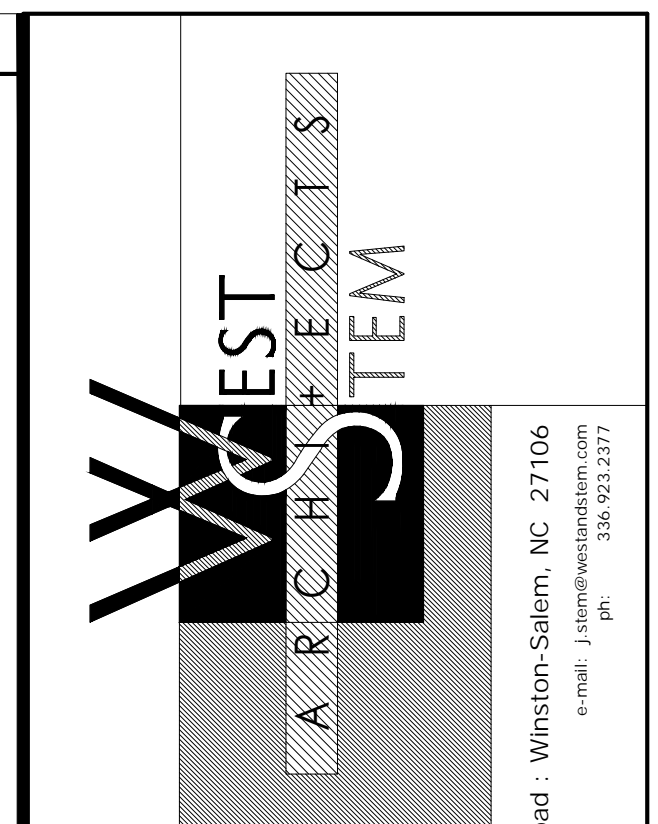
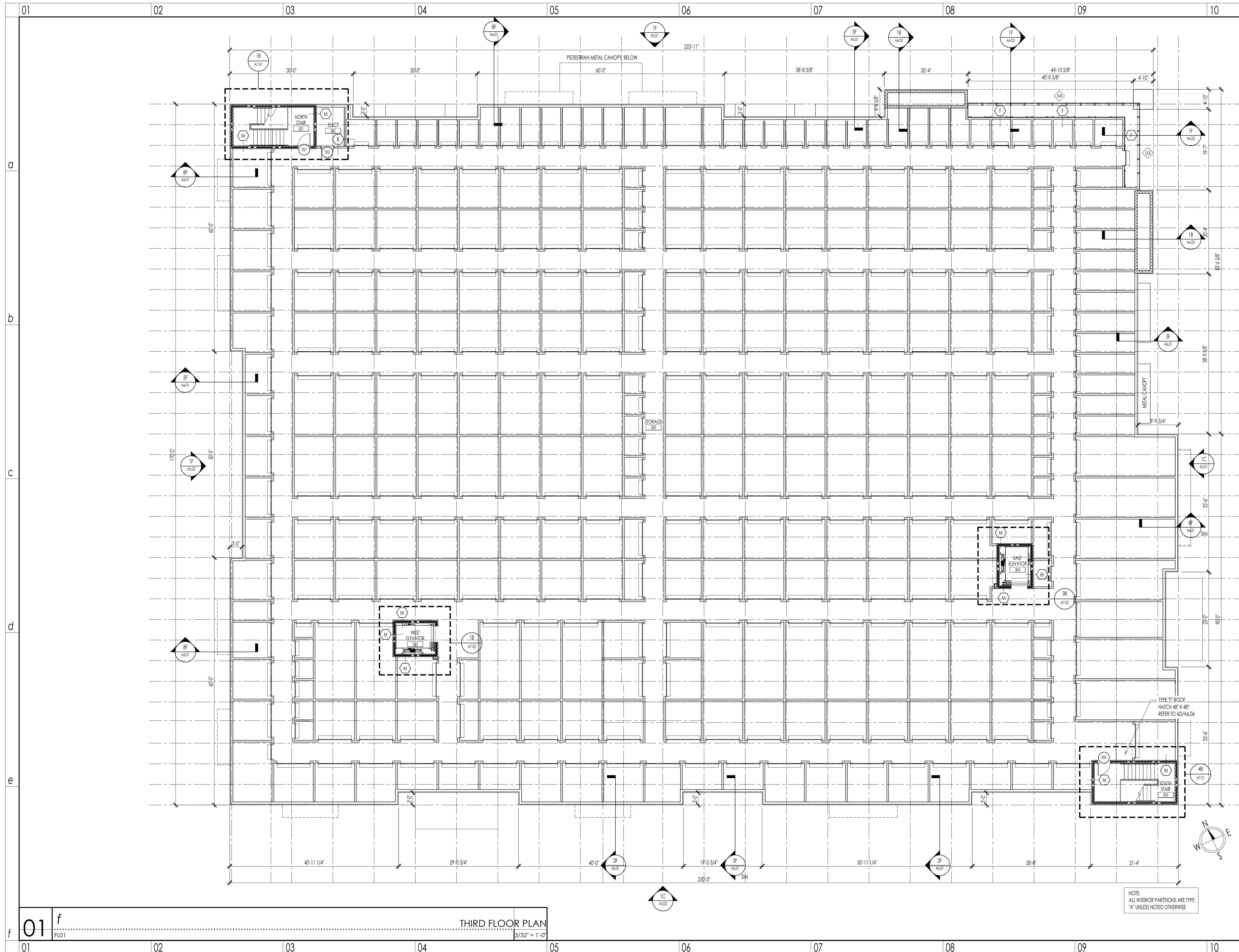


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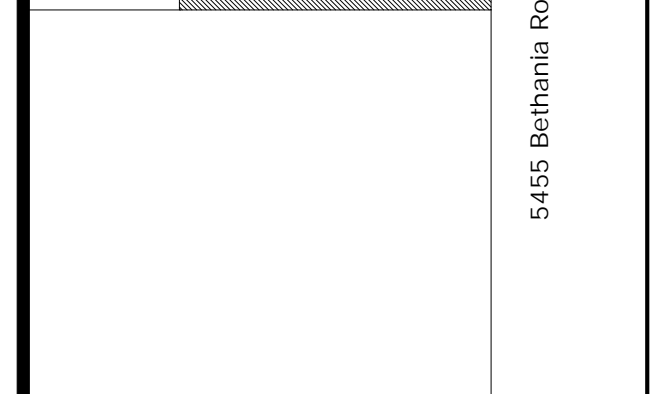
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SECOND FLOOR PLAN
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A2.02

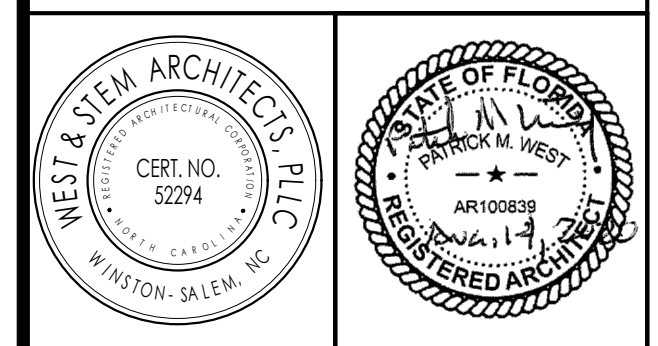
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NEW BUILDING DRAWINGS FOR:

**BEE SAFE
 STORAGE
 AND WINE CELLARS**

MARINER VILLAGE
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THIRD FLOOR PLAN

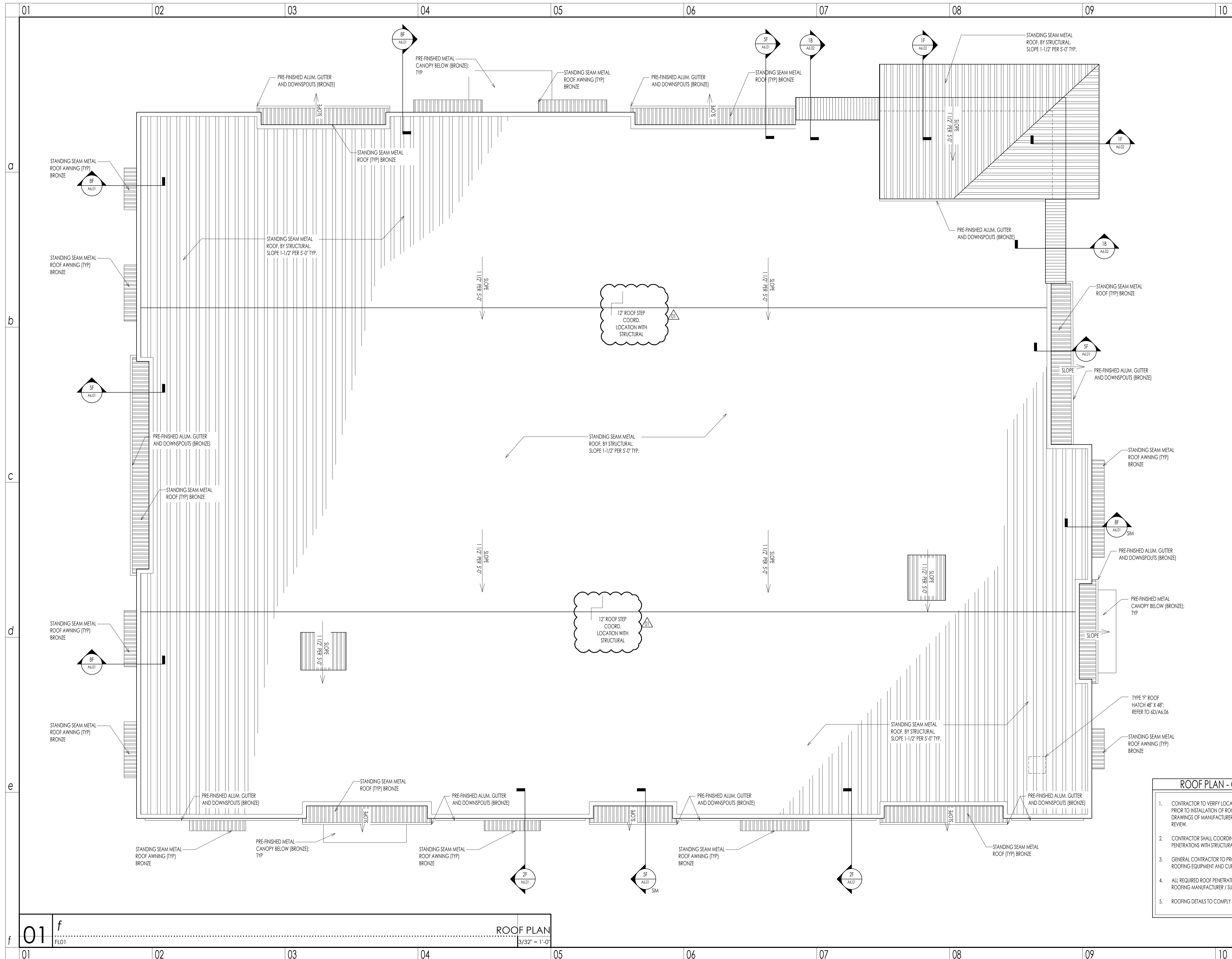
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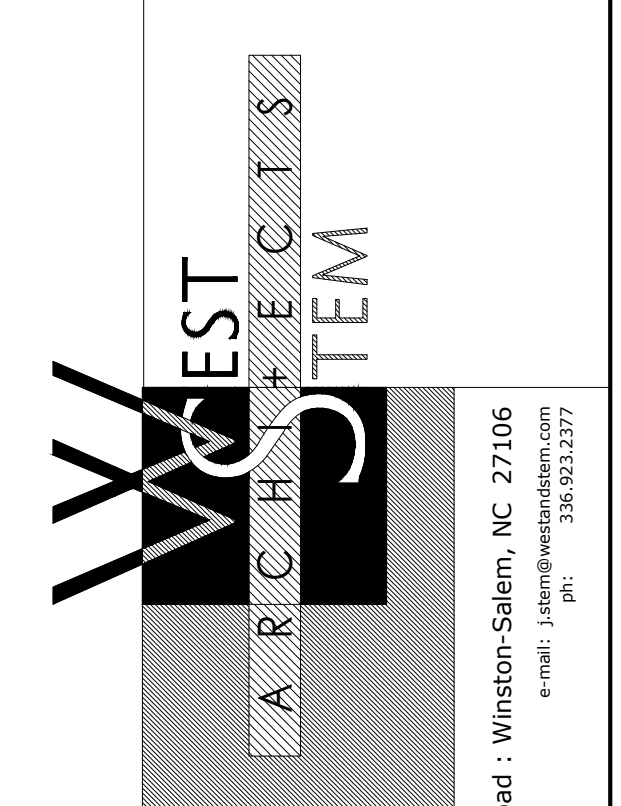
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 commission: 19C.0030
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01 f
 FLO1

THIRD FLOOR PLAN
 3/32" = 1'-0"



- ROOF PLAN - GENERAL NOTES**
1. CONTRACTOR TO VERIFY LOCATION OF REQUIRED ROOF PENETRATIONS PRIOR TO INSTALLATION OF ROOF. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF MANUFACTURER'S ROOF DETAILS FOR ARCHITECT'S REVIEW.
 2. CONTRACTOR SHALL COORDINATE LOCATION OF NEW REQUIRED PENETRATIONS WITH STRUCTURAL COMPONENTS.
 3. GENERAL CONTRACTOR TO PROVIDE WALK MATS AROUND NEW ROOFING EQUIPMENT AND CURBS.
 4. ALL REQUIRED ROOF PENETRATION DETAILS ARE TO BE APPROVED BY ROOFING MANUFACTURER / SUPPLIER PRIOR TO INSTALLATION.
 5. ROOFING DETAILS TO COMPLY WITH THE LATEST EDITION OF SMACNA



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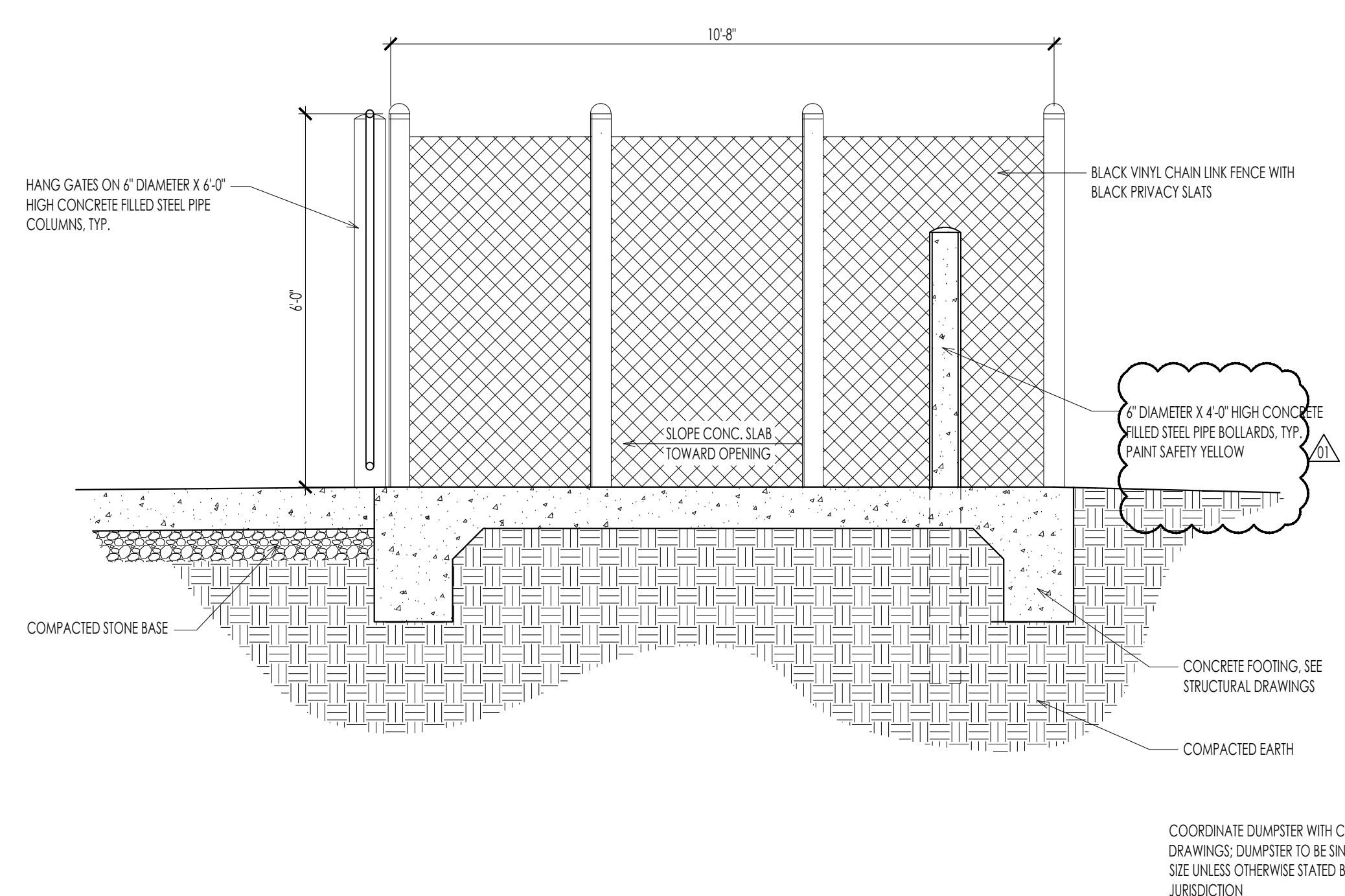
ROOF PLAN

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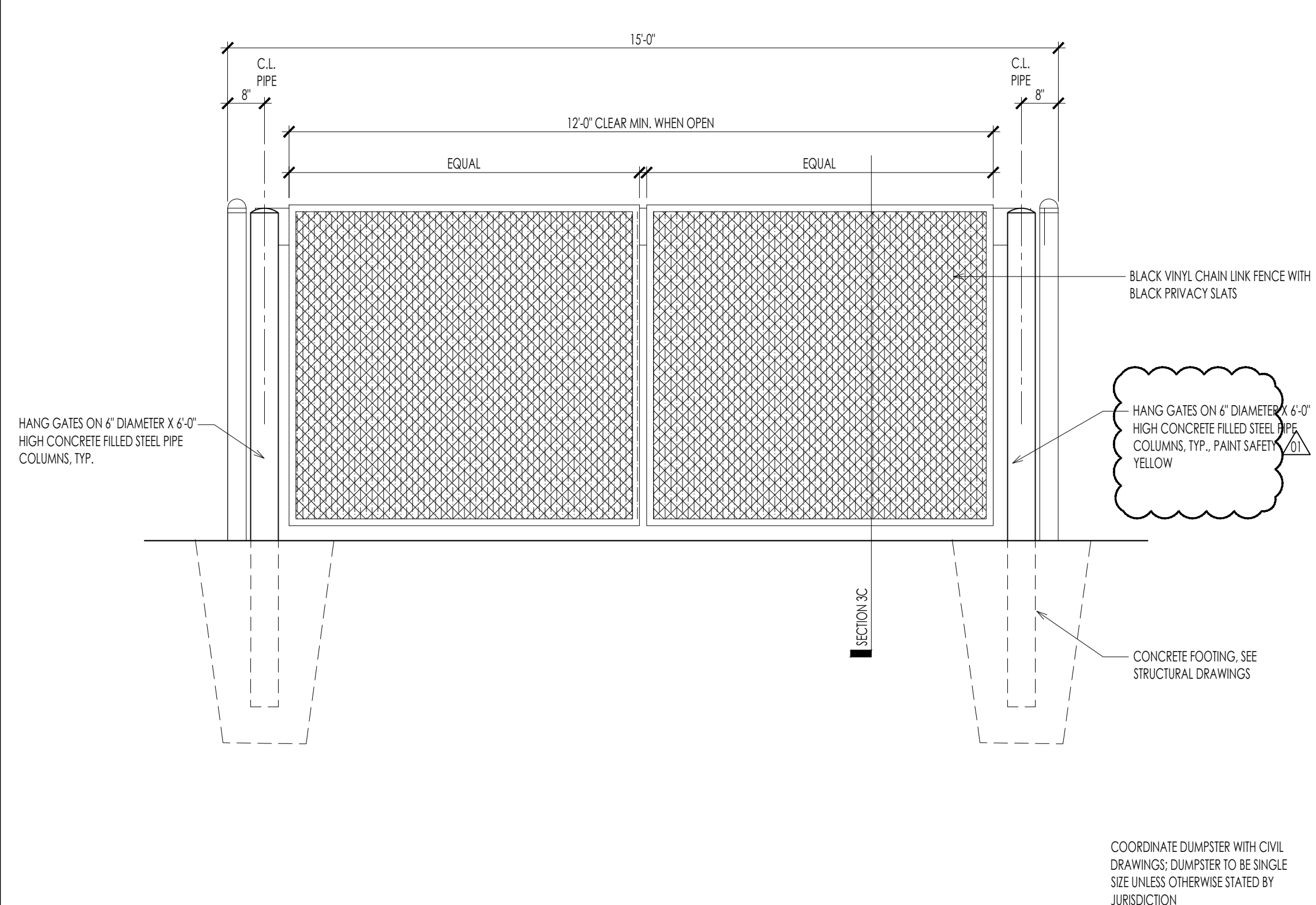
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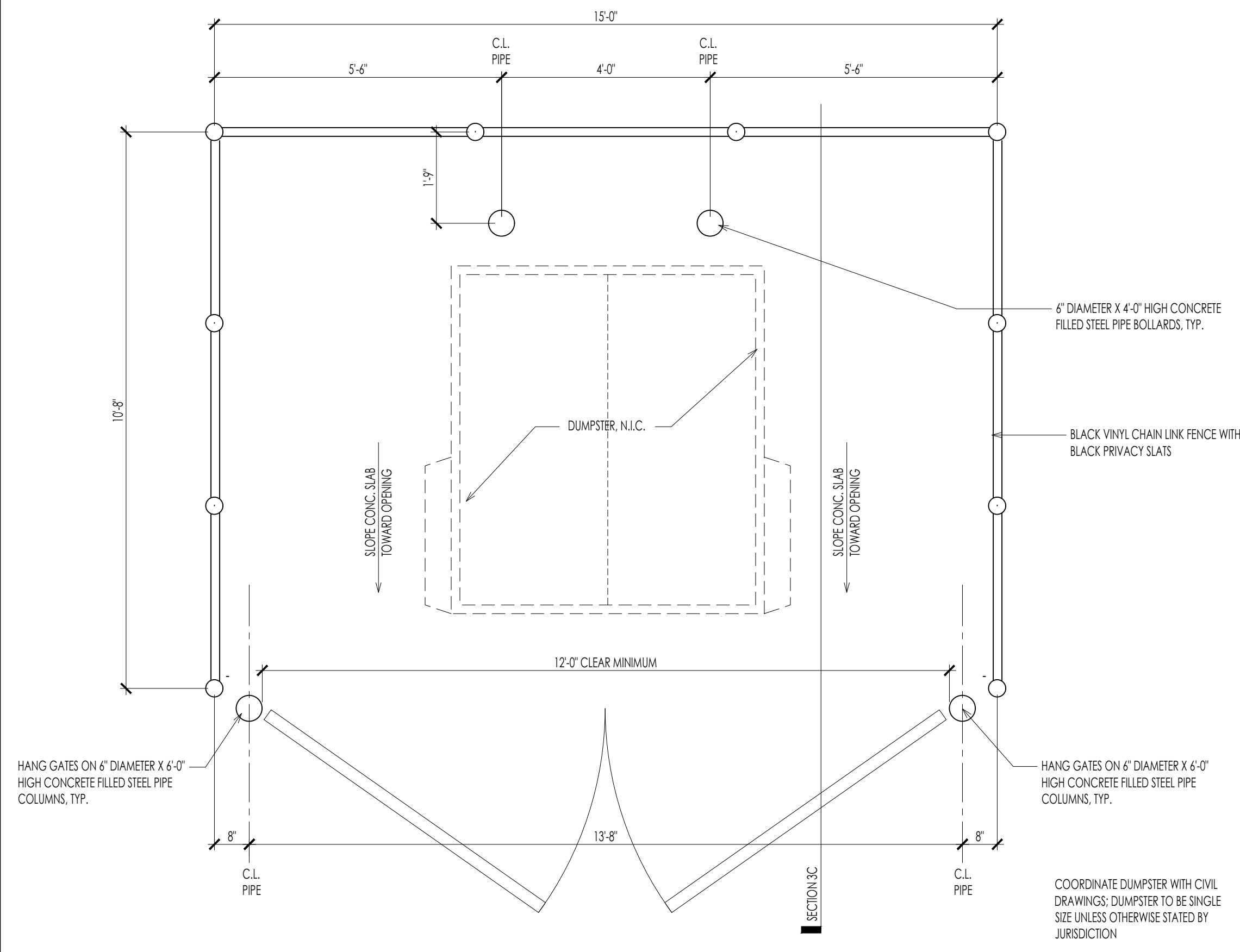
01 f
 FLO1
ROOF PLAN
 3/32" = 1'-0"



03 C
A.502 DUMPSTER - SECTION 1/2" = 1'-0"



07 C
A.502 DUMPSTER - FRONT ELEVATION 1/2" = 1'-0"



07 f
A.502 DUMPSTER PLAN 1/2" = 1'-0"

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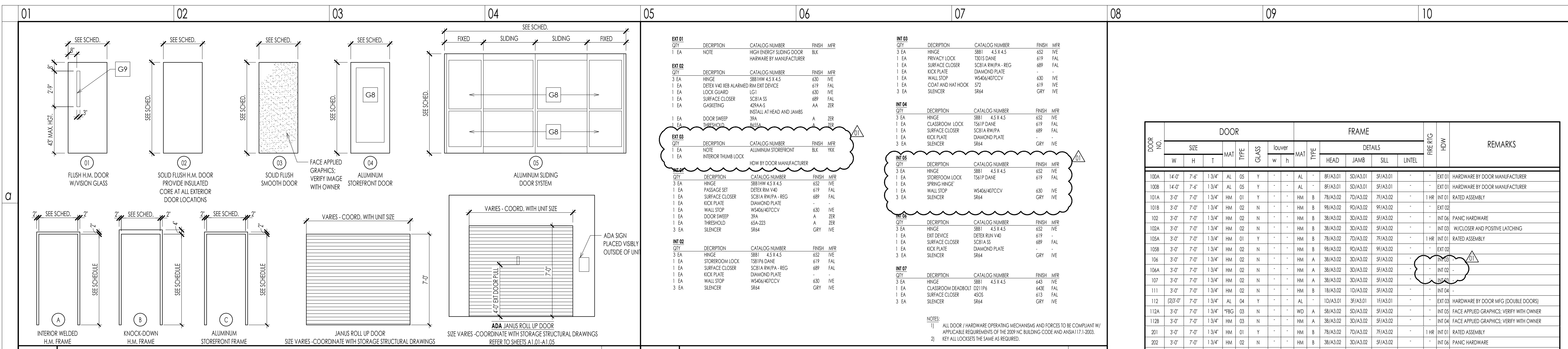
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DUMPSTER PLAN,
ELEVATIONS AND SECTIONS

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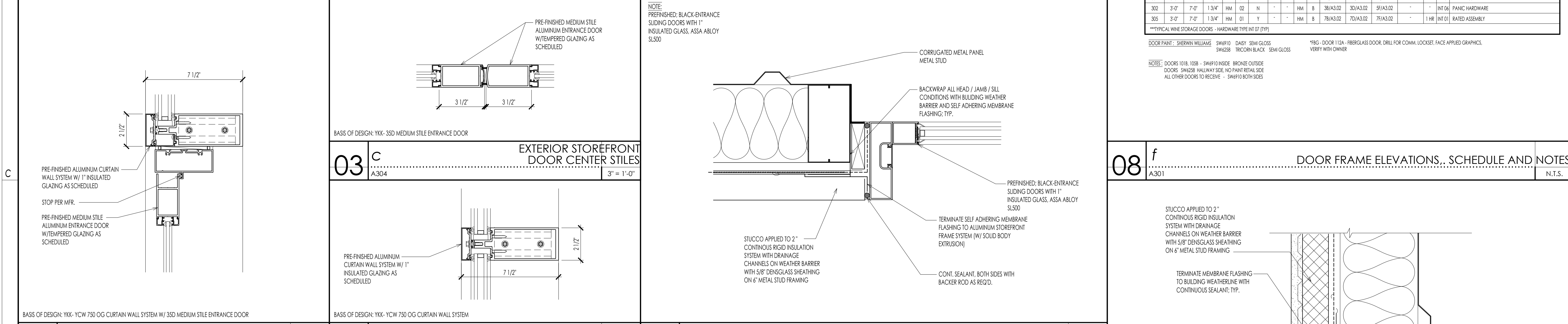
EXT 01	DESCRIPTION	CATALOG NUMBER	FINISH	MFR	INT 03	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	HIGH RISE SLIDING DOOR	S881	4.5 X 4.5	IVE	3 EA	HINGE	S881	4.5 X 4.5	IVE
1 EA	NOTE				1 EA	PRIVACY LOCK	TS015 DANE	619	FAL
					1 EA	SURFACE CLOSER	SC31A RW/PA - REG	689	FAL
					1 EA	KICK PLATE	DIAMOND PLATE	630	IVE
					1 EA	WALL STOP	WS464/40TCV	630	IVE
					1 EA	COAT AND HAT HOOK	S72	619	IVE
					3 EA	SLIDER	S884	GRY	IVE

EXT 02	DESCRIPTION	CATALOG NUMBER	FINISH	MFR	INT 04	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	S881HW 4.5 X 4.5	652	IVE	3 EA	HINGE	S881	4.5 X 4.5	IVE
1 EA	DETEX VAD XEB ALARMED RIM EXIT DEVICE	619	FAL		1 EA	CLASSROOM LOCK	TS41P DANE	619	FAL
1 EA	LOCK GUARD	LG1	689	FAL	1 EA	SURFACE CLOSER	SC31A RW/PA	689	FAL
1 EA	SURFACE CLOSER	SC31A SS	689	FAL	1 EA	KICK PLATE	DIAMOND PLATE	630	IVE
1 EA	GASKETING	429A-S	AA	ZER	3 EA	SLIDER	S884	GRY	IVE

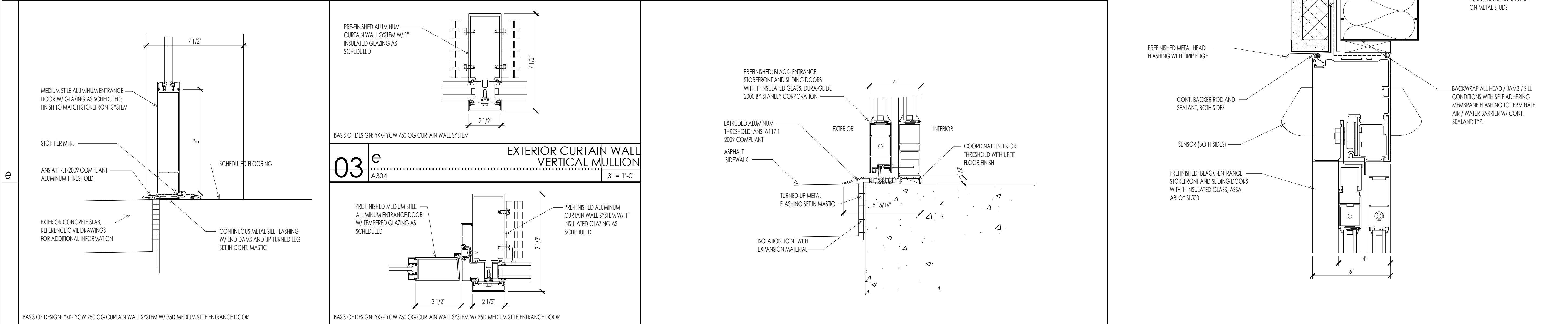
EXT 03	DESCRIPTION	CATALOG NUMBER	FINISH	MFR	INT 05	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	NOTE				3 EA	HINGE	S881	4.5 X 4.5	IVE
1 EA	INTERIOR THUMB LOCK				1 EA	STOREROOM LOCK	TS41P DANE	619	FAL
					1 EA	SURFACE CLOSER	SC31A RW/PA - REG	689	FAL
					1 EA	KICK PLATE	DIAMOND PLATE	630	IVE
					1 EA	WALL STOP	WS464/40TCV	630	IVE
					3 EA	SLIDER	S884	GRY	IVE

DOOR NO.	DOOR			FRAME						REMARKS			
	SIZE	MAT	TYPE	GLASS	lower	MAT	TYPE	HEAD	JAMB		SILL	UNTEL	
100A	14'-0"	7'-6"	1.314"	AL	05	-	-	AL	8F/A3.01	SD/A3.01	SF/A3.01	EXT 01	HARDWARE BY DOOR MANUFACTURER
100B	14'-0"	7'-6"	1.314"	AL	05	-	-	AL	8F/A3.01	SD/A3.01	SF/A3.01	EXT 01	HARDWARE BY DOOR MANUFACTURER
101A	3'-0"	7'-0"	1.314"	HM	01	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	1 HR	RATED ASSEMBLY
101B	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	
102	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	PANIC HARDWARE
102A	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	W/CLOSER AND POSITIVE LATCHING
105A	3'-0"	7'-0"	1.314"	HM	01	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	1 HR	RATED ASSEMBLY
105B	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	
106	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	
106A	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	
107	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	
111	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 02	
112	02'-0"	7'-0"	1.314"	AL	04	-	-	AL	1D/A3.01	1F/A3.01	1F/A3.01	EXT 03	HARDWARE BY DOOR MFG (DOUBLE DOORS)
112A	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 03	FACE APPLIED GRAPHICS; VERIFY WITH OWNER
112B	3'-0"	7'-0"	1.314"	HM	03	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 03	FACE APPLIED GRAPHICS; VERIFY WITH OWNER
201	3'-0"	7'-0"	1.314"	HM	01	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	1 HR	RATED ASSEMBLY
202	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 04	PANIC HARDWARE
205	3'-0"	7'-0"	1.314"	HM	01	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	1 HR	RATED ASSEMBLY
206	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 04	
207	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 04	
301	3'-0"	7'-0"	1.314"	HM	01	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	1 HR	RATED ASSEMBLY
302	3'-0"	7'-0"	1.314"	HM	02	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	EXT 04	PANIC HARDWARE
305	3'-0"	7'-0"	1.314"	HM	01	-	-	HM	7B/A3.02	7D/A3.02	7F/A3.02	1 HR	RATED ASSEMBLY

01 f DOOR ELEVATIONS 1/4" = 1'-0" 05 f HARDWARE SCHEDULE N.T.S.



03 c EXTERIOR STOREFRONT DOOR CENTER STILES 3" = 1'-0" 03 d EXTERIOR CURTAIN WALL DOOR / TRANSOM HEAD 3" = 1'-0"



03 d EXTERIOR CURTAIN WALL HORIZONTAL MULLION 3" = 1'-0" 03 e EXTERIOR CURTAIN WALL VERTICAL MULLION 3" = 1'-0" 05 d EXTERIOR AUTOMATIC DOOR JAMB 3" = 1'-0"

01 f EXTERIOR CURTAIN WALL DOOR SILL 3" = 1'-0" 03 f EXTERIOR CURTAIN WALL DOOR JAMB 3" = 1'-0" 05 f EXTERIOR AUTOMATIC DOOR SILL 3" = 1'-0" 08 f EXTERIOR AUTOMATIC DOOR HEAD 3" = 1'-0"

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 ARCHITECTS
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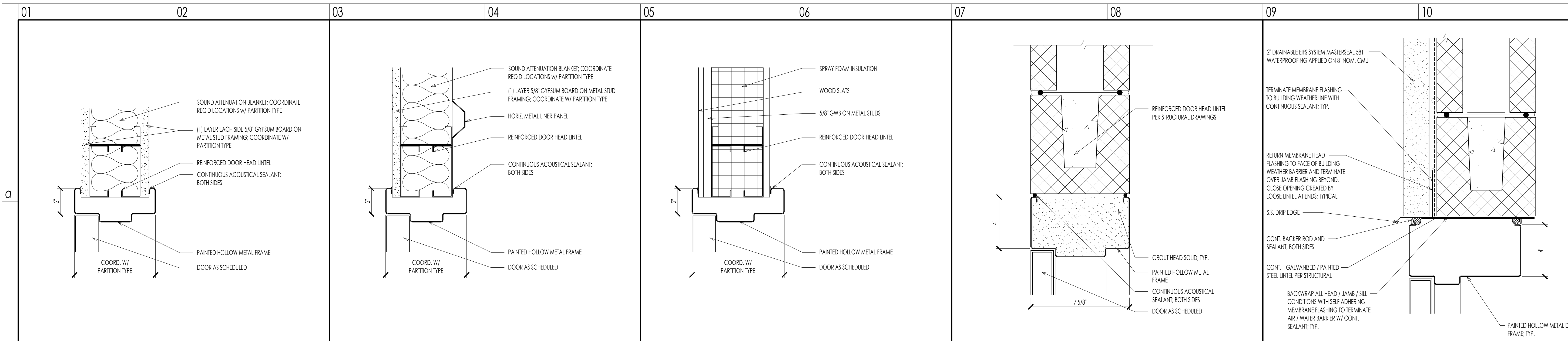
NEW BUILDING DRAWINGS FOR:
BEE SAFE STORAGE AND WINE CELLAR
 MARINER VILLAGE
 STUART, FLORIDA

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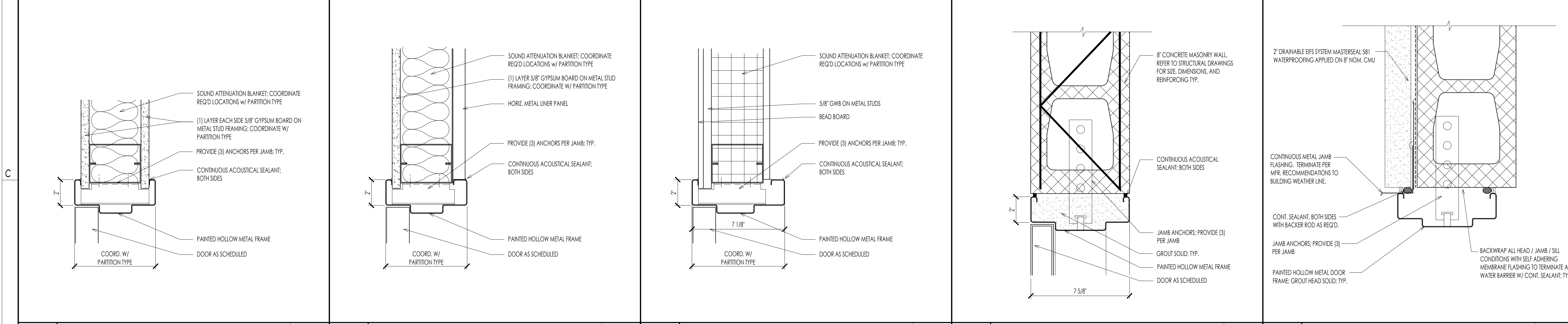
**DOOR & FRAME SCHEDULE
 DOOR ELEVATIONS AND DETAILS**
 sheet

A3.01-R1

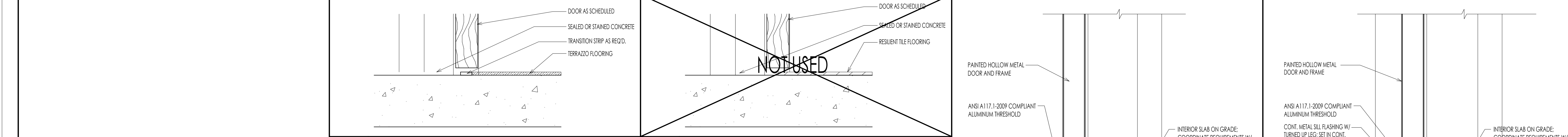
date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS



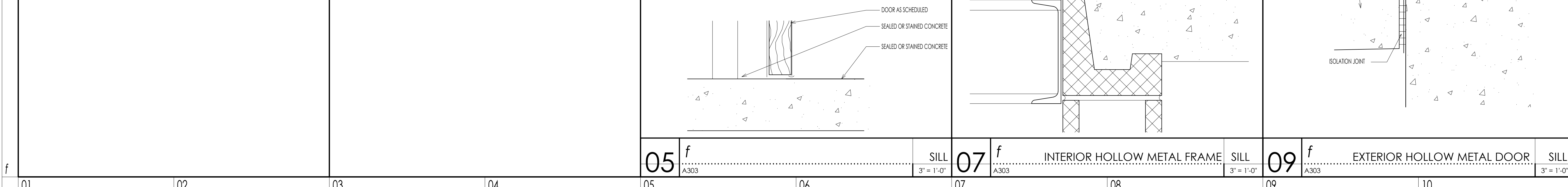
01 b INTERIOR HOLLOW METAL FRAME HEAD 3" = 1'-0" 03 b INTERIOR HOLLOW METAL FRAME HEAD 3" = 1'-0" 05 b INTERIOR HOLLOW METAL FRAME HEAD 3" = 1'-0" 07 b INTERIOR HOLLOW METAL FRAME HEAD 3" = 1'-0" 09 b EXTERIOR HOLLOW METAL DOOR HEAD 3" = 1'-0"



01 d INTERIOR HOLLOW METAL FRAME JAMB 3" = 1'-0" 03 d INTERIOR HOLLOW METAL FRAME JAMB 3" = 1'-0" 05 d INTERIOR HOLLOW METAL FRAME JAMB 3" = 1'-0" 07 d INTERIOR HOLLOW METAL FRAME JAMB 3" = 1'-0" 09 d EXTERIOR HOLLOW METAL DOOR JAMB 3" = 1'-0"



01 e INTERIOR HOLLOW METAL FRAME SILL 3" = 1'-0" 03 e INTERIOR HOLLOW METAL FRAME SILL 3" = 1'-0" 05 e INTERIOR HOLLOW METAL FRAME SILL 3" = 1'-0" 07 f INTERIOR HOLLOW METAL FRAME SILL 3" = 1'-0" 09 f EXTERIOR HOLLOW METAL DOOR SILL 3" = 1'-0"



05 f INTERIOR HOLLOW METAL FRAME SILL 3" = 1'-0" 07 f INTERIOR HOLLOW METAL FRAME SILL 3" = 1'-0" 09 f EXTERIOR HOLLOW METAL DOOR SILL 3" = 1'-0"

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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
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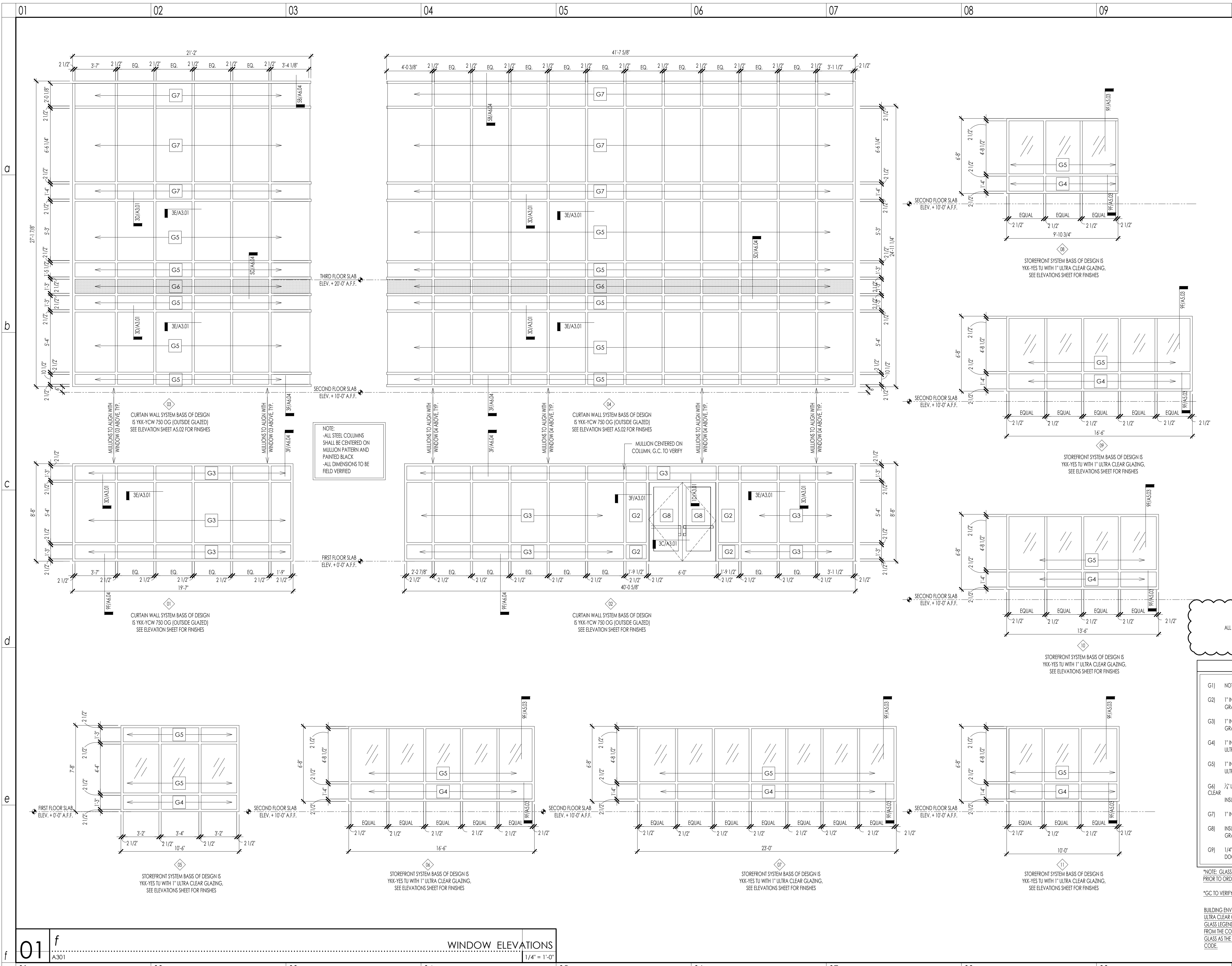
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DOOR DETAILS

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A3.02

date: AUGUST 14, 2020
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 drawn by: RBS

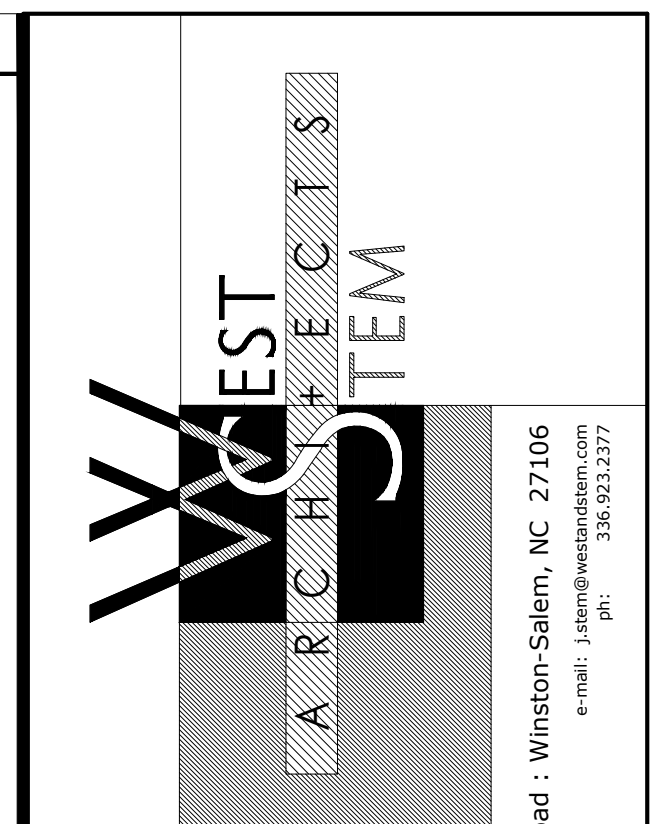


NOTE:
 -ALL STEEL COLUMNS SHALL BE CENTERED ON MULLION PATTERN AND PAINTED BLACK
 -ALL DIMENSIONS TO BE FIELD VERIFIED

ALL GLASS TO HAVE IMPACT RESISTANCE AS REQUIRED PER SECTION 1609.1.2 (PROTECTION OF OPENINGS)

GLASS LEGEND	
G1)	NOT USED
G2)	1" INSULATED, LOW-E, TEMPERED GLASS, GRAY TINTED
G3)	1" INSULATED, LOW-E GLASS, GRAY TINTED
G4)	1" INSULATED TEMPERED GLASS, ULTRACLEAR
G5)	1" INSULATED GLASS, ULTRACLEAR
G6)	1/2" LIGHT GRAY SPANDREL GLASS (FRONT), WITH INSULATED GLASS BEHIND
G7)	1" INSULATING OBSCURE GLASS
G8)	INSULATED LOW-E TEMPERED GLASS, GRAY TINTED, DOOR
G9)	1/4" WIRE RATED GLASS; INTERIOR STAIRWAY DOORS ONLY

*NOTE: GLASS SAMPLES TO BE APPROVED BY OWNER PRIOR TO ORDERING
 *GC TO VERIFY GLASS MEETS ENERGY CODE
 BUILDING ENVELOPE OCCURS ON THE WALL BEHIND THE ULTRA CLEAR CURTAIN WALL GLASS AS STATED IN THE GLASS LEGEND. THIS ALLOWS US TO ELIMINATE THE GLASS FROM THE COMCHECK AND USE THE WALL BEHIND THE GLASS AS THE ENVELOPE TO MEET THE REQUIRED ENERGY CODE.



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09.15.20	COORDINATION



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WINDOW ELEVATIONS
 sheet

A3.03-R1

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS

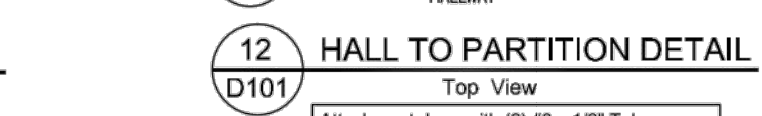
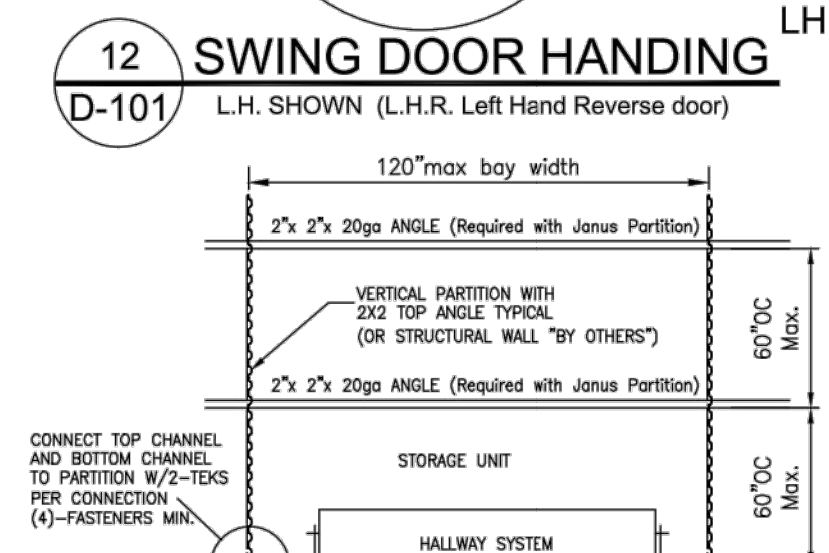
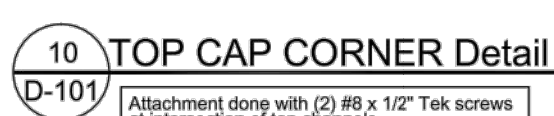
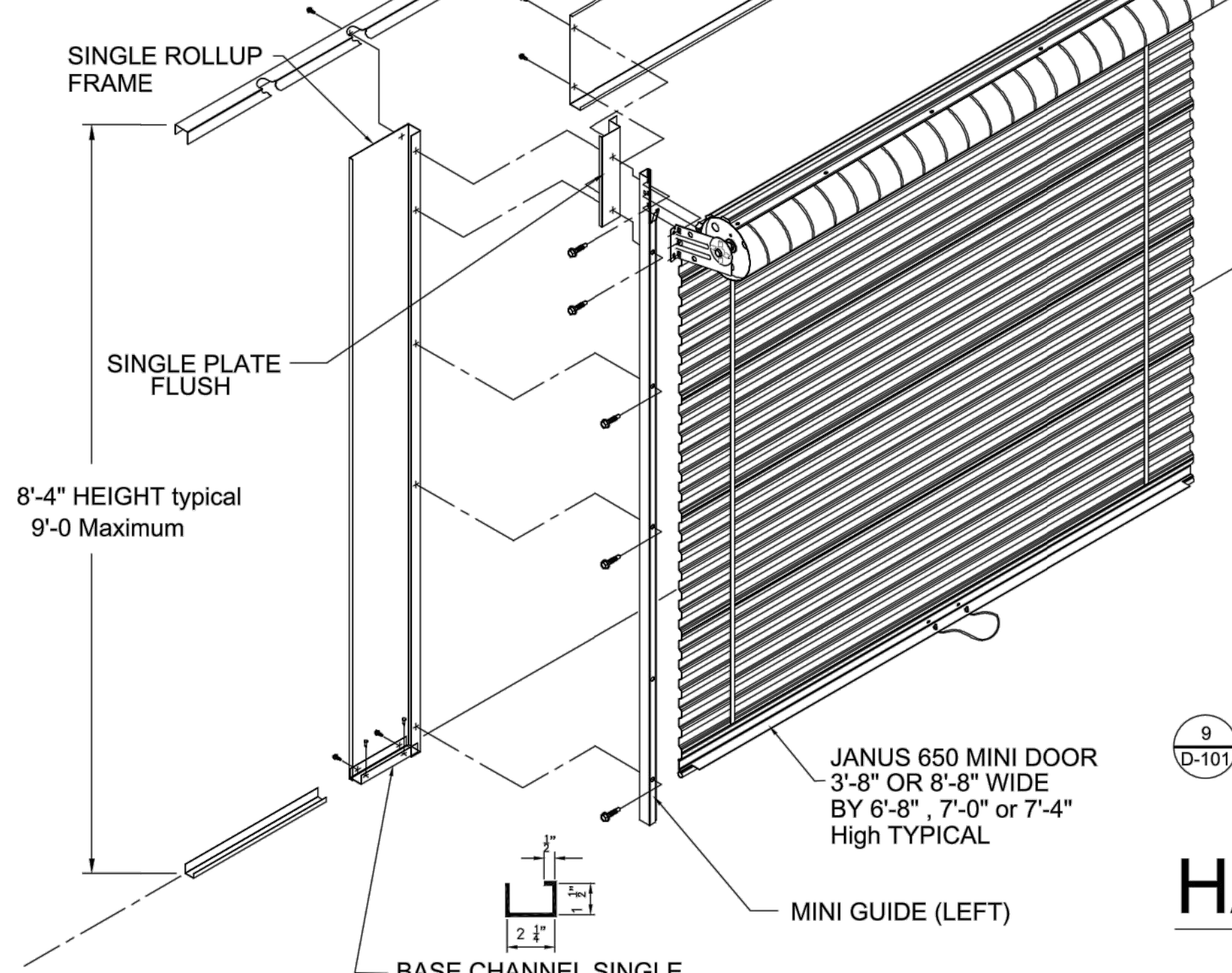
01 f WINDOW ELEVATIONS 1/4" = 1'-0"

INSTALLATION NOTES:

- These door and hallway system instructions are intended for a professional installer such as a steel erector or door installer. Individuals without sufficient knowledge of the doors, hallways or steel components can pose a threat for potential injury or harm. Failure to follow instructions can result in personal injury and/or material damages. Please review ALL drawings and instructions prior to installation and layout.
- Upon receiving material, check quantities and items against the packing list to confirm all materials were received. Arrange material in locations near their final position, out of the way of other trades. Stage in a dry area to minimize material movement and potential damage.
- Reference site drawing to review layout and unit mix before commencing installation. Note that the finished hallway dimension will be 4'-1/2" less than the rough hallway width due to the 2'-1/4" bottom floor channel secured on each side of the hallway.
- Using a chalk line, mark the dimensions for the hallway 2'-1/4" from a steel structure starting point. Affix the hallway bottom channel between the steel structure and the edge of the chalk line.
- Anchor with supplied 3/4" stud & pin every 24" on center. Continue in the same manner with the unit partition Bottom Channel measuring the units dimension from the back of channel (already anchored to the front of the channel being laid out). As plans indicate, affix the roll up frame Base Channels accordingly with 2 shot and pin fasteners per base channel.
- Attach starter angle to floor bottom channel. Temporarily brace with 2"x2" angle, to reinforce and minimize flexibility. Make sure the starter angle is plumb for easy top channel installation. A starter angle is required between each individual unit. (attachment done with #8 x 1/2" Tek screws from top to bottom at 2', 4' and 6' increments)
- Attach flush or corrugated Back Plate to Rollup Frame with (4) #8 Tek screws-2 per side. Height of the plate is determined by the height of the hallway system and door size. The top edge of the Back Plate should also be flush with the top edge of the Rollup Frame. Install the Rollup Frames relative to door opening size. Stand up the Rollup Frame with the Back Plate and fasten the assembly to the rollup frame base channel. Ensure that the frame is plumb, then fasten Top cap.
- Securely affix the Top Channel to existing steel structures, Starter Angles and/or Rollup Frames so that the top of the channel is 1/2" higher than the specified hallway system height. Ensure that the channel remains level, to avoid ill-fitting corrugated or flush wall panels. (fasten w/ #8x1/2 tek screws) Note: large 3" leg of top channel is towards storage unit side and short 2" leg faces into hallway.
- Install wall panels vertically into Floor Channel and Top Channel as recommended. Level before fastening w/ #8x1/2 tek screws.
 - For corrugated panel, secure with 3 screws at the top and bottom-total fasteners being 6 per sheet. (See drawing A-900-005-0006 for detailed instructions and illustrations of Channel Installation).
 - For flush panels, secure with 2 screws at the top and bottom-total fasteners being 4 per sheet. (See drawing A-900-005-0006 for detailed instructions and illustration of)
- Refer to drawing A-900-005-0003 for Filler Panel installation if applicable.
- Refer to drawing A-900-005-0013 for Flush Header installation if applicable.
- Refer to drawing A-900-005-0002 for Rollup Door installation.
- Refer to drawing A-900-005-0004 for Swing Door installation.
- Refer to drawing A-900-005-0012 for Locker Floor and Locker Door installation.
- Refer to drawing A-900-005-0009, A-900-005-0010 & A-900-005-0011 for Soffit installation, if provided.
- Mid-Span Bracing is provided on corrugated walls as shown.
- Affix Kick Plates and Corner Guards upon completion of the Hallway System.
- Install "Mo-Caps" on the back of ALL exposed screws.

HALLWAY SYSTEM MEETS THE FOLLOWING LOADS:

- INTERIOR HORIZONTAL LOAD PER IBC 2009 OF 5 PSF
- SEISMIC LOAD FOR ARCHITECTURAL COMPONENTS - INTERIOR PARTITION $F_p = .64WP$ WHERE $S_s(2sec) = 200\% / S_1$ (1 sec) = 100% / SITE CLASS = D DESIGN CATEGORY = E / $S_d1 = 1.33 / S_d1 = 1.0$ $R_p = 2.5 / I = 1.0 / A_p = 1$
- REFER TO REPORT 12-971 BY COLLINS CONSULTANTS.



HALLWAY DOOR SYSTEM
NON LOAD BEARING STORAGE WALL SYSTEM

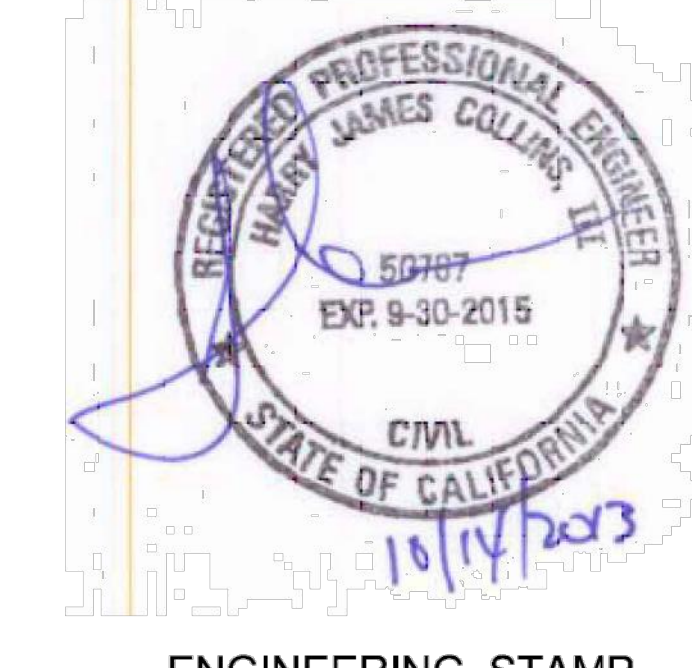
FLUSH HEADERS & CORRUGATED SECUREWALL (Fixed Walls)

TOP CHANNEL AT FRAMES TO BE ATTACHED TO PARTITIONS 10' ON CENTER MAXIMUM.

<p>TEKS SCREW #8 X 1/2" (HALLWAY)</p>	<p>PERCUSSION 3/4" FASTENERS (FLOOR)</p>	<p>STITCH TEK SCREW 1/4-14 X 7/8" (ROLL UP)</p>	<p>1/4-20 X 1" PHILLIPS FLATHEAD HINGE SCREW (SWING DOOR)</p>
--	---	--	--

City of Los Angeles Ca.
Research Report : RR 25662
Hilti Low-Velocity Power Driven floor Track channel fasteners, P/N Hilti X-GN 0.118 x 3/4" in concrete. Per 3.1.1 of ICC-ES Evaluation Report ESR-1752

- General Notes:**
- Factory prefinished Glossy White frames and headers standard.
 - Non Load bearing hallway storage unit system shown.
 - 8'-4" Finished Hallway Height Typical; other heights manufactured per request.
 - Maximum allowable Height to be 9'-0" and meet horizontal and seismic loads.



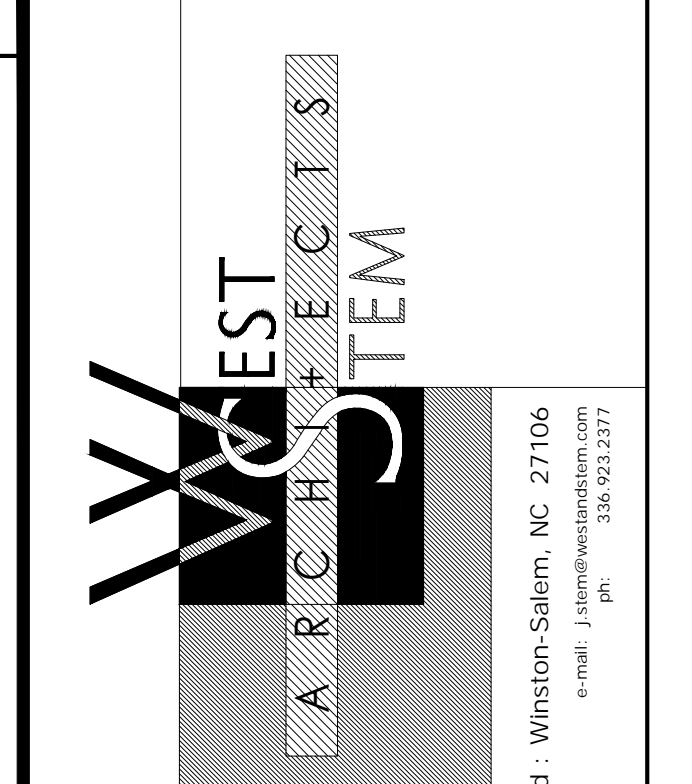
<p>1 SINGLE ROLL UP FRAME D-101</p> <p>SIZE = 7 3/8" HEIGHT</p> <p>FRAME HGT.= HALL HGT.</p> <p>DESCRIPTION</p> <p>20 GAGE PRE-FINISHED GALVANIZED STEEL</p>

<p>2 DOUBLE ROLL UP FRAME D-101</p> <p>SIZE = 16" HEIGHT</p> <p>FRAME HGT.= HALL HGT.</p> <p>DESCRIPTION</p> <p>20 GAGE PRE-FINISHED GALVANIZED STEEL</p>
--

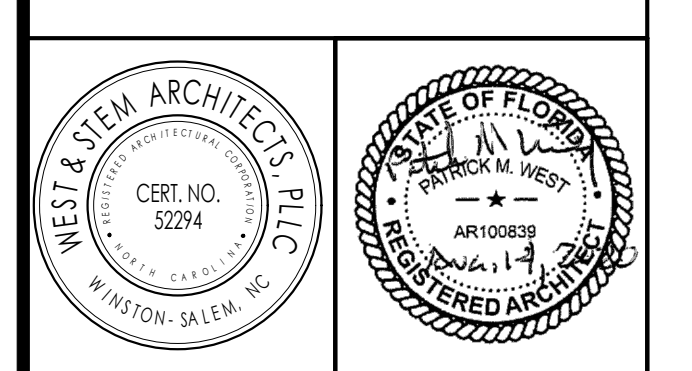
<p>3 FLUSH ROLL UP FRAME D-101</p> <p>DESCRIPTION</p> <p>20 GAGE PRE-FINISHED GALVANIZED STEEL</p>

<p>4 DOUBLE ROLL UP FRAME D-101</p> <p>SIZE = 21 1/8" HEIGHT</p> <p>FRAME HGT.= HALL HGT.</p> <p>DESCRIPTION</p> <p>20 GAGE PRE-FINISHED GALVANIZED STEEL</p>
--

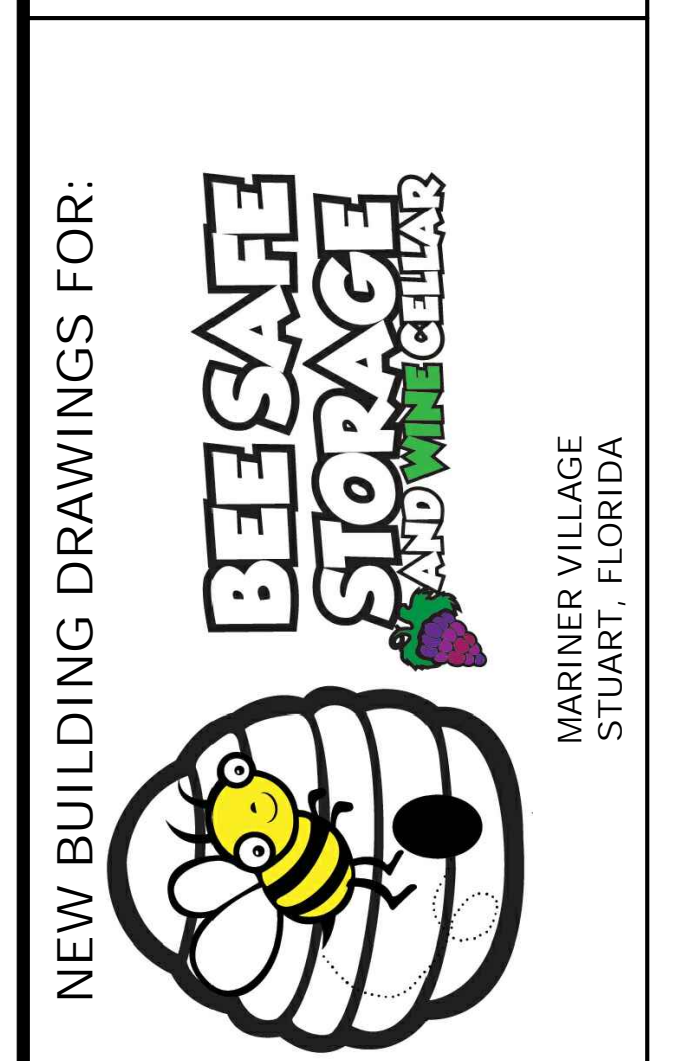
<p>5 SINGLE ROLL UP FRAME D-101</p> <p>SIZE = 10 1/8" HEIGHT</p> <p>FRAME HGT.= HALL HGT.</p> <p>DESCRIPTION</p> <p>20 GAGE PRE-FINISHED GALVANIZED STEEL</p>
--



FINAL CONSTRUCTION DRAWINGS



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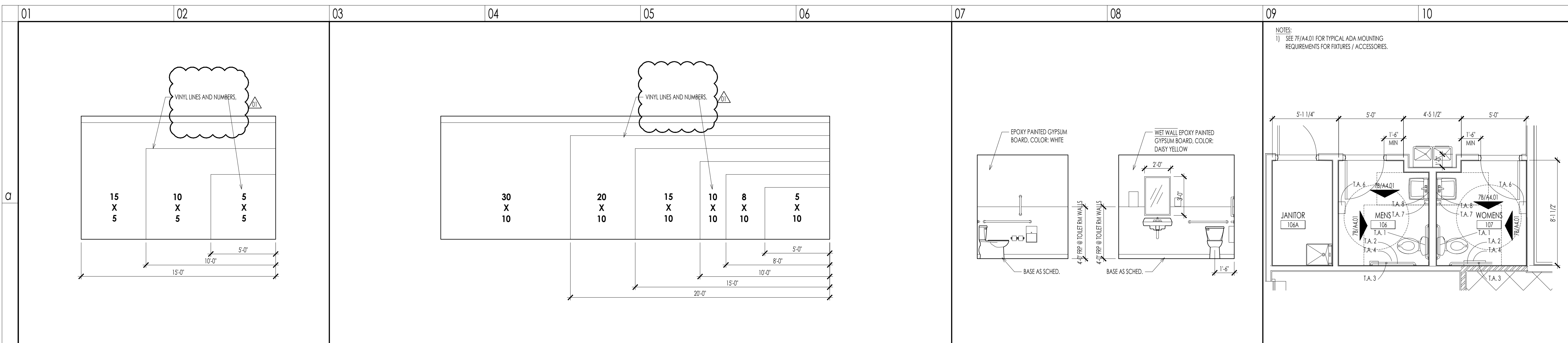
MARINER VILLAGE
STUART, FLORIDA

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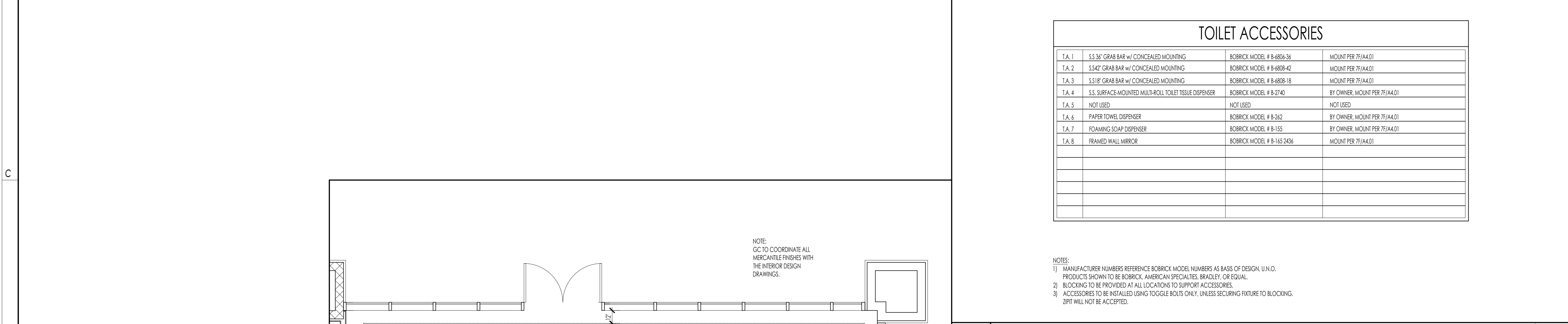
JANUS DOOR DETAILS
(REFERENCE ONLY)

A3.04

date: AUGUST 14, 2020
commission: 19C.0030
drawn by: RBS

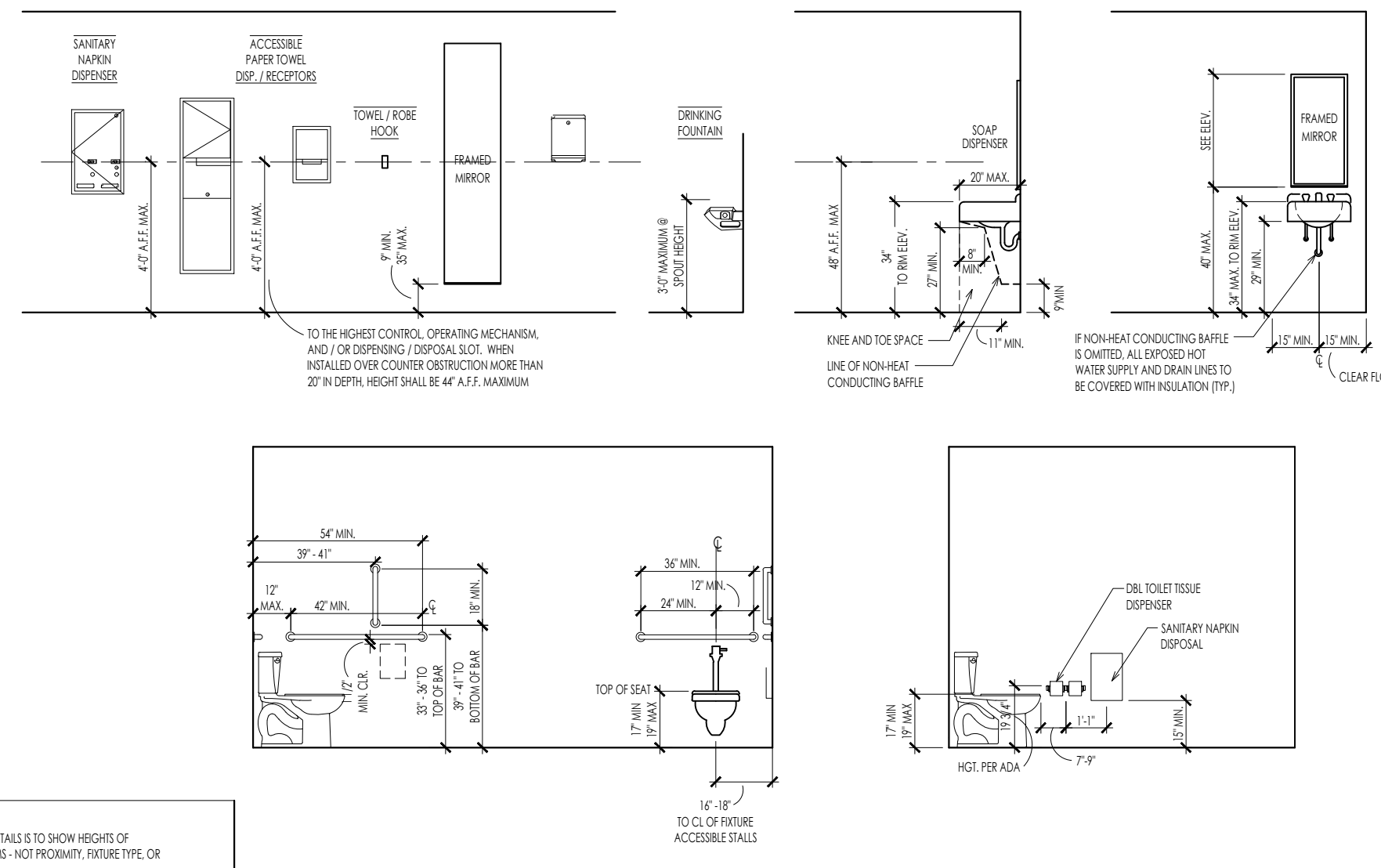
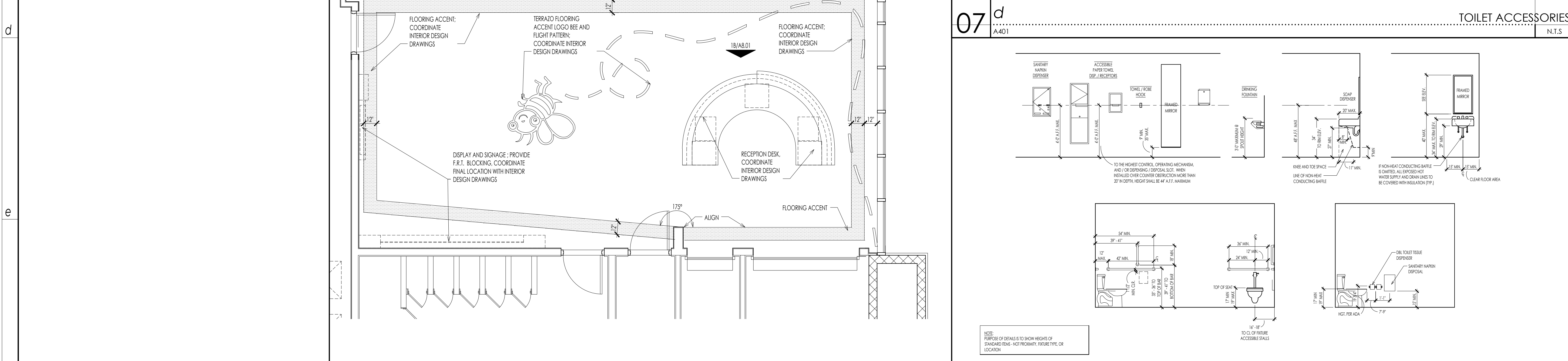


01 **b** STORAGE DEMO - INTERIOR ELEVATION 1/4" = 1'-0"
 03 **b** STORAGE DEMO - INTERIOR ELEVATION 1/4" = 1'-0"
 07 **b** TOILET ELEVATIONS - TYPICAL 1/4" = 1'-0"
 09 **b** ENLARGED TOILET PLAN 1/4" = 1'-0"



TOILET ACCESSORIES			
T.A. 1	3/8" 36" GRAB BAR w/ CONCEALED MOUNTING	BOBRICK MODEL # B-8826-36	MOUNT PER 77/A4.01
T.A. 2	3/8" 42" GRAB BAR w/ CONCEALED MOUNTING	BOBRICK MODEL # B-8826-42	MOUNT PER 77/A4.01
T.A. 3	3/8" 18" GRAB BAR w/ CONCEALED MOUNTING	BOBRICK MODEL # B-8828-18	MOUNT PER 77/A4.01
T.A. 4	3/8" SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	BOBRICK MODEL # B-2740	BY OWNER, MOUNT PER 77/A4.01
T.A. 5	NOT USED	NOT USED	NOT USED
T.A. 6	PAPER TOWEL DISPENSER	BOBRICK MODEL # B-262	BY OWNER, MOUNT PER 77/A4.01
T.A. 7	FOAMING SOAP DISPENSER	BOBRICK MODEL # B-155	BY OWNER, MOUNT PER 77/A4.01
T.A. 8	FRAMED WALL MIRROR	BOBRICK MODEL # B-145 2/436	MOUNT PER 77/A4.01

NOTES:
 1) MANUFACTURER NUMBERS REFERENCE BOBRICK MODEL NUMBERS AS BASIS OF DESIGN. U.N.O.
 PRODUCTS SHOWN TO BE BOBRICK, AMERICAN SPECIALTIES, BRADLEY, OR EQUAL.
 2) BLOCKING TO BE PROVIDED AT ALL LOCATIONS TO SUPPORT ACCESSORIES.
 3) ACCESSORIES TO BE INSTALLED USING TOGGLE BOLTS ONLY, UNLESS SECURING FIXTURE TO BLOCKING.
 ZIPTI WILL NOT BE ACCEPTED.



03 **f** RETAIL FLOOR FINISH PLAN 1/4" = 1'-0"
 07 **f** TYPICAL ACCESSIBLE MOUNTING HEIGHTS / DIMENSIONS N.T.S.

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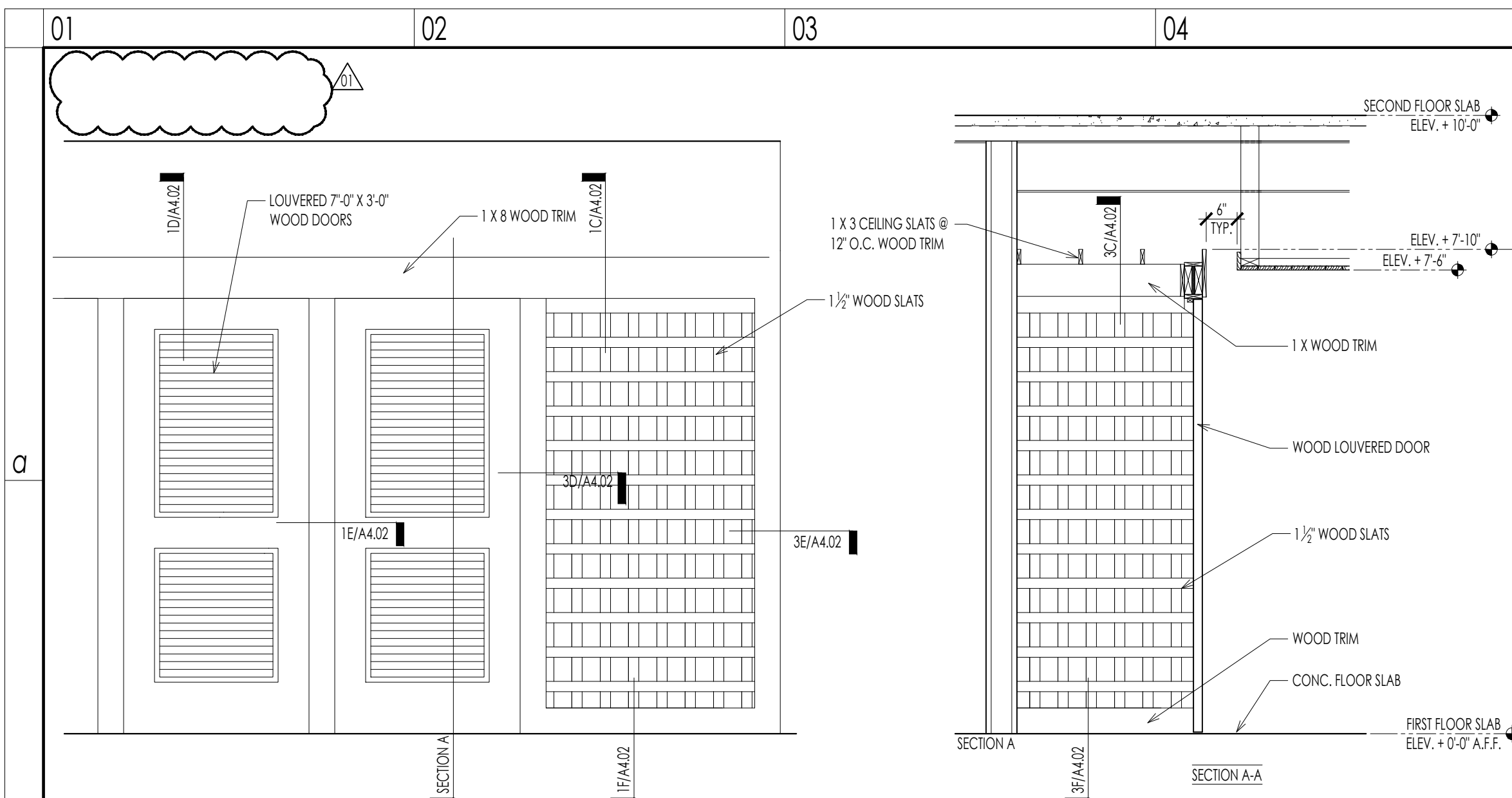
NO.	DATE	OWNER COMMENTS
1	09.15.20	OWNER COMMENTS

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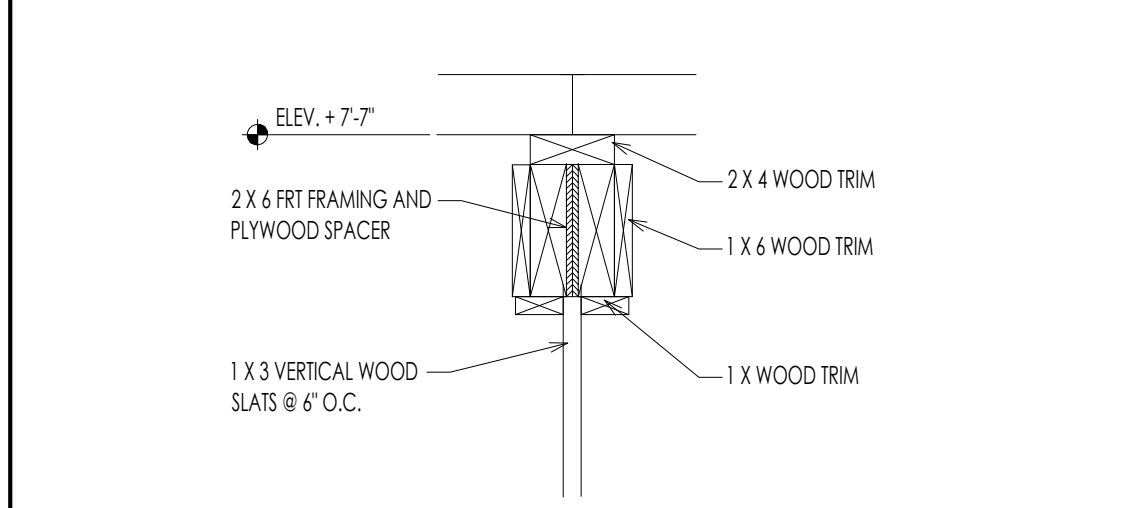
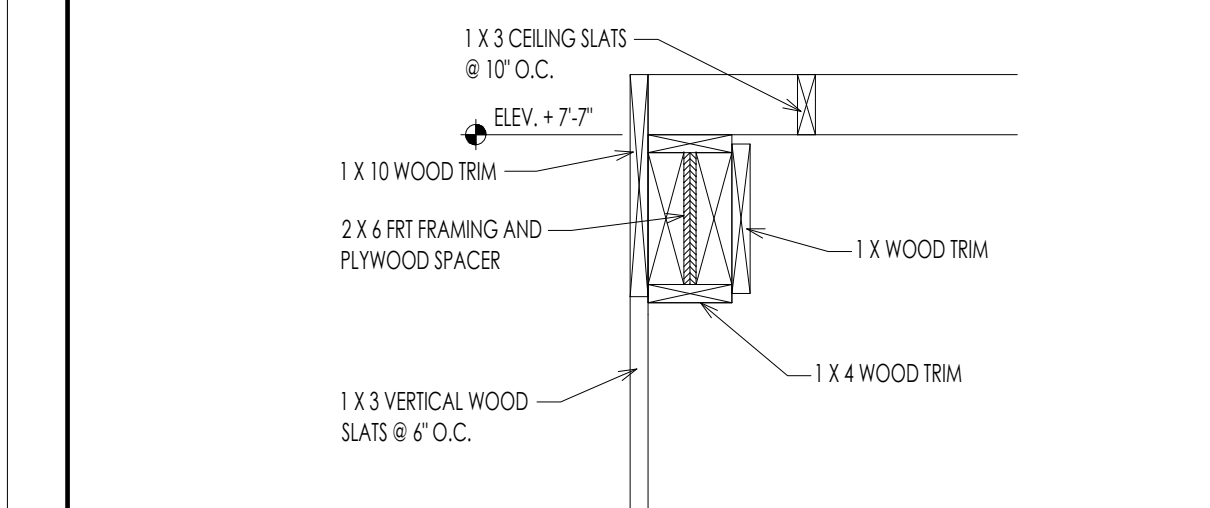
ENLARGED TOILET PLAN
 LOBBY FLOOR FINISH PLAN
 sheet

A4.01-R1

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS

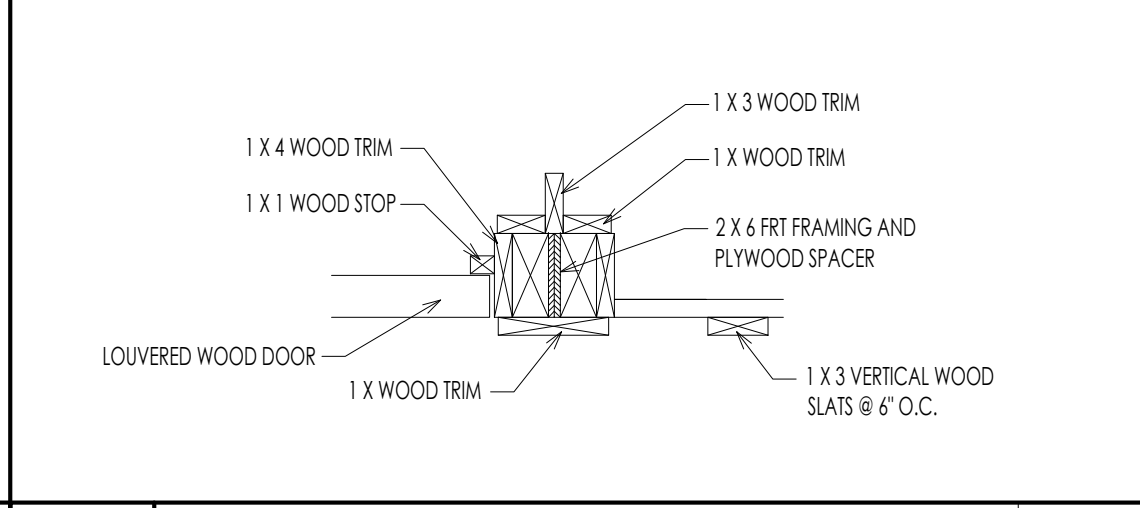
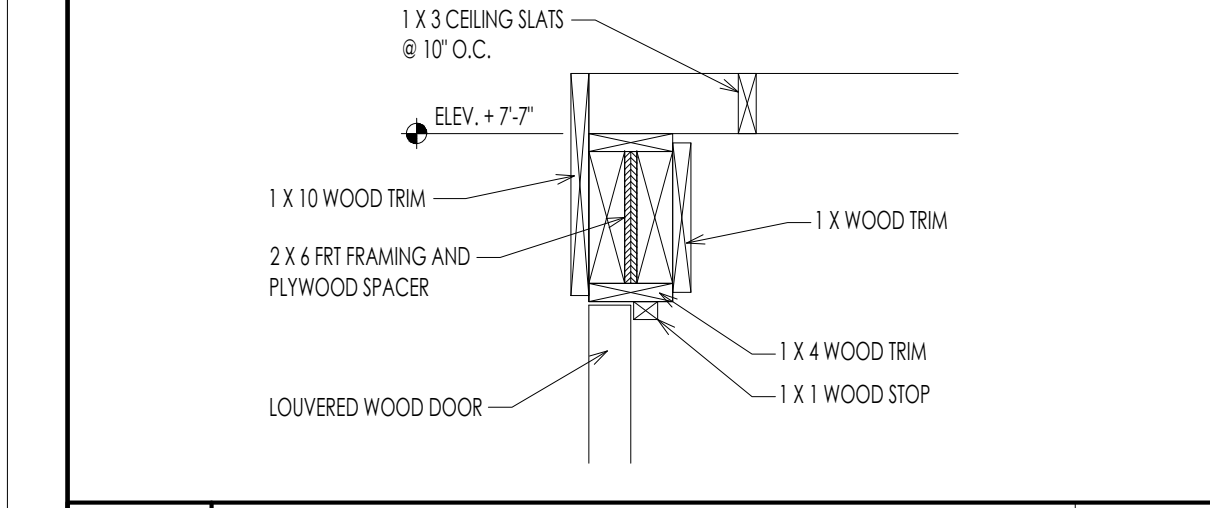


01 b WINE STORAGE SECTION / ELEVATION
A403 1/2" = 1'-0"



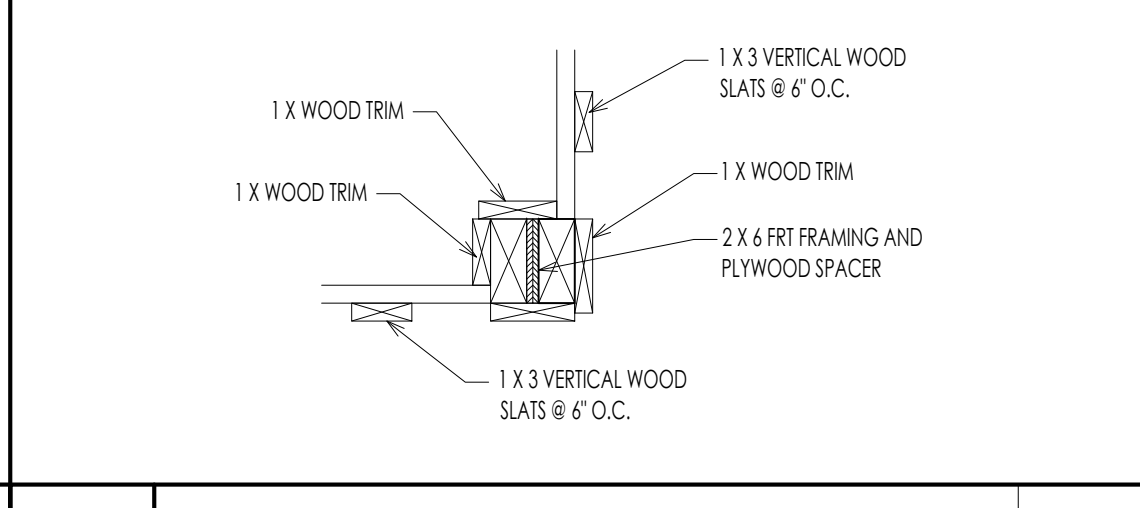
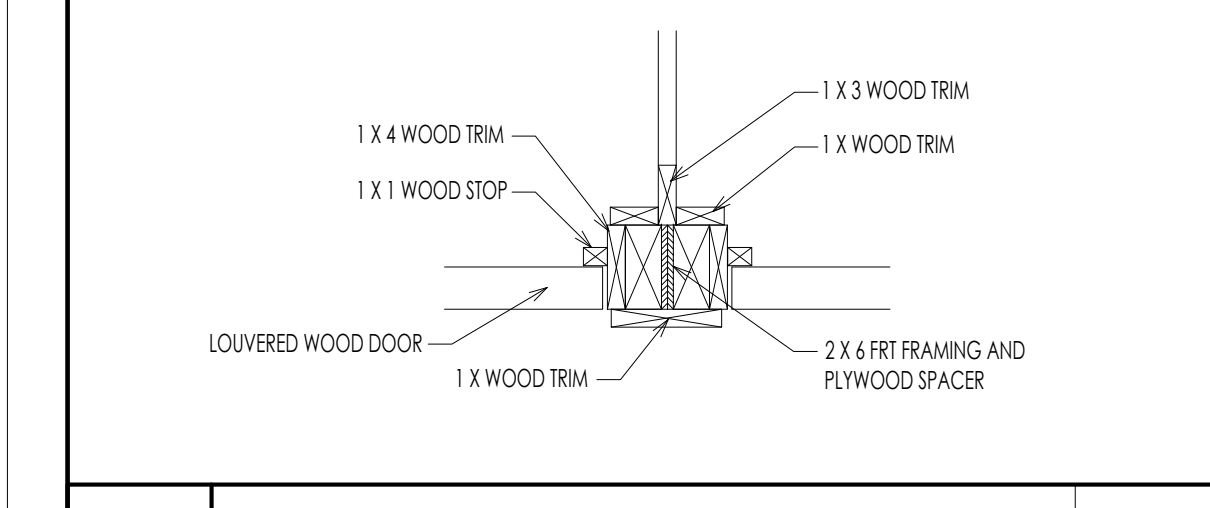
01 c CORRIDOR HEAD DETAIL
A404 1 1/2" = 1'-0"

03 c HEAD DETAIL
A404 1 1/2" = 1'-0"



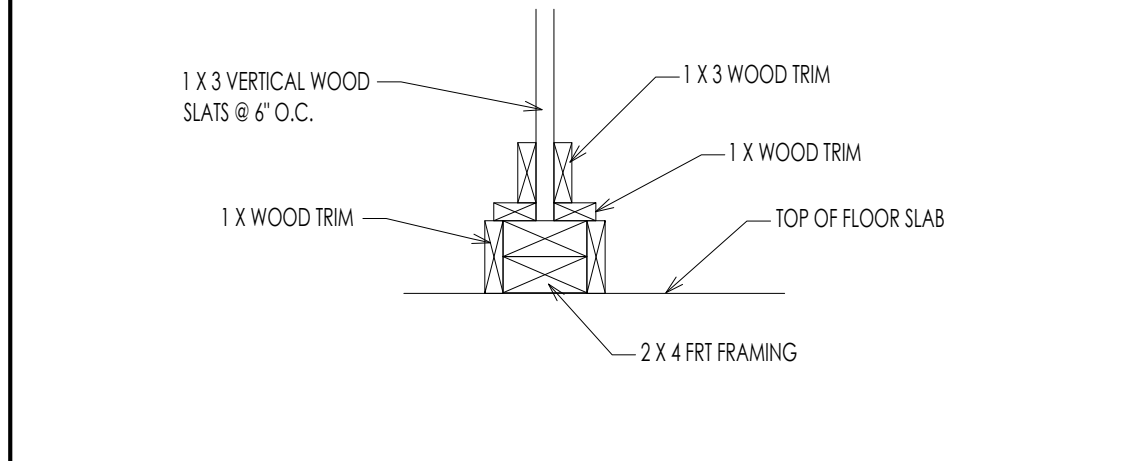
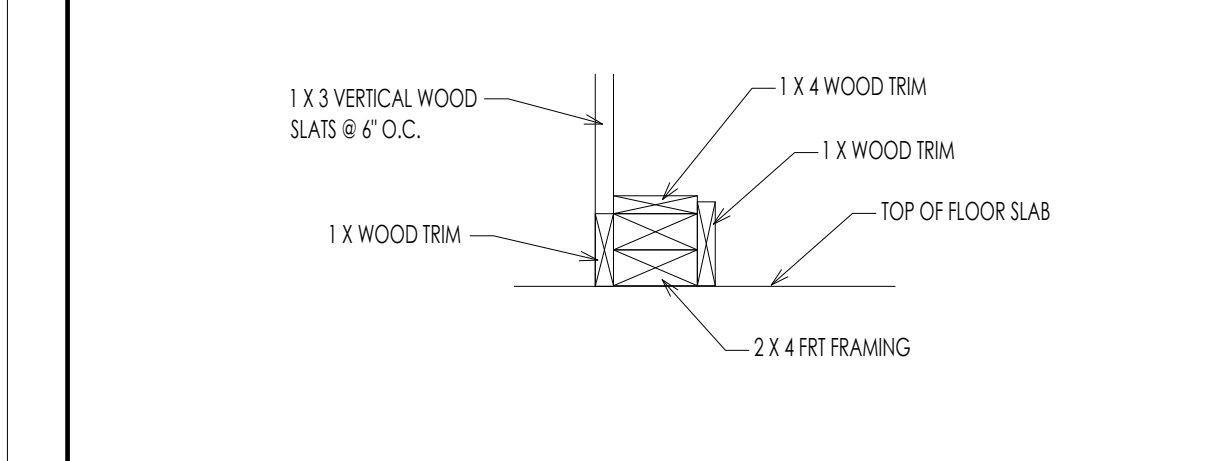
01 d HEAD DETAIL
A404 1 1/2" = 1'-0"

03 d JAMB DETAIL
A404 1 1/2" = 1'-0"



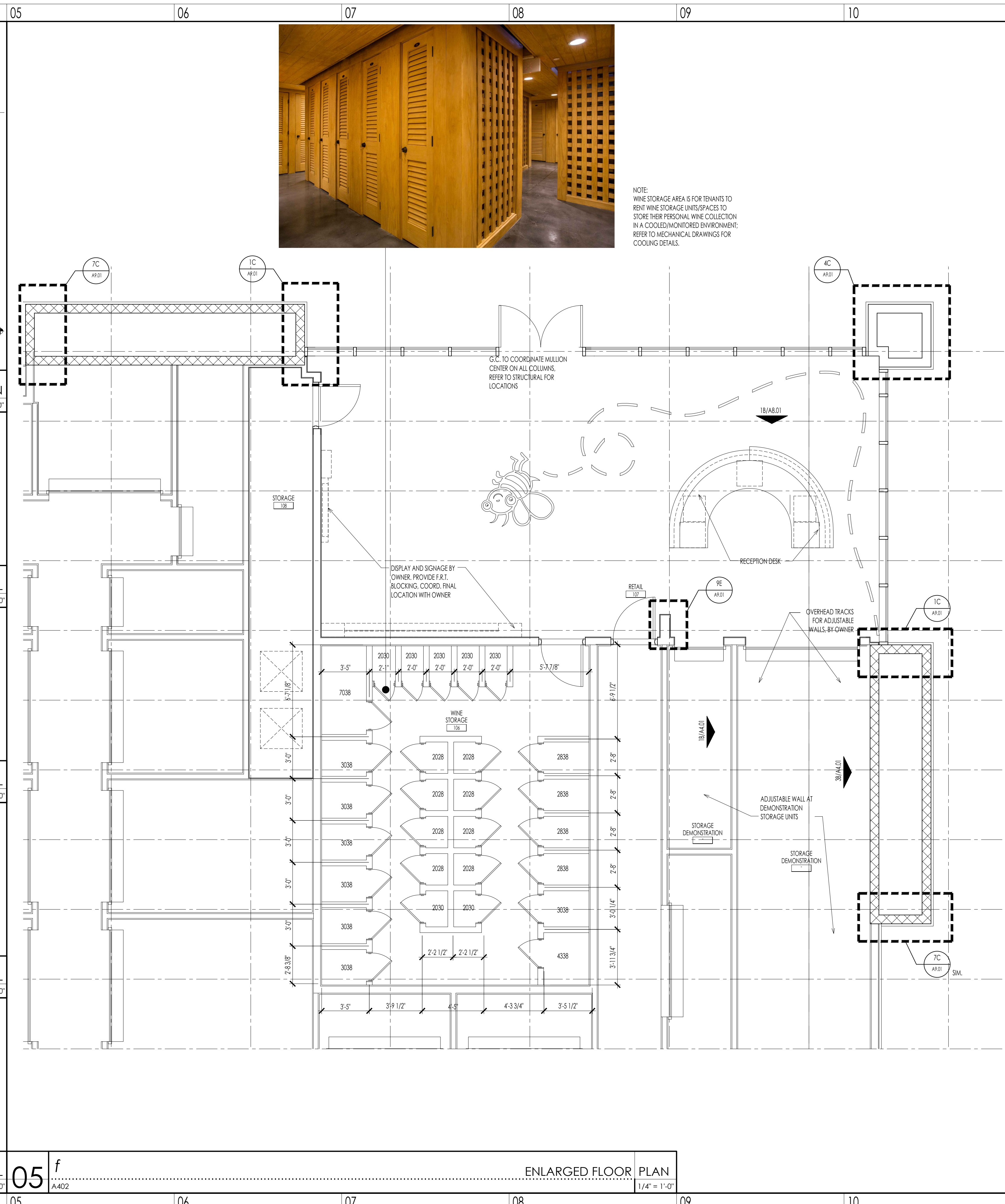
01 e DOOR JAMB DETAIL
A404 1 1/2" = 1'-0"

03 e CORNER DETAIL
A404 1 1/2" = 1'-0"



01 f CORRIDOR BASE DETAIL
A404 1 1/2" = 1'-0"

03 f BASE DETAIL
A404 1 1/2" = 1'-0"



NOTE:
WINE STORAGE AREA IS FOR TENANTS TO RENT WINE STORAGE UNITS/SPACES TO STORE THEIR PERSONAL WINE COLLECTION IN A COOLED/MONITORED ENVIRONMENT. REFER TO MECHANICAL DRAWINGS FOR COOLING DETAILS.

WEST & STEM ARCHITECTS
ARCHITECTS

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e-mail: jstem@weststem.com 336.923.2777

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WINSTON-SALEM, NC

STATE OF NORTH CAROLINA
REGISTERED ARCHITECT
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STUART, FLORIDA

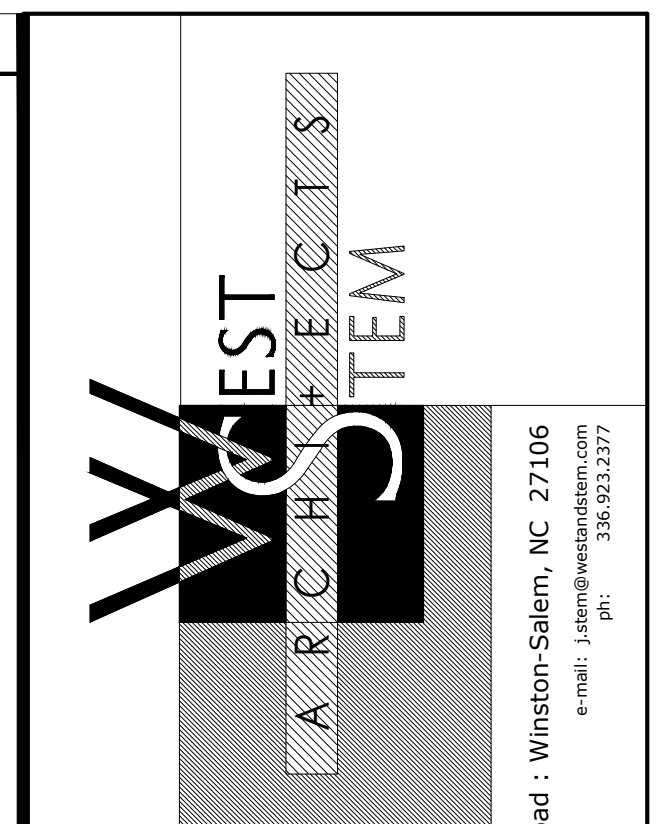
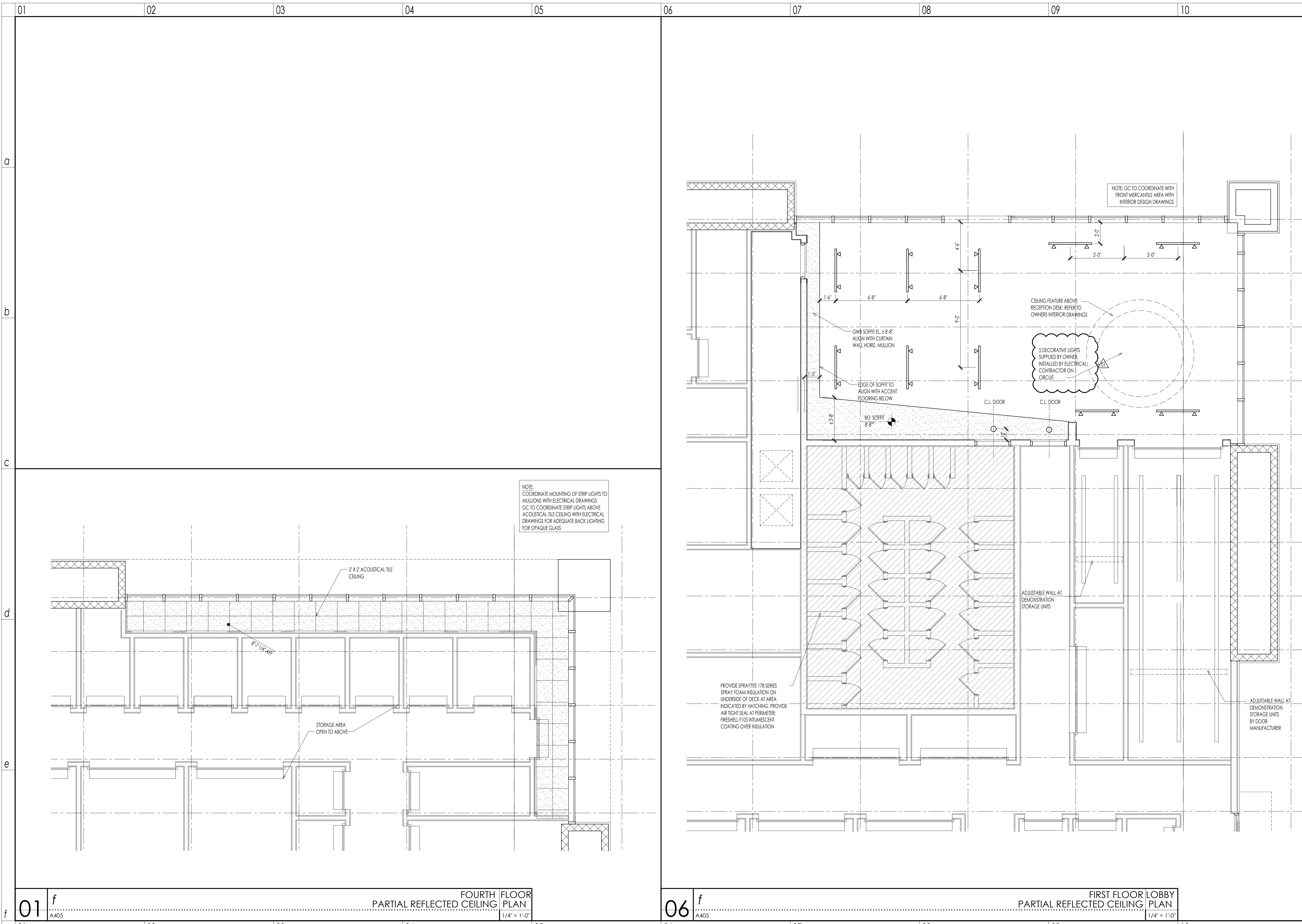
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ENLARGED PLANS AND WINE STORAGE

sheet

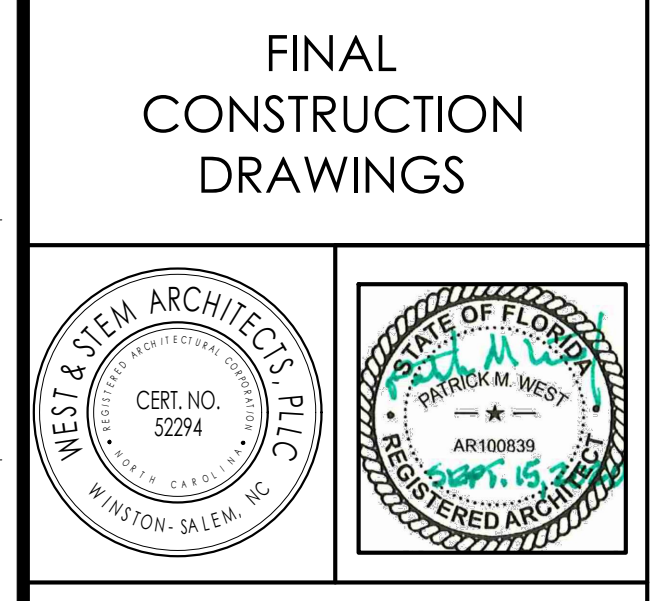
A4.02-R1

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commission: 19C.0030
drawn by: RBS



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 e-mail: j.stem@weststem.com 336.923.2377

FINAL CONSTRUCTION DRAWINGS



revisions	OWNER COMMENTS
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NEW BUILDING DRAWINGS FOR:

MARINER VILLAGE
STUART, FLORIDA

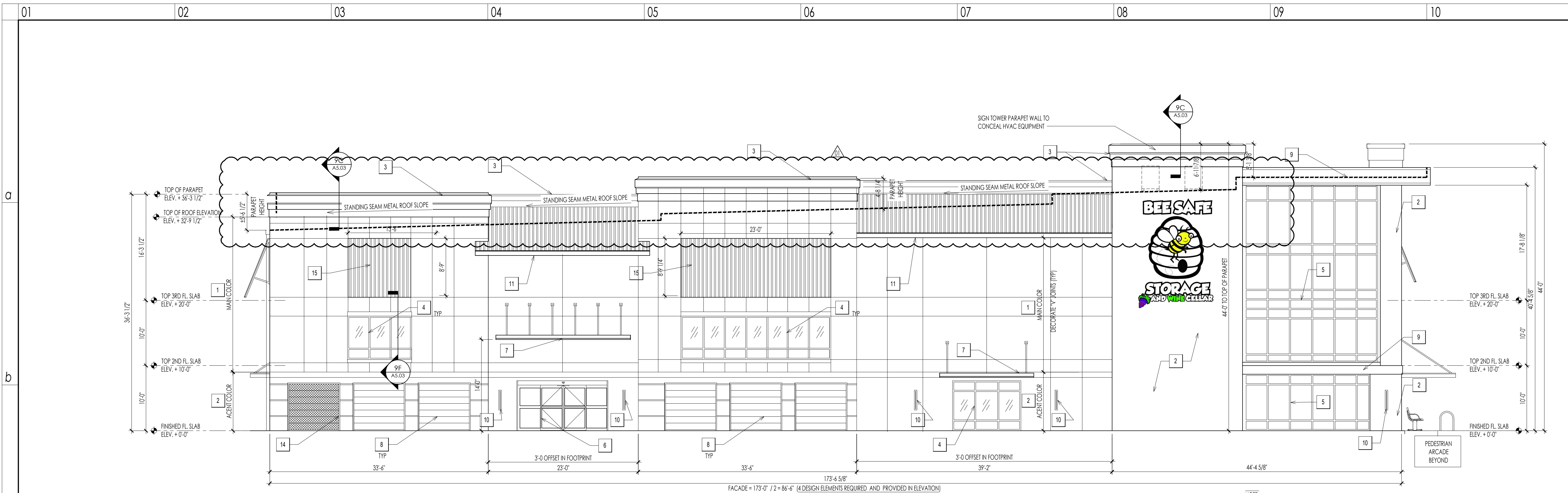
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REFLECTED CEILING PLANS

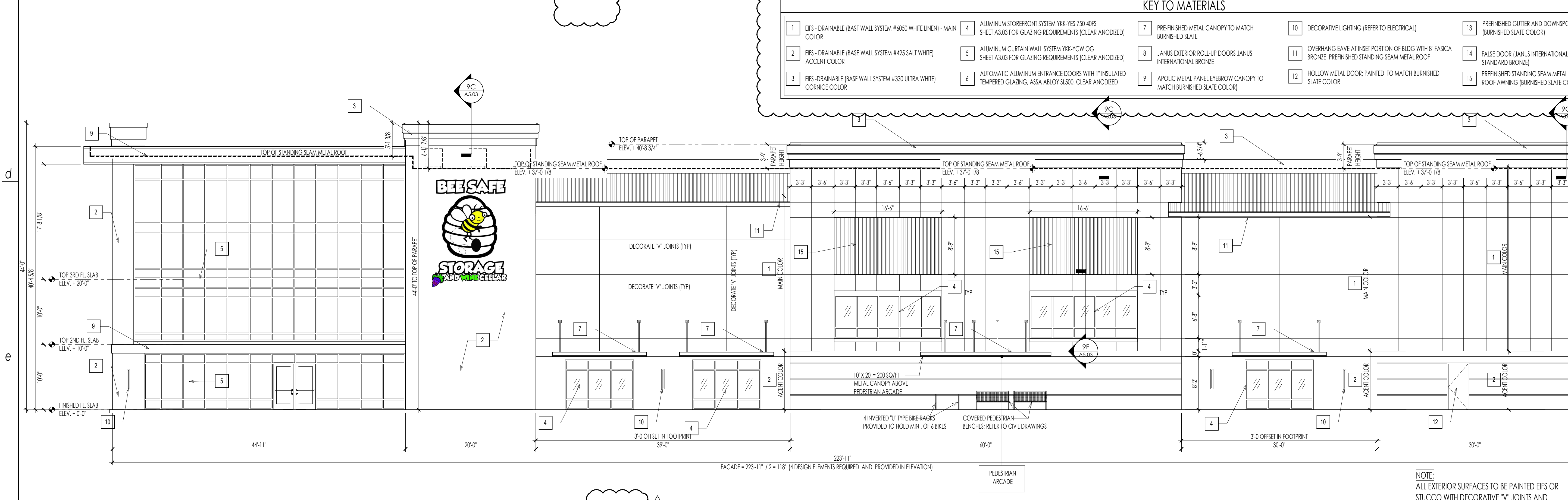
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A4.03-R1

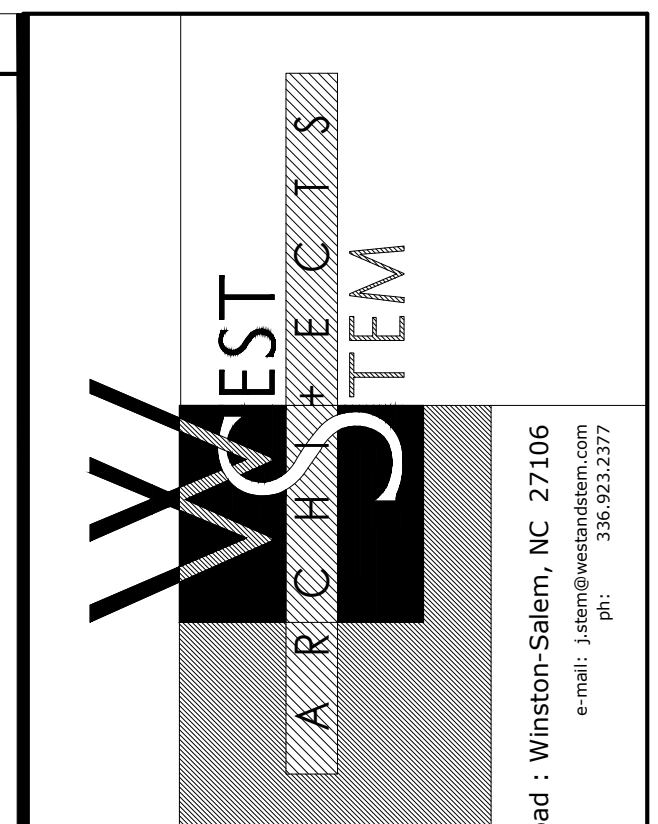
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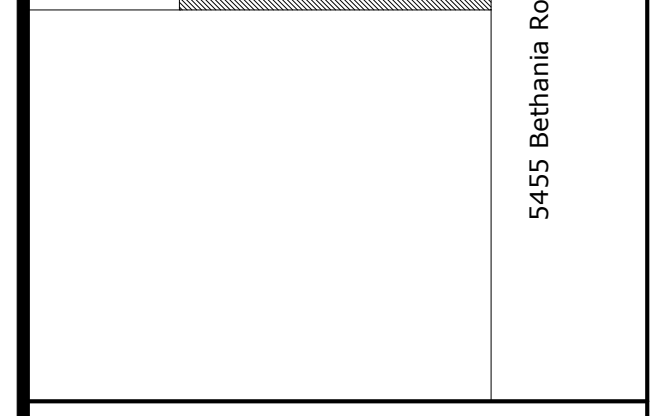
01 C SOUTH EAST ELEVATION, PRIMARY
A500
1/8" = 1'-0"



01 f NORTH EAST ELEVATION, PRIMARY
A500
1/8" = 1'-0"



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NOTE: ALL EXTERIOR SURFACES TO BE PAINTED EIFS OR STUCCO WITH DECORATIVE 'Y' JOINTS AND PROMINENT WINDOW SILLS UNLESS OTHERWISE NOTED.

NEW BUILDING DRAWINGS FOR:

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EXTERIOR ELEVATIONS

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A5.01-R1

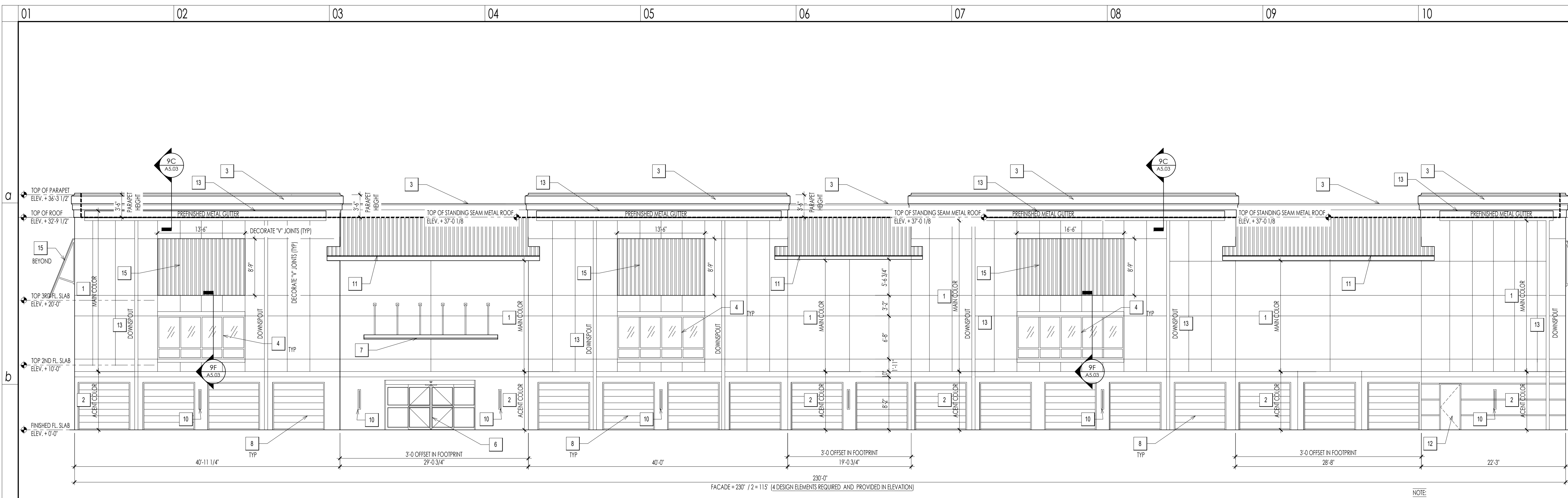
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commission: 19C.0030
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FINAL CONSTRUCTION DRAWINGS



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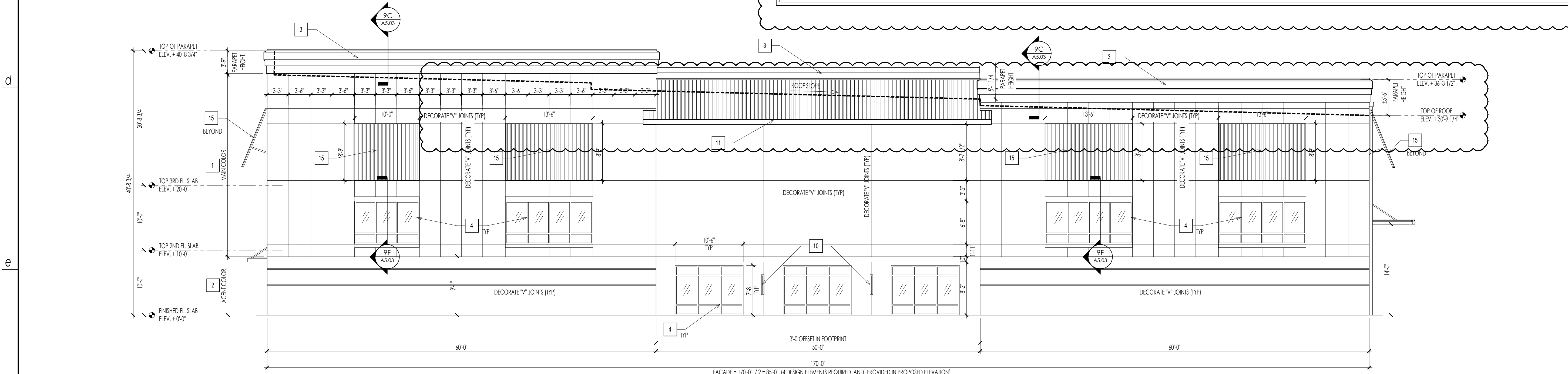
FACADE = 237' / 2 = 118'5" (4 DESIGN ELEMENTS REQUIRED AND PROVIDED IN ELEVATION)

NOTE:
 ALL EXTERIOR SURFACES TO BE PAINTED EPS OR STUCCO WITH DECORATIVE 'Y' JOINTS AND PROMINENT WINDOW SILLS UNLESS OTHERWISE NOTED.
 ALL CONTROL EXPANSION JOINTS ARE SHOWN TO SERVE AS A DECORATIVE PATTERN FOR THE FACADE.

01 C
 A500
SOUTHWEST ELEVATION
 PRIMARY
 1/8" = 1'-0"

KEY TO MATERIALS

1 EPS - DRAINABLE (BASF WALL SYSTEM #6050 WHITE LINEN) - MAIN COLOR	4 ALUMINUM STOREFRONT SYSTEM YKK-YES 750 40FS SHEET A3.03 FOR GLAZING REQUIREMENTS (CLEAR ANODIZED)	7 PRE-FINISHED METAL CANOPY TO MATCH BURNISHED SLATE	10 DECORATIVE LIGHTING (REFER TO ELECTRICAL)	13 PREFINISHED GUTTER AND DOWNSPOUT (BURNISHED SLATE COLOR)
2 EPS - DRAINABLE (BASE WALL SYSTEM #425 SALT WHITE) ACCENT COLOR	5 ALUMINUM CURTAIN WALL SYSTEM YKK-YCW 0G SHEET A3.03 FOR GLAZING REQUIREMENTS (CLEAR ANODIZED)	8 JANUS EXTERIOR ROLL-UP DOORS JANUS INTERNATIONAL BRONZE	11 OVERHANG EAVE AT INSET PORTION OF BLDG WITH 8" FASCIA BRONZE PREFINISHED STANDING SEAM METAL ROOF	14 FALSE DOOR (JANUS INTERNATIONAL STANDARD BRONZE)
3 EPS - DRAINABLE (BASF WALL SYSTEM #330 ULTRA WHITE) CORNICHE COLOR	6 AUTOMATIC ALUMINUM ENTRANCE DOORS WITH 1" INSULATED TEMPERED GLAZING, ASSA ABLOY SL500, CLEAR ANODIZED	9 APOLIC METAL PANEL EYEBROW CANOPY TO MATCH BURNISHED SLATE COLOR	12 HOLLOW METAL DOOR; PAINTED TO MATCH BURNISHED SLATE COLOR	15 PREFINISHED STANDING SEAM METAL ROOF AWNING (BURNISHED SLATE COLOR)



FACADE = 170'-0" / 2 = 85'-0" (4 DESIGN ELEMENTS REQUIRED AND PROVIDED IN PROPOSED ELEVATION)

NOTE:
 ALL EXTERIOR SURFACES TO BE PAINTED EPS OR STUCCO WITH DECORATIVE 'Y' JOINTS AND PROMINENT WINDOW SILLS UNLESS OTHERWISE NOTED.
 ALL CONTROL EXPANSION JOINTS ARE SHOWN TO SERVE AS A DECORATIVE PATTERN FOR THE FACADE.

01 f
 A500
NORTHWEST ELEVATION
 1/8" = 1'-0"

NEW BUILDING DRAWINGS FOR:



MARINER VILLAGE
 STUART, FLORIDA

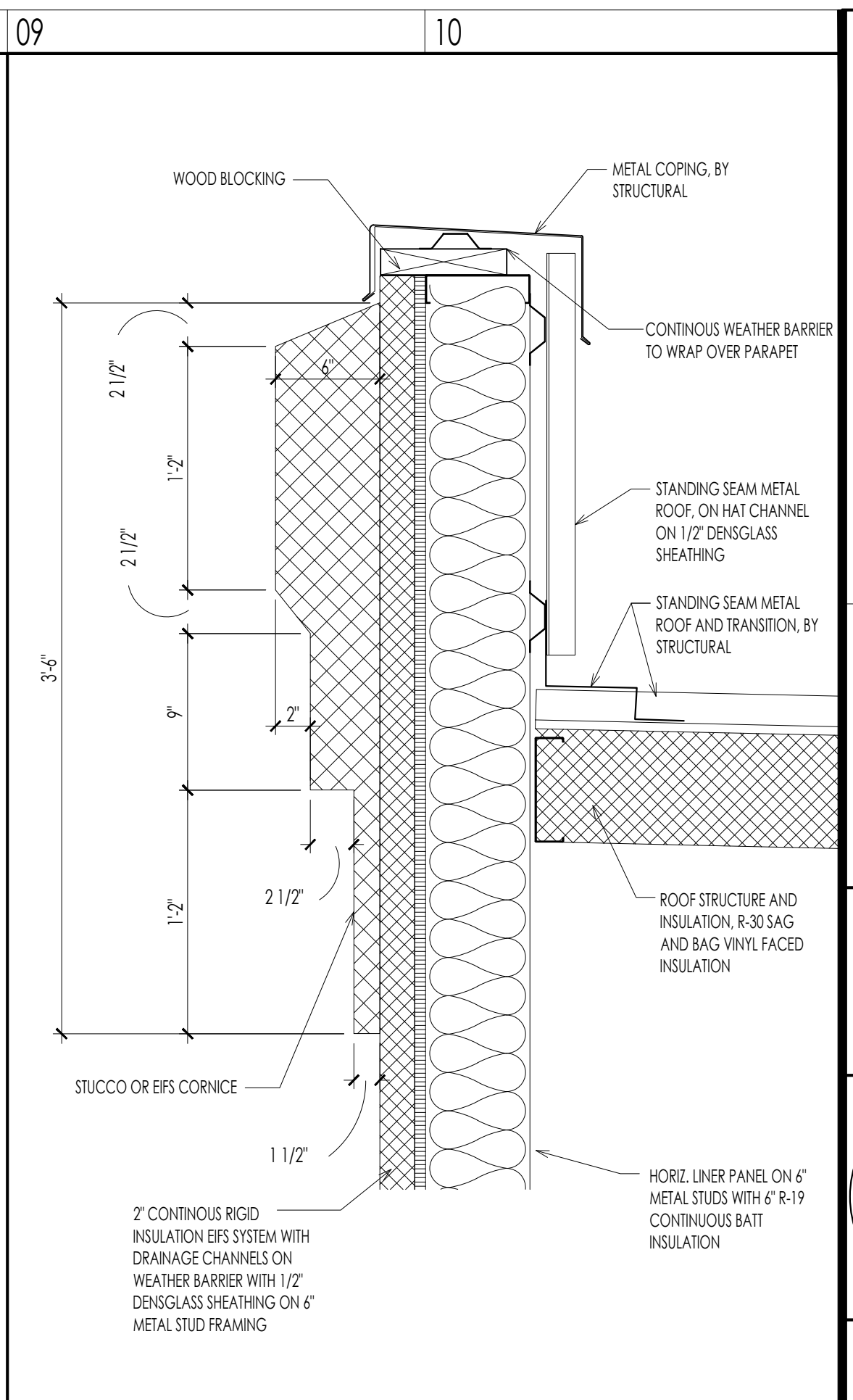
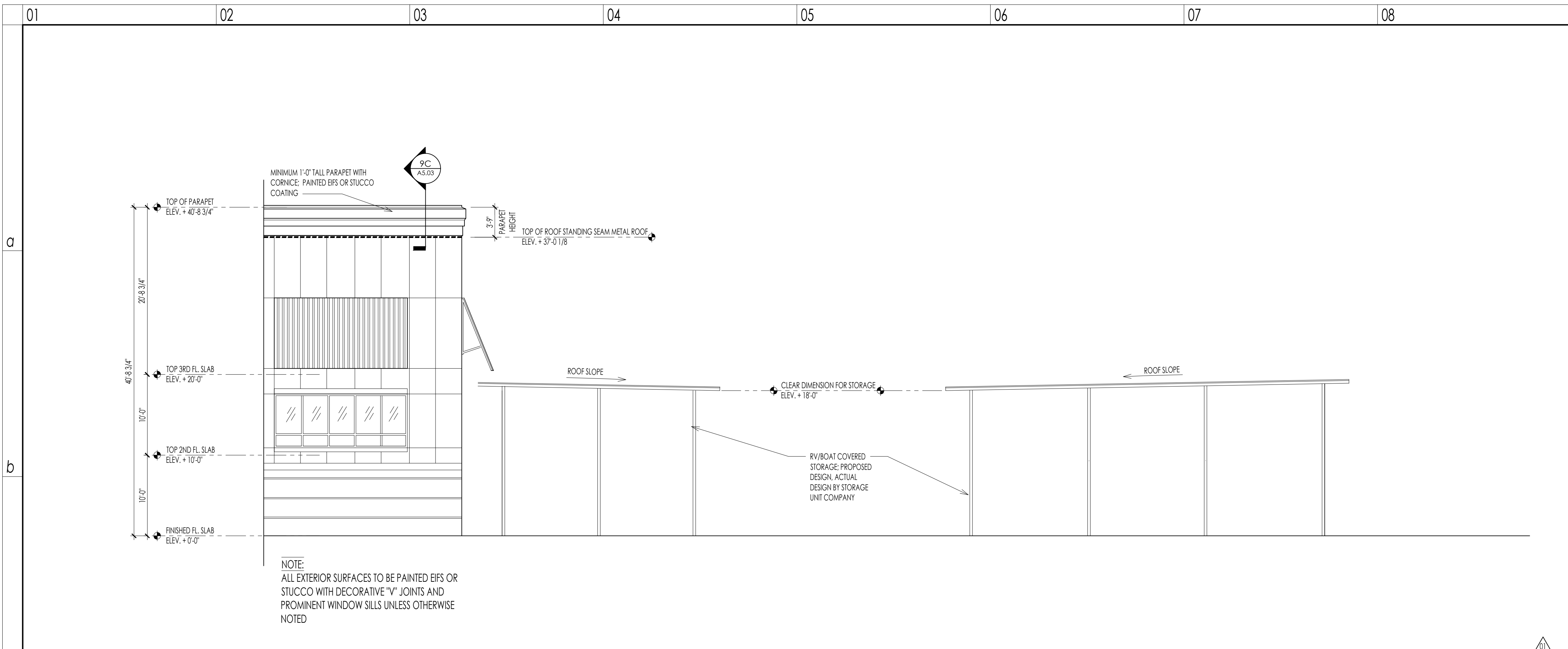
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EXTERIOR ELEVATIONS

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A5.02-R1

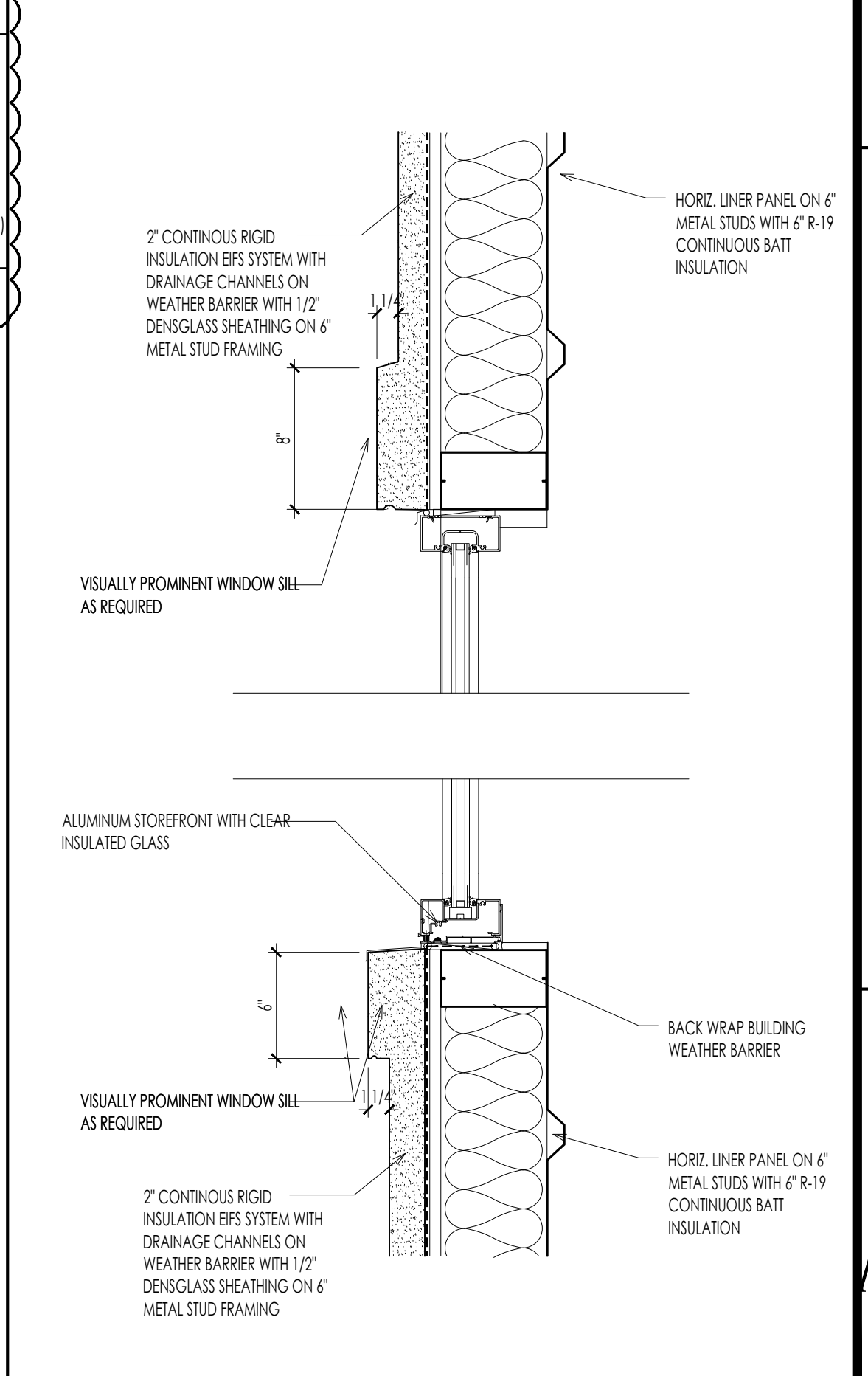
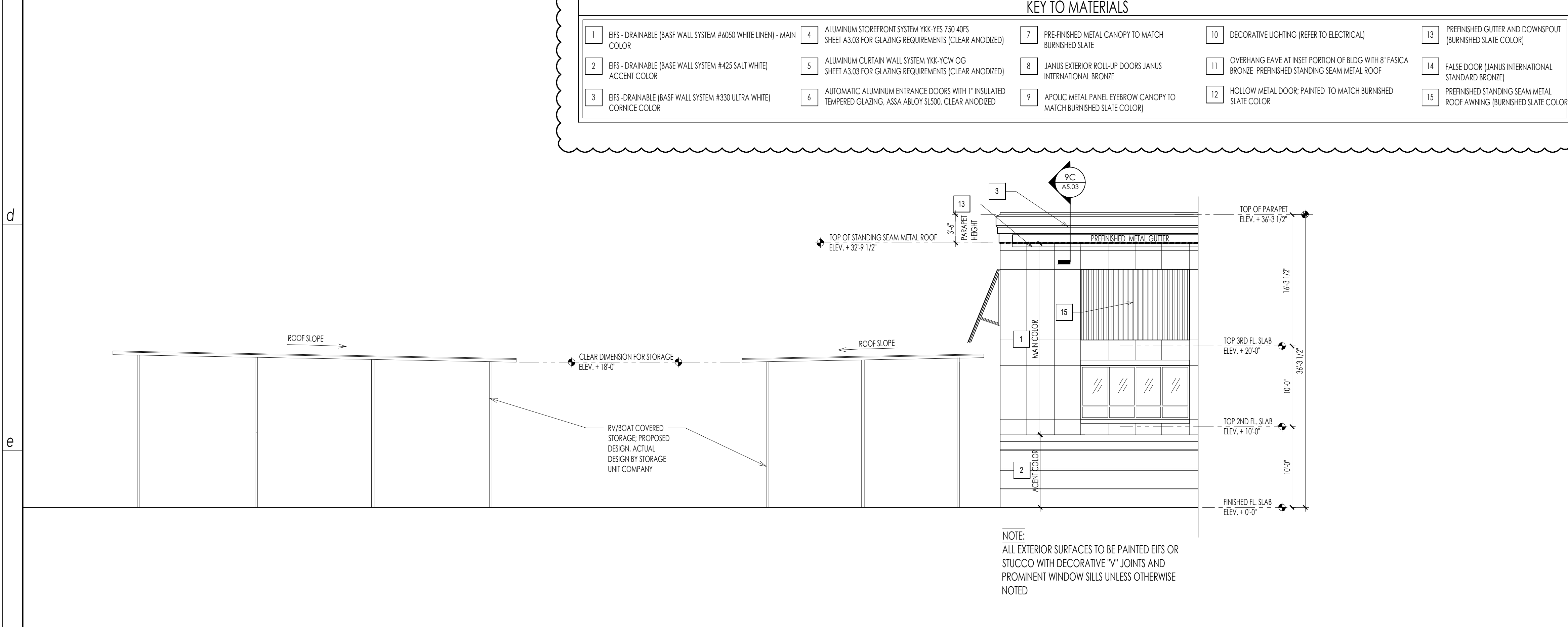
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01 C NORTH PARTIAL ELEVATION 1/8" = 1'-0"

09 C SECTION DETAIL 1-1/2" = 1'-0"

KEY TO MATERIALS					
1	EIFS - DRAINABLE (BASF WALL SYSTEM #6050 WHITE LINEN) - MAIN COLOR	4	ALUMINUM STOREFRONT SYSTEM YKK-YES 750 40FS SHEET A3.03 FOR GLAZING REQUIREMENTS (CLEAR ANODIZED)	7	PRE-FINISHED METAL CANOPY TO MATCH BURNISHED SLATE
2	EIFS - DRAINABLE (BASE WALL SYSTEM #425 SALT WHITE) ACCENT COLOR	5	ALUMINUM CURTAIN WALL SYSTEM YKK-YCW OG SHEET A3.03 FOR GLAZING REQUIREMENTS (CLEAR ANODIZED)	8	JANUS EXTERIOR ROLL-UP DOORS JANUS INTERNATIONAL BRONZE
3	EIFS - DRAINABLE (BASF WALL SYSTEM #330 ULTRA WHITE) CORNICE COLOR	6	AUTOMATIC ALUMINUM ENTRANCE DOORS WITH 1" INSULATED TEMPERED GLAZING, ASSA ABLOY SLS00, CLEAR ANODIZED	9	APOLIC METAL PANEL EYEBROW CANOPY TO MATCH BURNISHED SLATE COLOR
				10	DECORATIVE LIGHTING (REFER TO ELECTRICAL)
				11	OVERHANG EAVE AT INSET PORTION OF BLDG WITH 8" FASCIA BRONZE, PRE-FINISHED STANDING SEAM METAL ROOF
				12	HOLLOW METAL DOOR, PAINTED TO MATCH BURNISHED SLATE COLOR
				13	PRE-FINISHED GUTTER AND DOWNSPOUT (BURNISHED SLATE COLOR)
				14	FALSE DOOR (JANUS INTERNATIONAL STANDARD BRONZE)
				15	PRE-FINISHED STANDING SEAM METAL ROOF AWNING (BURNISHED SLATE COLOR)



01 f SOUTH PARTIAL ELEVATION 1/8" = 1'-0"

09 f SECTION DETAIL 1-1/2" = 1'-0"

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 AR100839
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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

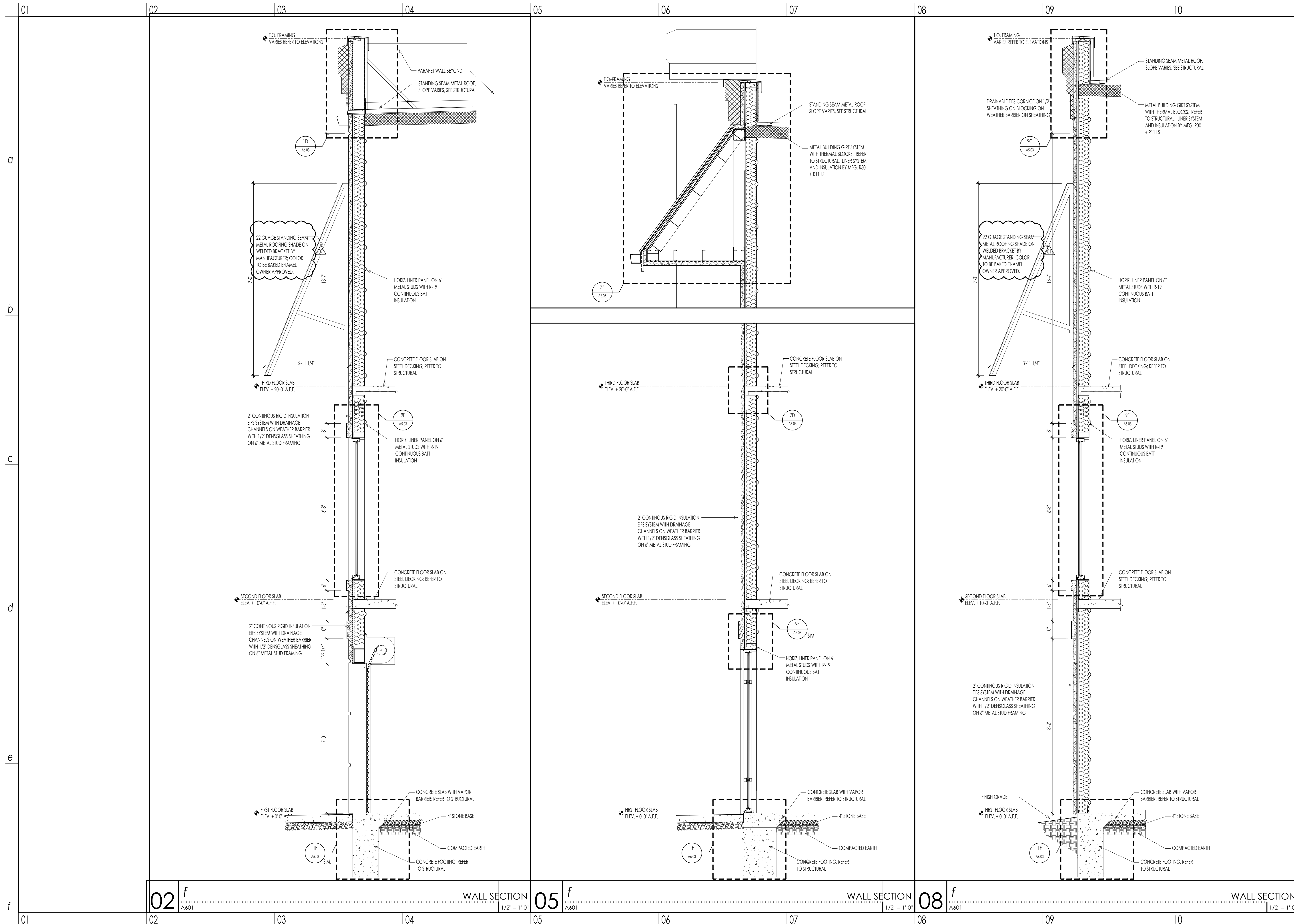
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PARTIAL EXTERIOR ELEVATIONS
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A5.03-R1

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 AR 100839
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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
STUART, FLORIDA

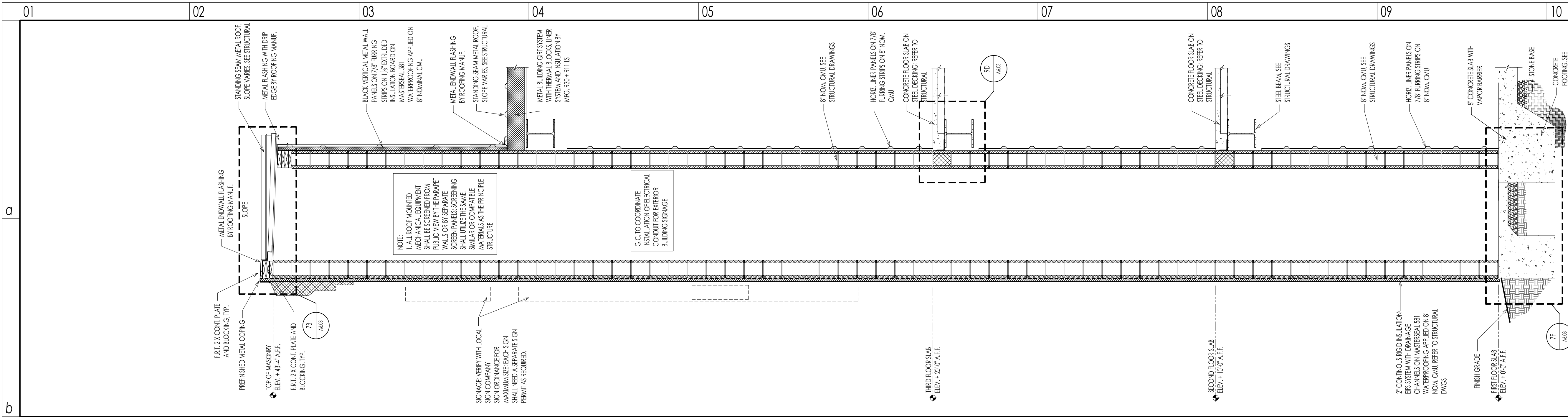
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WALL SECTIONS

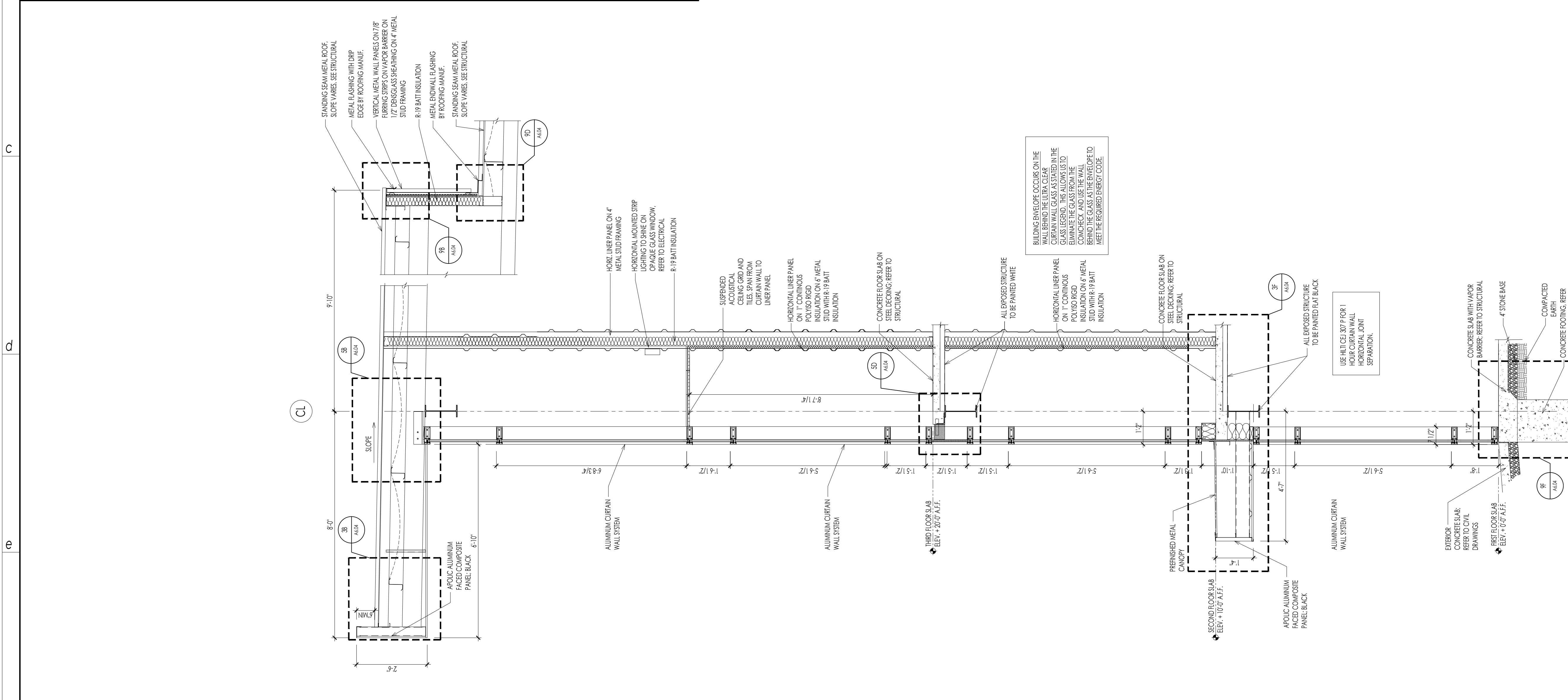
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01 b WALL SECTION 1/2" = 1'-0"



01 f WALL SECTION 1/2" = 1'-0"

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 ARCHITECT M. WEST
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 REGISTERED ARCHITECT

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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
 STUART, FLORIDA

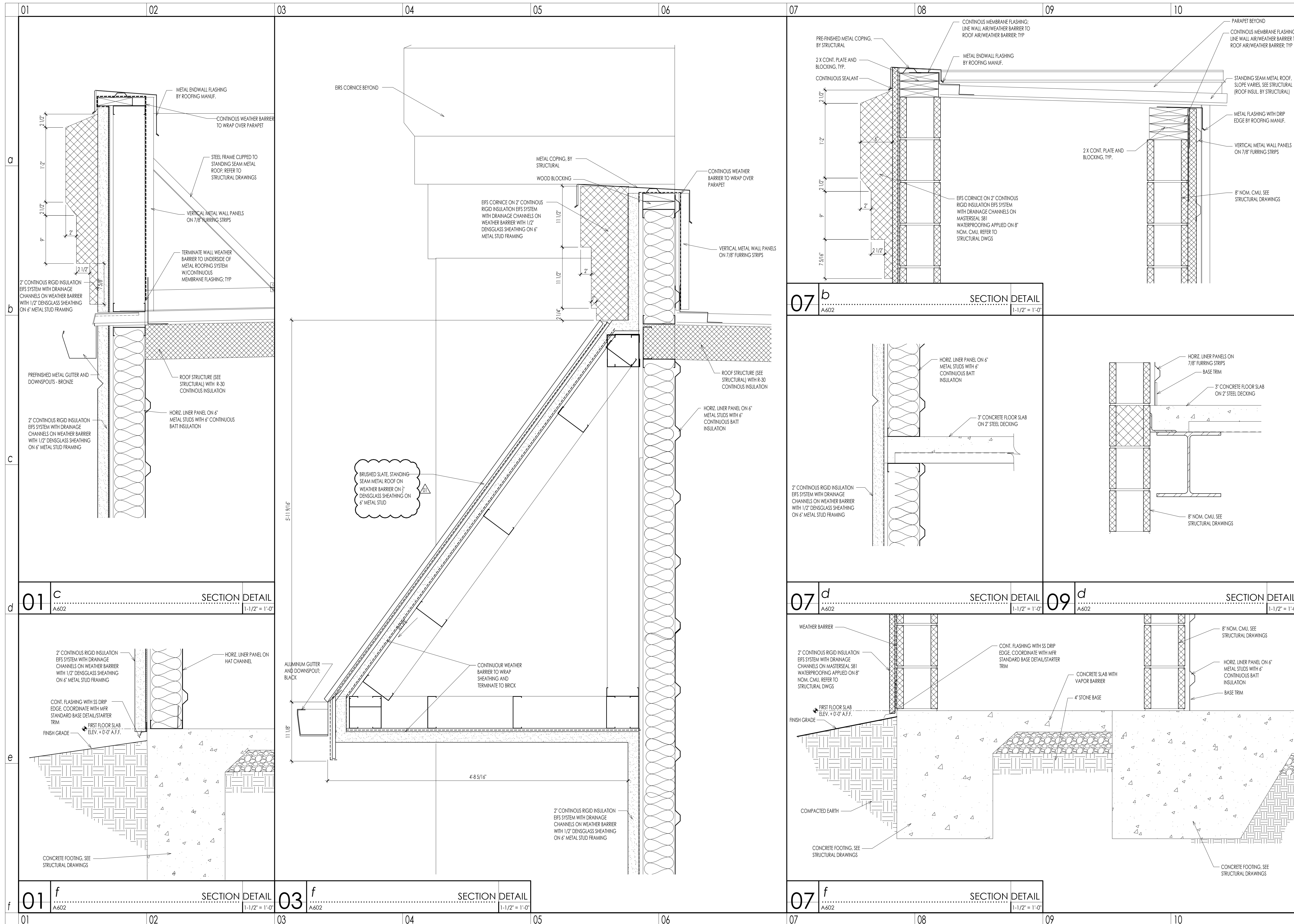
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WALL SECTIONS

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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
STUART, FLORIDA

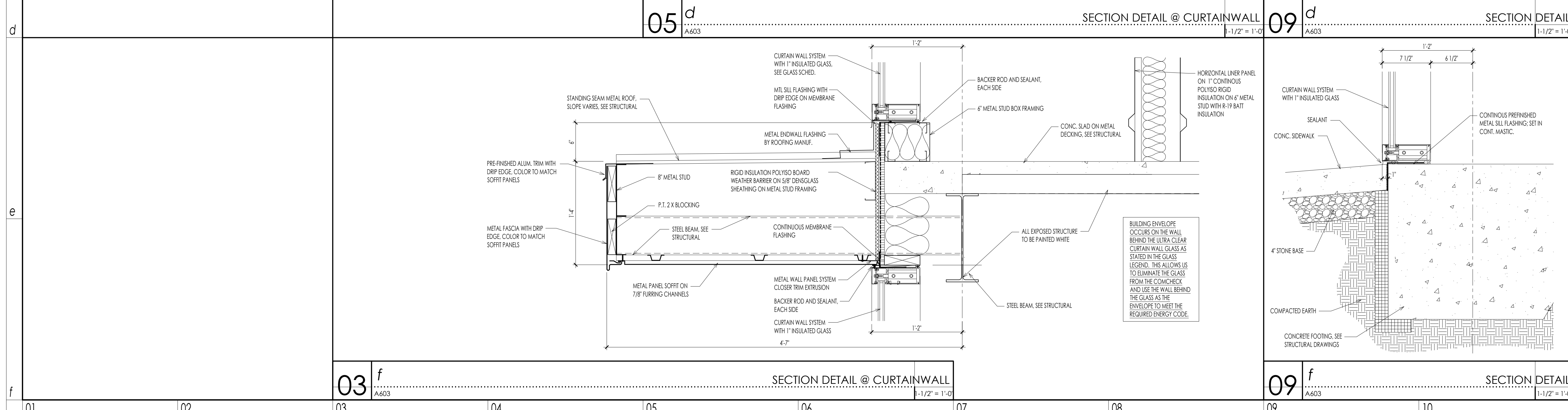
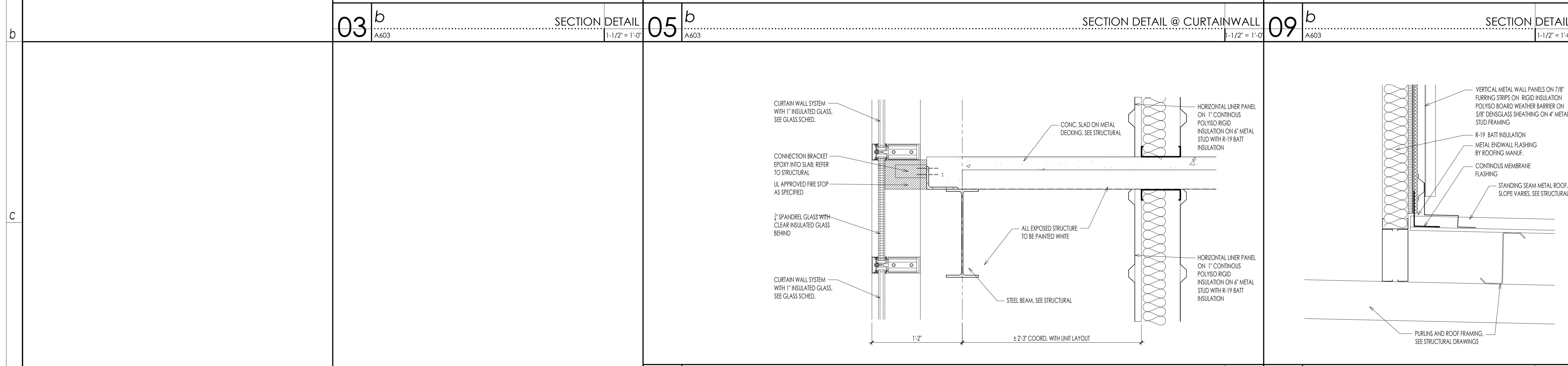
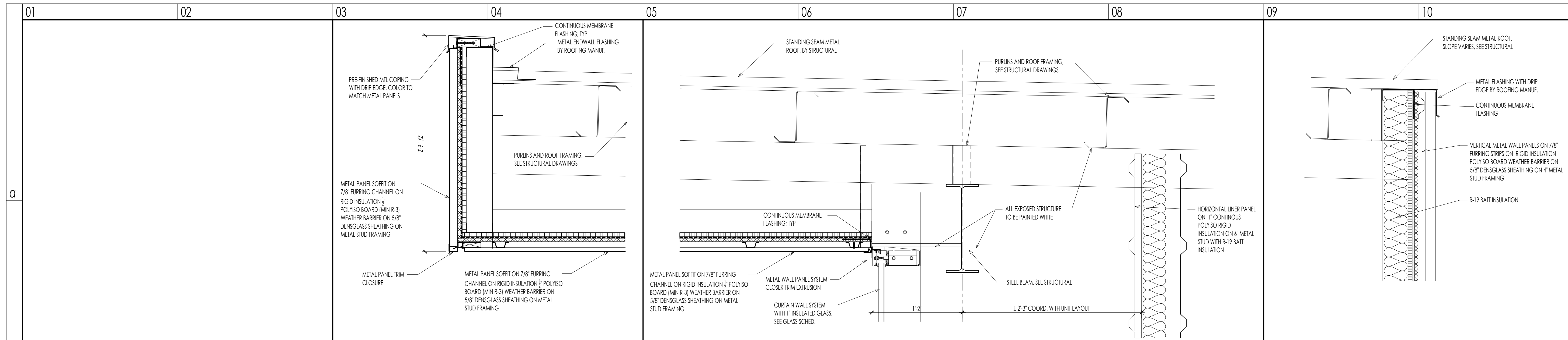
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SECTION DETAILS

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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
STUART, FLORIDA

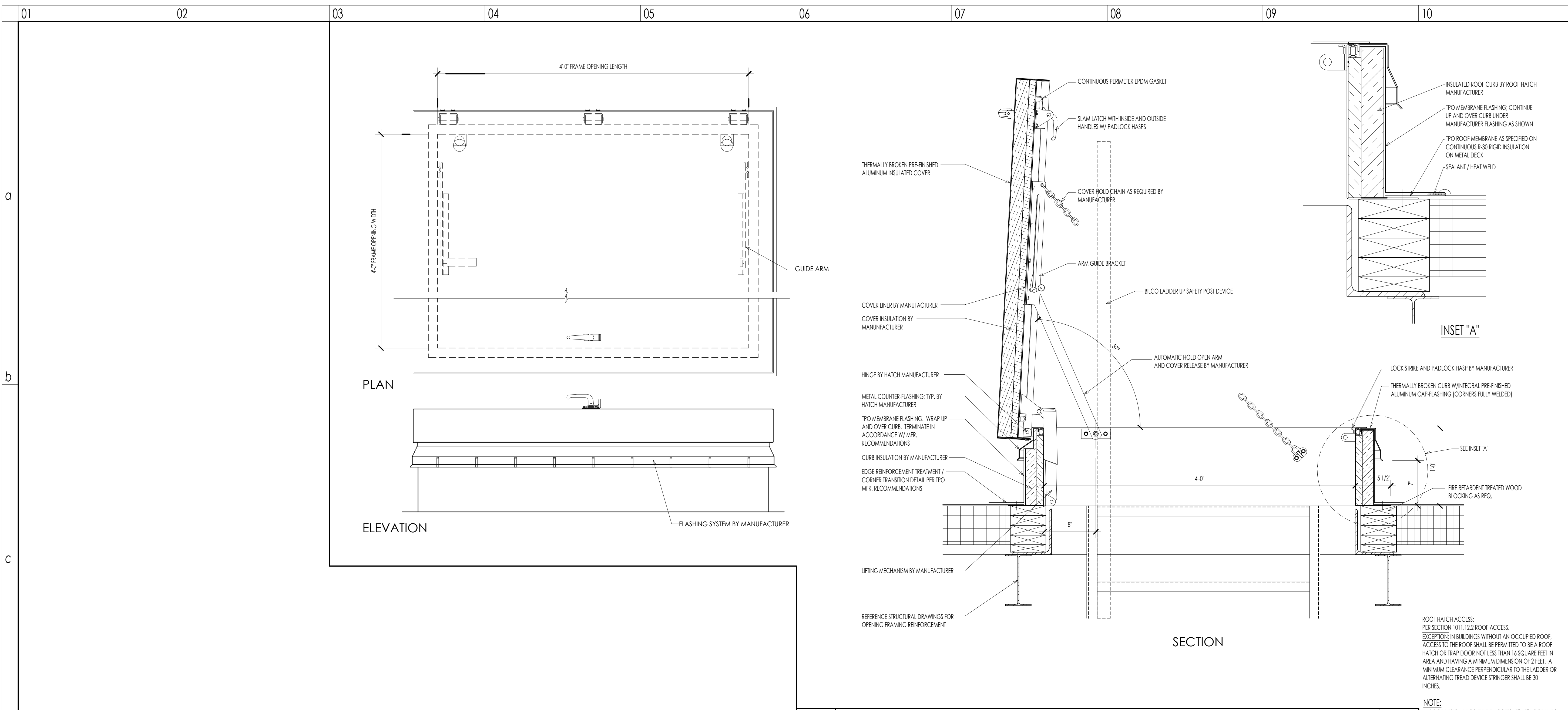
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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

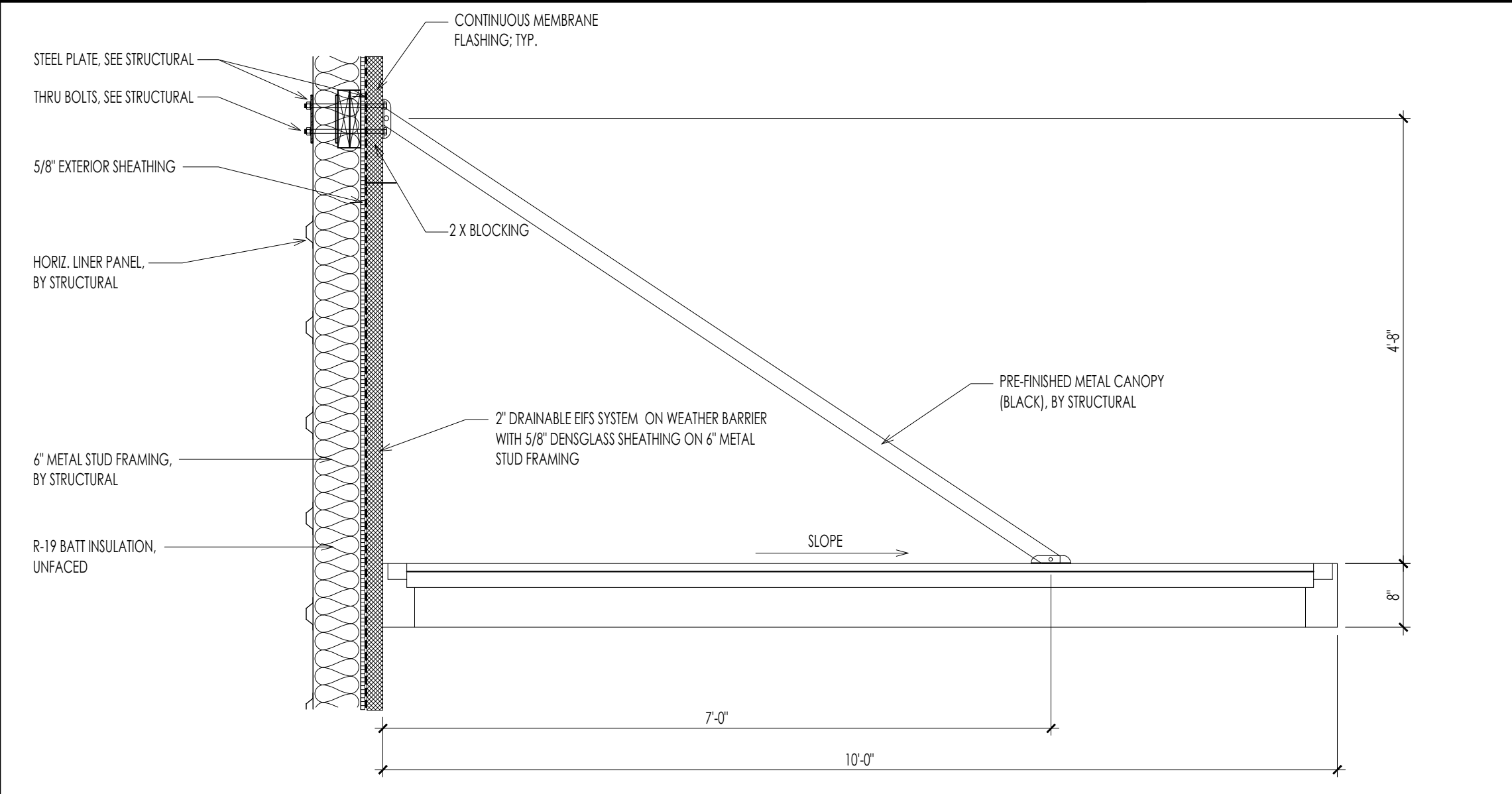
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06 ^d **ROOF HATCH DETAIL**
 A603 1/2" = 1'-0"



05 ^b **ROOF LADDER ELEVATION**
 A604 3/4" = 1'-0"



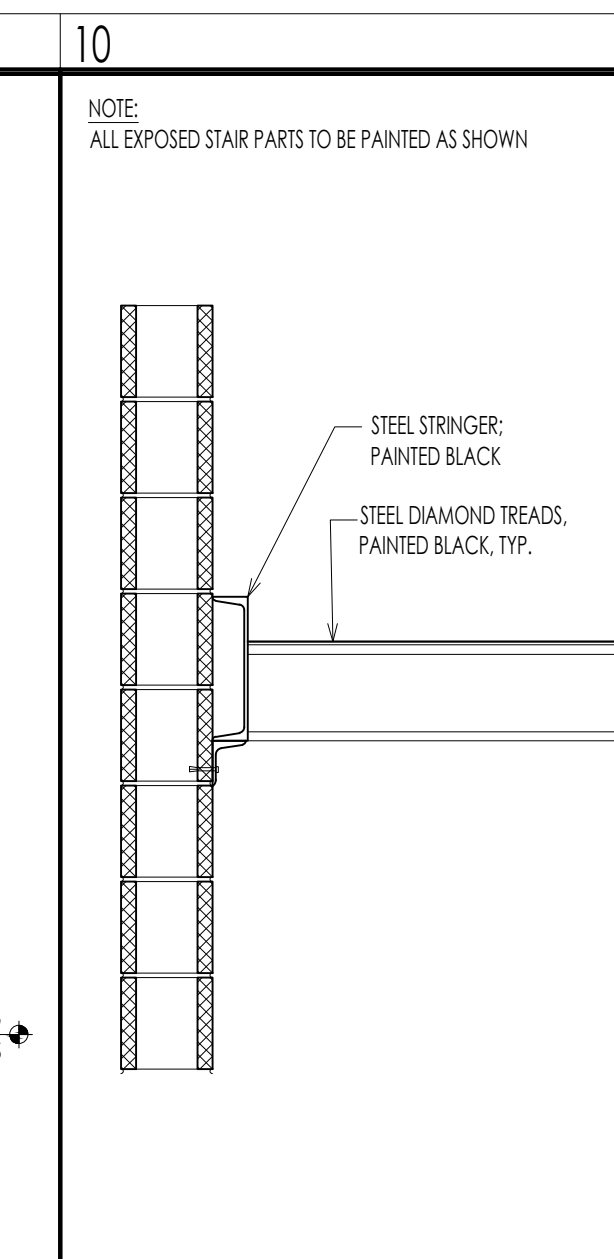
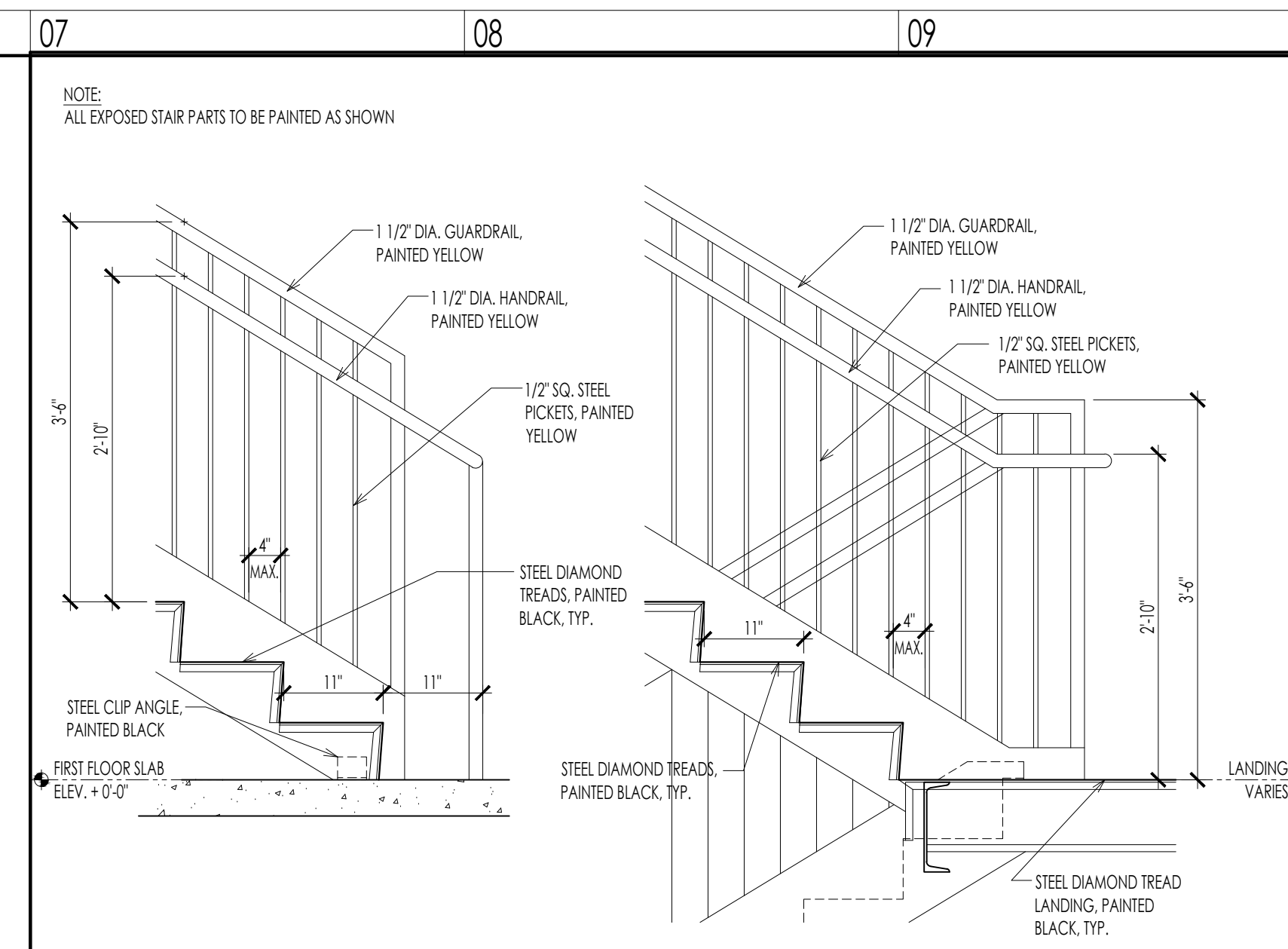
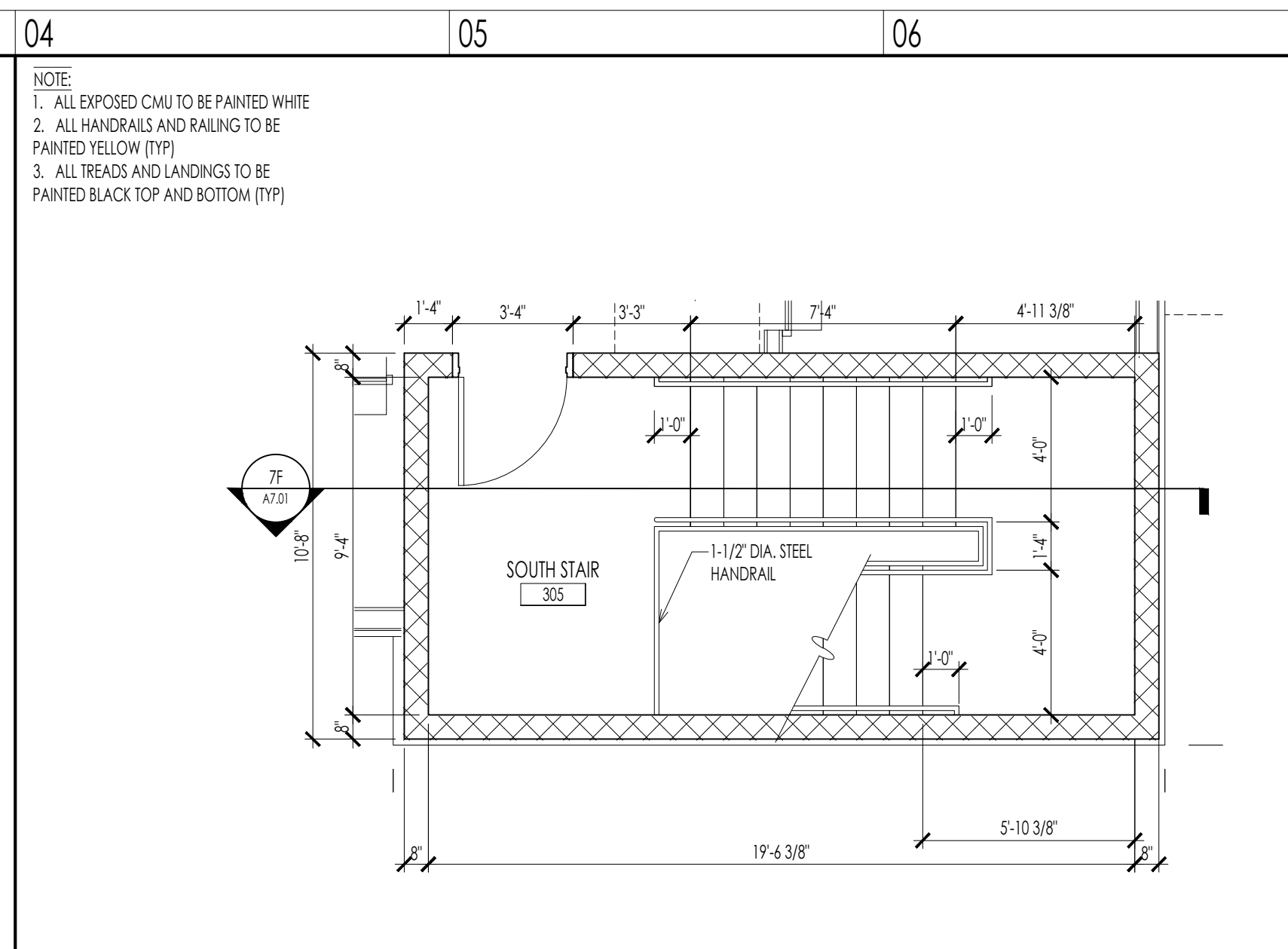
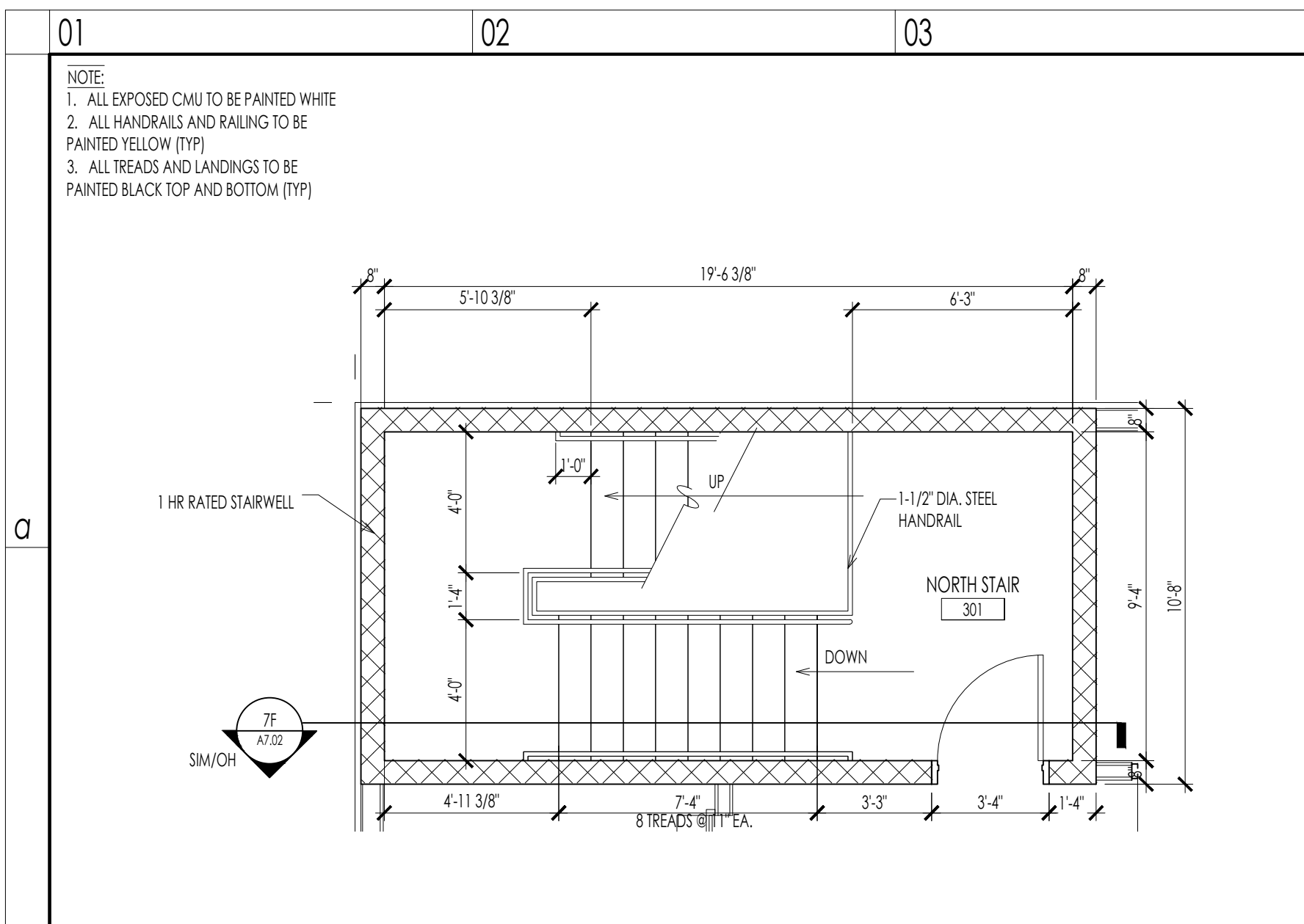
07 ^b **SECTION DETAIL @ CANOPY**
 A604 3/4" = 1'-0"

DETAILS

sheet

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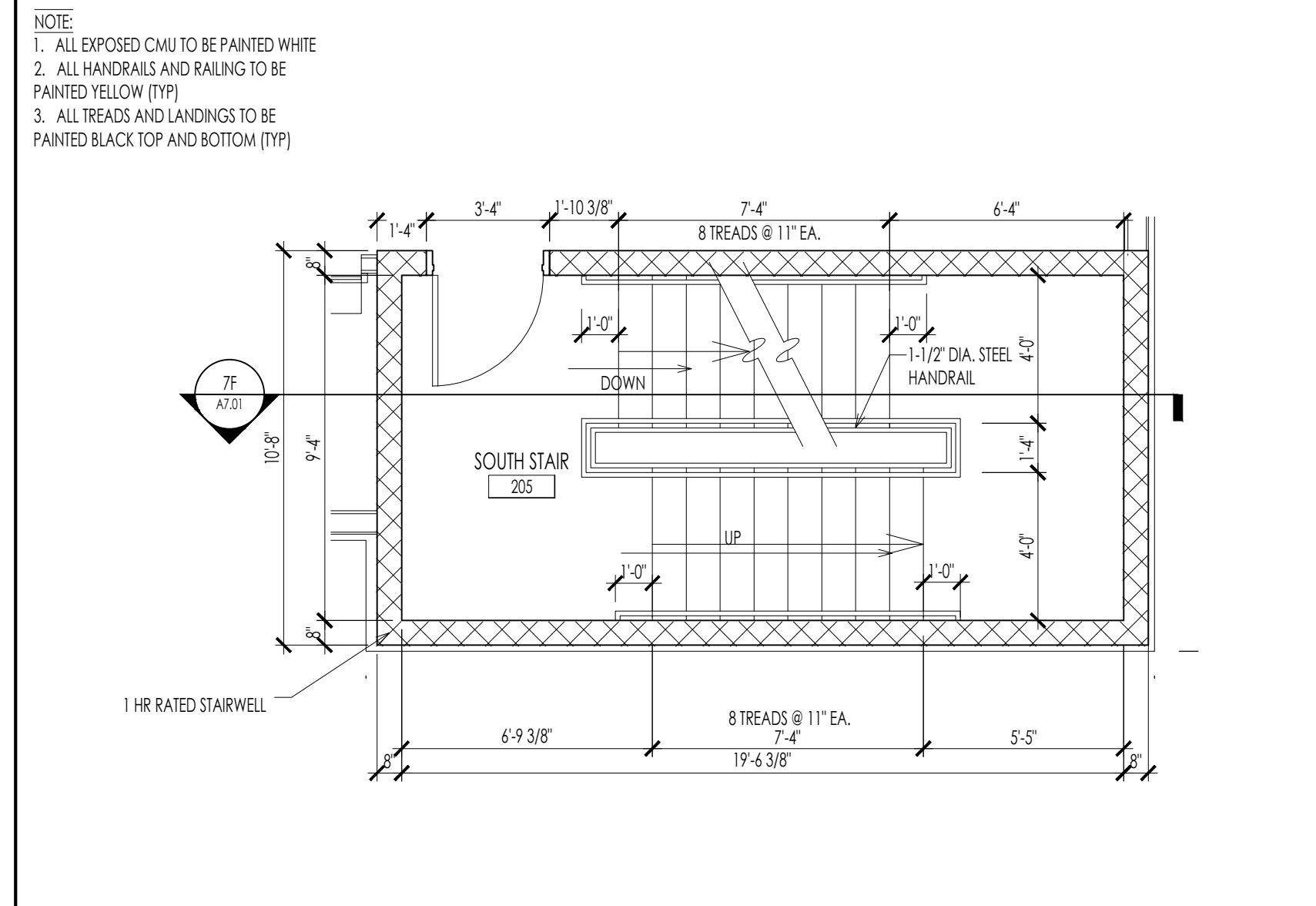
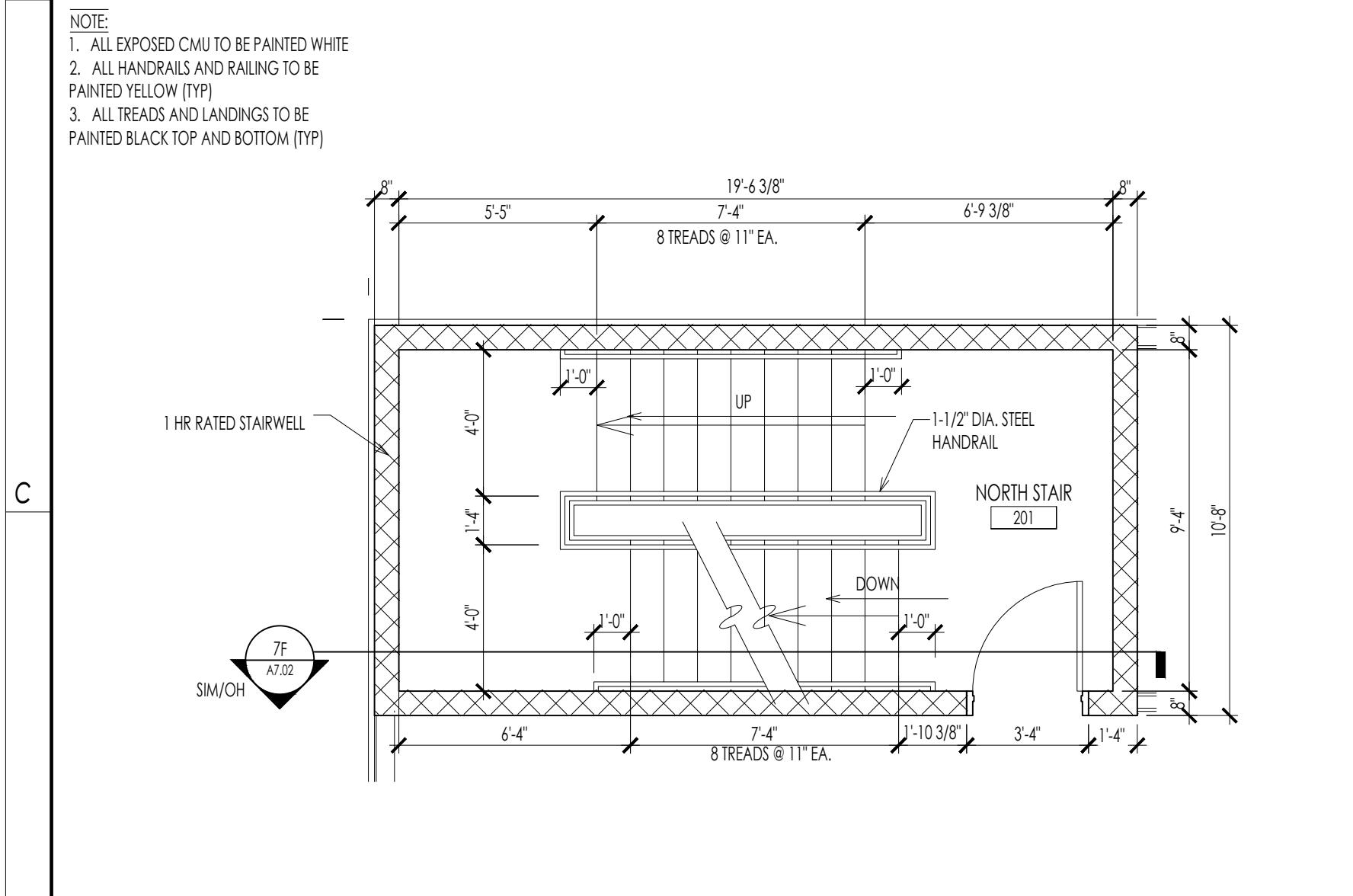


01 d THIRD FLOOR NORTH STAIR - ENLARGED PLAN
A701 1/4" = 1'-0"

04 d THIRD FLOOR SOUTH STAIR - ENLARGED PLAN
A701 1/4" = 1'-0"

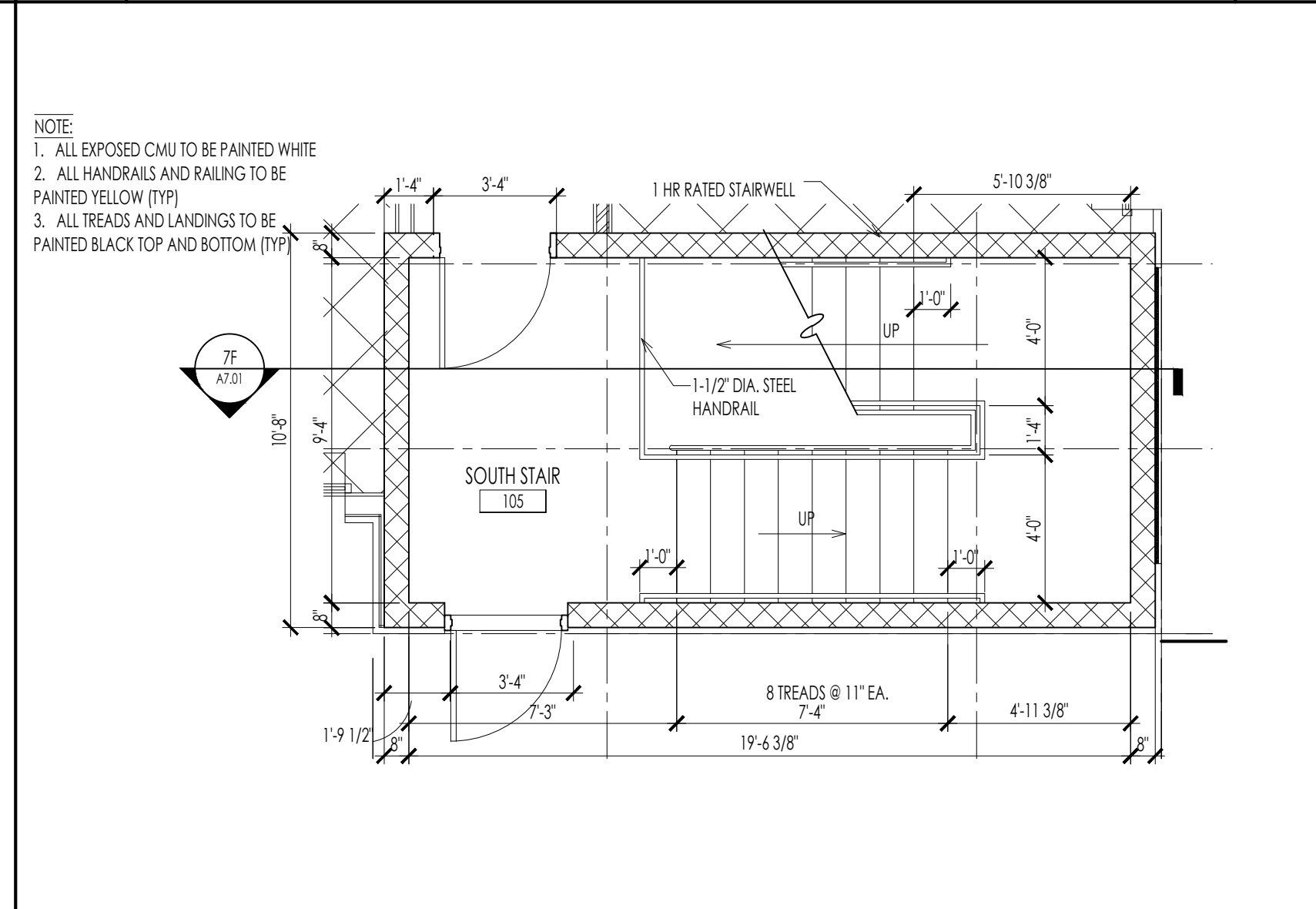
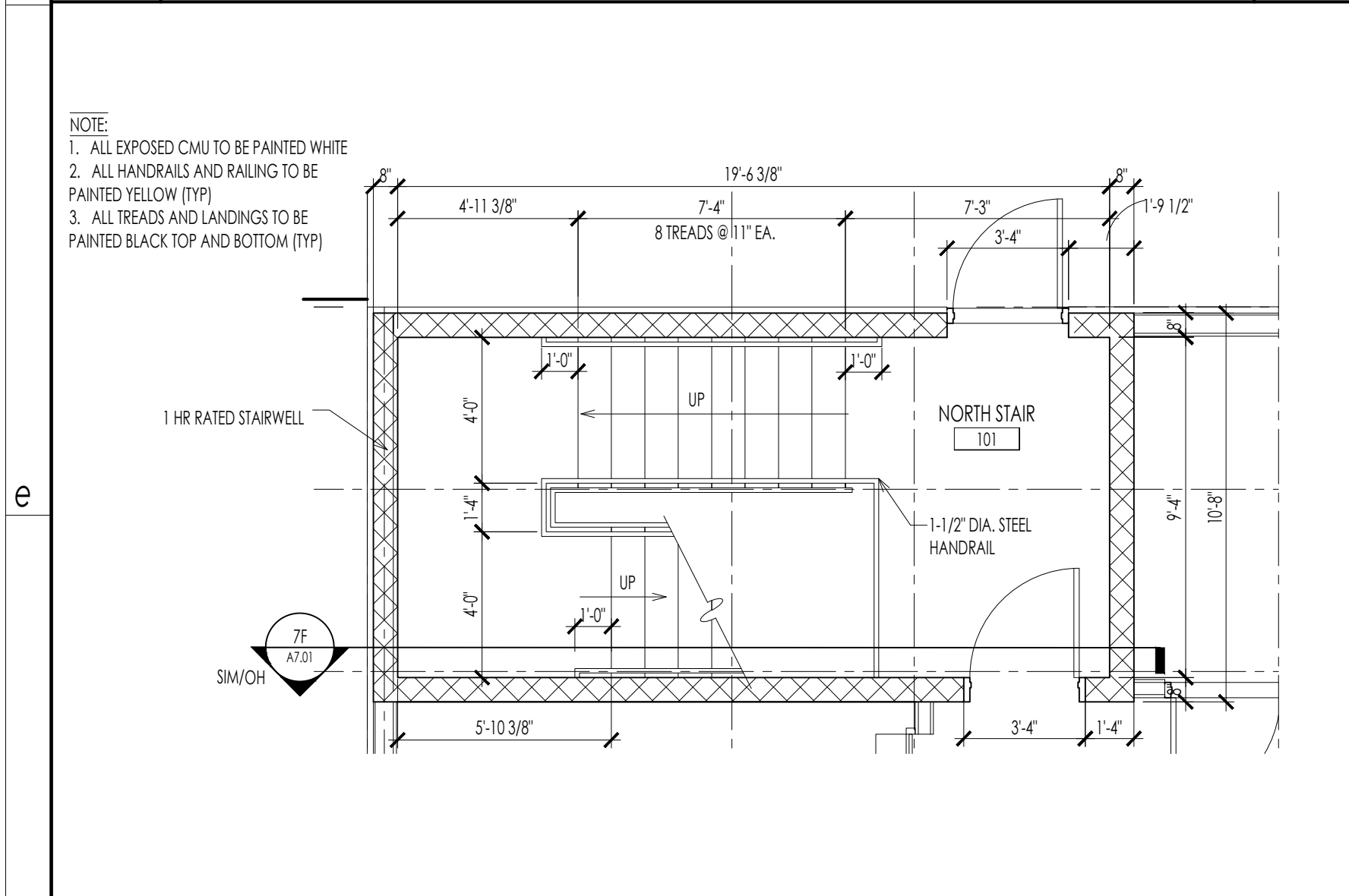
07 b STAIR DETAIL
A702 3/4" = 1'-0"

10 b DETAIL
A702 3/4" = 1'-0"



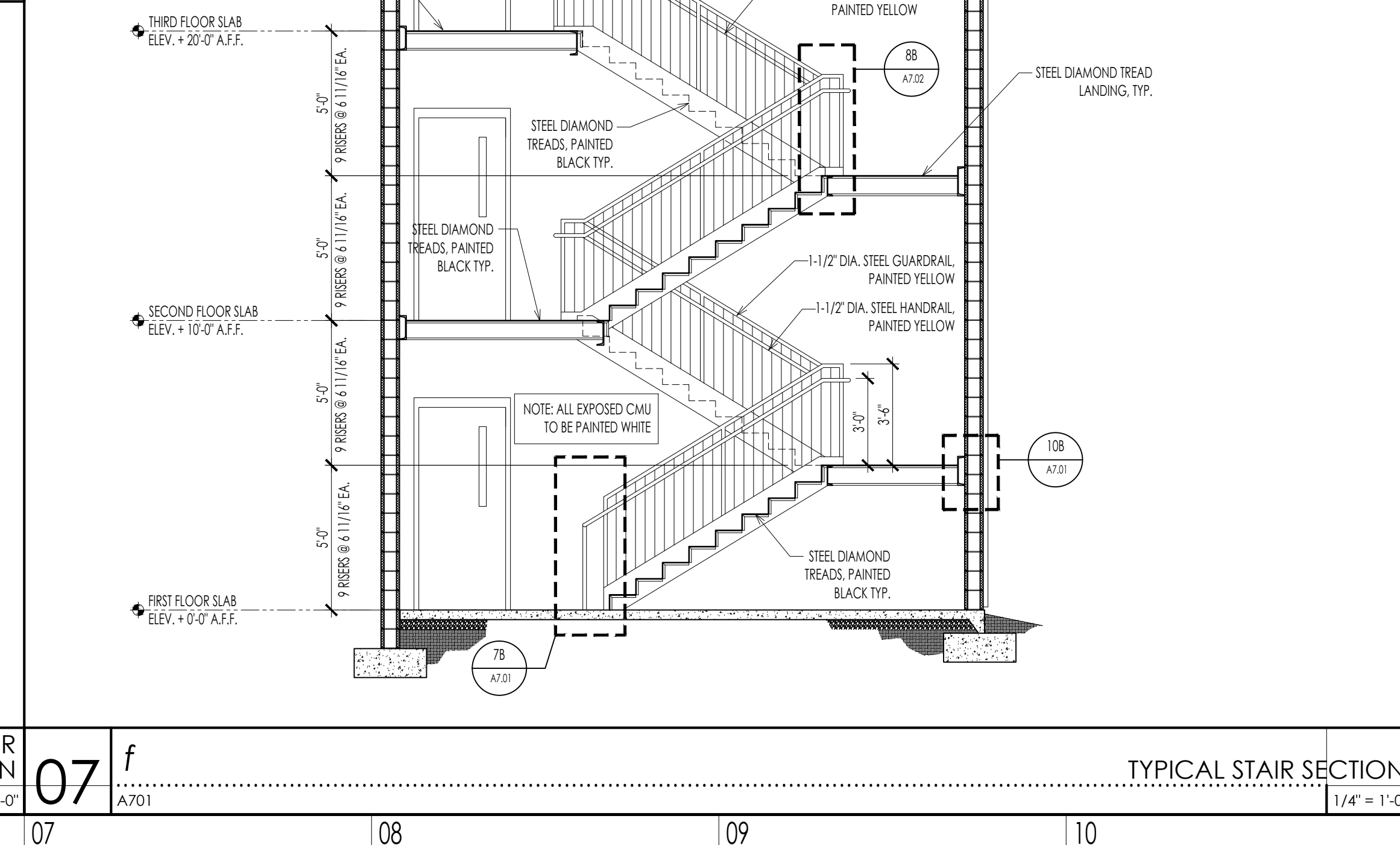
01 d SECOND FLOOR NORTH STAIR - ENLARGED PLAN
A701 1/4" = 1'-0"

04 d SECOND FLOOR SOUTH STAIR - ENLARGED PLAN
A701 1/4" = 1'-0"



01 f FIRST FLOOR NORTH STAIR - ENLARGED PLAN
A701 1/4" = 1'-0"

04 f FIRST FLOOR SOUTH STAIR - ENLARGED PLAN
A701 1/4" = 1'-0"



07 f TYPICAL STAIR SECTION
A701 1/4" = 1'-0"

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ARCHITECT M. WEST
AR100838
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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
STUART, FLORIDA

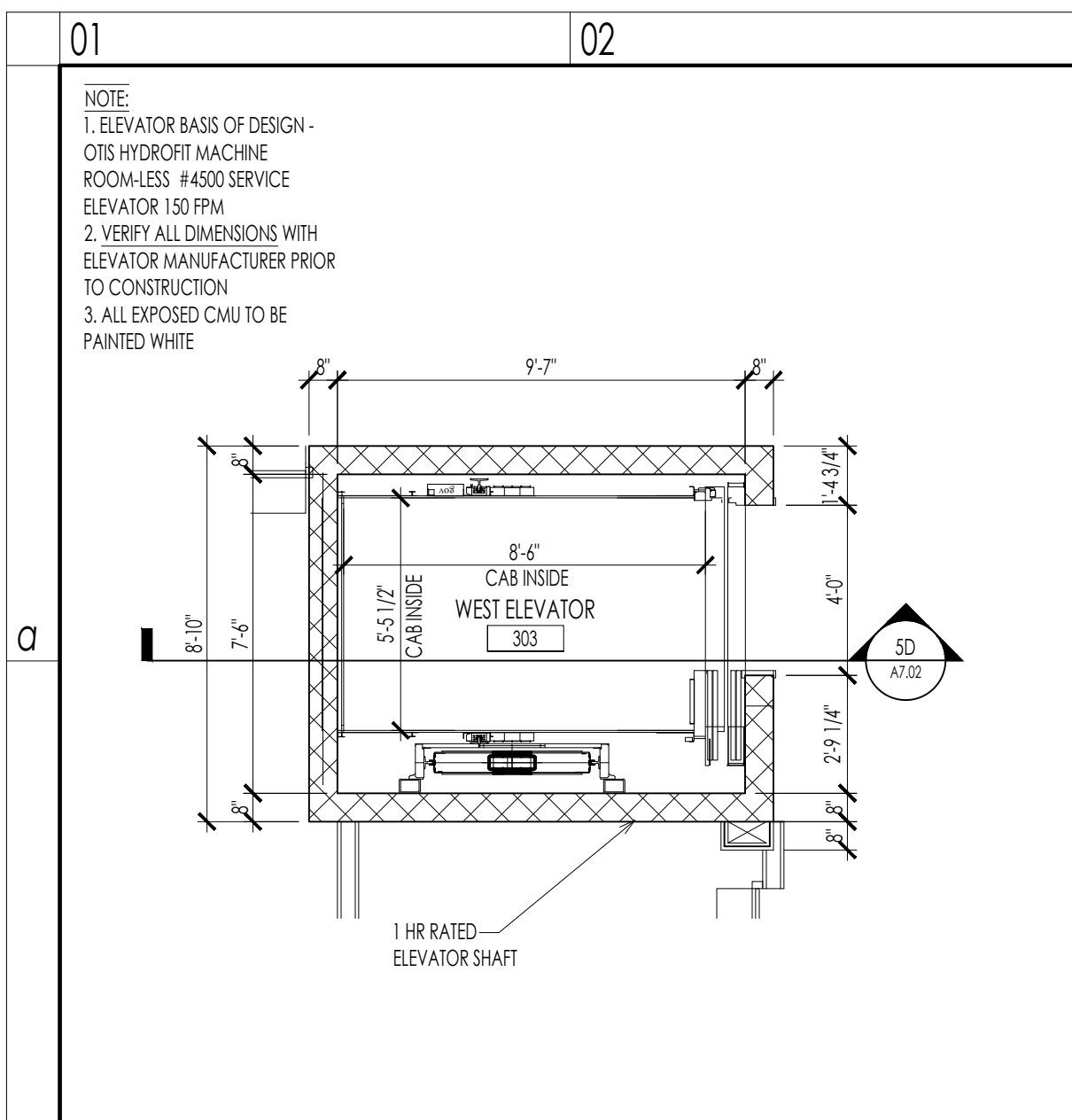
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ENLARGED STAIR PLANS

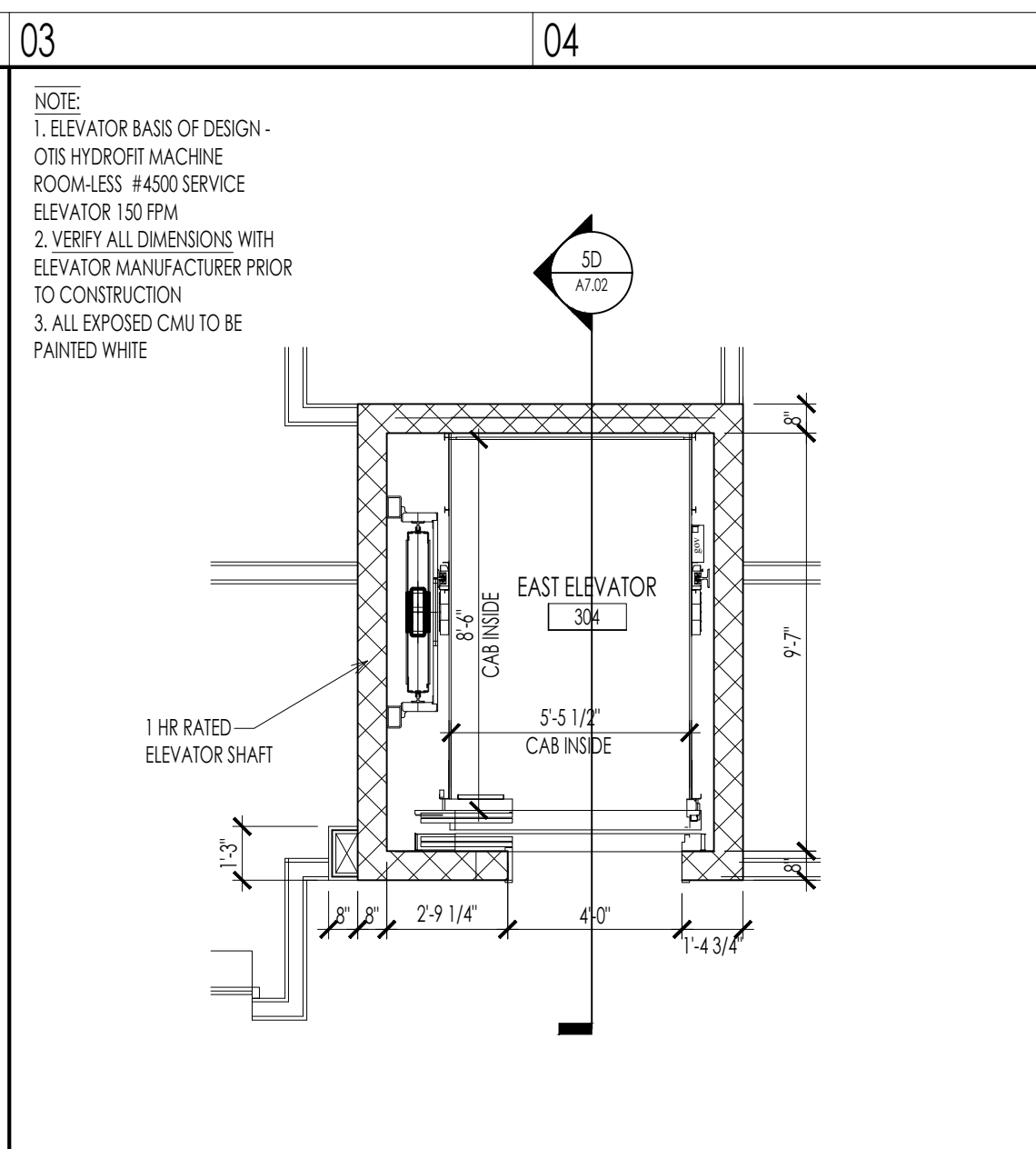
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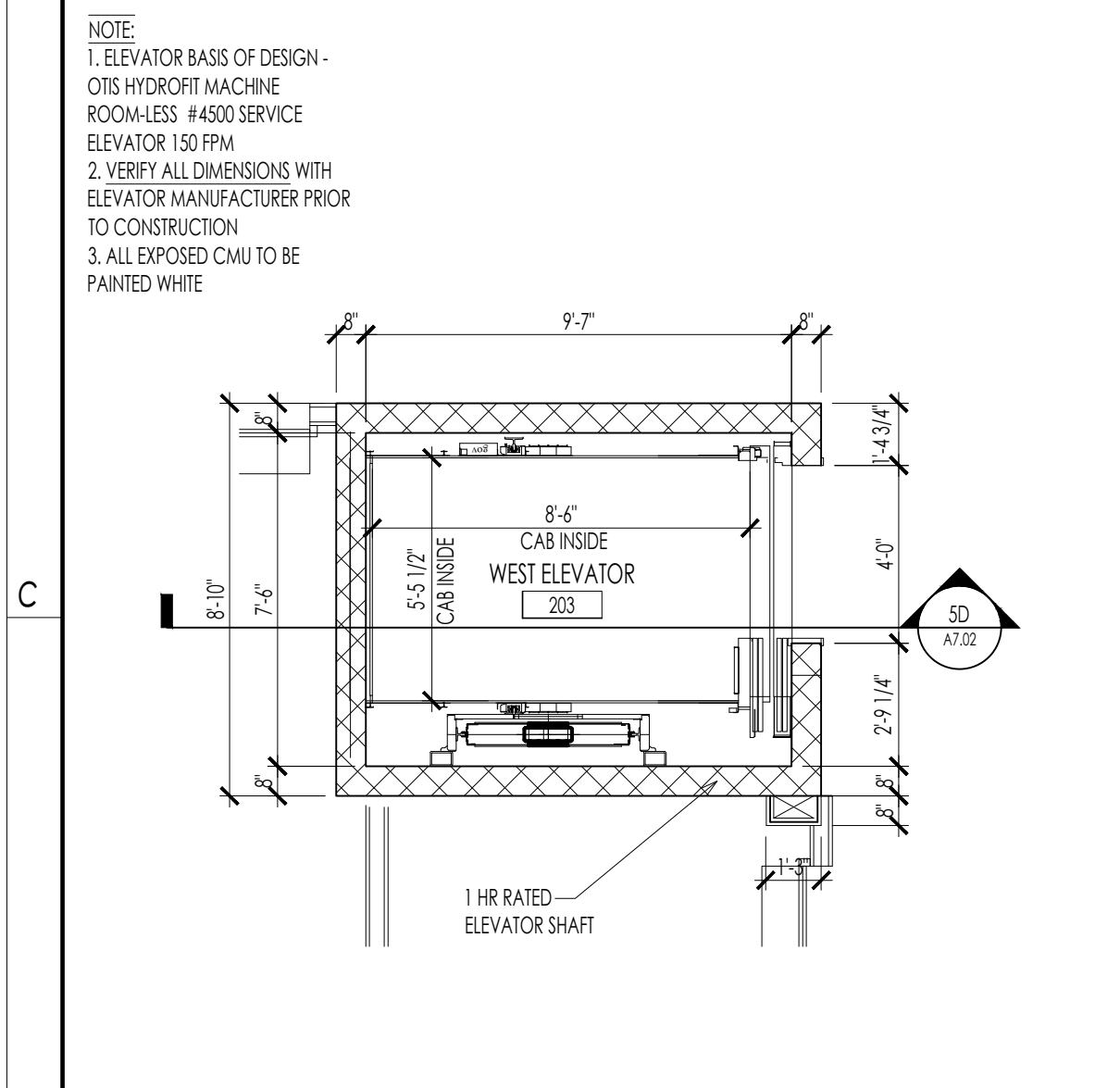
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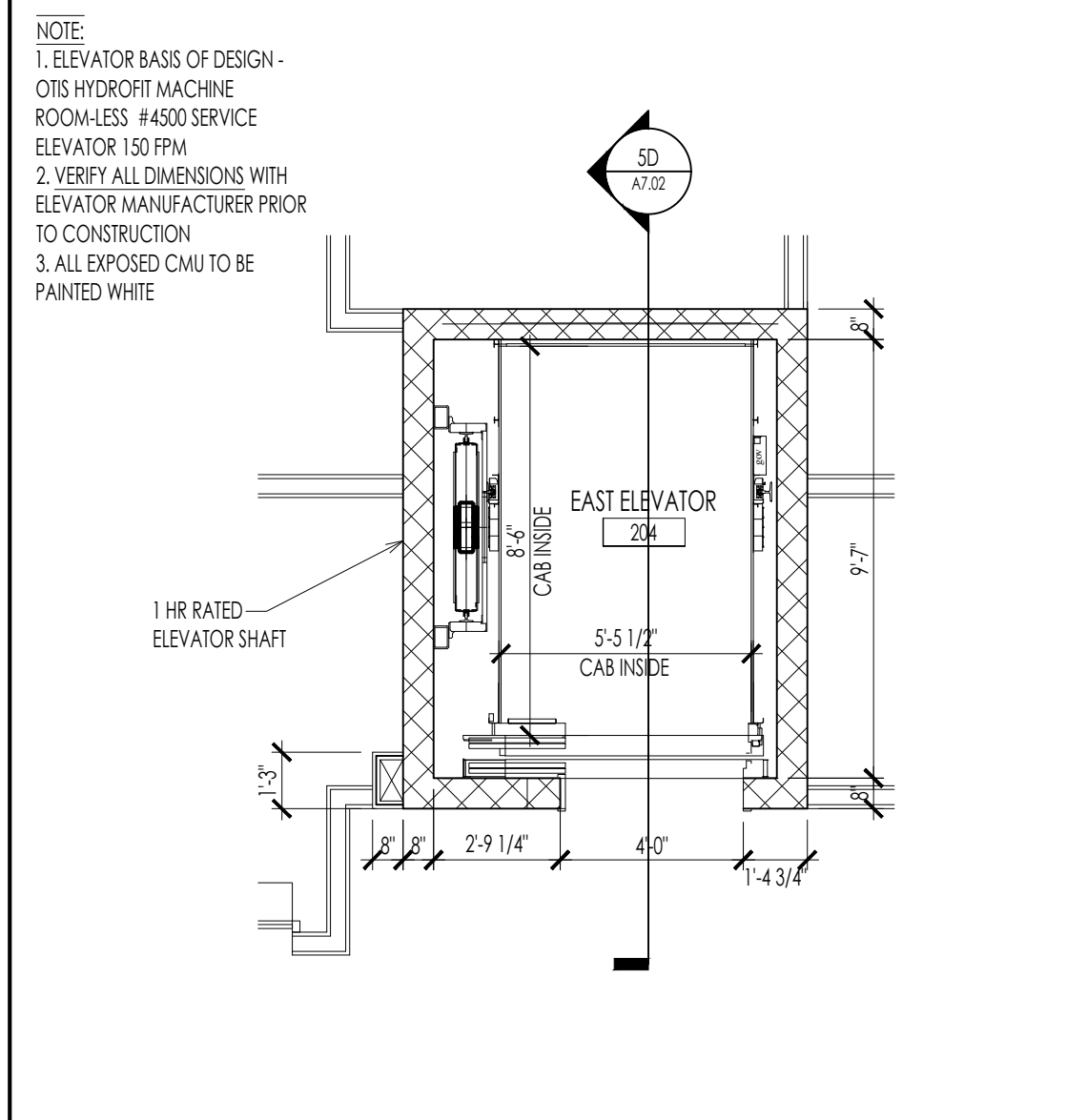
01 b THIRD FLOOR WEST ELEVATOR - ENLARGED PLAN
A703 1/4" = 1'-0"



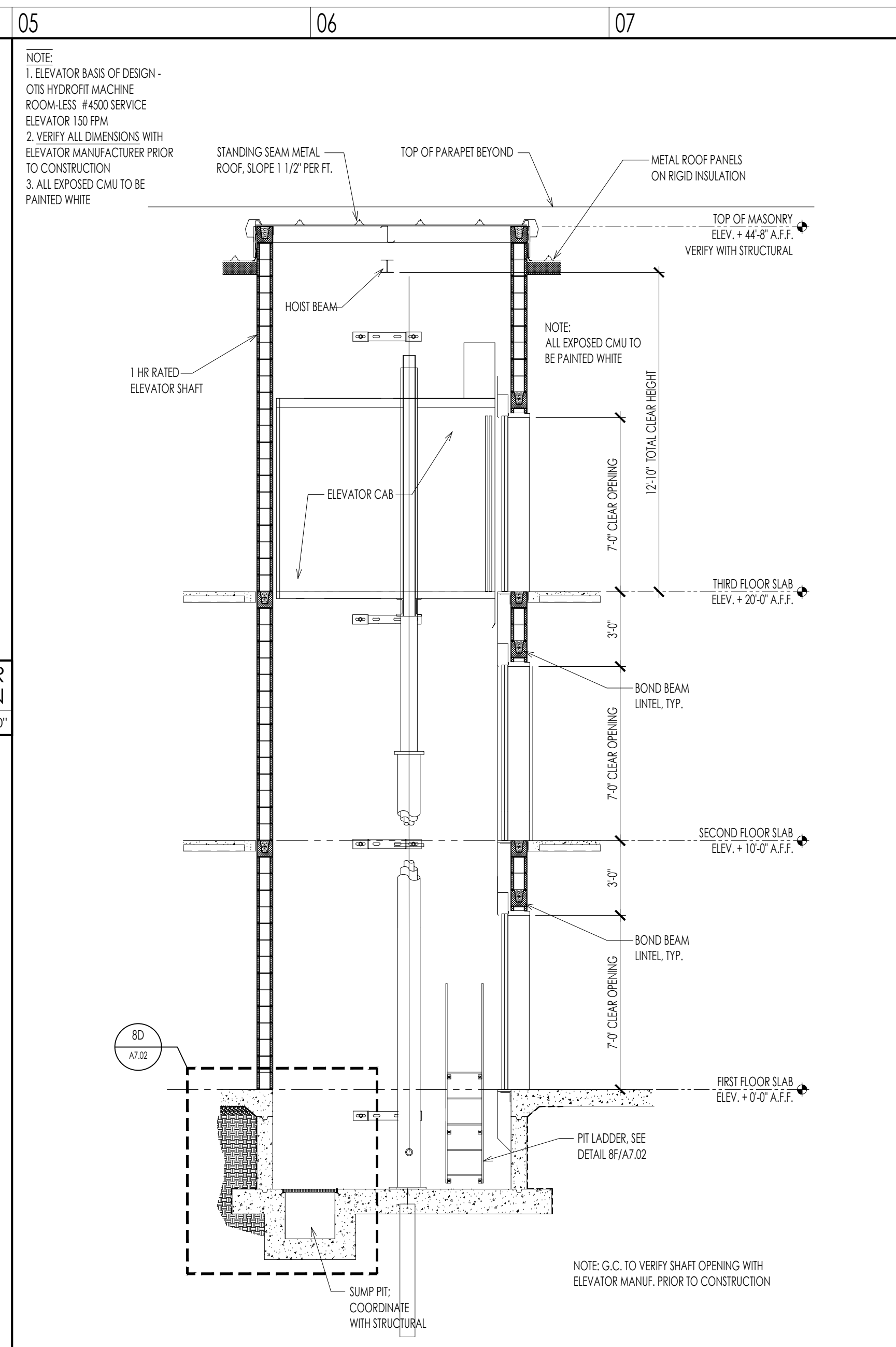
03 b THIRD FLOOR EAST ELEVATOR - ENLARGED PLAN
A703 1/4" = 1'-0"



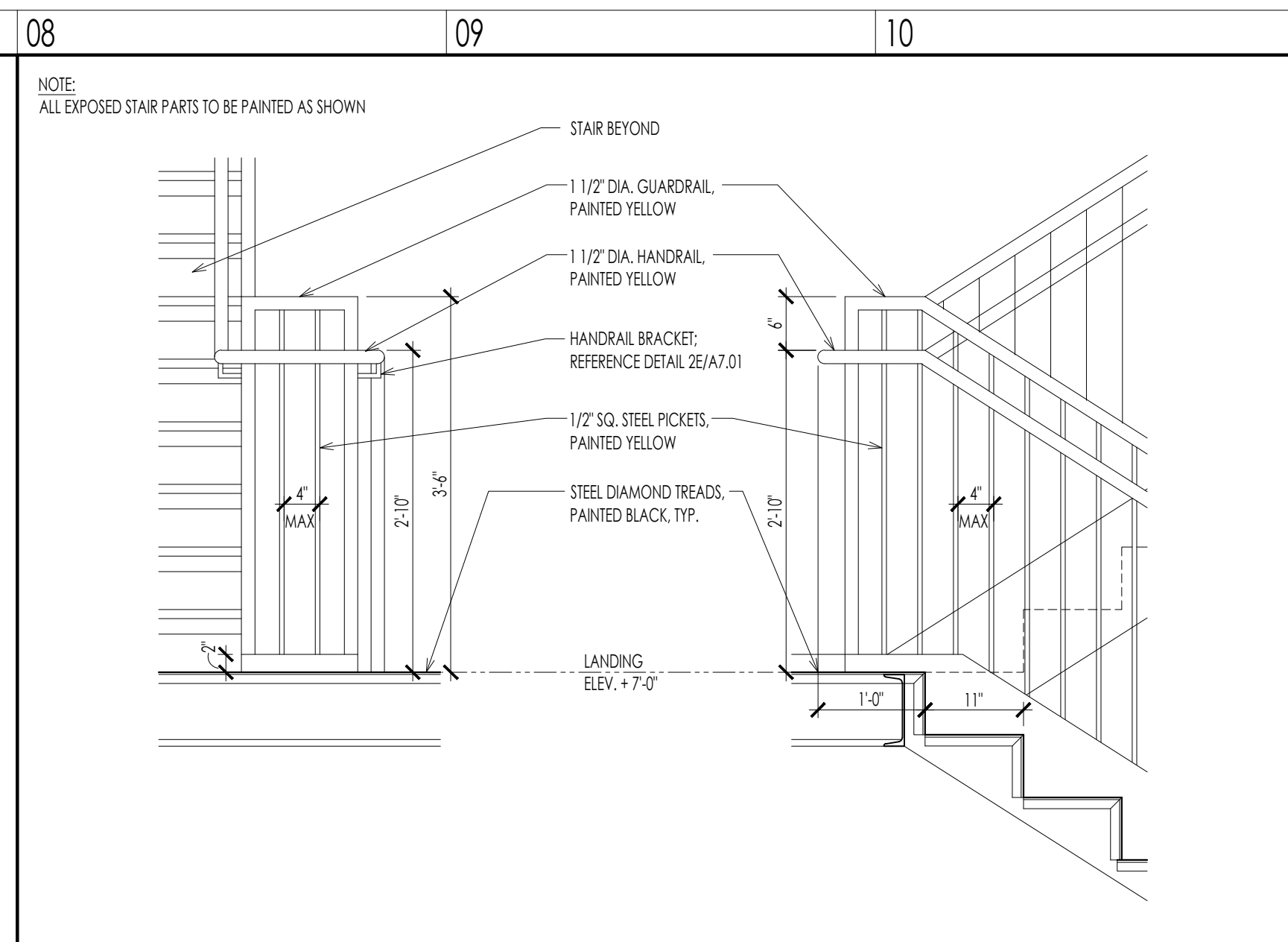
01 d SECOND FLOOR WEST ELEVATOR - ENLARGED PLAN
A703 1/4" = 1'-0"



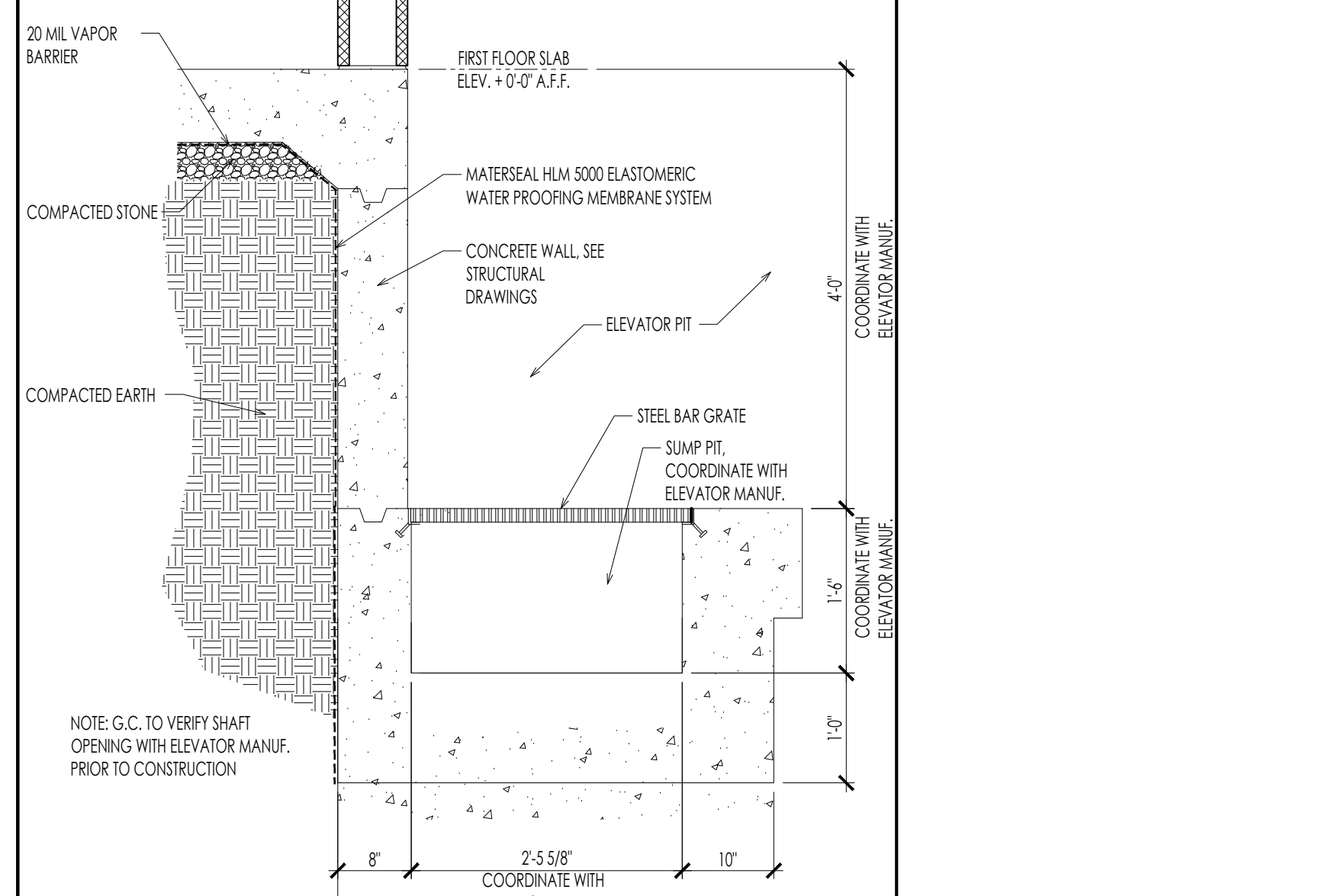
03 d SECOND FLOOR EAST ELEVATOR - ENLARGED PLAN
A703 1/4" = 1'-0"



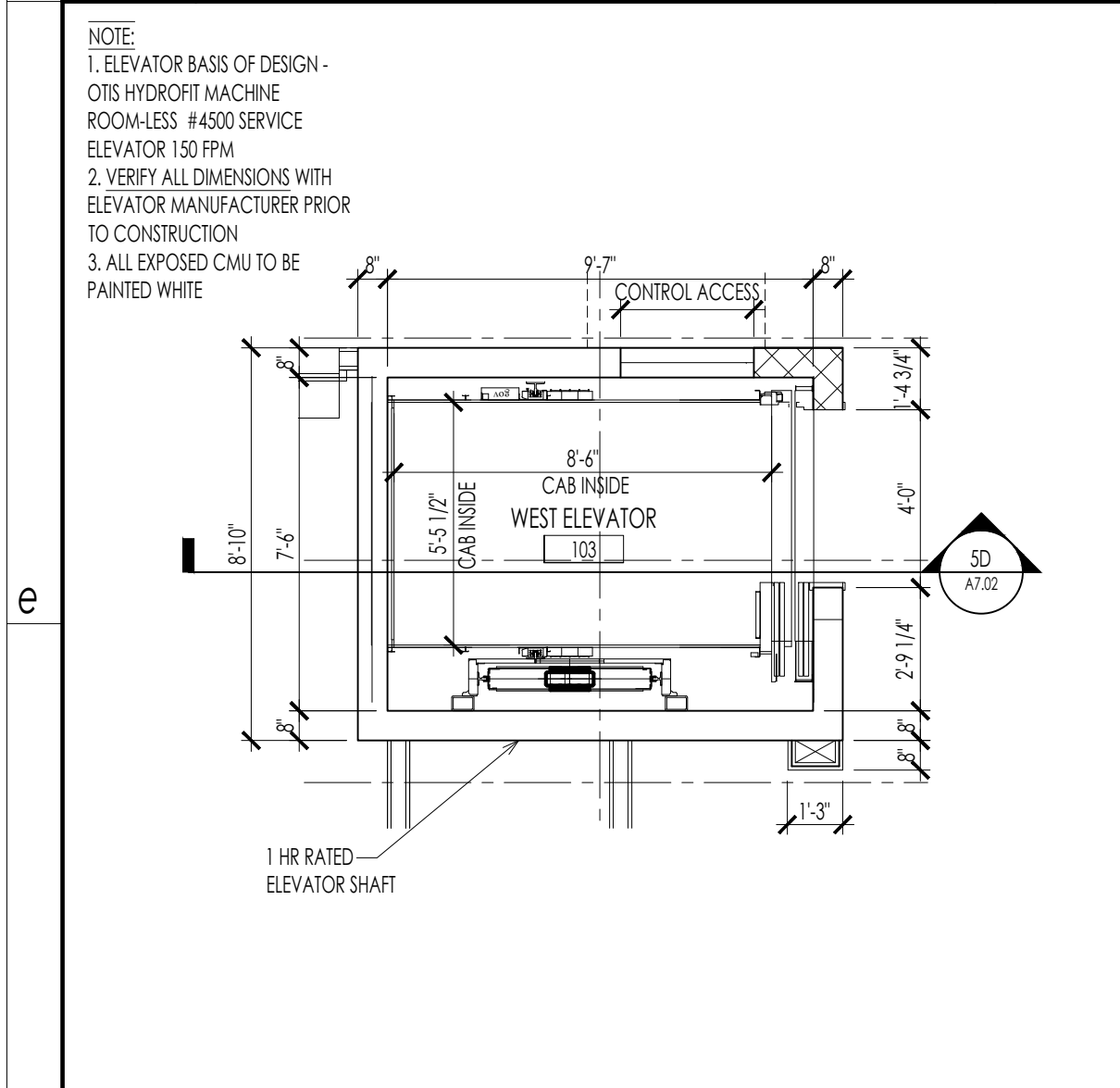
05 d ELEVATOR SECTION
A701 1/4" = 1'-0"



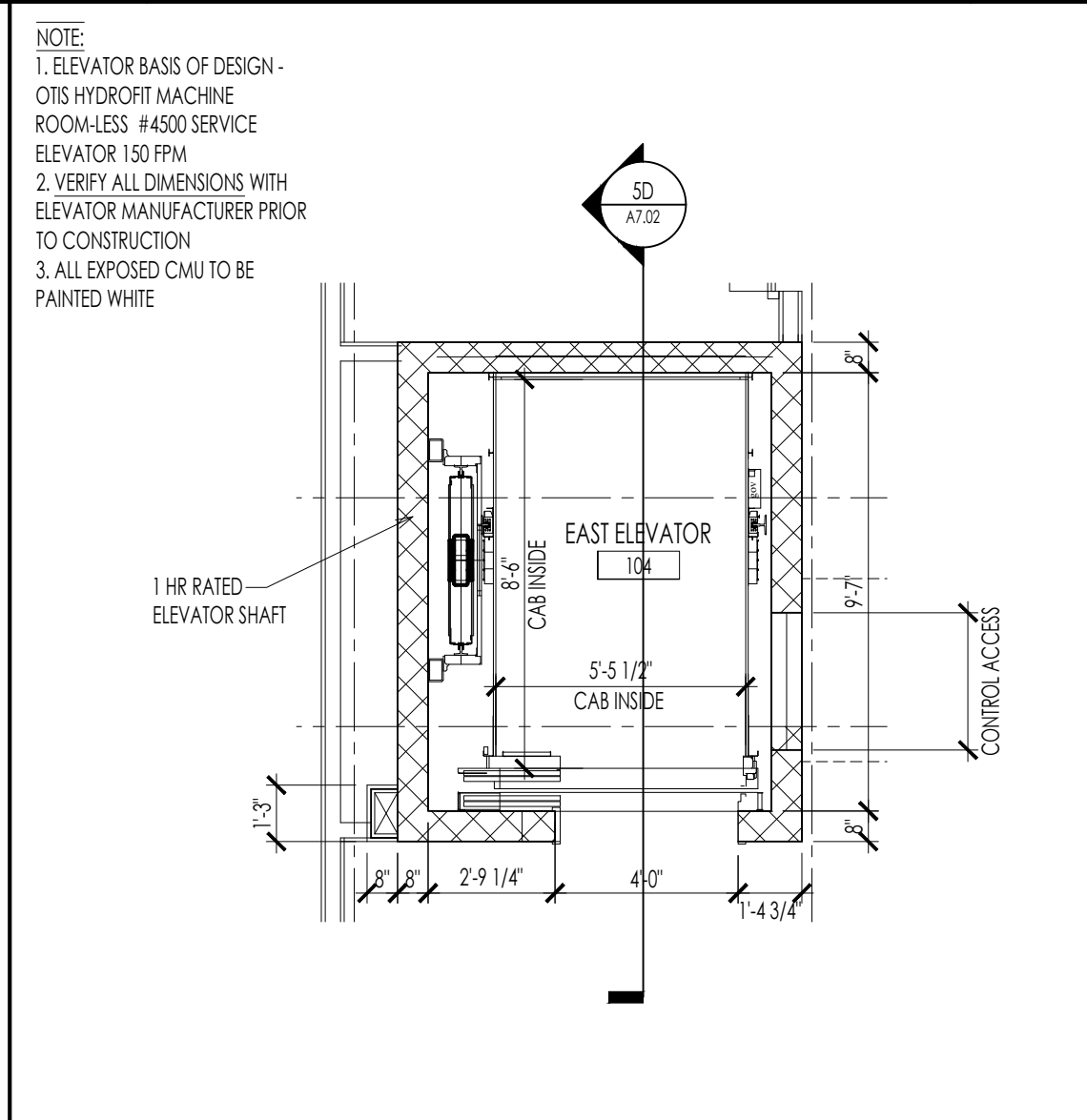
08 b INTERMEDIATE LANDING DETAILS
A702 3/4" = 1'-0"



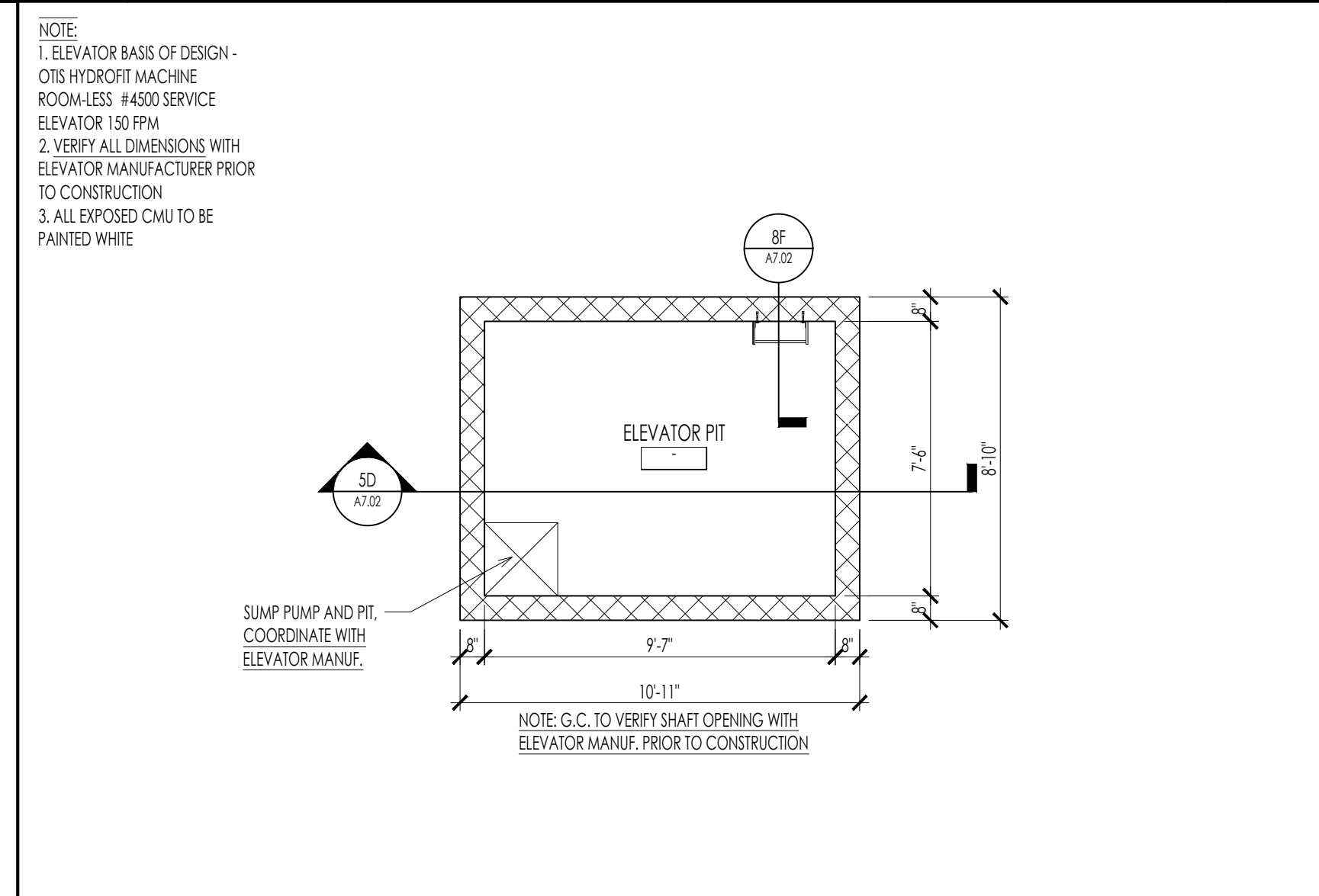
08 d SECTION THRU ELEVATOR PIT
A704 3/4" = 1'-0"



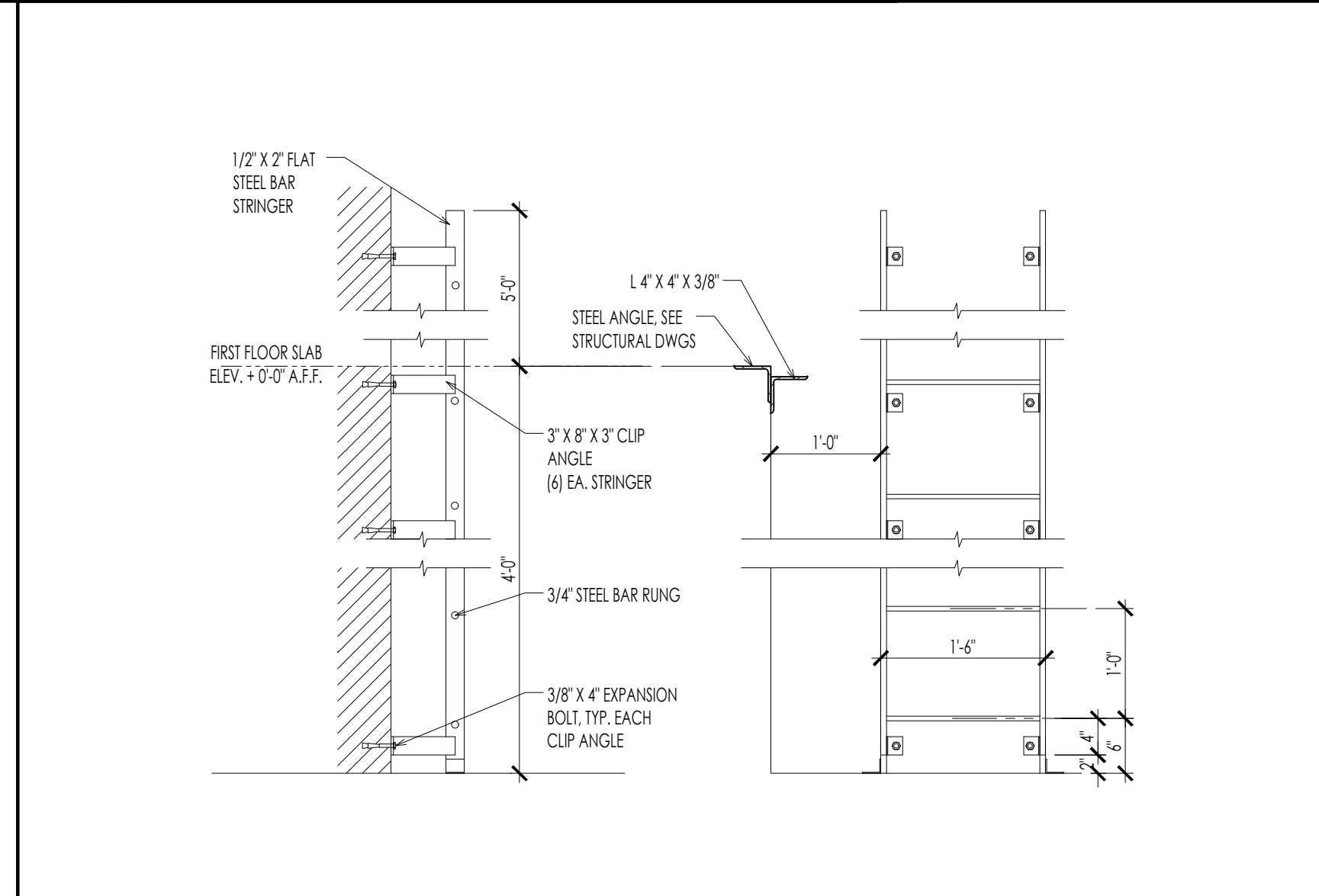
01 f FIRST FLOOR WEST ELEVATOR - ENLARGED PLAN
A703 1/4" = 1'-0"



03 f FIRST FLOOR EAST ELEVATOR - ENLARGED PLAN
A703 1/4" = 1'-0"



05 f ELEVATOR PIT PLAN
A701 1/4" = 1'-0"



08 f ELEVATOR PIT LADDER DETAILS
A704 1" = 1'-0"

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ARCHITECT
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NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
STUART, FLORIDA

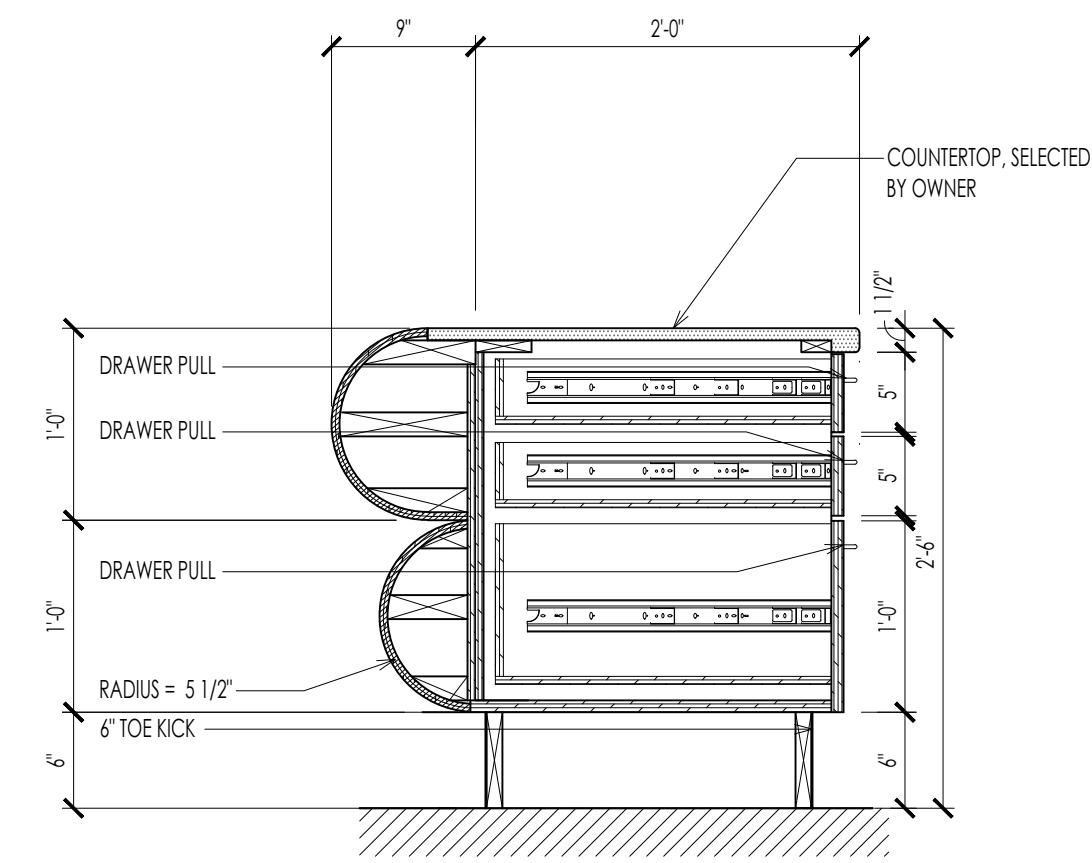
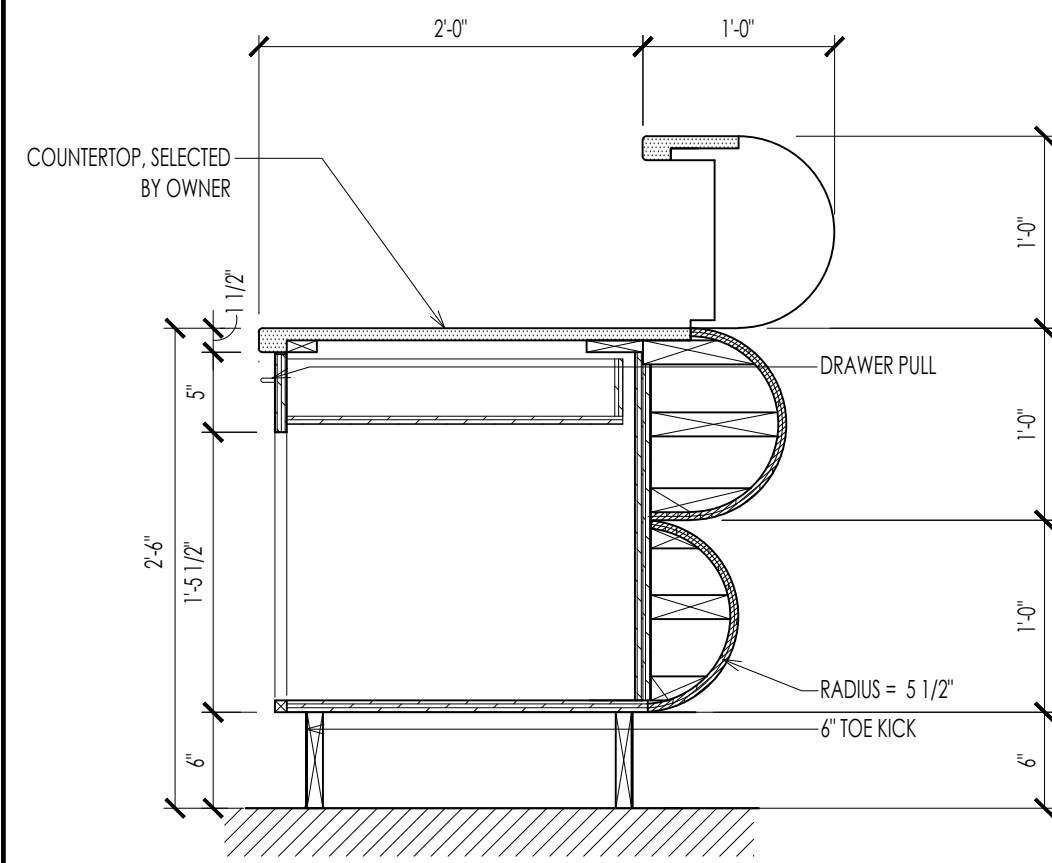
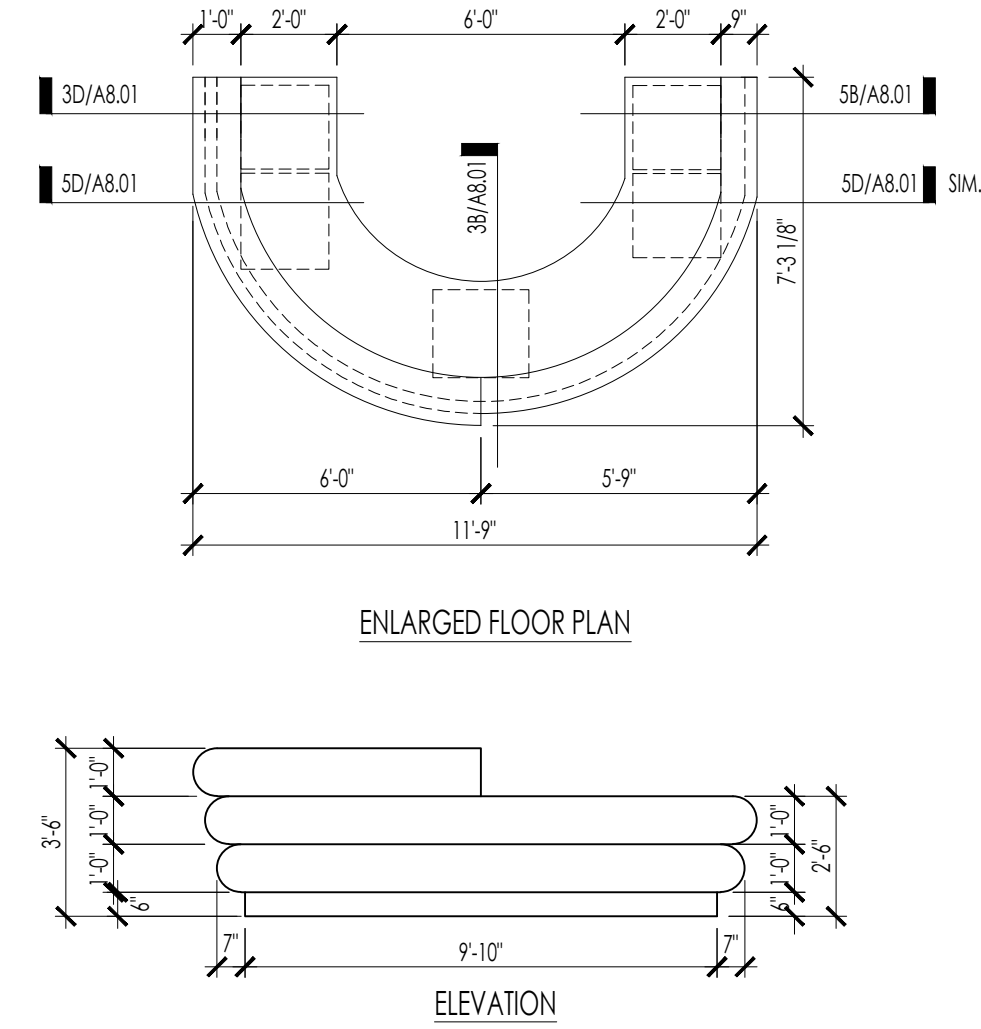
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ENLARGED ELEVATOR PLANS

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A7.02

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commission: 19C.0030
drawn by: RBS

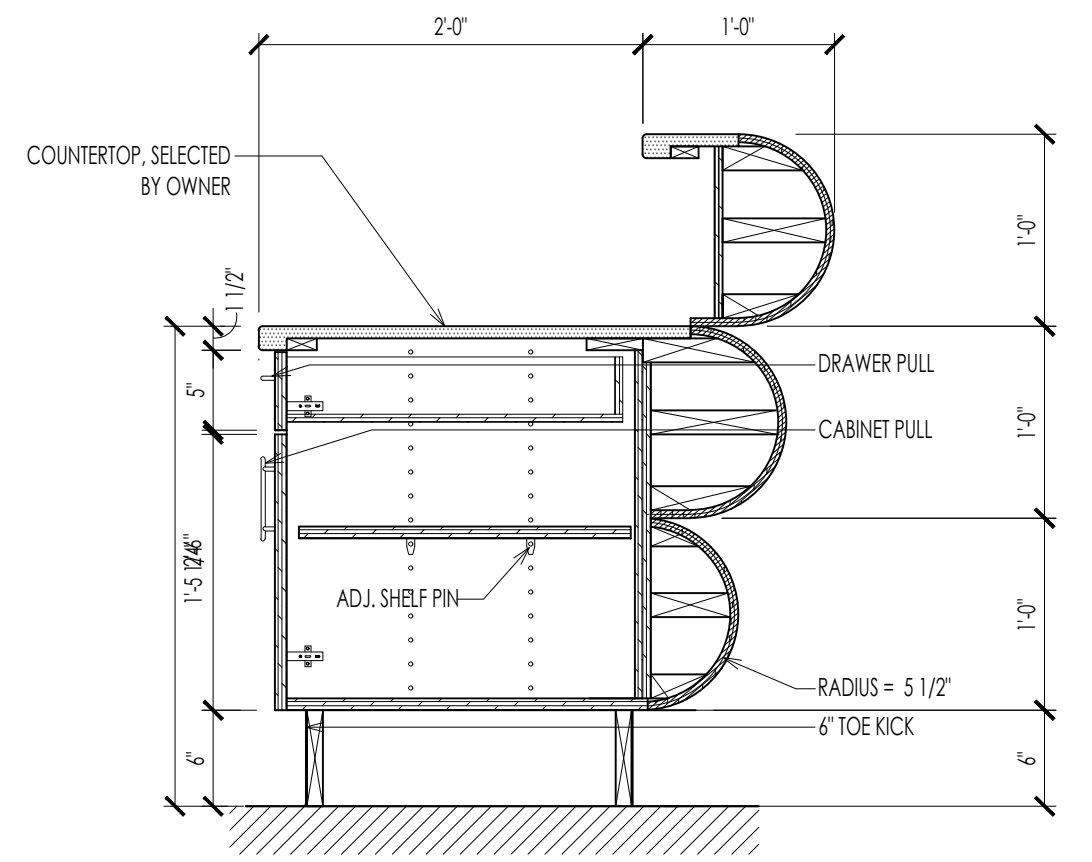
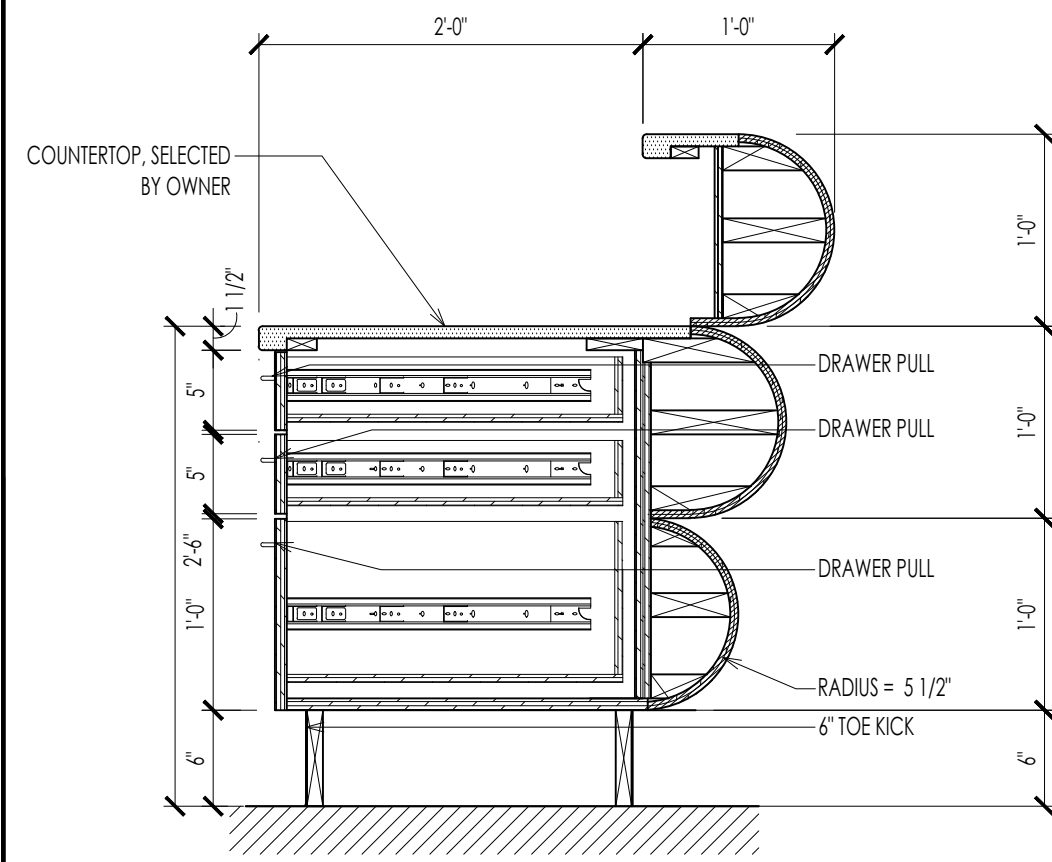


RF#	ROOM NAME	FIR	BASE	WALLS	TRIM	CLG	CLGHT	NOTES
100	STORAGE	S. CONC.	MT PANEL	MT PANEL	-	-	-	SEALED CONCRETE IN CORRIDORS ONLY
101	NORTH STAIR	S. CONC.	-	PAINTED CMU	PT-2, PT-3	-	-	SEE FINISH LEGEND FOR PAINT COLOR LOCATIONS
102	ELECTRICAL ROOM	S. CONC.	RB-1	PT-6	-	-	-	GC TO PROVIDE 4X8 TREATED SHEET OF PLYWOOD MOUNTED TO THE WALL
102A	RISER ROOM	S. CONC.	MT PANEL	MT PANEL	-	-	-	
103	WEST ELEVATOR	RB-2	-	D. PLATE	-	-	-	GC TO VERIFY ELEV FINISHES WITH OWNER PRIOR TO PURCHASE
104	EAST ELEVATOR	RB-2	-	D. PLATE	-	-	-	GC TO VERIFY ELEV FINISHES WITH OWNER PRIOR TO PURCHASE
105	SOUTH STAIR	S. CONC.	-	PAINTED CMU	PT-2, PT-3	-	-	SEE FINISH LEGEND FOR PAINT COLOR LOCATIONS
106	MEN	PT-7	RB-1	PT-1/FRP	PT-6	GW6	9'-0"	FRP (MARLITE P-100 WHITE) 4'-0" @TOILET ROOM WALLS
106A	JANITOR	PT-7	RB-1	-	-	GW6	9'-0"	WEI WALL TO BE DAISY YELLOW
107	WOMEN	PT-7	RB-1	PT-1/FRP	PT-6	GW6	9'-0"	FRP (MARLITE P-100 WHITE) 4'-0" @TOILET ROOM WALLS
108	STORAGE DEMONSTRATION AREAS	S. CONC.	MT PANEL	MT PANEL	-	-	-	REFER TO 18/A4.01 FOR WALL DECALS
109	STORAGE DEMONSTRATION AREAS	S. CONC.	MT PANEL	MT PANEL	-	-	-	REFER TO 38/A4.01 FOR WALL DECALS
110	WINE STORAGE	S. CONC.	STAINED WOOD	STAINED WOOD	STAINED WOOD	STAINED WOOD	7'-6"	
111	STORAGE	S. CONC.	RB-1	PT-6	-	-	-	
112	RETAIL	TERRAZO	RB-1	PT-1, PT-2	-	-	PT-8	GC TO VERIFY WALL COLORS AND PATTERN WITH OWNER
200	STORAGE	S. CONC.	MT PANEL	MT PANEL	-	-	-	SEALED CONCRETE IN CORRIDORS ONLY
201	NORTH STAIR	S. CONC.	-	PAINTED CMU	PT-2, PT-3	-	-	SEE FINISH LEGEND FOR PAINT COLOR LOCATIONS
202	ELECTRICAL ROOM	S. CONC.	RB-1	PT-6	-	-	-	GC TO PROVIDE 4X8 TREATED SHEET OF PLYWOOD MOUNTED TO THE WALL
203	WEST ELEVATOR	RB-2	-	D. PLATE	-	-	-	GC TO VERIFY ELEV FINISHES WITH OWNER PRIOR TO PURCHASE
204	EAST ELEVATOR	RB-2	-	D. PLATE	-	-	-	GC TO VERIFY ELEV FINISHES WITH OWNER PRIOR TO PURCHASE
205	SOUTH STAIR	S. CONC.	-	PAINTED CMU	PT-2, PT-3	-	-	SEE FINISH LEGEND FOR PAINT COLOR LOCATIONS
206	MEN	PT-7	RB-1	PT-1	PT-6	GW6	9'-0"	WEI WALL TO BE DAISY YELLOW
207	WOMEN	PT-7	RB-1	PT-1	PT-6	GW6	9'-0"	WEI WALL TO BE DAISY YELLOW
300	STORAGE	S. CONC.	MT PANEL	MT PANEL	-	-	-	SEALED CONCRETE IN CORRIDORS ONLY
301	NORTH STAIR	S. CONC.	-	PAINTED CMU	PT-2, PT-3	-	-	SEE FINISH LEGEND FOR PAINT COLOR LOCATIONS
302	ELECTRICAL ROOM	S. CONC.	RB-1	PT-6	-	-	-	GC TO PROVIDE 4X8 TREATED SHEET OF PLYWOOD MOUNTED TO THE WALL
303	WEST ELEVATOR	RB-2	-	D. PLATE	-	-	-	GC TO VERIFY ELEV FINISHES WITH OWNER PRIOR TO PURCHASE
304	EAST ELEVATOR	RB-2	-	D. PLATE	-	-	-	GC TO VERIFY ELEV FINISHES WITH OWNER PRIOR TO PURCHASE
305	SOUTH STAIR	S. CONC.	-	PAINTED CMU	PT-2, PT-3	-	-	SEE FINISH LEGEND FOR PAINT COLOR LOCATIONS

01 b RECEPTION DESK ENLARGED PLAN & ELEVATION
A802 1/4" = 1'-0"

03 b SECTION THRU RECEPTION DESK
A803 1" = 1'-0"

05 b SECTION THRU RECEPTION DESK
A803 1" = 1'-0"



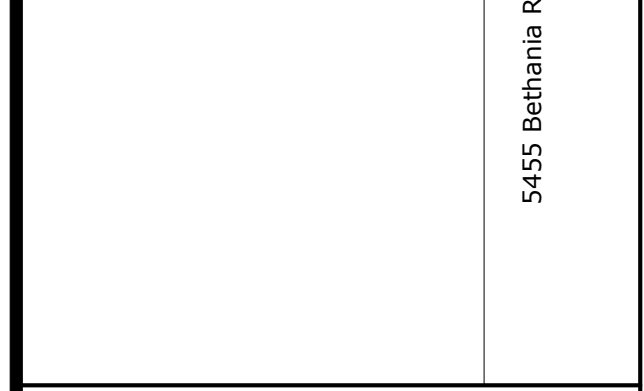
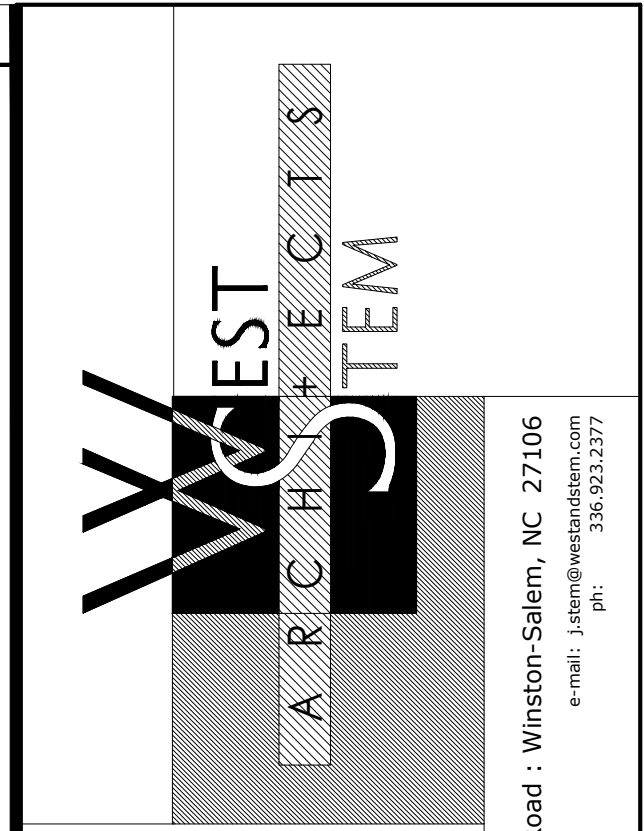
03 d SECTION THRU RECEPTION DESK
A803 1" = 1'-0"

05 d SECTION THRU RECEPTION DESK
A803 1" = 1'-0"

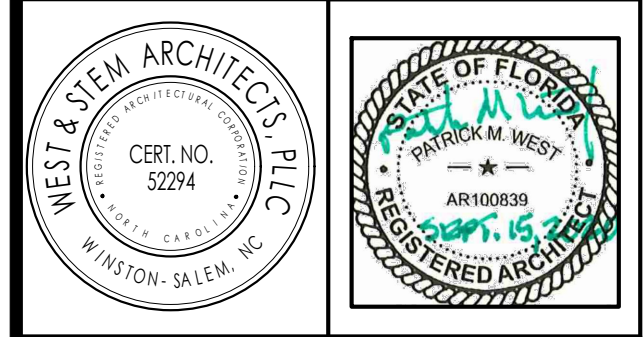
FINISH NOTES	
1. CONTRACTOR SHALL PROVIDE ALL INTERIOR FINISHES AS SPECIFIED HEREIN. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO PROCEEDING WITH WORK.	5. VARIATIONS IN FLOOR LEVEL IN EXCESS OF 1" FOR EVERY 10'-0" SHALL BE LEVELED BY CONTRACTOR. LEVELING SHALL BE COMPLETED WITH FLOOR READY TO RECEIVE NEW FINISHES AS SPECIFIED. CONTRACTOR SHALL VERIFY SLAB CONDITION PRIOR TO PRICE SUBMISSION.
2. ALL INTERIOR FINISHES SHALL HAVE A CLASS A FLAME SPREAD RATING	6. ALL MISCELLANEOUS GRILLES, PLATES, OR OTHER DEVICES SHALL BE PAINTED TO MATCH THE WALL OR CEILING IN WHICH THEY ARE INSTALLED.
3. PAINT FOR WALL FINISHES SHALL BE PROVIDED AS A (3) COAT EGGSHELL LATEX ENAMEL PAINT INSTALLATION - (1) PRIME AND (2) FINISH COATS - COLORS AS SPECIFIED, UNLESS OTHERWISE NOTED. METAL ELEMENTS AND DOOR AND WINDOW FRAMES SHALL HAVE A (3) COAT SEMI-GLOSS ENAMEL FINISH.	
4. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF HIS MEASUREMENTS AND TOTAL SQUARE FOOTAGE REQUIREMENTS TO BE FURNISHED. NO REQUESTS FOR MATERIALS OR INSTALLATION EXTRAS WILL BE CONSIDERED DUE TO MEASUREMENT OR TAKEOFF ERRORS BY CONTRACTOR.	

03 f FINISH NOTES
A801 N.T.S.

07 f FINISH SCHEDULE AND LEGEND
A801 N.T.S.



FINAL CONSTRUCTION DRAWINGS



revisions	OWNER COMMENTS
09.15.20	

NEW BUILDING DRAWINGS FOR:

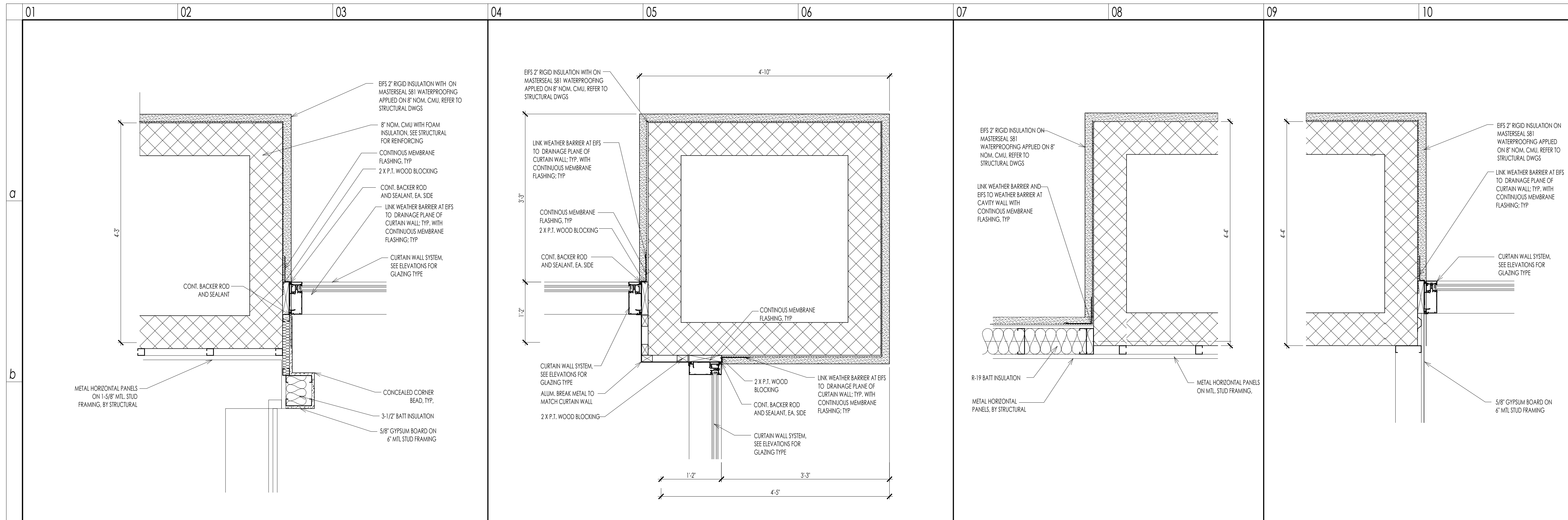
MARINER VILLAGE
STUART, FLORIDA

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West & Stem Architects, PLLC

MILLWORK, FINISH SCHEDULE, LEGEND AND NOTES sheet

A8.01-R1

date: AUGUST 14, 2020
commission: 19C.0030
drawn by: RBS



WEST & STEM ARCHITECTS
 ARCHITECTS

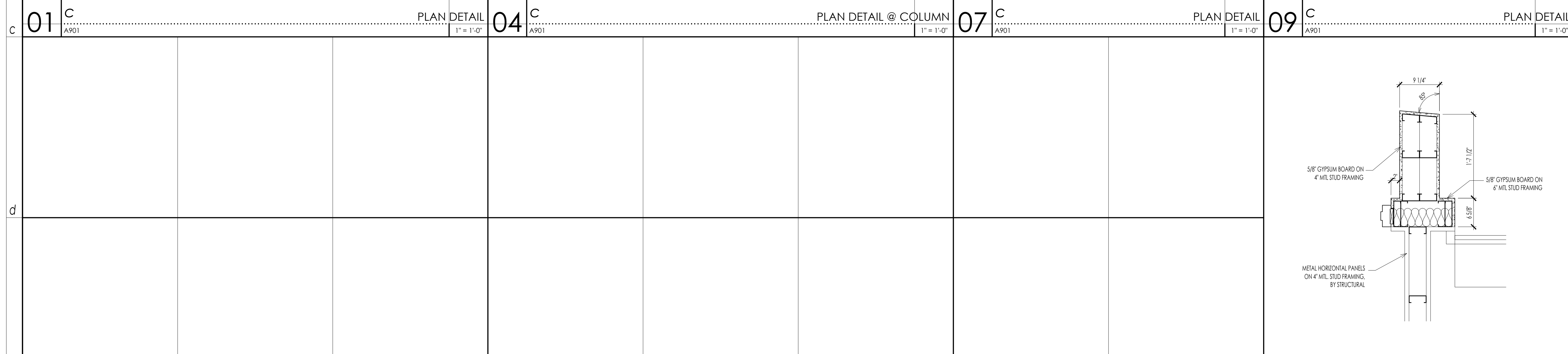
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FINAL CONSTRUCTION DRAWINGS

WEST & STEM ARCHITECTS, PLLC
 CERT. NO. 52294
 WINSTON-SALEM, NC

STATE OF FLORIDA
 WEST & STEM ARCHITECTS, PLLC
 ART 100838
 REGISTERED ARCHITECT

revisions



NEW BUILDING DRAWINGS FOR:

BEE SAFE STORAGE AND WINE CELLAR

MARINER VILLAGE
 STUART, FLORIDA

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PLAN DETAILS

sheet

A9.01

date: AUGUST 14, 2020
 commission: 19C.0030
 drawn by: RBS